

# NEW CONSTRUCTION SECURE SPACE - GLENDALE SELF-STORAGE



127 CONCORD STREET  
GLENDALE, CA 91203

## VICINITY MAP



## LOCUS MAP



## GENERAL NOTES

- A. REFER TO ALL BUILDING REGULATIONS, ORDINANCES AND STANDARDS, SPECIFIC TO THE EXISTING CONSTRUCTION.
- B. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL GOVERNING REGULATIONS AND STANDARDS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING REGULATIONS AND STANDARDS.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- D. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IN THE EVENT OF ANY DISCREPANCY, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND SPECIFICALLY. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- E. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SPONGE BEFORE BEGINNING WORK.
- F. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT MANUAL AND ALL APPLICABLE CODES, ORDINANCES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
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- J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- L. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

## PROJECT TEAM

**ARCHITECT**  
MAGELLAN ARCHITECTURE  
15101 TALBERT AVENUE, SUITE 175  
FOURFAN VALLEY, CA 92708  
TEL: 949-510-9600  
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CONTACT: YASER MOHAMMED  
PROJECT: 127 CONCORD STREET

**OWNER**  
15101 TALBERT AVENUE, SUITE 175  
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CONTACT: YASER MOHAMMED  
PROJECT: 127 CONCORD STREET

**CONTRACTOR**  
4857 CHAMBER DRIVE, SUITE 500  
GLENDALE, CA 91203  
TEL: 626-915-8888  
WWW.MAGELLANARCHITECTURE.COM

## PROJECT DATA

**SITE DATA**  
PARCEL NUMBER: 568P-00-028, 030, 036  
MUNICIPALITY: FULLY GRANTEED  
PROPERTY TYPE: COMMERCIAL  
BUILDING AREA: 152,216 SF (0.4 AC)  
SITE AREA: 527,345 SQ. FT.  
BLDG HEIGHT: 50'-0" (5 STORES + 2 BASEMENT)

**REQUIRED SETBACKS**  
FRONT: 0'-0"  
SIDE: 0'-0"  
REAR: 0'-0"

**BY CODE**  
0'-0"  
0'-0"  
0'-0"

**PROPOSED**  
0'-0"  
0'-0"  
0'-0"

**PARKING REQUIREMENTS & CALCULATIONS**  
REQUIRED PARKING (1/1,000 SF): 152 SPACES  
PROVIDED STANDARD: 15 SPACES  
ADDITIONAL PARKING: 137 SPACES  
TOTAL PARKING: 152 SPACES  
\*Additional tandem parking to be provided.

**AREA CALCULATIONS & CONDITIONS**  
TOTAL UNITS: 918 UNITS  
TOTAL GROSS STORAGE AREA: 1,112,347 SF  
TOTAL NET STORAGE AREA: 889,597 SF  
TOTAL NET STORAGE AREA: 1,112,347 SF

## SHEET INDEX

NO.	DESCRIPTION
A2-11	COVER SHEET
SPT 1	ALTA/PERMITS
A1-1	ALTA/PERMITS
A1-2	ALTA/PERMITS
A2-00	2ND FLOOR LEVEL FLOOR PLAN
A2-01	3RD FLOOR LEVEL FLOOR PLAN
A2-02	4TH FLOOR LEVEL FLOOR PLAN
A2-03	5TH FLOOR LEVEL FLOOR PLAN
A2-04	6TH FLOOR LEVEL FLOOR PLAN
A2-05	7TH FLOOR LEVEL FLOOR PLAN
A2-06	8TH FLOOR LEVEL FLOOR PLAN
A2-07	9TH FLOOR LEVEL FLOOR PLAN
A2-08	10TH FLOOR LEVEL FLOOR PLAN
A2-09	11TH FLOOR LEVEL FLOOR PLAN
A2-10	12TH FLOOR LEVEL FLOOR PLAN
A2-11	13TH FLOOR LEVEL FLOOR PLAN
A2-12	14TH FLOOR LEVEL FLOOR PLAN
A2-13	15TH FLOOR LEVEL FLOOR PLAN
A2-14	16TH FLOOR LEVEL FLOOR PLAN
A2-15	17TH FLOOR LEVEL FLOOR PLAN
A2-16	18TH FLOOR LEVEL FLOOR PLAN
A2-17	19TH FLOOR LEVEL FLOOR PLAN
A2-18	20TH FLOOR LEVEL FLOOR PLAN
A2-19	21ST FLOOR LEVEL FLOOR PLAN
A2-20	22ND FLOOR LEVEL FLOOR PLAN
A2-21	23RD FLOOR LEVEL FLOOR PLAN
A2-22	24TH FLOOR LEVEL FLOOR PLAN
A2-23	25TH FLOOR LEVEL FLOOR PLAN
A2-24	26TH FLOOR LEVEL FLOOR PLAN
A2-25	27TH FLOOR LEVEL FLOOR PLAN
A2-26	28TH FLOOR LEVEL FLOOR PLAN
A2-27	29TH FLOOR LEVEL FLOOR PLAN
A2-28	30TH FLOOR LEVEL FLOOR PLAN
A2-29	31ST FLOOR LEVEL FLOOR PLAN
A2-30	32ND FLOOR LEVEL FLOOR PLAN
A2-31	33RD FLOOR LEVEL FLOOR PLAN
A2-32	34TH FLOOR LEVEL FLOOR PLAN
A2-33	35TH FLOOR LEVEL FLOOR PLAN
A2-34	36TH FLOOR LEVEL FLOOR PLAN
A2-35	37TH FLOOR LEVEL FLOOR PLAN
A2-36	38TH FLOOR LEVEL FLOOR PLAN
A2-37	39TH FLOOR LEVEL FLOOR PLAN
A2-38	40TH FLOOR LEVEL FLOOR PLAN
A2-39	41ST FLOOR LEVEL FLOOR PLAN
A2-40	42ND FLOOR LEVEL FLOOR PLAN
A2-41	43RD FLOOR LEVEL FLOOR PLAN
A2-42	44TH FLOOR LEVEL FLOOR PLAN
A2-43	45TH FLOOR LEVEL FLOOR PLAN
A2-44	46TH FLOOR LEVEL FLOOR PLAN
A2-45	47TH FLOOR LEVEL FLOOR PLAN
A2-46	48TH FLOOR LEVEL FLOOR PLAN
A2-47	49TH FLOOR LEVEL FLOOR PLAN
A2-48	50TH FLOOR LEVEL FLOOR PLAN
A2-49	51ST FLOOR LEVEL FLOOR PLAN
A2-50	52ND FLOOR LEVEL FLOOR PLAN
A2-51	53RD FLOOR LEVEL FLOOR PLAN
A2-52	54TH FLOOR LEVEL FLOOR PLAN
A2-53	55TH FLOOR LEVEL FLOOR PLAN
A2-54	56TH FLOOR LEVEL FLOOR PLAN
A2-55	57TH FLOOR LEVEL FLOOR PLAN
A2-56	58TH FLOOR LEVEL FLOOR PLAN
A2-57	59TH FLOOR LEVEL FLOOR PLAN
A2-58	60TH FLOOR LEVEL FLOOR PLAN
A2-59	61ST FLOOR LEVEL FLOOR PLAN
A2-60	62ND FLOOR LEVEL FLOOR PLAN
A2-61	63RD FLOOR LEVEL FLOOR PLAN
A2-62	64TH FLOOR LEVEL FLOOR PLAN
A2-63	65TH FLOOR LEVEL FLOOR PLAN
A2-64	66TH FLOOR LEVEL FLOOR PLAN
A2-65	67TH FLOOR LEVEL FLOOR PLAN
A2-66	68TH FLOOR LEVEL FLOOR PLAN
A2-67	69TH FLOOR LEVEL FLOOR PLAN
A2-68	70TH FLOOR LEVEL FLOOR PLAN
A2-69	71ST FLOOR LEVEL FLOOR PLAN
A2-70	72ND FLOOR LEVEL FLOOR PLAN
A2-71	73RD FLOOR LEVEL FLOOR PLAN
A2-72	74TH FLOOR LEVEL FLOOR PLAN
A2-73	75TH FLOOR LEVEL FLOOR PLAN
A2-74	76TH FLOOR LEVEL FLOOR PLAN
A2-75	77TH FLOOR LEVEL FLOOR PLAN
A2-76	78TH FLOOR LEVEL FLOOR PLAN
A2-77	79TH FLOOR LEVEL FLOOR PLAN
A2-78	80TH FLOOR LEVEL FLOOR PLAN
A2-79	81ST FLOOR LEVEL FLOOR PLAN
A2-80	82ND FLOOR LEVEL FLOOR PLAN
A2-81	83RD FLOOR LEVEL FLOOR PLAN
A2-82	84TH FLOOR LEVEL FLOOR PLAN
A2-83	85TH FLOOR LEVEL FLOOR PLAN
A2-84	86TH FLOOR LEVEL FLOOR PLAN
A2-85	87TH FLOOR LEVEL FLOOR PLAN
A2-86	88TH FLOOR LEVEL FLOOR PLAN
A2-87	89TH FLOOR LEVEL FLOOR PLAN
A2-88	90TH FLOOR LEVEL FLOOR PLAN
A2-89	91ST FLOOR LEVEL FLOOR PLAN
A2-90	92ND FLOOR LEVEL FLOOR PLAN
A2-91	93RD FLOOR LEVEL FLOOR PLAN
A2-92	94TH FLOOR LEVEL FLOOR PLAN
A2-93	95TH FLOOR LEVEL FLOOR PLAN
A2-94	96TH FLOOR LEVEL FLOOR PLAN
A2-95	97TH FLOOR LEVEL FLOOR PLAN
A2-96	98TH FLOOR LEVEL FLOOR PLAN
A2-97	99TH FLOOR LEVEL FLOOR PLAN
A2-98	100TH FLOOR LEVEL FLOOR PLAN

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REAR: 0'-0"

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0'-0"  
0'-0"

**PROPOSED**  
0'-0"  
0'-0"  
0'-0"

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TOTAL NET STORAGE AREA: 889,597 SF  
TOTAL NET STORAGE AREA: 1,112,347 SF

## LEGEND OF SYMBOLS

SYMBOL	DESCRIPTION
(C)	WINDOW SCHEDULE
(E)	ELECTRICAL
(R)	ROOF
(S)	SCHEDULE
(T)	TRUSS
(V)	VENT
(W)	WALL
(X)	EXTERIOR
(Y)	YIELD
(Z)	ZONING
(AA)	AREA
(AB)	ABOVE
(AC)	ACROSS
(AD)	ADJACENT
(AE)	ADJACENT TO
(AF)	ADJACENT TO
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(AN)	ADJACENT TO
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(AP)	ADJACENT TO
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(AR)	ADJACENT TO
(AS)	ADJACENT TO
(AT)	ADJACENT TO
(AU)	ADJACENT TO
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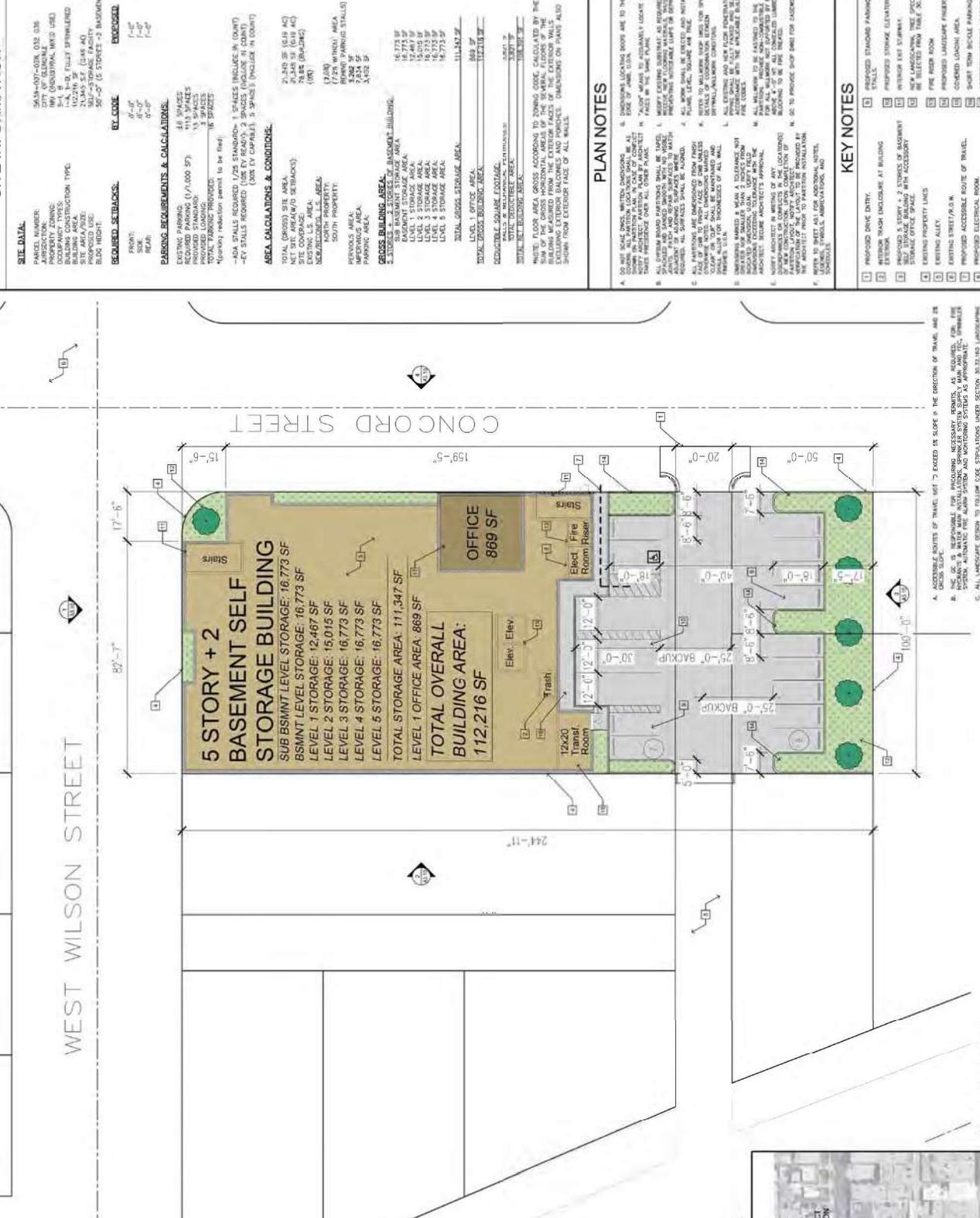




WEST WILSON STREET

CONCORD STREET

SAN FERNANDO ROAD



**SITE DATA:**  
 5000-1000000, 000, 000  
 CITY OF GLENDALE  
 PROPERTY ZONING: M-1 (INDUSTRIAL, MIXED USE)  
 BUILDING AREA: 10,234 SF (0.45 AC)  
 PROPOSED USE: SELF-STORAGE FACILITY  
 BLOCK IDENT: 50'-0" (5 STORES + 2 BASEMENT)

**REQUIRED SETBACKS:**  
 FRONT: 0'-0"  
 SIDE: 0'-0"  
 REAR: 0'-0"

**PARKING REQUIREMENTS & CALCULATIONS:**  
 EXISTING PARKING: 48 SPACES  
 REQUIRED PARKING (171,000 SF): 113 SPACES  
 PROVIDED PARKING: 113 SPACES  
 TOTAL PARKING PROVIDED: 113 SPACES  
 (Signage reduction permit to be filed)

**AREA CALCULATIONS & CONDITIONS:**  
 TOTAL (GROSS) SITE AREA: 21,240 SF (0.49 AC)  
 EXISTING L.S. AREA: 78.88 (BALDING) (0.01)  
 (1720)  
 (775) WITHOUT AREA (1720) (1720)  
 3,262 SF  
 3,262 SF  
 3,262 SF

**GROSS BUILDING AREA - BASEMENT BUILDING:**  
 SUB-BASEMENT STORAGE AREA: 16,773 SF  
 LEVEL 1 STORAGE AREA: 16,773 SF  
 LEVEL 2 STORAGE AREA: 16,773 SF  
 LEVEL 3 STORAGE AREA: 16,773 SF  
 LEVEL 4 STORAGE AREA: 16,773 SF  
 LEVEL 5 STORAGE AREA: 16,773 SF  
 TOTAL STORAGE AREA: 111,347 SF  
 LEVEL 1 OFFICE AREA: 869 SF  
 TOTAL OFFICE AREA: 869 SF  
**TOTAL OVERALL BUILDING AREA: 112,216 SF**

**SITE INFORMATION**

**SECURE SPACE**  
 GLENDALE SELF-STORAGE  
 NEW CONSTRUCTION  
 117 CONCORD STREET  
 GLENDALE, CA 91209

**InSite**  
 10540 Valley Avenue, Suite 2700  
 Fontana, CA 92335  
 (951) 915-9000  
 www.insite.com

**PLAN NOTES:**  
 1. DIMENSIONAL LOCATIONS SHOWN ARE TO THE EDGE OF JAMB LINES.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

**KEY NOTES:**  
 1. PROPOSED EXISTING PARKING STALLS.  
 2. PROPOSED STORAGE ELEVATOR.  
 3. EXISTING EXTERIOR STAIRS.  
 4. EXISTING OFFICE SPACE.  
 5. EXISTING PROPERTY LINES.  
 6. EXISTING ALLEY.  
 7. EXISTING STREET/AVENUE.  
 8. PROPOSED ACCESSIBLE ROUTE OF TRAVEL.  
 9. PROPOSED ELECTRICAL ROOM.

**LOCUS MAP:**  
 PROJECT LOCATION: CONCORD STREET, WEST WILSON STREET, SAN FERNANDO ROAD.

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 Fontana, CA 92335  
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**Magellan**  
 ARCHITECTURE  
 10540 Valley Avenue, Suite 2700  
 Fontana, CA 92335  
 (951) 915-9000  
 www.magellanarch.com

**SCALE: 1/16"=1'-0"**

**SITE PLAN**

**A1.11**

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Magellan ARCHITECTURE  
 InSite

SECURE SPACE  
 GLENDALE SELF-STORAGE  
 NEW CONSTRUCTION  
 127 CONCORD STREET  
 GLENDALE, CA 91203

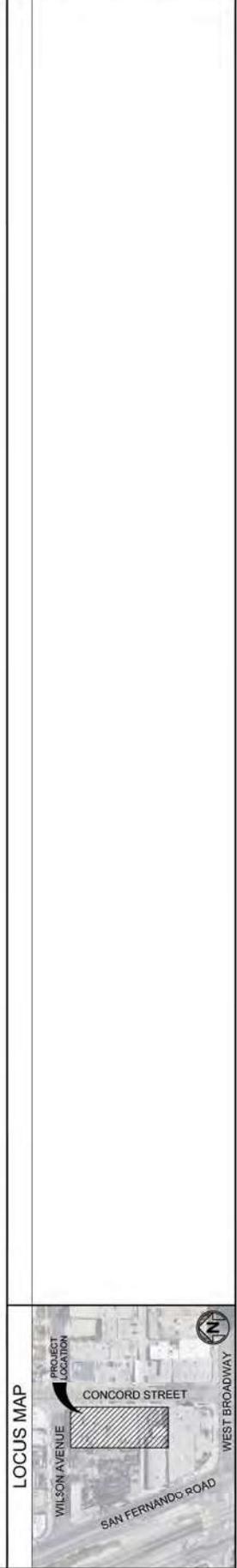
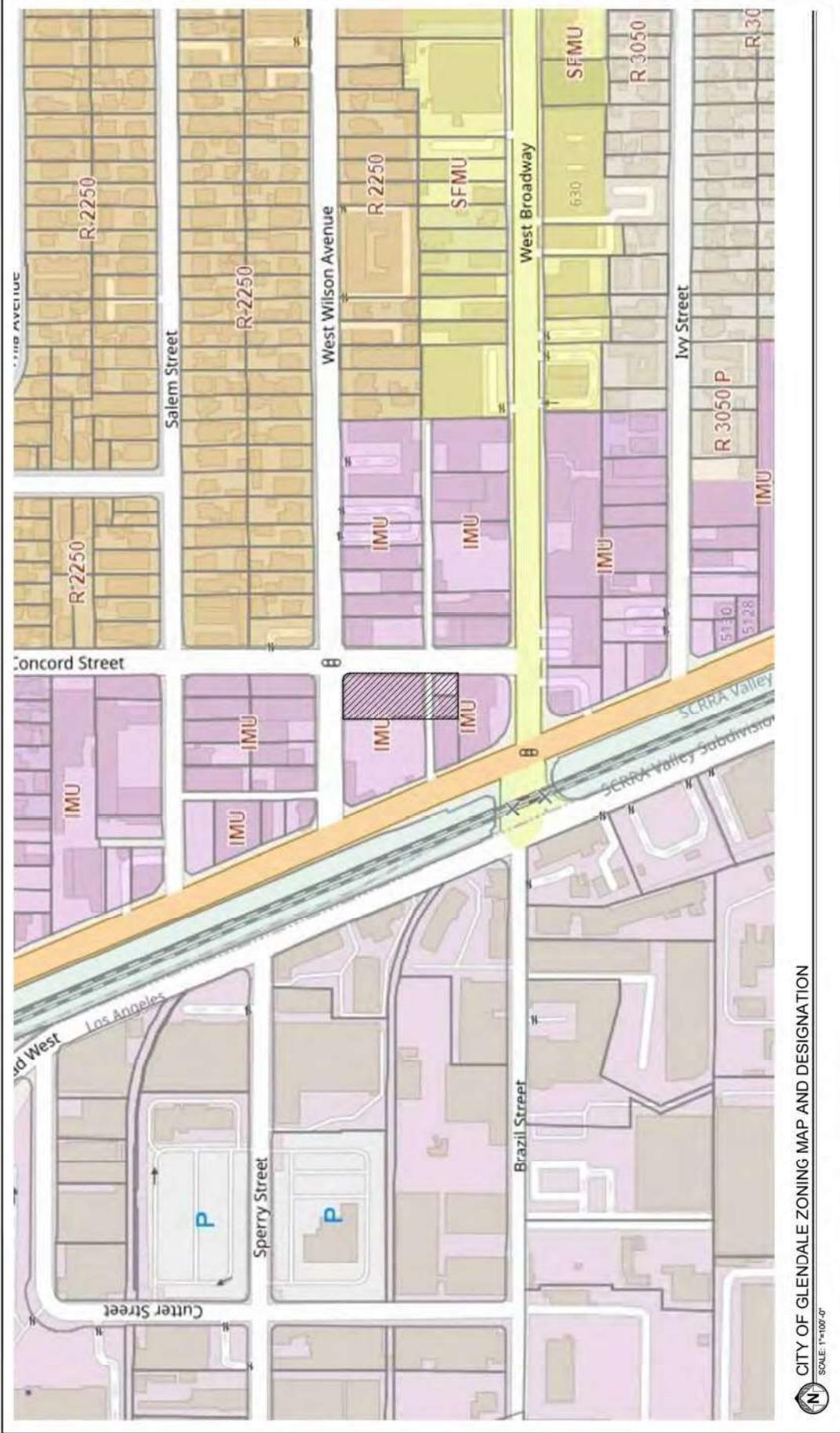
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ZONING MAP  
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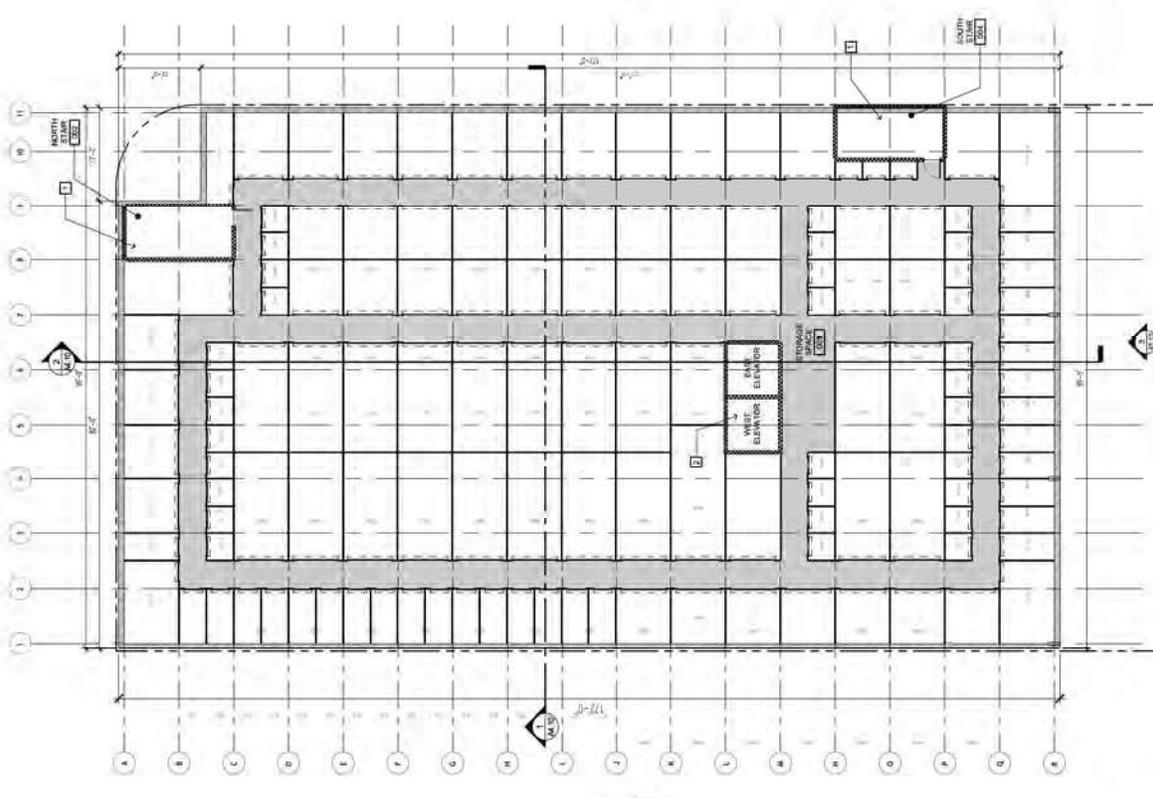


CITY OF GLENDALE ZONING MAP AND DESIGNATION  
 SCALE: 1"=100'-0"



**KEY NOTES**

- AREA OF THE UNIT
- ELEVATOR SHAFT AND MACHINE ROOM



**PLAN NOTES**

- A. DO NOT SCALE THIS DRAWING. DIMENSIONS SHOWN ON ALL PARTS OF THIS DRAWING SHALL BE AS SHOWN ON THIS DRAWING. DIMENSIONS SHOWN ON THIS DRAWING SHALL BE AS SHOWN ON THIS DRAWING.
- B. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE STANDARDS.
- C. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE STANDARDS.
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**WALL LEGEND**

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Magellian ARCHITECTURE  
 10540 Teller Avenue, Suite 275  
 Fountain Valley, California 92708  
 Tel: (714) 952-9000  
 www.magellianarchitect.com

InSite  
 127 CONCORD STREET  
 GLENDALE, CA 91203

SECURE SPACE  
 GLENDALE SELF-STORAGE  
 NEW CONSTRUCTION  
 127 CONCORD STREET  
 GLENDALE, CA 91203

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BASEMENT FLOOR PLAN  
**A2.01**

BASEMENT FLOOR PLAN  
 SCALE: 3/32" = 1'-0"

**KEY NOTES**

- 1. CHECK OUT THE SWIFT
- 2. GLASS WARE AND MACHINE ROOM
- 3. STAMP INTO GLASS
- 4. MARK, CUT AND REMOVE WELDED W/PH
- 5. STAMP INTO AREA
- 6. ELECTRICAL ROOM
- 7. FIRE RISK ROOM
- 8. 1/2" x 1/2" STAMP TRANSDUCER FROM W/PH TO W/CE
- 9. W/PH AREA TO BE CLEANED UP

**Magellian ARCHITECTURE**  
 10540 Talcott Avenue, Suite 175  
 Fountain Valley, California 92708  
 Tel: (949) 515-9000  
 www.magellianarchitect.com

**InSite**

**SECURE SPACE**  
 GLENDALE SELF-STORAGE  
 NEW CONSTRUCTION  
 127 CONCORD STREET  
 GLENDALE, CA 91203

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SCALE	AS NOTED
AUTOMATICALLY GENERATED	
DATE	12/17/22
PROJECT	SECURE SPACE
OWNER	SECURE SPACE
DESIGNER	MAGELLIAN ARCHITECTURE
DATE	12/17/22
PROJECT	SECURE SPACE
OWNER	SECURE SPACE
DESIGNER	MAGELLIAN ARCHITECTURE

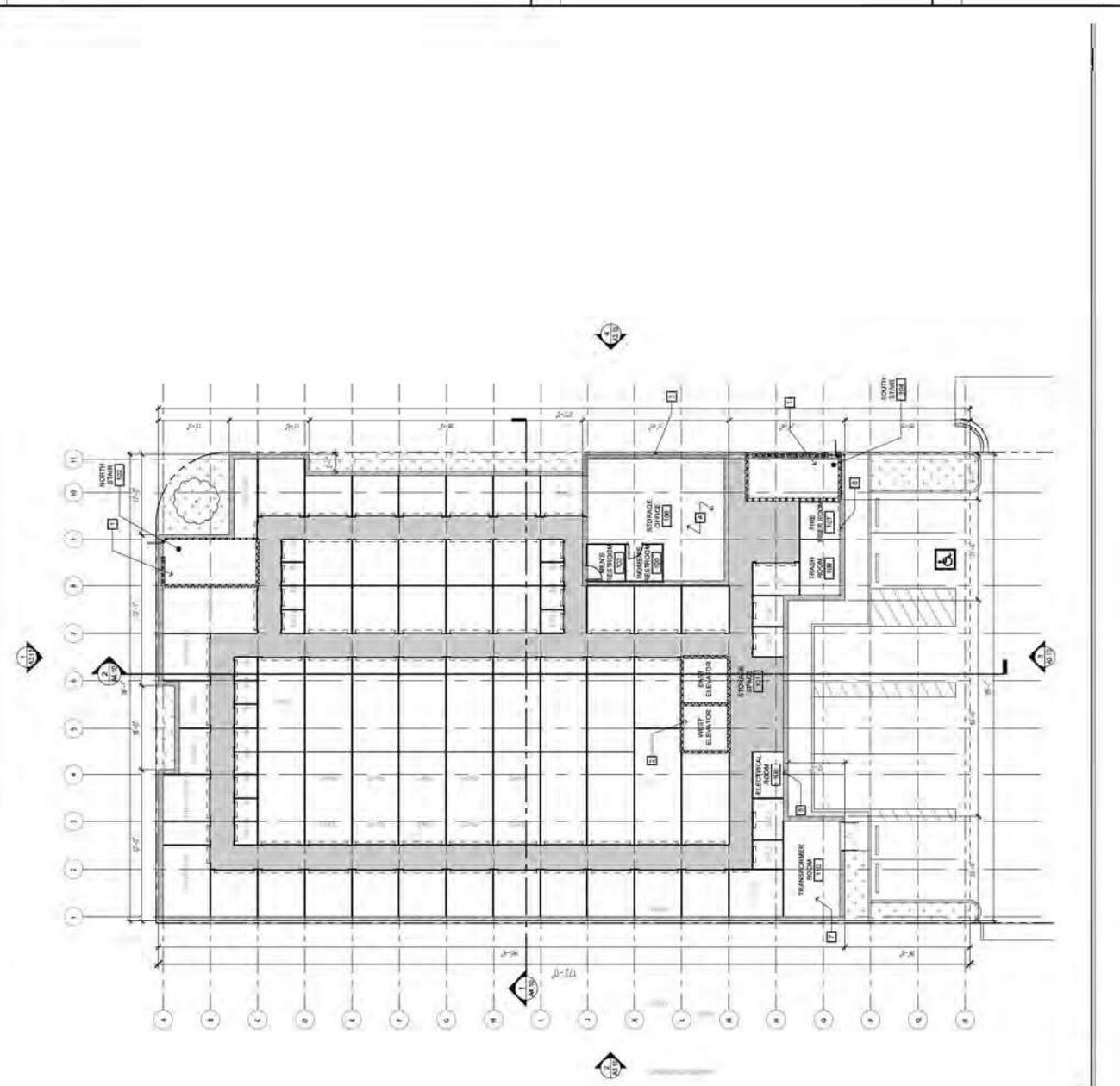
**A2.10**  
 LEVEL 1 FLOOR PLAN

**PLAN NOTES**

- A. DO NOT SCALE THIS DRAWING. DIMENSIONS SHALL BE TAKEN FROM THE CENTERLINE OF THE WALLS UNLESS OTHERWISE NOTED.
- B. ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE TAKEN FROM THE CENTERLINE OF THE WALLS UNLESS OTHERWISE NOTED.
- C. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- D. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- E. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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- N. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- O. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

**WALL LEGEND**

- 1. WALL TYPE: SEE SECTION FOR WALL TYPES
- 2. WALL TYPE: SEE SECTION FOR WALL TYPES
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- 4. WALL TYPE: SEE SECTION FOR WALL TYPES
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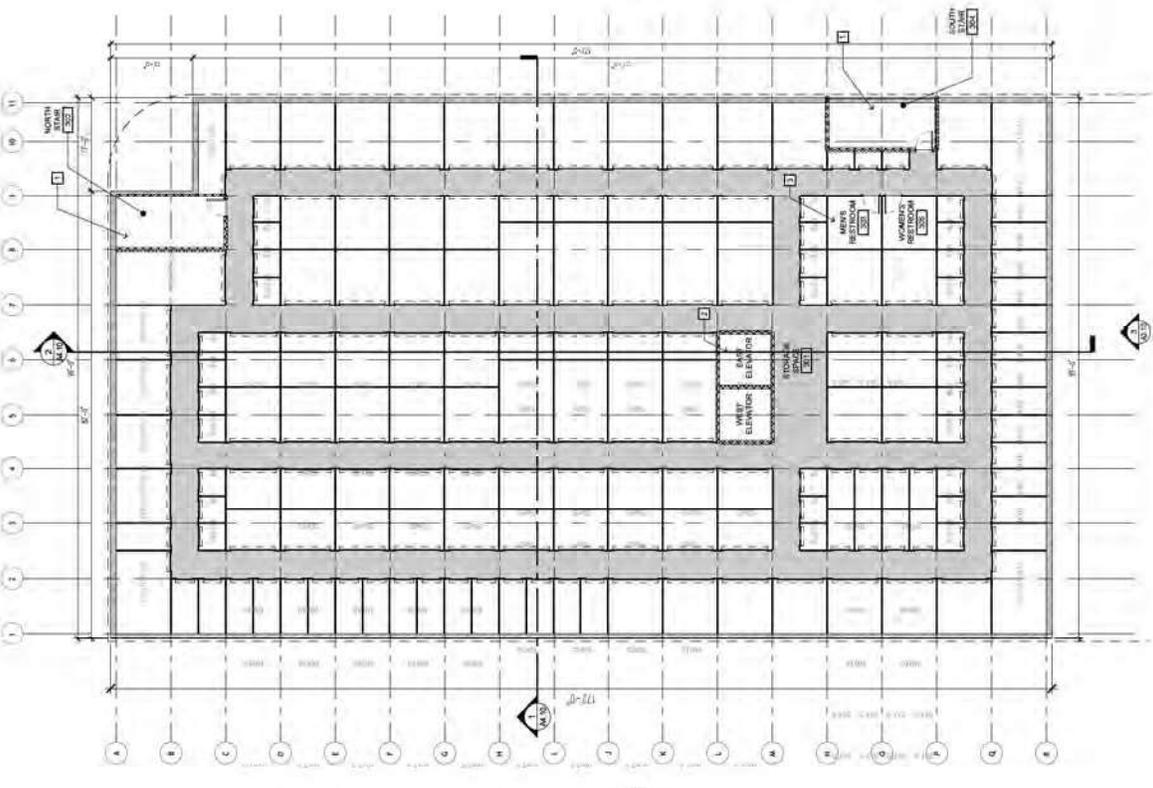


**LEVEL 1 FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"



**KEY NOTES**

- 1. RETAIN OR DEMOLISH
- 2. ELEVATION SHOWN
- 3. PROPOSED ADDITIONS



**LEVEL 3 FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



**PLAN NOTES**

- A. DO NOT SCALE THIS DRAWING. DIMENSIONS SHOWN SHALL BE USED FOR CONSTRUCTION. DIMENSIONS SHOWN SHALL BE USED FOR CONSTRUCTION. DIMENSIONS SHOWN SHALL BE USED FOR CONSTRUCTION.
- B. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- C. ALL PARTITIONS ARE UNLESS OTHERWISE NOTED. PARTITIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- D. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- E. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- F. REFER TO SHEET 4101 FOR ADDITIONAL NOTES, DETAILS, DIMENSIONS, AND FINISHES.
- G. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- H. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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- J. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- K. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- L. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS SHOWN ON THIS DRAWING.
- M. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS SHOWN ON THIS DRAWING.
- N. DO NOT SCALE THIS DRAWING. DIMENSIONS SHOWN SHALL BE USED FOR CONSTRUCTION.
- O. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

**WALL LEGEND**

- 1. WALL TYPE (SEE REFER TO SHEET 4101 FOR WALL TYPES)
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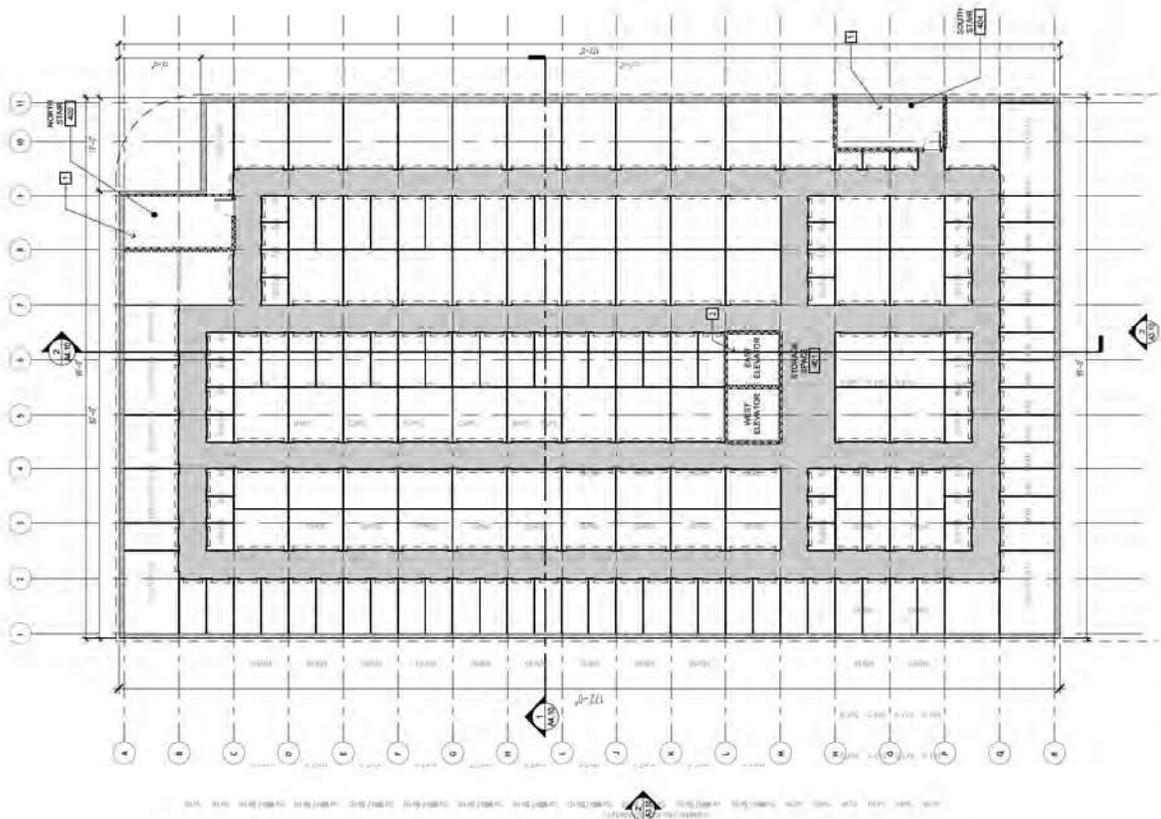
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GLENDALE SELF-STORAGE  
GLENDALE, CA 91203

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**A2.30**  
LEVEL 3 FLOOR PLAN

**KEY NOTES**

- GENERAL OR DIM SHEET
- EXISTING WALL



**LEVEL 4 FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



**PLAN NOTES**

- A. DO NOT PLACE WALLS WITH UNFINISHED SURFACES UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. ALL CORNER AND INTERSECTION WALLS SHALL BE FINISHED AS SHOWN UNLESS OTHERWISE NOTED.
- C. ALL PARTITIONS ARE UNFINISHED UNLESS OTHERWISE NOTED. FINISHES SHALL BE AS NOTED.
- D. UNFINISHED PARTITIONS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES AND SHALL ALLOW FOR TOLERANCES OF ALL TRADES. FINISHES SHALL BE AS NOTED.
- E. UNFINISHED PARTITIONS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES AND SHALL ALLOW FOR TOLERANCES OF ALL TRADES. FINISHES SHALL BE AS NOTED.
- F. REFER TO SHEET 4101 FOR GENERAL NOTES, DETAILS, DIMENSIONS, AND FINISHES.
- G. UNFINISHED PARTITIONS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES AND SHALL ALLOW FOR TOLERANCES OF ALL TRADES. FINISHES SHALL BE AS NOTED.
- H. "POOR" WORK TO BE REWORKED TO MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- I. PROVIDING SCHEDULED WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- J. ALL WORK SHALL BE CHECKED AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING.
- K. ALL WORK SHALL BE CHECKED AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING.
- L. ALL WORK SHALL BE CHECKED AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING.
- M. ALL WORK SHALL BE CHECKED AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING.
- N. DO NOT REMOVE OR ALTER ANY EXISTING STRUCTURAL MEMBERS OR CONNECTIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- O. REFER TO SHEET 4101 FOR GENERAL NOTES, DETAILS, DIMENSIONS, AND FINISHES.

**WALL LEGEND**

- 1. WALL TYPE (SEE REFER TO SHEET 4101 FOR WALL TYPES)
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**SECURE SPACE**  
GLENDALE SELF-STORAGE  
NEW CONSTRUCTION  
177 CONCORD STREET  
GLENDALE, CA 91203

DATE: 11/17/22  
SHEET: 11 OF 11

REVISIONS:

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DESIGN: JH/ML  
CHECKED: JH/ML  
DATE: 11/17/22

SCALE: 3/32" = 1'-0"

PROJECT: GLENDALE SELF-STORAGE  
SHEET: 11 OF 11

**A2.40**

LEVEL 4 FLOOR PLAN

SCALE: 3/32" = 1'-0"



# KEY NOTES

- 1. SHALL BE COOL ROOF UNLESS OTHERWISE NOTED WITH A REFERENCE TO ANOTHER KEY NOTE. IN CASE OF A COOL ROOF, THE ROOF SHALL BE GREEN ROOF OR SOLAR PANEL ROOF. THE ROOF SHALL BE GREEN ROOF OR SOLAR PANEL ROOF UNLESS OTHERWISE NOTED WITH A REFERENCE TO ANOTHER KEY NOTE.
- 2. ALL ROOFING SHALL BE INSTALLED OVER A MINIMUM OF 2" OF INSULATION UNLESS OTHERWISE NOTED WITH A REFERENCE TO ANOTHER KEY NOTE.
- 3. ALL ROOFING SHALL BE INSTALLED OVER A MINIMUM OF 2" OF INSULATION UNLESS OTHERWISE NOTED WITH A REFERENCE TO ANOTHER KEY NOTE.
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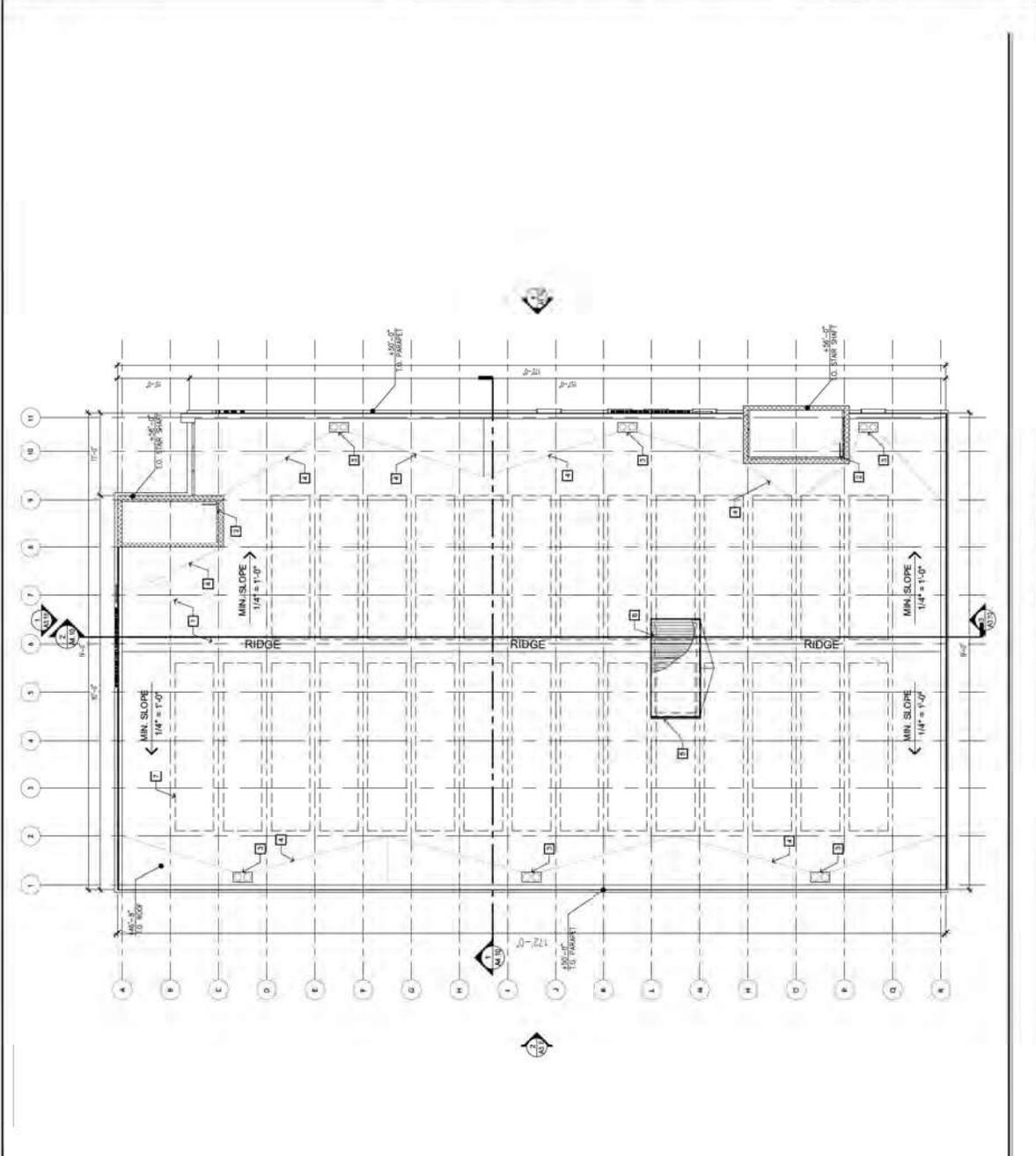
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 WWW.MAGELLANARCHITECTURE.COM

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 GLENDALE, CA 91203

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**A2.60**  
 ROOF PLAN



# GENERAL NOTES

1. CONSTRUCTION SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SERVICES. VERIFY ALL SERVICES ARE LOCATED AS SHOWN ON THE ROOF PLAN. VERIFY ALL SERVICES ARE LOCATED AS SHOWN ON THE ROOF PLAN. VERIFY ALL SERVICES ARE LOCATED AS SHOWN ON THE ROOF PLAN.
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# ROOF PLAN NOTES

1. SEE ROOF FRAMING PLAN (FRAMING) FOR FRAMING DIMENSIONS.
2. ALL ROOFING SHALL BE INSTALLED OVER A MINIMUM OF 2" OF INSULATION UNLESS OTHERWISE NOTED WITH A REFERENCE TO ANOTHER KEY NOTE.
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# ROOF PLAN LEGEND

- SLOPE FROM (40) NORTH TO (10) SOUTH
- ☒ ROOF INSULATED WITH
- ☐ ROOF FRAMING

# SINGLE PLY ROOFING SPEC

SEE SECTION 05 11 00 FOR ROOFING SPECIFICATIONS. SINGLE PLY ROOFING SHALL BE INSTALLED OVER A MINIMUM OF 2" OF INSULATION UNLESS OTHERWISE NOTED WITH A REFERENCE TO ANOTHER KEY NOTE. ALL ROOFING SHALL BE INSTALLED OVER A MINIMUM OF 2" OF INSULATION UNLESS OTHERWISE NOTED WITH A REFERENCE TO ANOTHER KEY NOTE.

# KEY NOTES

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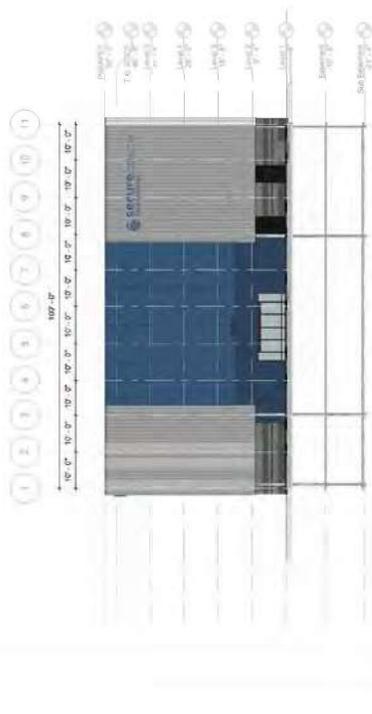
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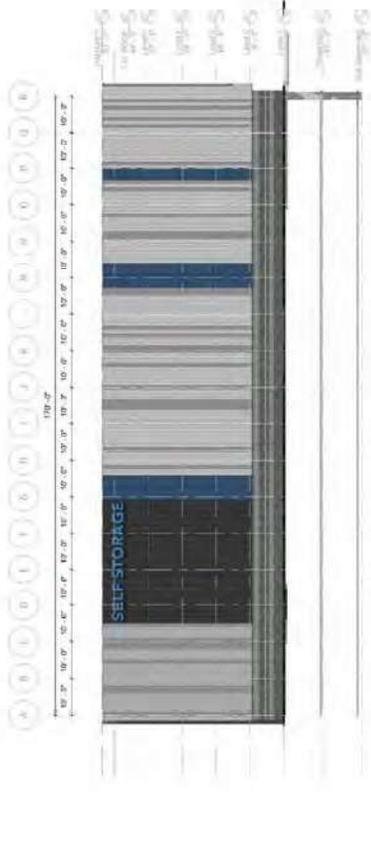
**A2.60**  
 ROOF PLAN



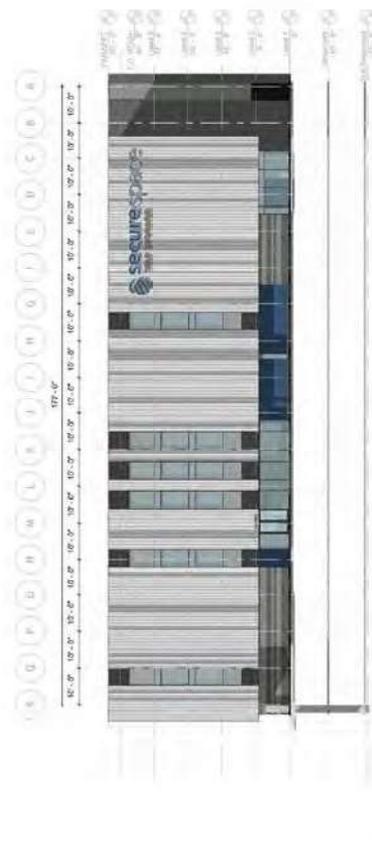
1 NORTH BUILDING ELEVATION  
SCALE: 1/16" = 1'-0"



3 SOUTH BUILDING ELEVATION  
SCALE: 1/16" = 1'-0"



2 WEST BUILDING ELEVATION  
SCALE: 1/16" = 1'-0"



4 EAST BUILDING ELEVATION  
SCALE: 1/16" = 1'-0"

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NEW CONSTRUCTION  
177 CONCORD STREET  
GLENDALE, CA 91203

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SCALE	AS NOTED
EXTERIOR	1/8" = 1'-0"
INTERIOR	1/4" = 1'-0"
MECHANICAL	1/8" = 1'-0"
ELECTRICAL	1/8" = 1'-0"
PLUMBING	1/8" = 1'-0"
PAINT	1/8" = 1'-0"
LANDSCAPE	1/8" = 1'-0"
SOLOE ELEVATIONS	1/8" = 1'-0"

**A3.10**







1 BUILDING RENDERING  
SCALE: NTS

A5.10

RENDERING

SCALE	AS NOTED
DATE	02/20/2021
PROJECT	127 CONCORD STREET
CLIENT	NEW CONSTRUCTION
DESIGNER	GLENDALE SELF-STORAGE
ARCHITECT	ARCHITECTURE
OWNER	INVESTMENT
STATUS	PLANNING PERMITS

NO.	DATE	BY	REVISION
1	02/20/21	JL	ISSUE FOR PERMITS
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SECURE SPACE  
GLENDALE SELF-STORAGE  
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GLENDALE, CA 91203

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1 BUILDING RENDERING  
SCALE: NTS

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RENDERING

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1 BUILDING RENDERING  
SCALE: NTS

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RENDERING

STATUS: PLANNED, SHADTLER

OWNER: SHADTLER

ARCHITECT: SHADTLER

DATE: 02/20/2021

SCALE: AS NOTED

PROJECT: 2020-00001

NO. DATE BY

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SECURE SPACE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

InSite

Magellian  
ARCHITECTURE  
10540 Telford Avenue, Suite 175  
Fountain Valley, California 92708  
Tel: (949) 515-9008  
www.magellianarchitects.com

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1 BUILDING RENDERING  
SCALE: NTS

RENDERING  
**A5.40**

SCALE	AS NOTED
DATE	2022-06-11
BY	ARCHITECT
FOR	CLIENT
PROJECT	NAME
LOCATION	ADDRESS
DATE	BY
REVISION	DESCRIPTION
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SECURE SPACE  
GLENDALE SELF-STORAGE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

**InSite**  
ARCHITECTURE  
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1 BUILDING RENDERING  
SCALE: NTS

A5.50

RENDERING

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CLADDING: CLADDING: CLADDING: CLADDING

ROOF: ROOF: ROOF: ROOF

AS NOTED

DATE: 02/20/2021

PROJECT: 2020-0001

SCALE: 1/8" = 1'-0"

DATE: 02/20/2021

SECURE SPACE  
GLENDALE SELF-STORAGE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

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714 949-5190  
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A5.60

RENDERING

1 BUILDING RENDERING  
SCALE: NTS



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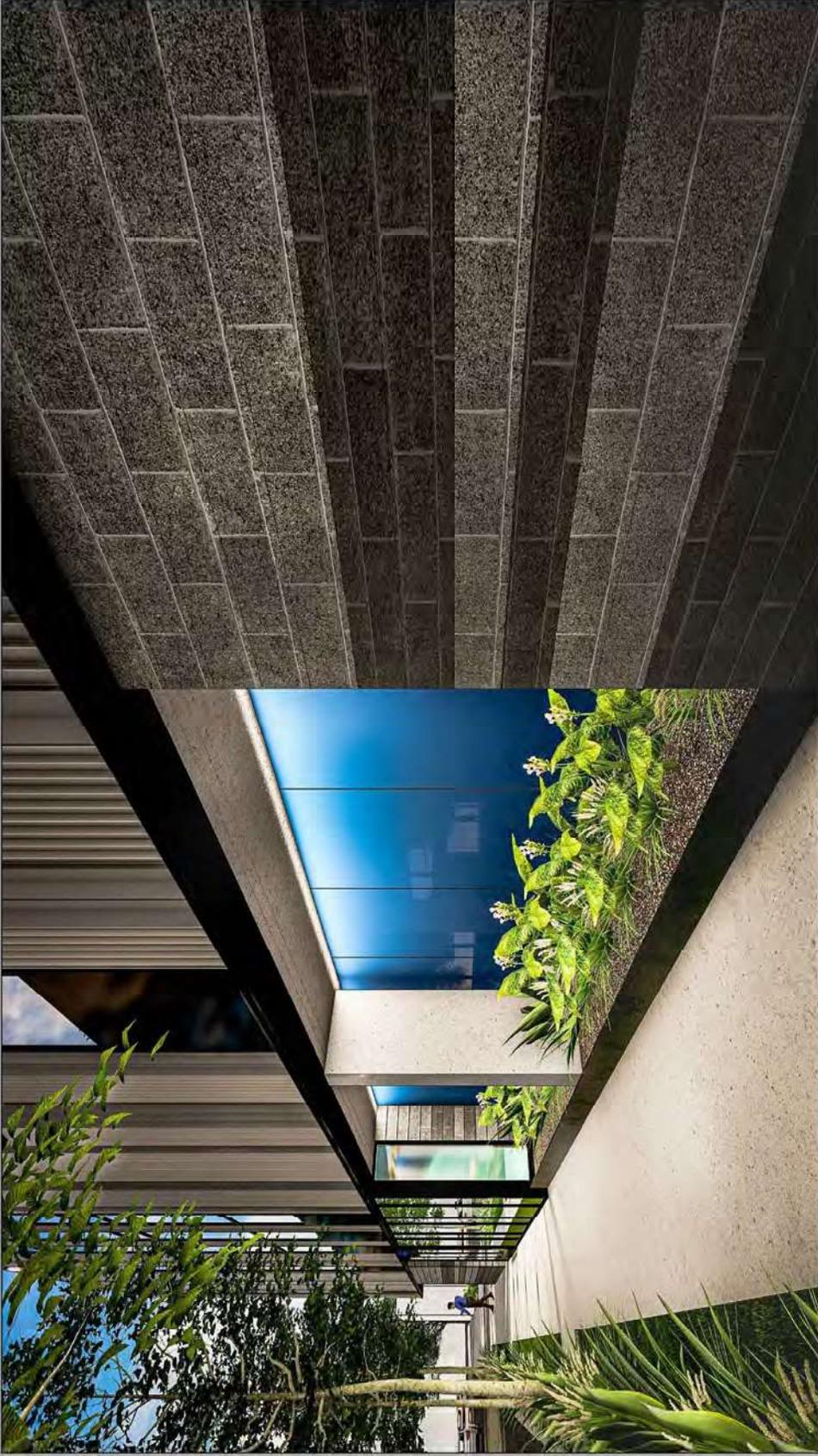
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AUTODESK	2022/11/17
DATE	11/17/22
PROJECT	177-24-0000
CLIENT	SECURE SPACE
DESIGNER	JHBL/MLP
DATE	11/17/22
SCALE	AS NOTED
STATUS	RENDERING

SECURE SPACE  
 GLENDALE SELF-STORAGE  
 NEW CONSTRUCTION  
 127 CONCORD STREET  
 GLENDALE, CA 91203

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1 BUILDING RENDERING  
SCALE: NTS

A5.70  
RENDERING

NO.	DATE	BY	REVISIONS
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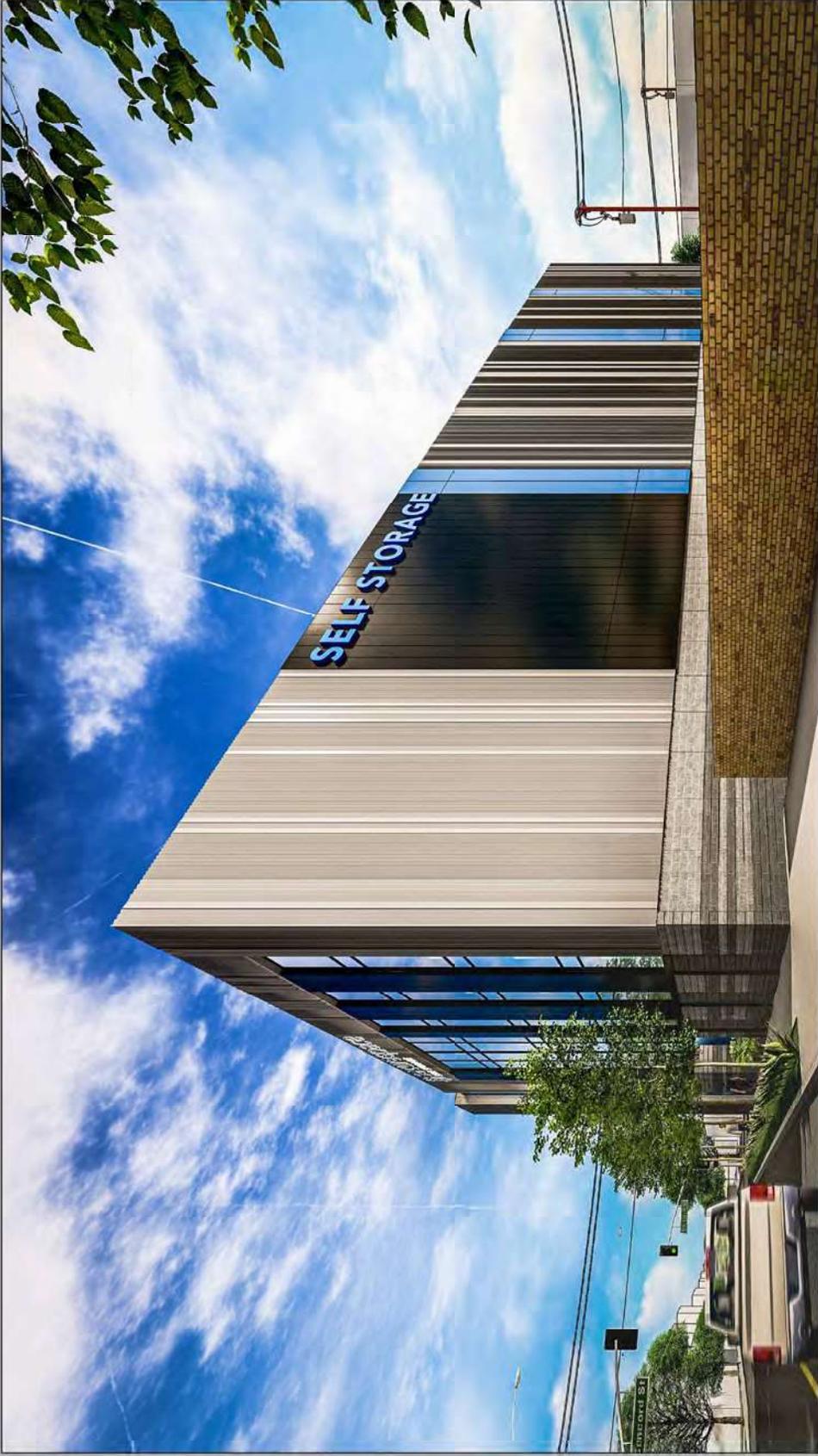
NO.	DATE	BY	REVISIONS
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SECURE SPACE  
GLENDALE SELF-STORAGE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

insite  
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1 BUILDING RENDERING  
SCALE: NTS

A5.80

RENDERING

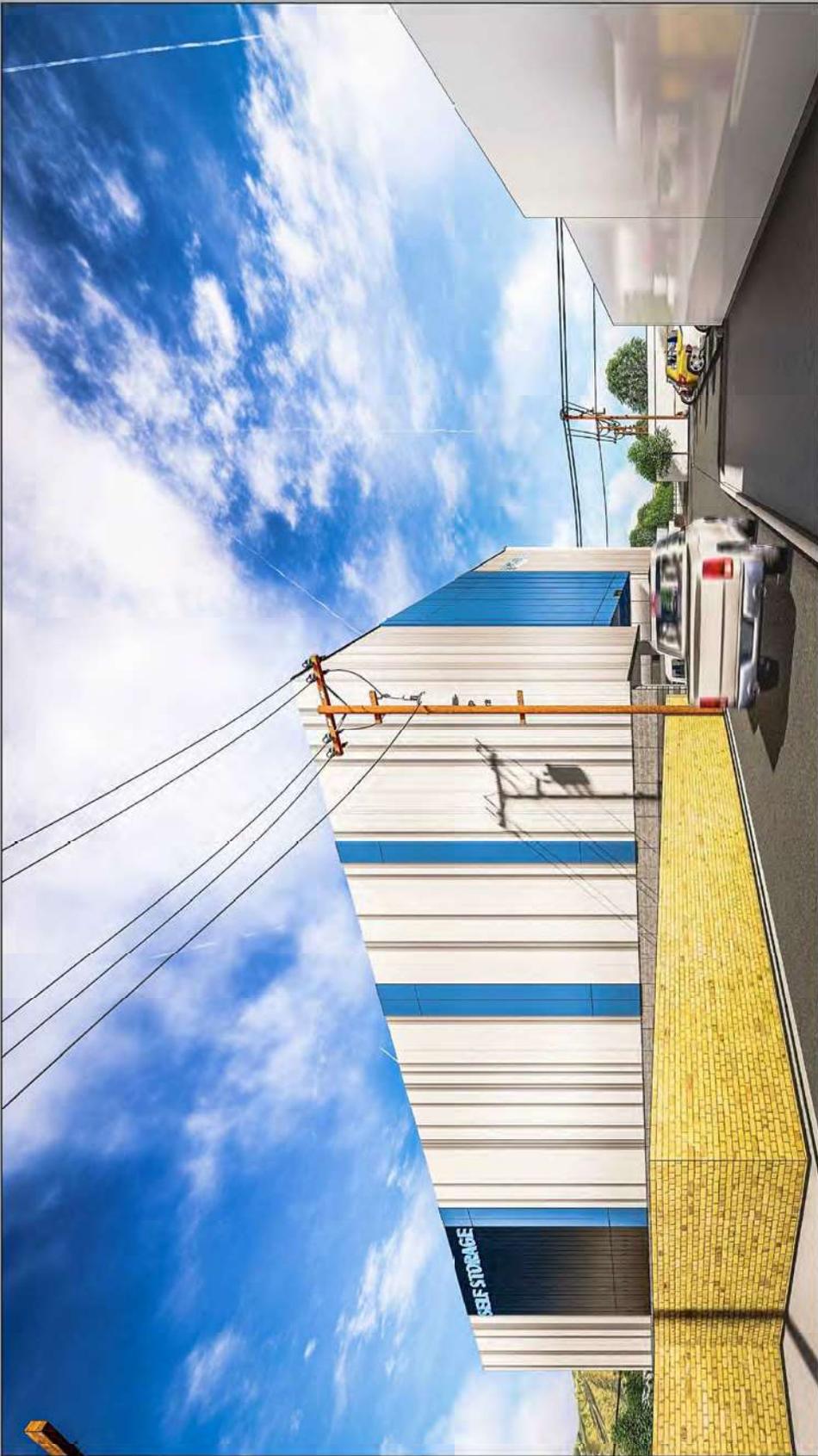
SCALE	AS NOTED
DATE	02/20/2021
PROJECT	127 CONCORD STREET
CLIENT	NEW CONSTRUCTION
LOCATION	GLENDALE, CA 91203
OWNER	INVESTOR
DESIGNER	INSITE ARCHITECTURE

NO.	DATE	BY	REVISIONS
1	02/20/2021	JM	ISSUE FOR PERMIT
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**SECURE SPACE**  
**GLENDALE SELF-STORAGE**  
 NEW CONSTRUCTION  
 127 CONCORD STREET  
 GLENDALE, CA 91203

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1 BUILDING RENDERING  
SCALE: NTS

**A5.90**

RENDERING

STATUS: APPROVED

DATE: 05/15/2023

PROJECT: 2023-001

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

SCALE: 1/8" = 1'-0"

DATE: 05/15/2023

BY: [REDACTED]

PROJECT: 2023-001

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

SCALE: 1/8" = 1'-0"

DATE: 05/15/2023

BY: [REDACTED]

PROJECT: 2023-001

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

SCALE: 1/8" = 1'-0"

DATE: 05/15/2023

BY: [REDACTED]

PROJECT: 2023-001

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

SCALE: 1/8" = 1'-0"

DATE: 05/15/2023

BY: [REDACTED]

PROJECT: 2023-001

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

SCALE: 1/8" = 1'-0"

DATE: 05/15/2023

BY: [REDACTED]

PROJECT: 2023-001

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

SCALE: 1/8" = 1'-0"

DATE: 05/15/2023

BY: [REDACTED]

PROJECT: 2023-001

**SECURE SPACE**  
**GLENDALE SELF-STORAGE**  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

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