

## GENERAL NOTES



## LOCUS MAP



127 CONCORD STREET  
GLENDALE, CA 91203

## SHEET INDEX

[illegible]

## DESIGN CODES

REDUCIBLE SQUARE FOOTAGE	
WALLS & MECHANICAL VENTHOUSES	3,821.90'
TOTAL REDUCIBLE AREA	3,821.90'
TOTAL NET BUILDING AREA	108,325.35'

\*NOTE: FLOOR AREA GROSS: ACCORDING TO ZONING CODE, CALCULATED BY THE SUM OF THE GROSS HORIZONTAL AREAS OF THE TERRACE, FLOORS OF THE BUILDING MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS INCLUDING TERRACE BALCONIES AND PORCHES, TERRAININGS ON PLANE ALSO SHOWN FROM EXTERIOR FACE OF ALL WALLS.

## NOTES

THE PROJECT SHALL CONSIST OF THE CONSTRUCTION OF A NEW 5 STORY + 2 STORES OF BASEMENT SELF-STORAGE FACILITY, TOTALING APPROXIMATELY 112,000 SQUARE FEET OF STORAGE. SITE IMPROVEMENTS CONSIST OF GRADING AND ASSOCIATED IMPROVEMENTS INCLUDING PARKING, LANDSCAPING, UTILITY IMPROVEMENTS AND OTHER ENHANCEMENTS ACROSS TOTAL SITE.

## ABBREVIATIONS

[illegible]

## LEGEND OF SYMBOLS

[illegible]

## SCOPE OF WORK

PROJECT SHALL CONSIST OF THE CONSTRUCTION OF A NEW 5 STORY BUILDING IN BASEMENT SELF-STORAGE FACILITY, TOTALING APPROXIMATELY 100,000 SQUARE FEET OF STORAGE. SITE IMPROVEMENTS CONSIST OF LANDSCAPING, SIGNAGE, AND ASSOCIATED IMPROVEMENTS INCLUDING PARKING, LANDSCAPING, AND BUFFER ENHANCEMENTS AMONGST A TOTAL OF 100,000 SQUARE FEET OF STORAGE.

## NOTES

WILL NOT BE USED BY AN  
IS FOR STORAGE OFFICE  
WILL BE PROVIDED ON ENCL



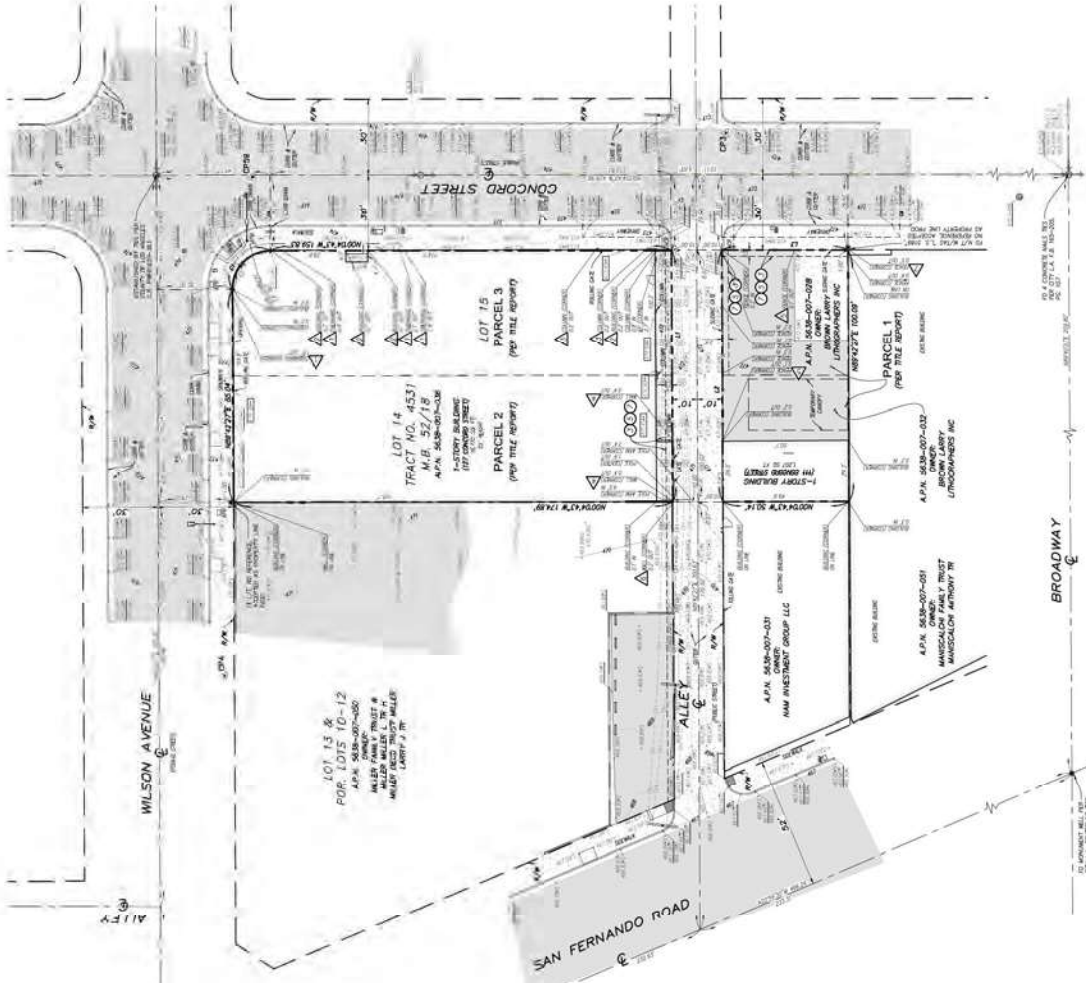
127 CONCORD STREET, GLENDALE, CA 91203

[illegible][illegible]

#### SURVEYOR'S NOTES

### POSSIBLE ENCROACHMENT NOTES

## ITEMS CORRESPONDING TO TABLE A ITEMS

[illegible]

Control Tests		
Control #	Reaction	LD <sub>50</sub> (g)
01	0.001	0.001
02	0.001	0.001

CASE TABLE		
CASE #	CONSTRUCTION	INDUSTRY
1	1000000000	100000
2	1000000000	100000
3	1000000000	100000

**LEGEND**

 BOXES: 1 = 1000' x 1000'

 STAR: 1 = 1000' x 1000'

[illegible]

CONTROL POINTS				
CPI#	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP1	181150.27	147047.31	472.11'	SET WAINCOT NAIL & SHADER
CP4	181632.14	147434.01	473.09'	SET WAINCOT NAIL & SHADER
CP10	181632.14	147434.01	474.36'	SET WAINCOT NAIL & SHADER
CP10CE	181632.27	147078.13	488.94'	FD 3" BLACK DISK

REVISIONS	
NO.	DATE
0	11/24/20

REVISIONS		UTILITY STATEMENT		PREPARED FOR	
NO.	DATE	BY	DESCRIPTION	PROJECT NAME	PROJECT NO.
0	11/24/21	LN	REVISIONS SUBMITTAL	Underground Service Alert Call TOLL FREE 1-800-227-2600 www.undergroundalert.com "Mark the Spot" before you dig to protect underground utilities and prevent damage to your property.	HAILEY-ROCK NO. 400 (SHELF) 400-300 HAILEY 330-346-3000

<b>BASIS OF BEARINGS</b>		<b>BENCHMARK</b>													
<p>1. <b>BASES</b> — The bases of bearings are the various horizontal lines of reference used in surveying. They are:</p> <ul style="list-style-type: none"><li>a. <b>True</b> — The true bearing is the angle measured clockwise from the true meridian to the bearing line.</li><li>b. <b>Magnetic</b> — The magnetic bearing is the angle measured clockwise from the magnetic meridian to the bearing line.</li><li>c. <b>Compass</b> — The compass bearing is the angle measured clockwise from the compass meridian to the bearing line.</li></ul>		<p>2. <b>CONVERSIONS</b> — The following table shows the relationship between the different bases of bearings:</p> <table><tr><th>True Bearing</th><th>Magnetic Bearing</th><th>Compass Bearing</th></tr><tr><td>True Bearing</td><td>True Bearing - Magnetic Declination</td><td>True Bearing - Magnetic Declination - Compass Error</td></tr><tr><td>Magnetic Bearing</td><td>Magnetic Bearing</td><td>Magnetic Bearing - Compass Error</td></tr><tr><td>Compass Bearing</td><td>Compass Bearing + Compass Error</td><td>Compass Bearing</td></tr></table>		True Bearing	Magnetic Bearing	Compass Bearing	True Bearing	True Bearing - Magnetic Declination	True Bearing - Magnetic Declination - Compass Error	Magnetic Bearing	Magnetic Bearing	Magnetic Bearing - Compass Error	Compass Bearing	Compass Bearing + Compass Error	Compass Bearing
True Bearing	Magnetic Bearing	Compass Bearing													
True Bearing	True Bearing - Magnetic Declination	True Bearing - Magnetic Declination - Compass Error													
Magnetic Bearing	Magnetic Bearing	Magnetic Bearing - Compass Error													
Compass Bearing	Compass Bearing + Compass Error	Compass Bearing													
<p>3. <b>EXAMPLES</b> — The following examples illustrate the use of the different bases of bearings:</p> <ul style="list-style-type: none"><li>a. <b>Example 1</b> — A line bears true N 30° E. The magnetic declination is 5° W. Find the magnetic bearing.</li><li>b. <b>Example 2</b> — A line bears magnetic S 45° E. The compass error is 2° N. Find the true bearing.</li></ul>	<p>4. <b>SOLUTIONS</b> — The solutions to the examples are as follows:</p> <ul style="list-style-type: none"><li>a. <b>Solution 1</b> — True Bearing = N 30° E, Magnetic Declination = 5° W. Magnetic Bearing = True Bearing - Magnetic Declination = N 30° E - 5° W = N 25° E.</li><li>b. <b>Solution 2</b> — Magnetic Bearing = S 45° E, Compass Error = 2° N. True Bearing = Magnetic Bearing - Compass Error = S 45° E - 2° N = S 43° E.</li></ul>	<p>5. <b>ADDITIONAL INFORMATION</b> — The following information is provided for your reference:</p> <ul style="list-style-type: none"><li>a. <b>True Meridian</b> — The true meridian is the line of longitude passing through a point on the Earth's surface.</li><li>b. <b>Magnetic Meridian</b> — The magnetic meridian is the line of magnetic flux passing through a point on the Earth's surface.</li><li>c. <b>Compass Meridian</b> — The compass meridian is the line of magnetic flux passing through a point on the Earth's surface, as indicated by a compass.</li></ul>													

**WHITE INFORMATION**  
 NAME: [REDACTED]  
 ADDRESS: [REDACTED]  
 CITY: [REDACTED] STATE: [REDACTED] ZIP: [REDACTED]  
 PHONE: [REDACTED]  
 FAX: [REDACTED]  
 E-MAIL: [REDACTED]  
 DATE: [REDACTED]  
 BY: [REDACTED]

**CAL VADA**

**SURVEYING, INC.**

411 Jirka Ct., Suite 206, Corning, CA 92308  
Phone 833-255-6663  
Fax 951-380-8740  
www.calvada.com

CONTRACT NO. 21605  
EST. 1989

DATE OF RECORD

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COMMISSION EXPIRES

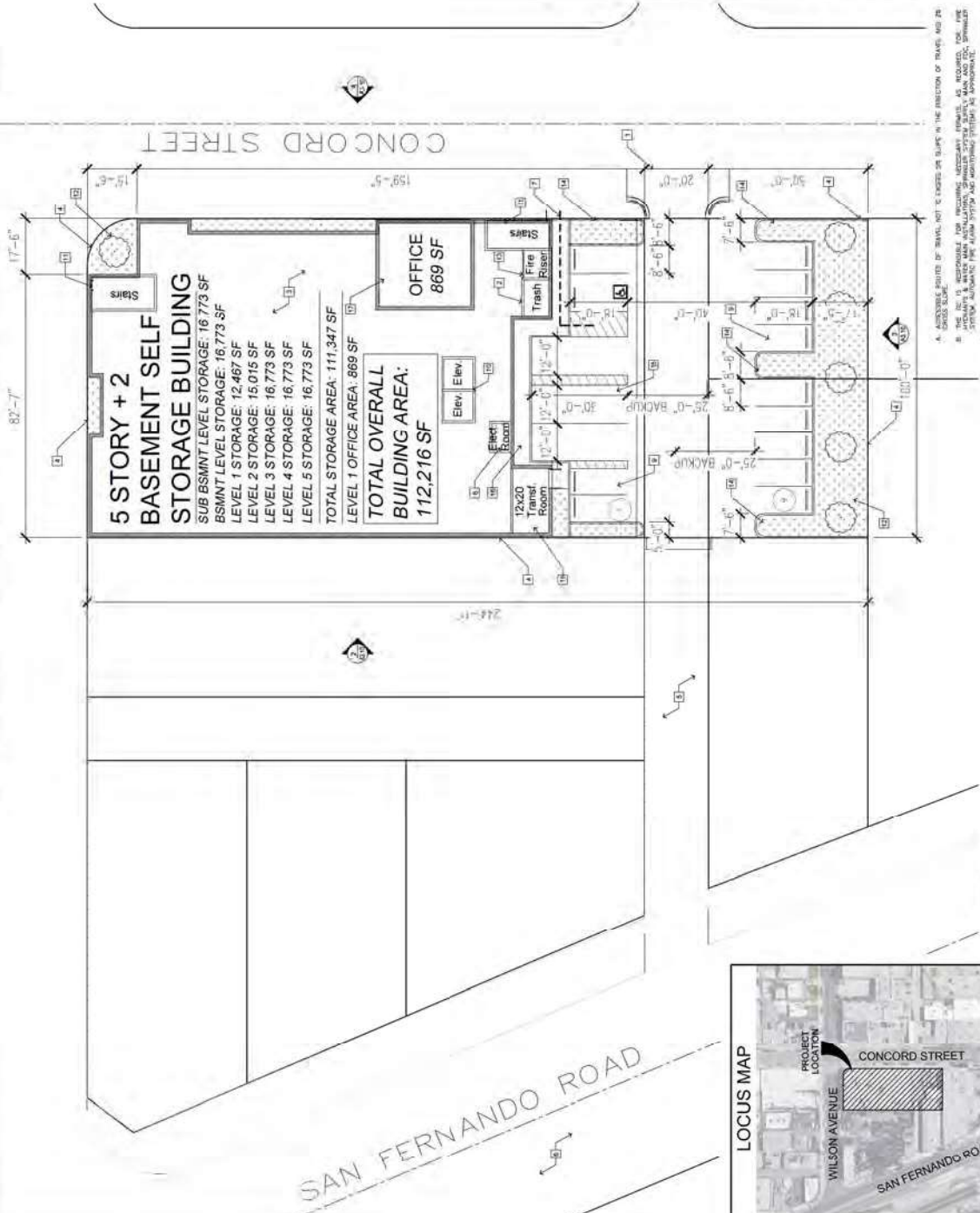
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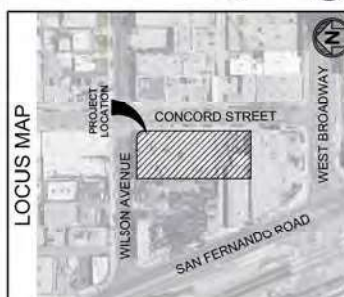


A diagram showing a central square with four triangles attached to its sides. The triangles are oriented such that their vertices point towards the corners of the central square, forming a larger square shape.



- a. acceptable routes of travel not to exceed ten days in the duration of travel and no excess costs.

**SITE PLAN**  
SCALE: 1/16"=1'-0"



## SITE INFORMATION

<b>SITE DATA:</b>	PARCEL NUMBER:	54101-007-028-033-026
	JURISDICTION:	CITY OF CHICAGO
	PROPERTY ZONING:	MU (INDUSTRIAL MIXED USE)
	OCCUPANCY TYPES:	1-4, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
	CONSTRUCTION TYPE:	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
	BUILDING AREA:	10,276 SF
	SITE AREA:	121,345 SF (0.43 AC)
	PROPOSED USE:	SELF-STORAGE FACILITY
	BUILD HEIGHT:	MAX - 15 STORIES - 3 BAY

REQUIRED SETBACKS:

	FROM	TO
FRONT	0'-0"	3'-0"
SIDE	0'-0"	5'-0"
REAR	0'-0"	3'-0"

**PARKING REQUIREMENTS & CALCULATIONS:**

### PARKING REQUIREMENTS & CALCULATIONS:

EXISTING PLANKING	16 SPACES
REQUIRED WALKING (17,000 lbs)	113 SPACES
PROVIDED STANDARD	13 SPACES
PROVIDED LOADING	3 SPACES
TOTAL PLANKING PROVIDED	16 SPACES

AREA CALCULATIONS & CONDITIONS:

31,248 sq. (0.69 AC)	(7)B2	(7)25 WITHOUT AREA
23,348 sq. (0.54 AC)		BEHIND PARKING STRIP
18,884 (0.43 AC)		7.1M 27
		7.1M 26
		3,167 sq.
		MEADOW AREA
		PERKINS AREA
		SOUTH PROPERTY
		NORTH PROPERTY
		EXISTING 150' AREA
		NEW ADDITION 150' AREA
		TOTAL (PROPOSED) WITH AREA
		TOTAL SITE AREA (UNW/ID RETURNING)
		SITE COMPARE

**GROSS BUILDING AREA:**

2. STORE 1	16,773 SF
3. STORE 2	16,773 SF
4. STORE 3	16,773 SF
5. STORE 4	16,773 SF
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123. STORE 122	16,773 SF
124. STORE 123	16,773 SF

TOTAL GROSS STORAGE AREA:	111,341 SF
LEVEL 1 OFFICE AREA:	663 SF
TOTAL OFFICE BUILDING AREA:	112,004 SF
DESIGNABLE SQUARE FOOTAGE:	3,671 SF
TOTAL BUILDABLE AREA:	1,847 SF
TOTAL NET BUILDING AREA:	106,356 SF

## PLAN NOTES

[illegible]

## KEY NOTES

[illegible]

## A1.10

**Magellan ARCHITECTURE**  
15001 Indian Avenue, Suite 775  
Fountain Valley, California 92708  
Tel (949) 215-8000  
www.magellanarch.com  
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 InSite

**SECURE SPACE**  
**GLENDALE SELF-STORAGE**  
NEW CONSTRUCTION  
27 CONCORD STREET  
GLENDALE, CA 91203

DATE	12/15/22	TIME	12:00
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DATE:	10-20-21
BY:	
NO. NUMBER:	10-20-21
PROJECT:	
ISSUE:	
STATUS:	PLANNING SUBMITTAL

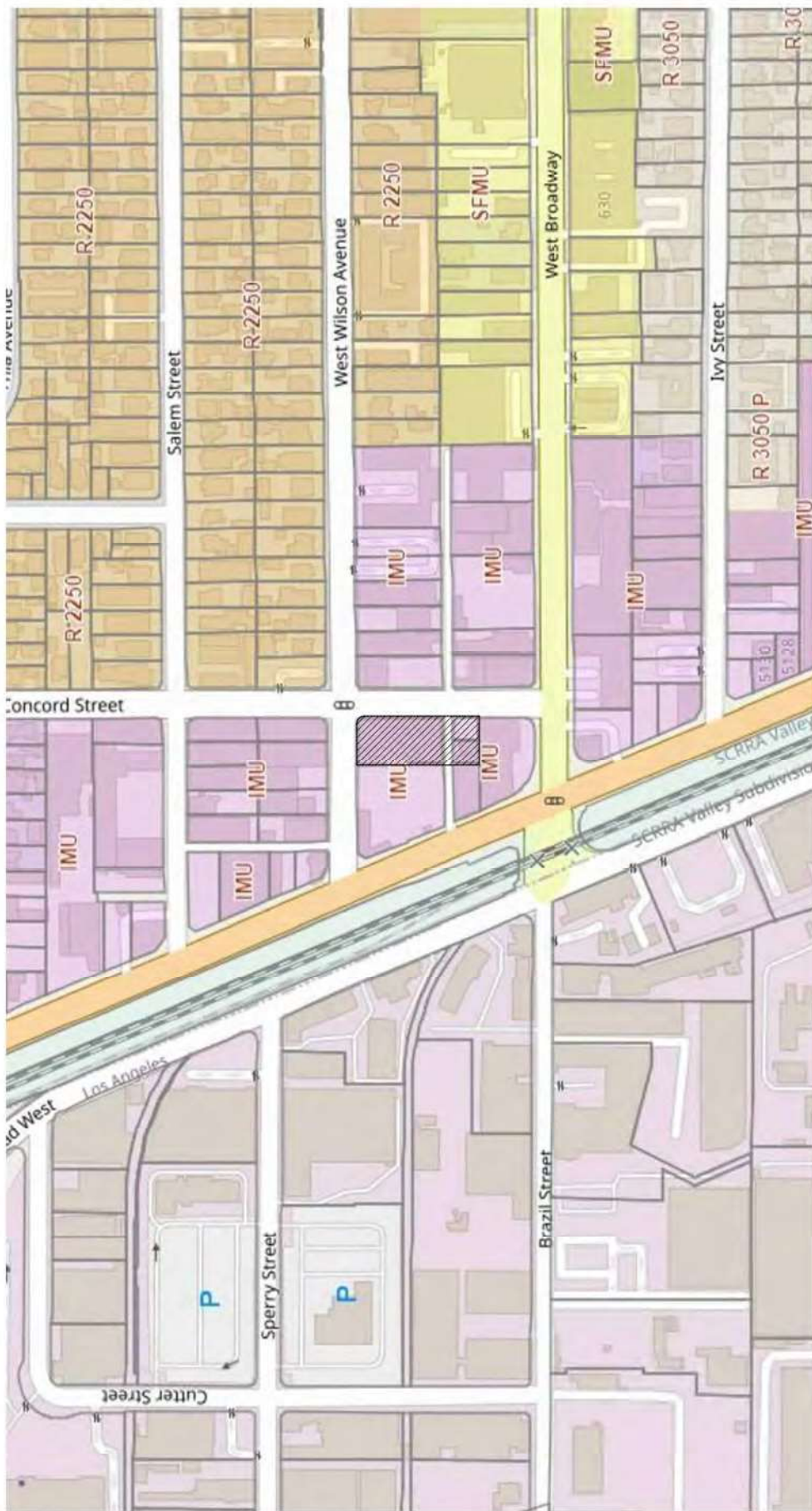
SITE PLAN

# A1.10









CITY OF GLENDALE ZONING MAP AND DESIGNATION

SCALE: 1"=100'-0"

## LOCUS MAP

























- A. TO THE BEST OF YOUR KNOWLEDGE, DO YOU BELIEVE THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT?  
YES ☐ NO ☐
- B. HAVE YOU EVER BEEN CONVICTED OF A CRIME?  
YES ☐ NO ☐
- C. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF FORCE OR VIOLENCE?  
YES ☐ NO ☐
- D. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A FIREARM?  
YES ☐ NO ☐
- E. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A WEAPON?  
YES ☐ NO ☐
- F. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A TOXIC SUBSTANCE?  
YES ☐ NO ☐
- G. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A CONTROLLED SUBSTANCE?  
YES ☐ NO ☐
- H. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A MOTOR VEHICLE?  
YES ☐ NO ☐
- I. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A BUILDING?  
YES ☐ NO ☐
- J. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A VESSEL?  
YES ☐ NO ☐
- K. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A AIRCRAFT?  
YES ☐ NO ☐
- L. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A SPACECRAFT?  
YES ☐ NO ☐
- M. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A ROCKET?  
YES ☐ NO ☐
- N. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A MISSILE?  
YES ☐ NO ☐
- O. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A BOMB?  
YES ☐ NO ☐
- P. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A NUCLEAR WEAPON?  
YES ☐ NO ☐
- Q. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A BIOLOGICAL WEAPON?  
YES ☐ NO ☐
- R. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A CHEMICAL WEAPON?  
YES ☐ NO ☐
- S. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A PSYCHOLOGICAL WEAPON?  
YES ☐ NO ☐
- T. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A SPACE WEAPON?  
YES ☐ NO ☐
- U. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A CYBER WEAPON?  
YES ☐ NO ☐
- V. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A NANOTECHNOLOGY WEAPON?  
YES ☐ NO ☐
- W. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A QUANTUM WEAPON?  
YES ☐ NO ☐
- X. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A SUPERWEAPON?  
YES ☐ NO ☐
- Y. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A ULTIMATE WEAPON?  
YES ☐ NO ☐
- Z. HAVE YOU EVER BEEN CONVICTED OF A CRIME THAT INVOLVES THE USE OF A GOD WEAPON?  
YES ☐ NO ☐

1. ☐ **WILL REFER TO SHEET AS TO WHAT TYPES OF INFORMATION AND CONSIDERATIONS.**  
 2. ☐ **WILL REFLECT ON THE**  
 3. ☐ **RELATION**  
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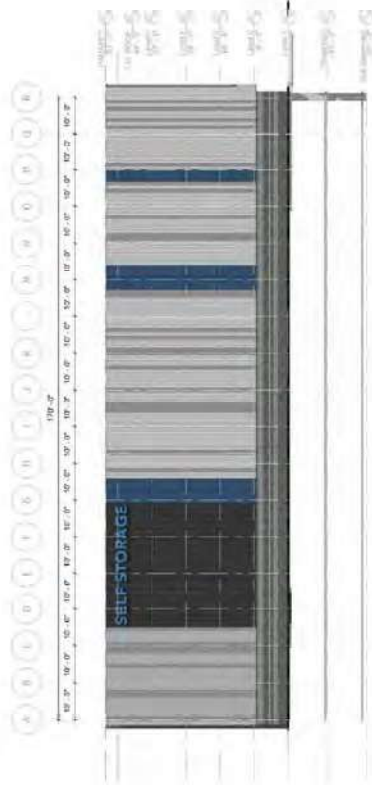
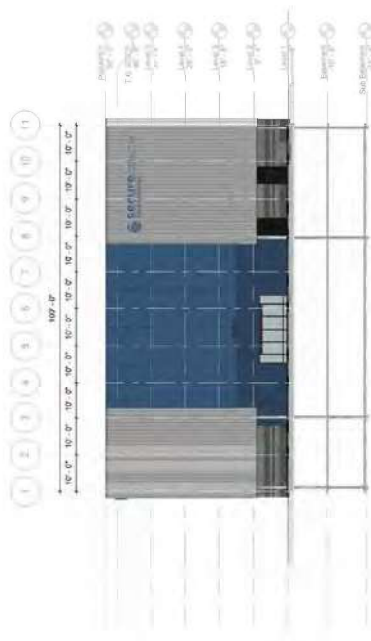












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SCALE	AS NOTED
PLUTIMATE	02/21/2014
CAD FILE	
JOB NUMBER	14-01-004
CHECKED	
DRAWN	
STATUS	PLANNING SUBMITTAL

TOOL ELEVATIONS

A3.10

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InSite

**SECURE SPACE**  
GLENDALF SELF-STORAGE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALF, CA 91203

APPROVAL:	
BY DATE	BY
1 MAY 02	WILL A. JAR
PLEASE DATE:	
BY APPROVAL:	
BY DATE	
ED DATE	
CONTRACT NO.	

















1 BUILDING RENDERING  
SCALE: NTS

A5.20

RENDERING

STATUS: PLANNED, TENTATIVE

DATE: 10/17/2022

SCALE: AS NOTED

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

DATE: 10/17/2022

PROJECT: 2022-0001-1

OWNER: GLENDALE

ARCHITECT: J. J. J. ARCHITECTS

SECURE SPACE  
GLENDALE SELF-STORAGE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

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1 BUILDING RENDERING

SCALE: NTS

A5.30

REVISIONS

DATE: 10/10/2023

BY: [Signature]

FOR: [Signature]

PROJECT: 127 CONCORD STREET

LOCATION: GLENDALE, CA 91203

CLIENT: SECURE SPACE

ARCHITECT: MAGELLAN ARCHITECTURE

10540 TOWNSEND AVENUE, SUITE 175

IRVINE, CA 92618

PHONE: (949) 555-9900

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1 BUILDING RENDERING  
SCALE: NTS

A5.40

RENDERING

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PROJECT: "PENDING" "PENDING"

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SECURE SPACE  
GLENDALE SELF-STORAGE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

InSite

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# BUILDING RENDERING

## RENDERING

STATUS	PLANNED - SUBMITTAL
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CO NUMBER: 2021-004

SCALE	A.S. NOTED
PLT DATE	2023-06-18

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TIME	10:30

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**SECURE 3**  
**GLENDAL**  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDAL, CA 91203

**SECURE SPACE**  
**GLENDALE SELF-STORAGE**

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**SECURE SPACE**  
**GLENDALE SELF-STORAGE**  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

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1 BUILDING RENDERING  
SCALE: NTS





1 BUILDING RENDERING

SCALE: NTS

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RENDERING

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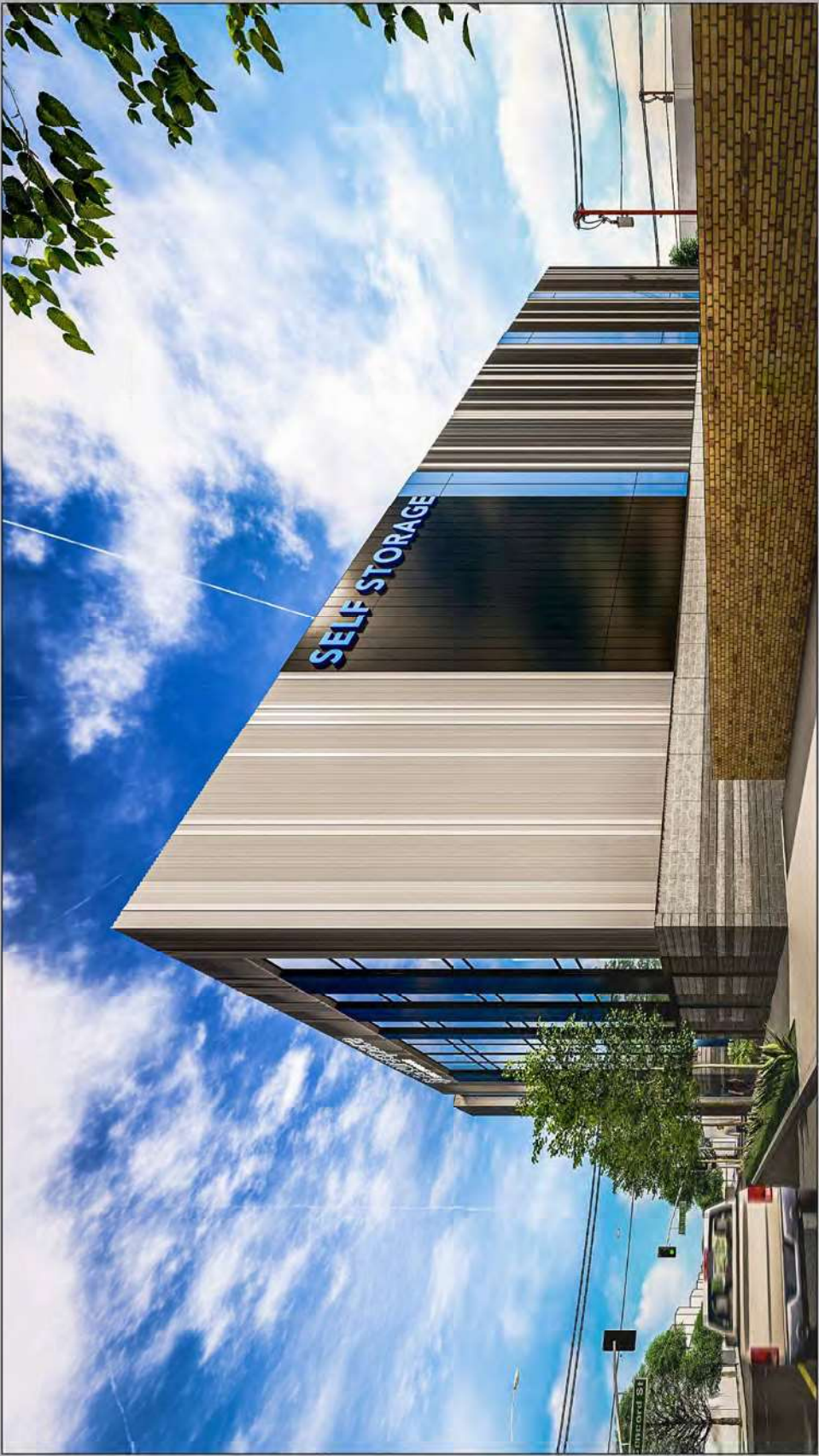
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GLENDALE SELF-STORAGE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

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1 BUILDING RENDERING

SCALE: NTS

RENDERING

A5.80

STATUS: APPROVED - PENDING

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

DATE: 01/15/2021

BY: J. [Name]

FOR: [Client Name]

PROJECT: [Project Name]

SCALE: AS NOTED

PLATTING: 01/15/2021

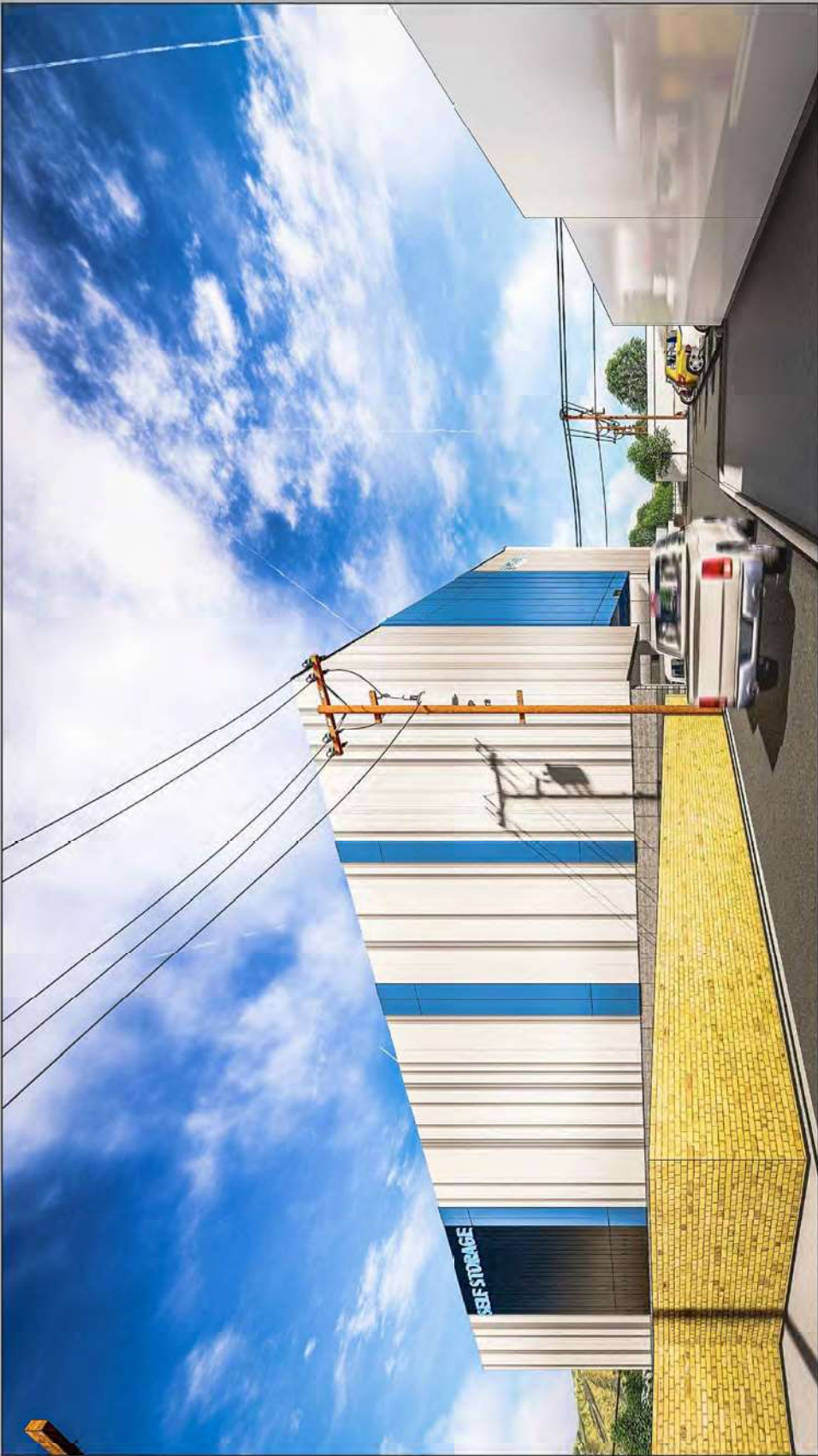
SECURE SPACE  
GLENDALE SELF-STORAGE  
NEW CONSTRUCTION  
127 CONCORD STREET  
GLENDALE, CA 91203

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SCALE: NTS

RENDERING

A5.90

STATUS: APPROVED

DATE: 10/17/22

BY: [Signature]

FOR: [Signature]

SCALE: AS NOTED

DATE: 10/17/22

BY: [Signature]

FOR: [Signature]

SCALE: AS NOTED

DATE: 10/17/22

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