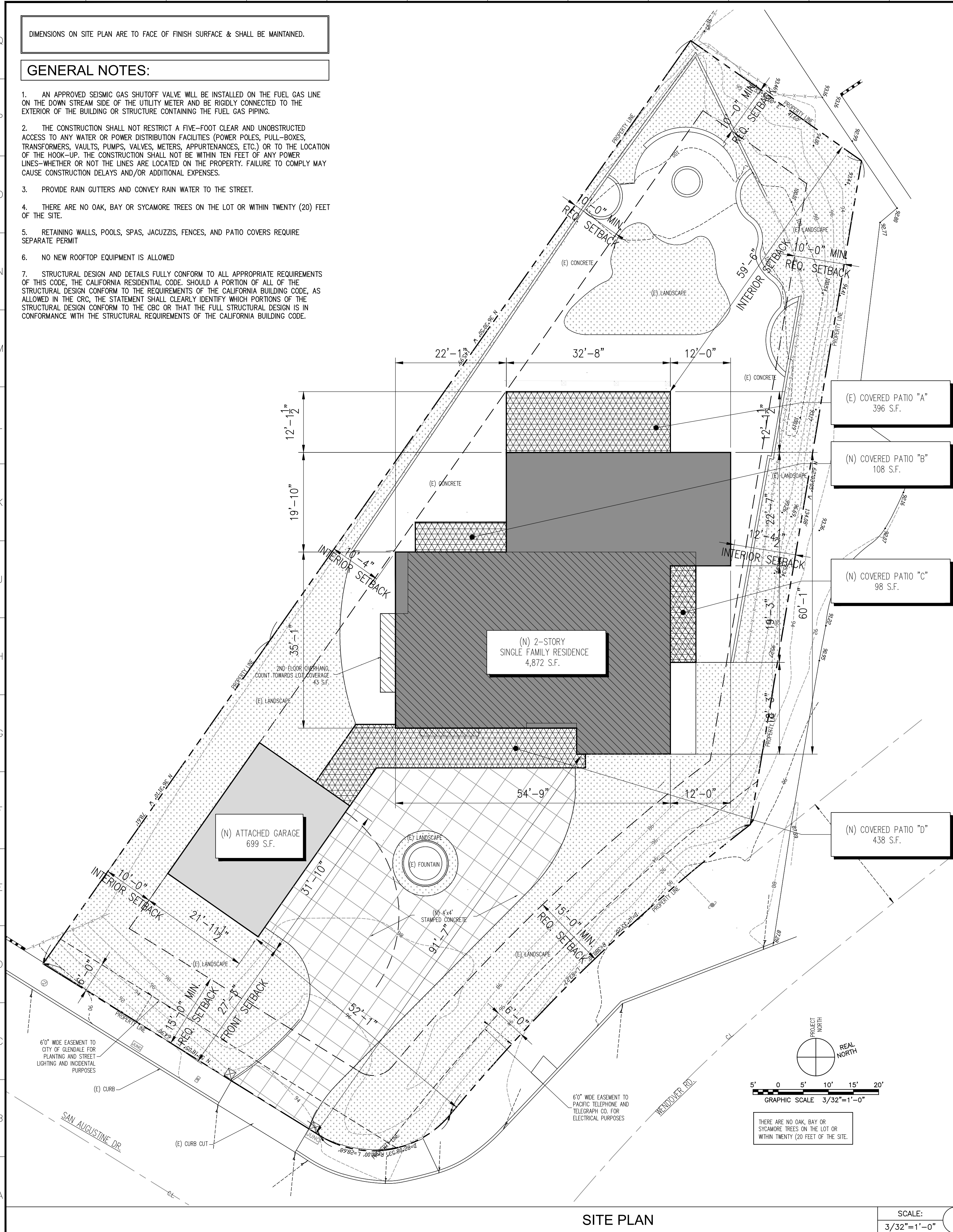


DIMENSIONS ON SITE PLAN ARE TO FACE OF FINISH SURFACE & SHALL BE MAINTAINED.

GENERAL NOTES:

1. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
2. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
3. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.
4. THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY (20) FEET OF THE SITE.
5. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, AND PATIO COVERS REQUIRE SEPARATE PERMIT
6. NO NEW ROOFTOP EQUIPMENT IS ALLOWED
7. STRUCTURAL DESIGN AND DETAILS FULLY CONFORM TO ALL APPROPRIATE REQUIREMENTS OF THIS CODE, THE CALIFORNIA RESIDENTIAL CODE. SHOULD A PORTION OF ALL OF THE STRUCTURAL DESIGN CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, AS ALLOWED IN THE CRC, THE STATEMENT SHALL CLEARLY IDENTIFY WHICH PORTIONS OF THE STRUCTURAL DESIGN CONFORM TO THE CBC OR THAT THE FULL STRUCTURAL DESIGN IS IN CONFORMANCE WITH THE STRUCTURAL REQUIREMENTS OF THE CALIFORNIA BUILDING CODE.



SITE PLAN

SCALE: 3/32"=1'-0" 1

ZONING INFO:

ZONE:	R1R-FAR DISTRICT III
LOT AREA:	17,438 S.F. (NO CHANGE)
LOT COVERAGE:	40% X 17,438 = 6,975.2 S.F. MAX (N) S.F.R. = 2,936 S.F. (N) 2ND FLOOR OVERHANG = 43 S.F. (E) COVERED PATIO "A" = 396 S.F. (N) COVERED PATIO "B" = 108 S.F. (N) COVERED PATIO "C" = 98 S.F. (N) COVERED PATIO "D" = 438 S.F. (N) ATTACHED GARAGE = 799 S.F. TOTAL = 4,818 / 17,438 = 27.6 %
FAR: (DISTRICT III: 0.45 FOR THE 1ST 10,000 SQ. FT. OF LOT AREA AND 0.10 FOR THE PORTION OF LOT AREA THEREAFTER)	(45% X 10,000 = 4,500 S.F.) + (10% X 7,438 = 743.8 S.F.) = 5,243.8 S.F. MAX FAR (N) S.F.R. = 4,872 S.F. TOTAL = 4,872 / 17,438 = 27.9 %
LANDSCAPE RATIO:	40% X 17,438 = 6,975.2 S.F. MIN 8,209 S.F. / 17,438 S.F. = 47%

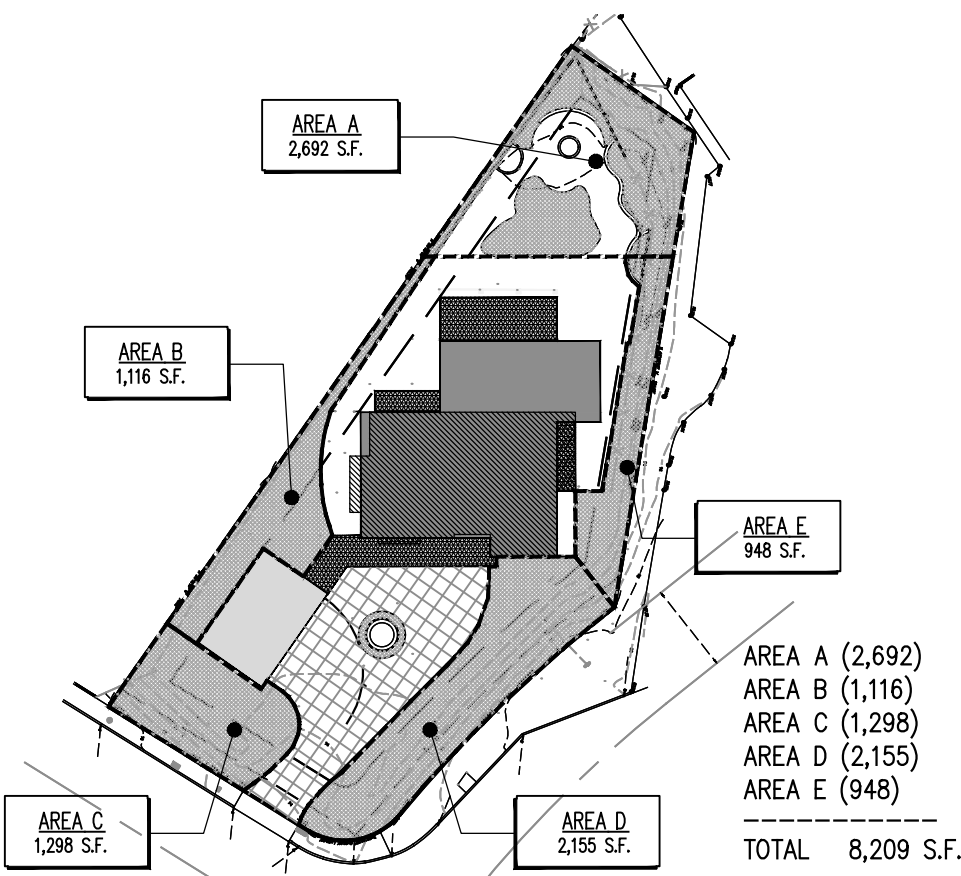
BUILDING INFO:

CONST. TYPE:	V-B
FIRE PROTECTION:	YES (UNDER SEPARATE PERMIT)
HIGH FIRE HAZARD AREA:	YES
OCCUPANCY:	R-3
NUMBER OF STORIES:	2
EXISTING BEDROOMS:	4
NEW BEDROOMS:	5
EXISTING BATHROOMS:	2
NEW BATHROOMS:	5
MAXIMUM HEIGHT: (35'-0" MAX. WITH MIN. 1/2 ROOF PITCH)	28'-2"
(E) FLOOR AREA:	2,123 S.F.
(N) FLOOR AREA:	4,872 S.F.
(E) ATTACHED GARAGE TO BE DEMO'D:	437 S.F.
(N) ATTACHED GARAGE:	699 S.F.
(E) COVERED PATIO "A":	396 S.F.
(N) COVERED PATIO "B":	108 S.F.
(N) COVERED PATIO "C":	98 S.F.
(N) COVERED PATIO "D":	438 S.F.
PARKING:	
REQUIRED & PROVIDED:	3-CAR GARAGE

LEGEND:

(N)	NEW CONSTRUCTION
(E)	EXISTING CONSTRUCTION
→	(E) 2 % SLOPE
[Hatched Box]	(N) GROUND FLOOR
[Hatched Box]	(N) SECOND FLOOR
[Cross-hatched Box]	COVERED PATIO
[Hatched Box]	(N) ATTACHED 3 CAR GARAGE
[Dotted Box]	(E) LANDSCAPING
[Cross-hatched Box]	4'X4' STAMPED CONCRETE
[Dashed Line]	(E) BLOCK WALLS (NO CHANGE)

LANDSCAPE CALCULATION



(N) S.F.R. RESIDENCE

3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

SCOPE OF WORK:

1. DEMOLISH EXISTING 2,123 S.F. SINGLE FAMILY RESIDENCE AND 437 S.F. ATTACHED GARAGE.
2. NEW 2-STORY 4,872 S.F. SINGLE FAMILY RESIDENCE WITH ATTACHED 699 S.F. GARAGE.

APPLICABLE CODES:

THE PROJECT SHALL COMPLY WITH THE:

1. 2019 CALIFORNIA RESIDENTIAL CODE (TITLE 24, PART 2.5).
2. 2019 CALIFORNIA ELECTRICAL CODE (TITLE 24, PART 3).
3. 2019 CALIFORNIA MECHANICAL CODE (TITLE 24, PART 4).
4. 2019 CALIFORNIA PLUMBING CODE (TITLE 24, PART 5).
5. 2019 CALIFORNIA ENERGY CODE (TITLE 24, PART 6).
6. 2019 CALIFORNIA FIRE CODE (TITLE 24, PART 9).
7. 2019 CALIFORNIA GREEN BUILDING CODE (TITLE 24, PART 11).
8. 2020 GLENDALE BUILDING & SAFETY CODE

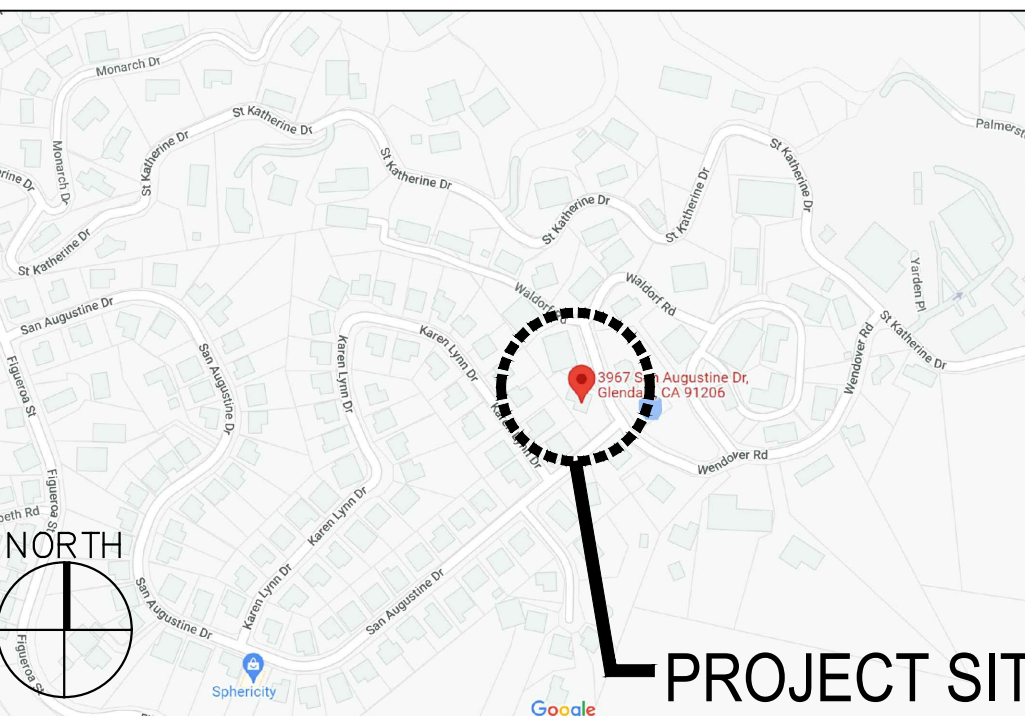
LEGAL DESCRIPTION:

LOT(S) & ARB(S)	BLOCK	TRACT(S)
LOT # 105	-	NO. 28337
APN #	5660-027-026	

SHEET INDEX:

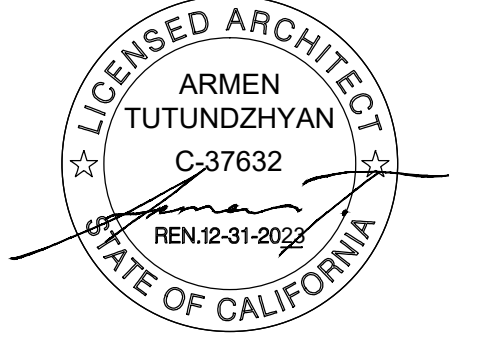
SHEET NO.	SHEET TITLE	ISSUE (SEE BOTTOM OF SHEET)			
GENERAL		A	B	C	D
G-100	COVER SHEET, PROJECT INFO, PROPOSED SITE PLAN	X			
G-101	NEIGHBORHOOD PLAN	X			
G-102	EXISTING SITE PLAN	X			
-	SURVEY	X			
G-400	ROOF PLAN-TEMP FRAMING	X			
G-401	ELEVATIONS-TEMP FRAMING	X			
G-402	ELEVATIONS-TEMP FRAMING	X			
LANDSCAPE		A	B	C	D
L-1	PLANTING PLAN	X			
L-2	IRRIGATION PLAN	X			
L-3	DETAIL SHEET	X			
ARCHITECTURAL		A	B	C	D
A-110	DEMO FLOOR PLAN/DEMO ROOF PLAN	X			
A-111	PROPOSED FIRST FLOOR PLAN	X			
A-112	PROPOSED SECOND FLOOR PLAN	X			
A-131	PROPOSED ROOF PLAN	X			
A-201	ELEVATIONS	X			
A-202	ELEVATIONS	X			
A-301	SECTION	X			
A-501	DETAILS	X			
A-601	WINDOW & DOOR SCHEDULE	X			
A-701	PERSPECTIVE VIEWS	X			

VICINITY MAP:



ARMENARC

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PROPERTY OWNER:
AVETIS TASHYAN
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GLENDALE, CA 91206
T: (818) 842-7343

PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

NO. ISSUED FOR:

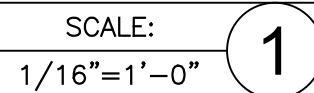
REV BY:

JOB NO.: 21023
DRAWN BY: A.T.
CHECKED BY: A.T.
DATE: 10-12-22

SHEET DESCRIPTION:
SITE PLAN
COVER SHEET

SHEET NUMBER:

G-100



1ST FLOOR WINDOW LOCATIONS

2ND FLOOR WINDOW LOCATIONS

ARMEN
TUTUNDZHANYAN
C-37632
REN.12-31-2023

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SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

<i>NO.</i>	<i>ISSUED FOR:</i>	
△		
△		
△		
REV	BY:	
JOB NO.: DRAWN BY: CHECKED BY: DATE:	21023 A.T. A.T. 10-12-22	

SHEET DESCRIPTION:
NEIGHBORHOOD PLAN

SHEET NUMBER

G-101



G-102

CALIFORNIA SURVEYING SERVICE

LOT 105 OF TRACT NO. 28337, M.B. 725, PGS. 51-56

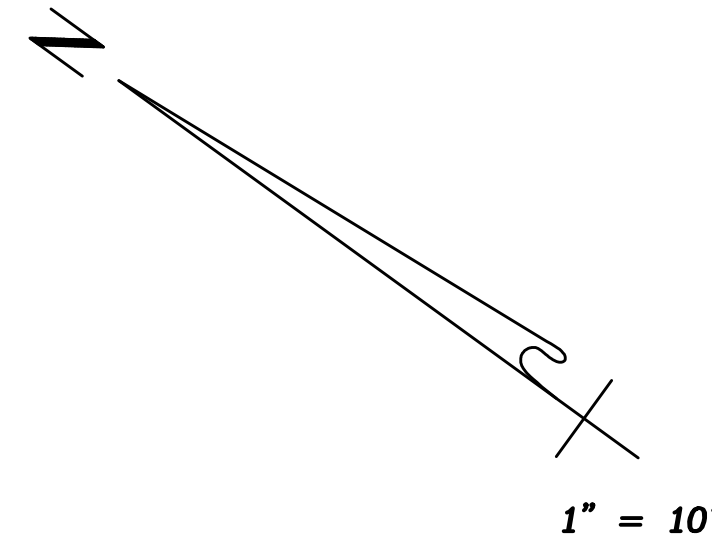
R.J. Smith - L.S. 5189
Phone: (818) 957-3345
Email: randall2741@att.net
Date: January 16, 2022
Job No. 2801



AVERAGE SLOPE

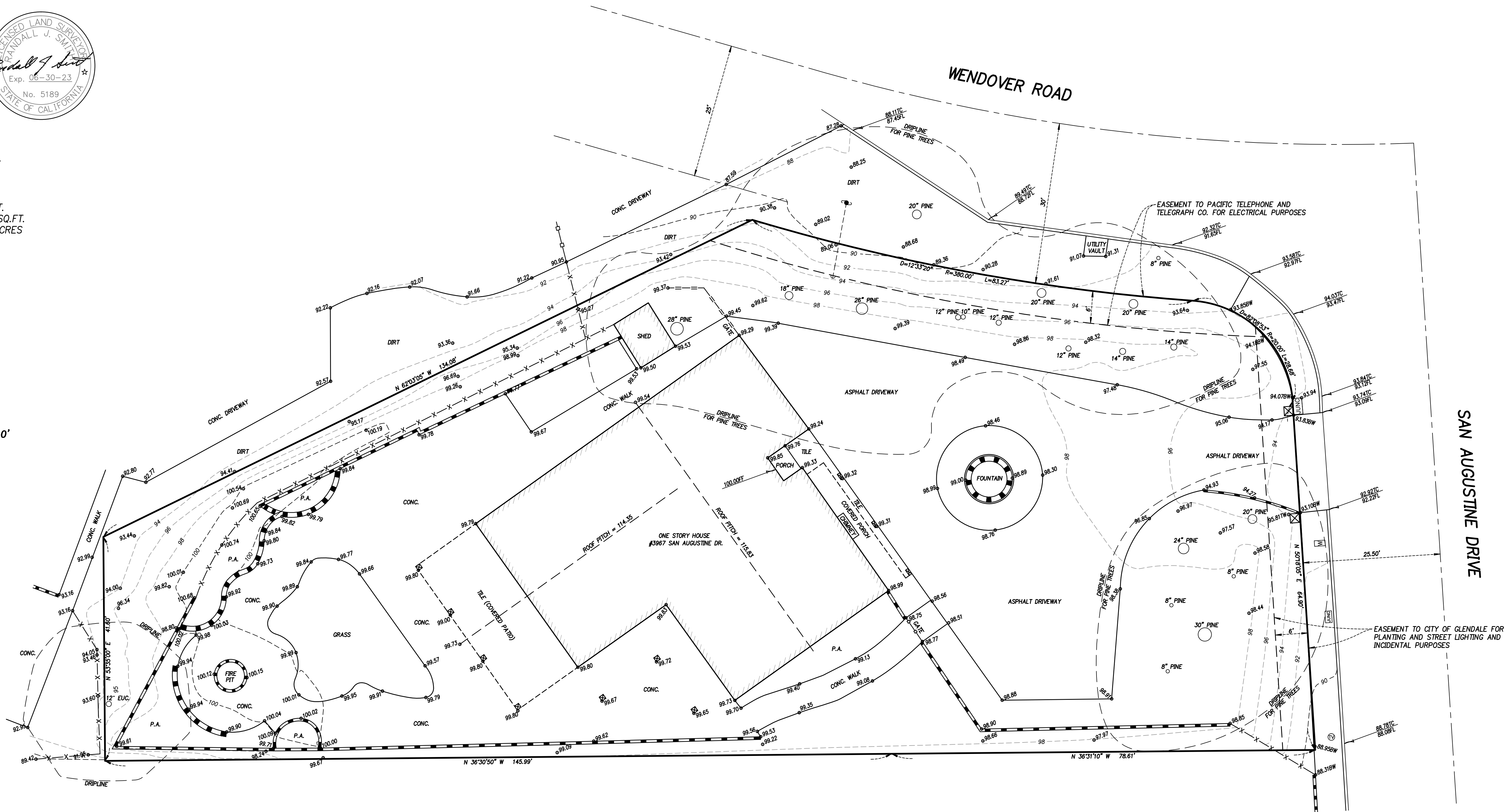
$$S = \frac{.002296 \times 2 \times 1726}{.400 \text{ AC.}} = 19.8\%$$

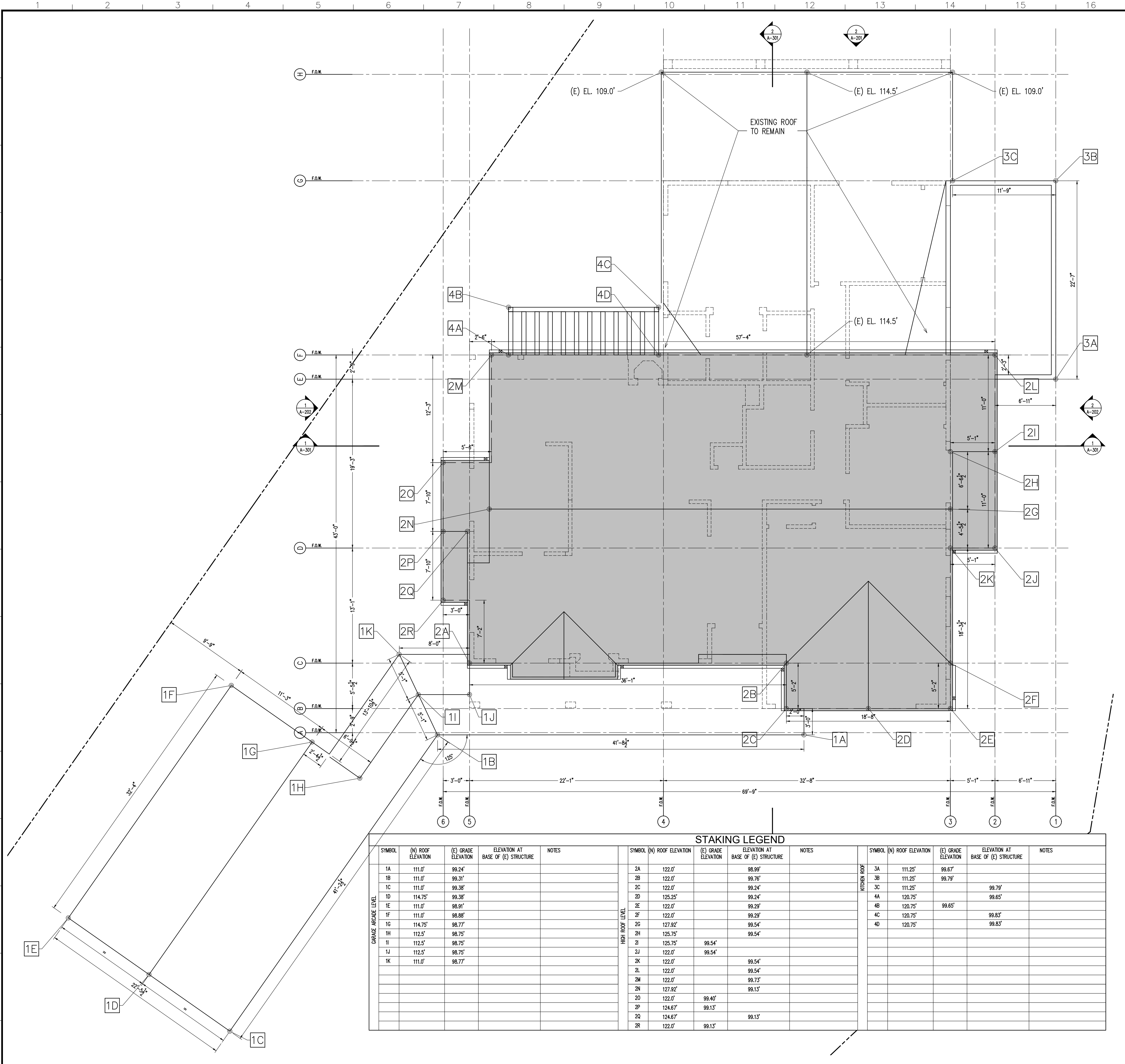
TOTAL CONTOUR LENGTH = 1,746 FT.
BOUNDARY AREA = 17,438 SQ.FT.
= 0.400 ACRES



LEGEND:

- | | |
|-------|----------------|
| BW | BACK OF WALK |
| CONC. | CONCRETE |
| E | EAST |
| FF | FINISHED FLOOR |
| FL | FLOWLINE |
| N | NORTH |
| P.A. | PLANTER AREA |
| S | SOUTH |
| TC | TOP OF CURB |
| TW | TOP OF WALL |
| W | WEST |
-
- | | |
|--|-------------------|
| | BUILDING LINE |
| | CABLE TV BOX |
| | CENTERLINE |
| | ELECTRIC METER |
| | FENCE, CHAIN-LINK |
| | FENCE, WOOD |
| | FENCE, VINYL |
| | GAS METER |
| | GUY WIRE |
| | JUNCTION BOX |
| | POWER POLE |
| | PROPERTY LINE |
| | SPOT ELEVATIONS |
| | WALL |
| | WATER METER |

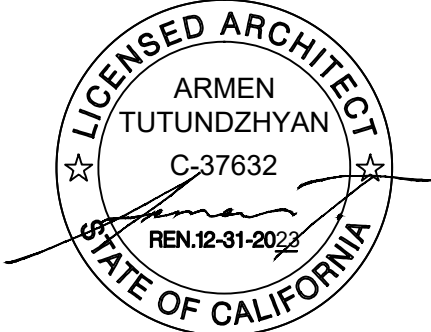




LEGEND:

----- EXISTING WALLS TO BE DEMO'D
FOR REFERENCE

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ARMEN@ARMENARC.COM



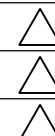
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PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
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GLENDALE, CA 91206

NO. ISSUED FOR:



REV BY:

JOB NO.: 21023
DRAWN BY: A.T.
CHECKED BY: A.T.
DATE: 10-12-22

SHEET DESCRIPTION:
ROOF PLAN
TEMPORARY FRAMING

SHEET NUMBER:

G-400

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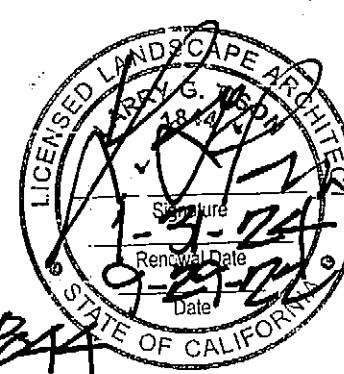
L-1

- LW = LOW WATER USE/EAS / P.F. = .75
- LANDSCAPE AREA = 4,896 SQ. FT.
- INSTALL FIVE PERMANENT JUTE NETS ON ALL SLOPE AREAS TO BE PLANTED

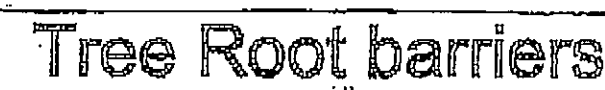
A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS; EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONSIDERED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATES OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" TYP. SOIL.

MWEO COMPLIANCE STATEMENT
 I HAVE COMPLIED WITH THE CRITERIA OF THE
 CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE
 ORDINANCE AND APPLIED THEM FOR THE EFFICIENT
 USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
818-241-9169

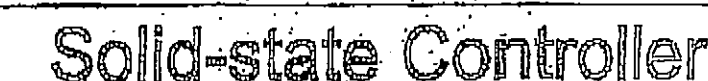
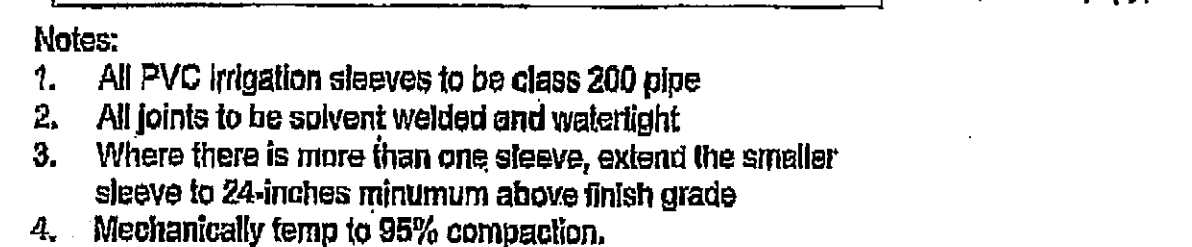
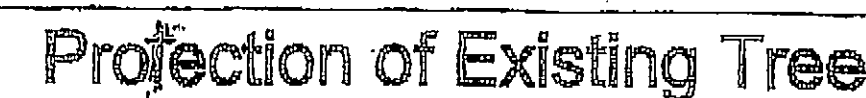
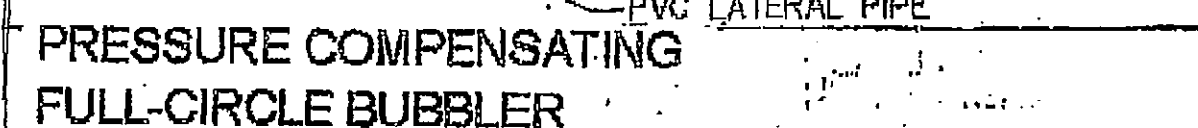


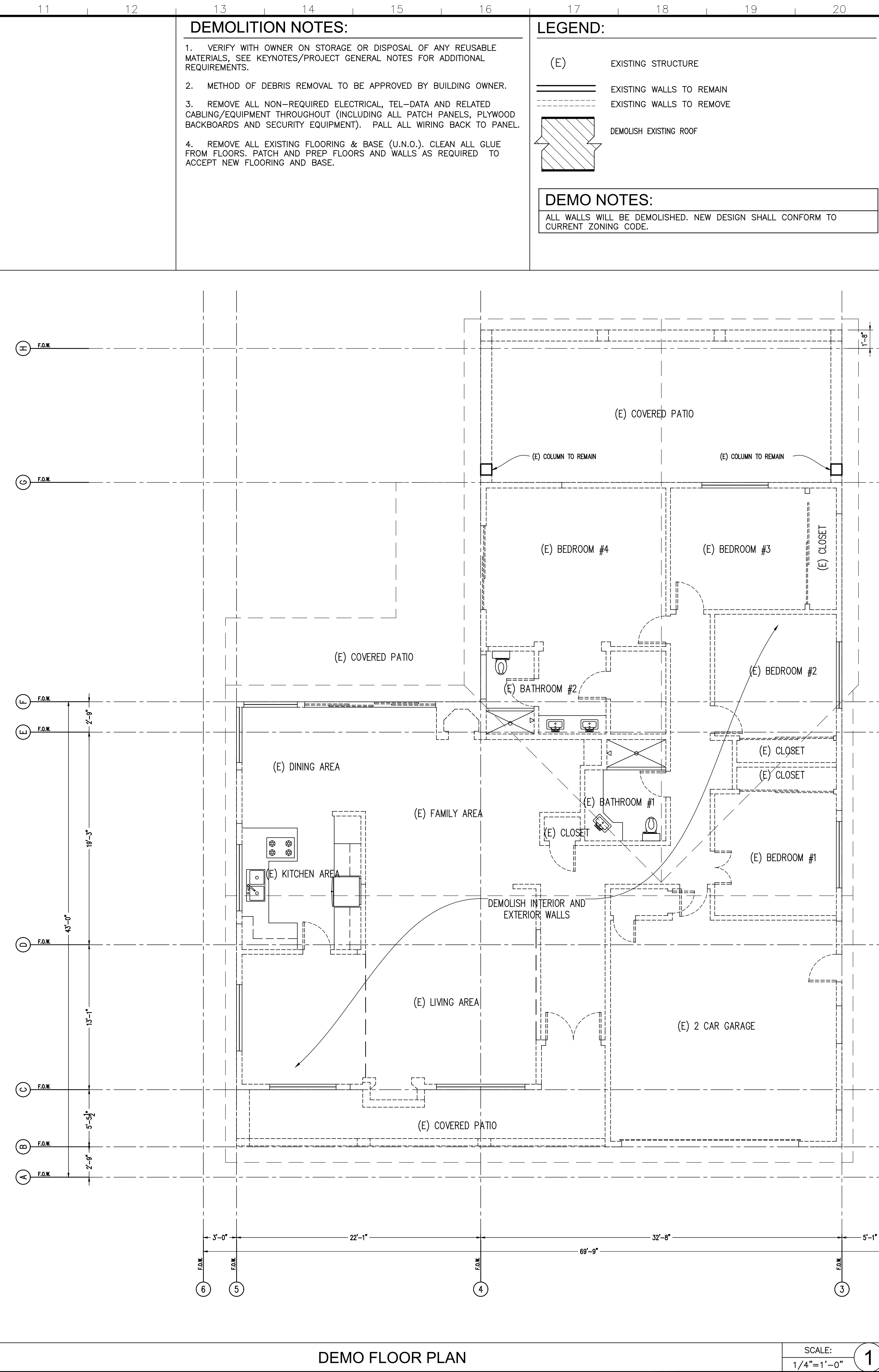
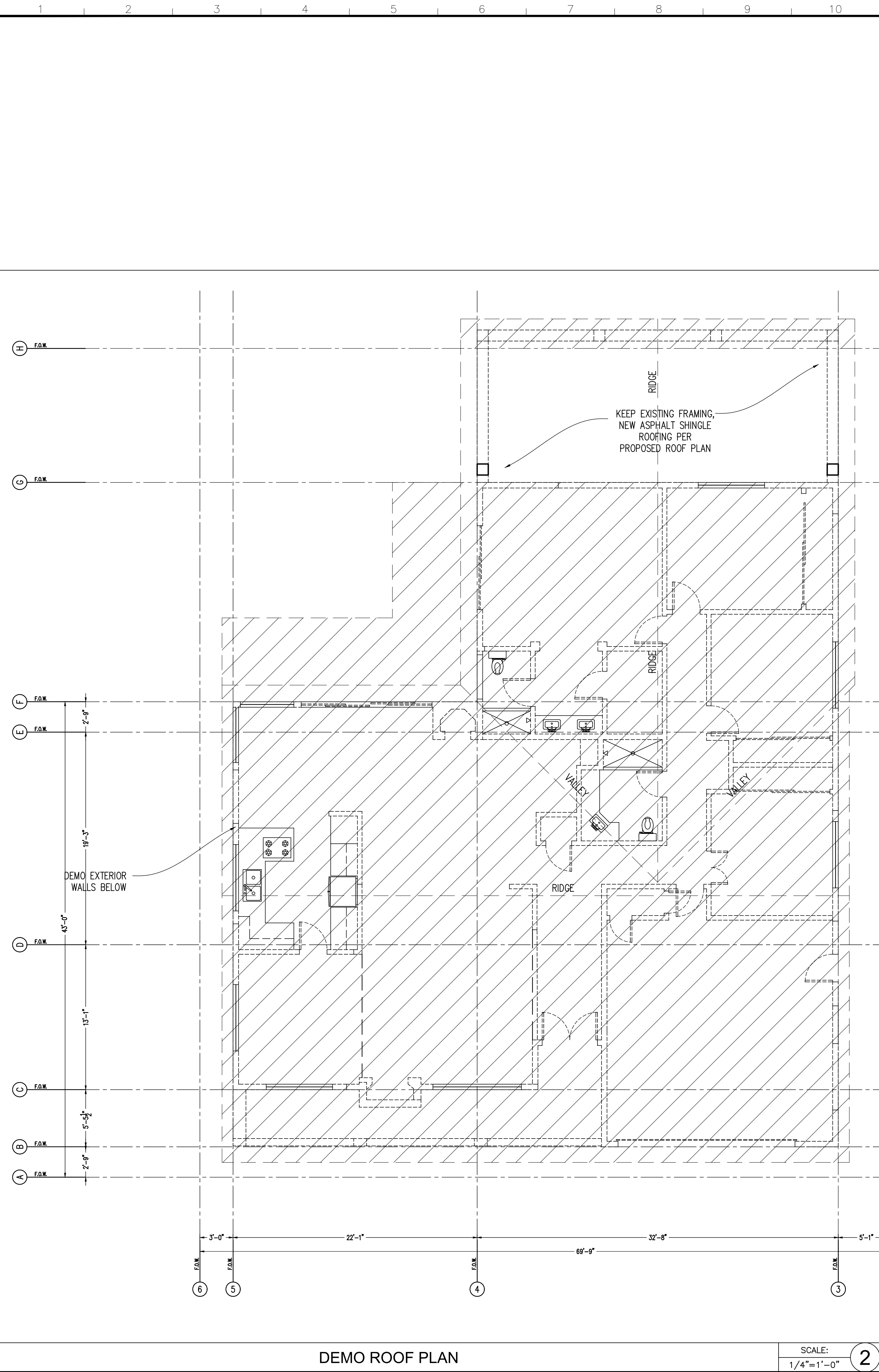
- ## Landscape Notes

Soil characteristics

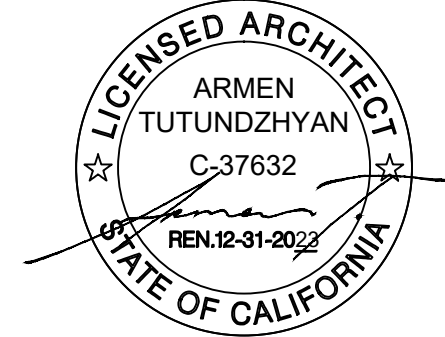


- Irrigation notes





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PROPERTY OWNER:
AVETIS TASHYAN
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PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

NO. ISSUED FOR:



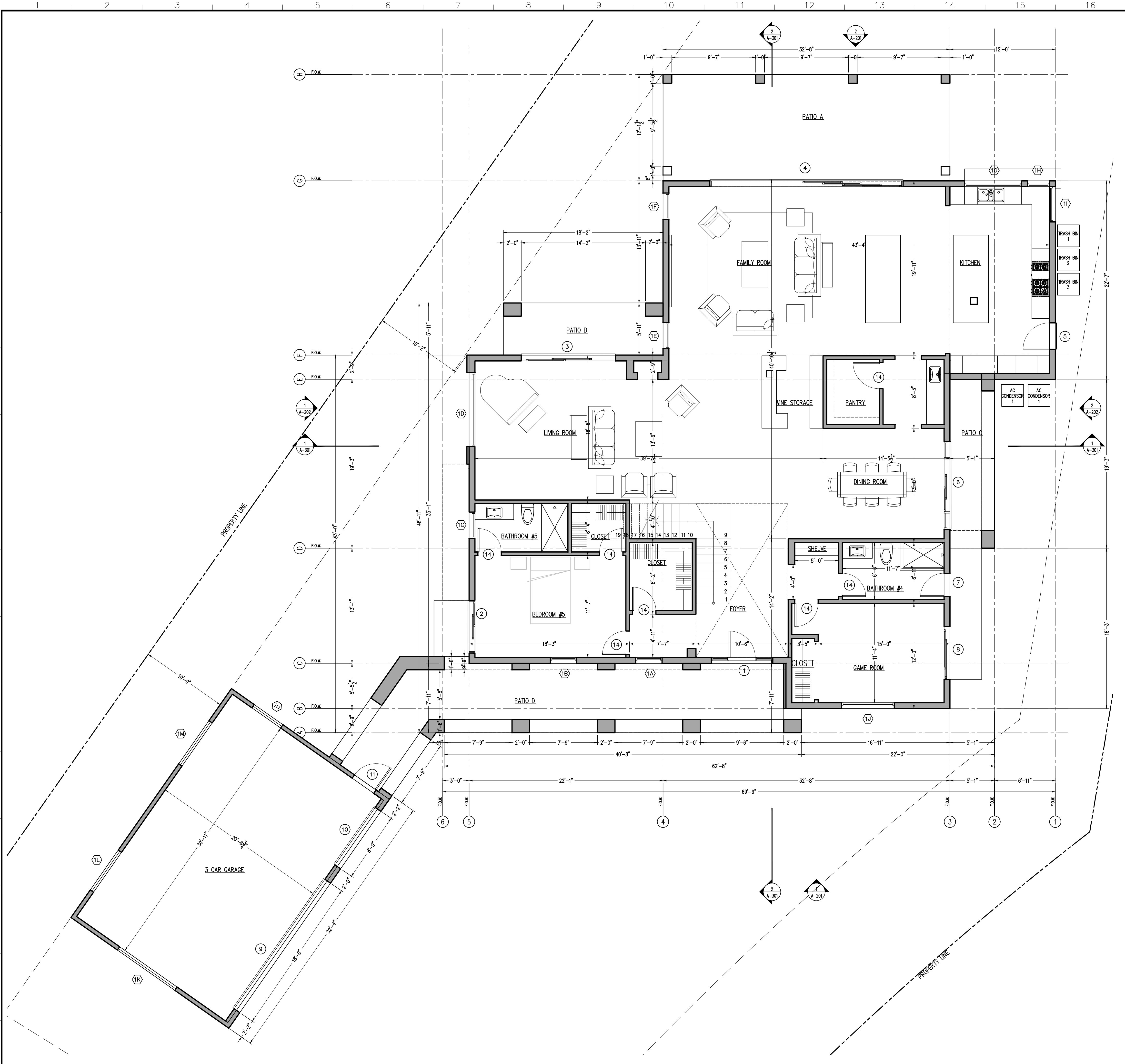
REV BY:

JOB NO.: 21023
DRAWN BY: A.T.
CHECKED BY: A.T.
DATE: 10-12-22

SHEET DESCRIPTION:
DEMO FLOOR PLAN
DEMO ROOF PLAN

SHEET NUMBER:

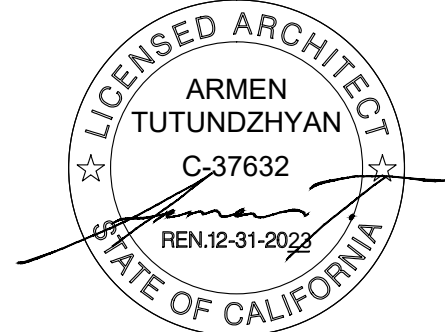
A-110



- NOTES:**
1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED SHOWER FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
 2. MINIMUM 70" HGT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
 3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
 4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
a. R-15 IN ALL NEW STUD WALLS
b. R-38 IN ROOF - WITH ATTIC
c. R-19 IN RAISED FLOOR
 5. INSTALL GFCI OUTLETS IN NEW BATHROOMS
 6. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY
b. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
 7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2016 CHAPTER 3 SEC. 315
 8. WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK, THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T&T VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT. IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
 9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.1).
 10. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
 11. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
 12. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2
 13. EACH NEW APPLIANCE PROVIDED SHALL BE "ENERGY STAR" COMPLIANT.
 14. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)
 15. BATHROOM EXHAUST FAN SHALL COMPLY WITH THE FOLLOWING:
15.1.FANS BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
15.2.FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 16. THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE
 17. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED "EV CAPABLE".
 18. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
 19. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVES AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
 20. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FT., MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
 21. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

- LEGEND:**
- | | | | |
|-------------------------------------|------------------|-----|-----------------------|
| (N) | NEW CONSTRUCTION | (E) | EXISTING CONSTRUCTION |
| 2X @ 16" O.C. WOOD STUDWALL, U.N.O. | | | |

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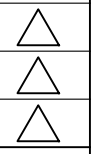
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PROPERTY OWNER:
AVETIS TASHYAN
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206
T: (818) 842-7343

PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

NO. ISSUED FOR:



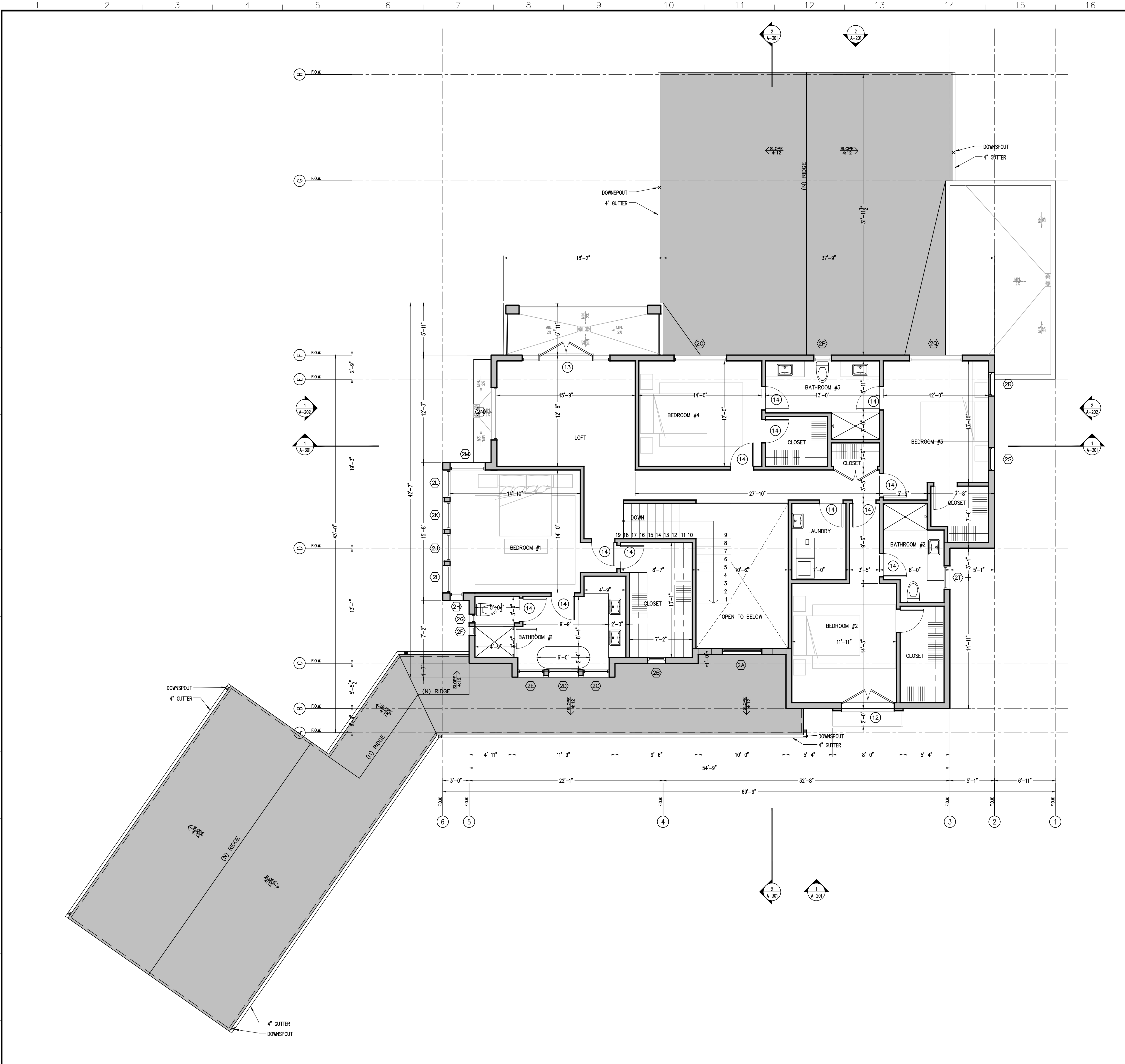
REV BY:

JOB NO.:	21023
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	10-12-22

SHEET DESCRIPTION:
PROPOSED FIRST FLOOR PLAN

SHEET NUMBER:

A-111

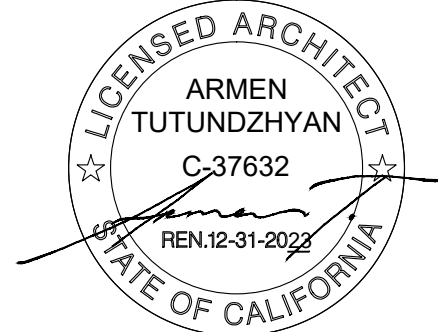


- NOTES:**
1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
 2. MINIMUM 70" HGT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
 3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
 4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
a. R-15 IN ALL NEW STUD WALLS
b. R-38 IN ROOF - WITH ATTIC
c. R-19 IN RAISED FLOOR
 5. INSTALL GFCI OUTLETS IN NEW BATHROOMS
 6. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY
b. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
 7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2016 CHAPTER 3 SEC. 315
 8. WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK, THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T&T VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT. IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
 9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.1).
 10. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
 11. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
 12. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2
 13. EACH NEW APPLIANCE PROVIDED SHALL BE "ENERGY STAR" COMPLIANT.
 14. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)
 15. BATHROOM EXHAUST FAN SHALL COMPLY WITH THE FOLLOWING:
15.1.FANS BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
15.2.FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 16. THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE
 17. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED "EV CAPABLE".
 18. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
 19. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVES AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
 20. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FT., MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
 21. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

- LEGEND:**
- | | | | |
|-------------------------------------|------------------|-----|-----------------------|
| (N) | NEW CONSTRUCTION | (E) | EXISTING CONSTRUCTION |
| 2X @ 16" O.C. WOOD STUDWALL, U.N.O. | | | |

- ROOF PLAN LEGEND:**
- | | |
|-----------|---|
| (N) RIDGE | CLASS "A" MIN TRUDEFINITION DURATION® COOL PLUS SHINGLES: AS MANUFACTURED BY OWENS CORNING ROOFING AND ASPHALT, LLC. OR APPROVED EQ. COLOR: ROLLING STONE |
|-----------|---|

ARMENARC
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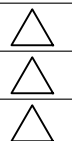
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PROPERTY OWNER:
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GLENDALE, CA 91206
T: (818) 842-7343

PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

NO. ISSUED FOR:



REV BY:

JOB NO.:	21023
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	10-12-22

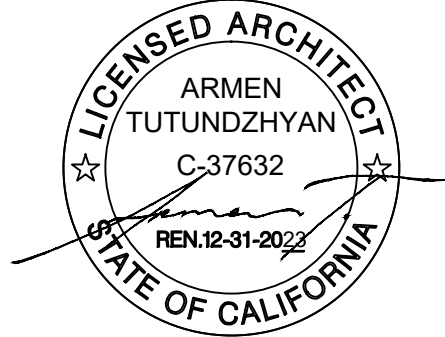
SHEET DESCRIPTION:
PROPOSED SECOND FLOOR PLAN

SHEET NUMBER:

A-112



ARMENARC
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GLENDALE, CA 91206
T: (818) 842-7343

PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

NO.	ISSUED FOR:	
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△		
REV	BY:	
JOB NO.:		21023
DRAWN BY:		A.T.
CHECKED BY:		A.T.
DATE:		10-12-22

SHEET DESCRIPTION:
ROOF PLAN

SHEET NUMBER:

A-131

ROOF PLAN

SCALE:

$$3/16'' = 1' - 0$$

1



SOUTH ELEVATION (SAN AUGUSTINE DR)

SCALE:
3/16"=1'-0"

1



NORTH ELEVATION

SCALE:
3/16"=1'-0"

2

EXTERIOR FIXTURE, ETC. SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
F1	14" HIGH OUTDOOR LIGHT	MATTE BLACK	QUOIZEL MAREN OR EQ.
F2	42" METAL GUARDRAIL	BLACK	CUSTOM

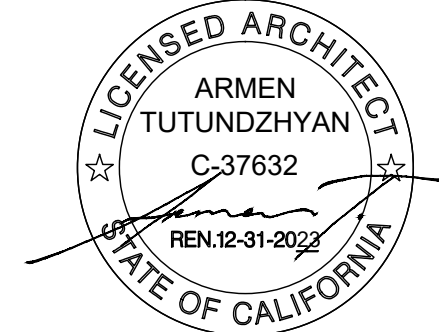
EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
O6	PAINT	DARK ENGINE DE650	DUNN EDWARDS

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
O1	ASPHALT SHINGLE ROOF	PER ROOF PLAN	PER ROOF PLAN
O2	STONE	CASA BLANCA	ELDORADO STONE OR EQ.
O3	7/8" SMOOTH EXTERIOR STUCCO	CAMEO DEC742 OR EQ.	LA HABRA
O4	7/8" SMOOTH EXTERIOR STUCCO	VAN DE CANE DEW354 OR EQ.	LA HABRA
O5	PAINT	BLACK	DUNN EDWARDS

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PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
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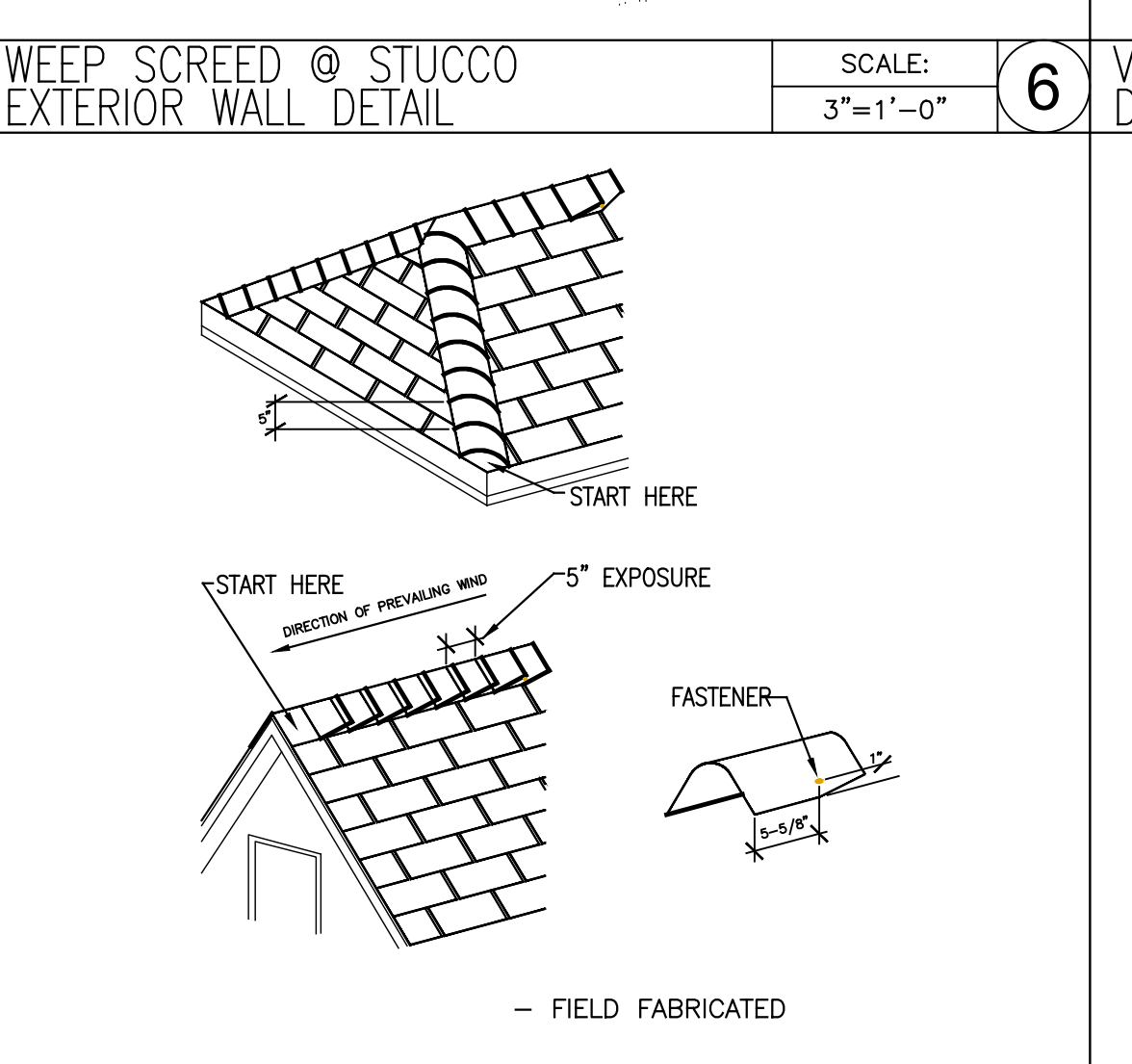
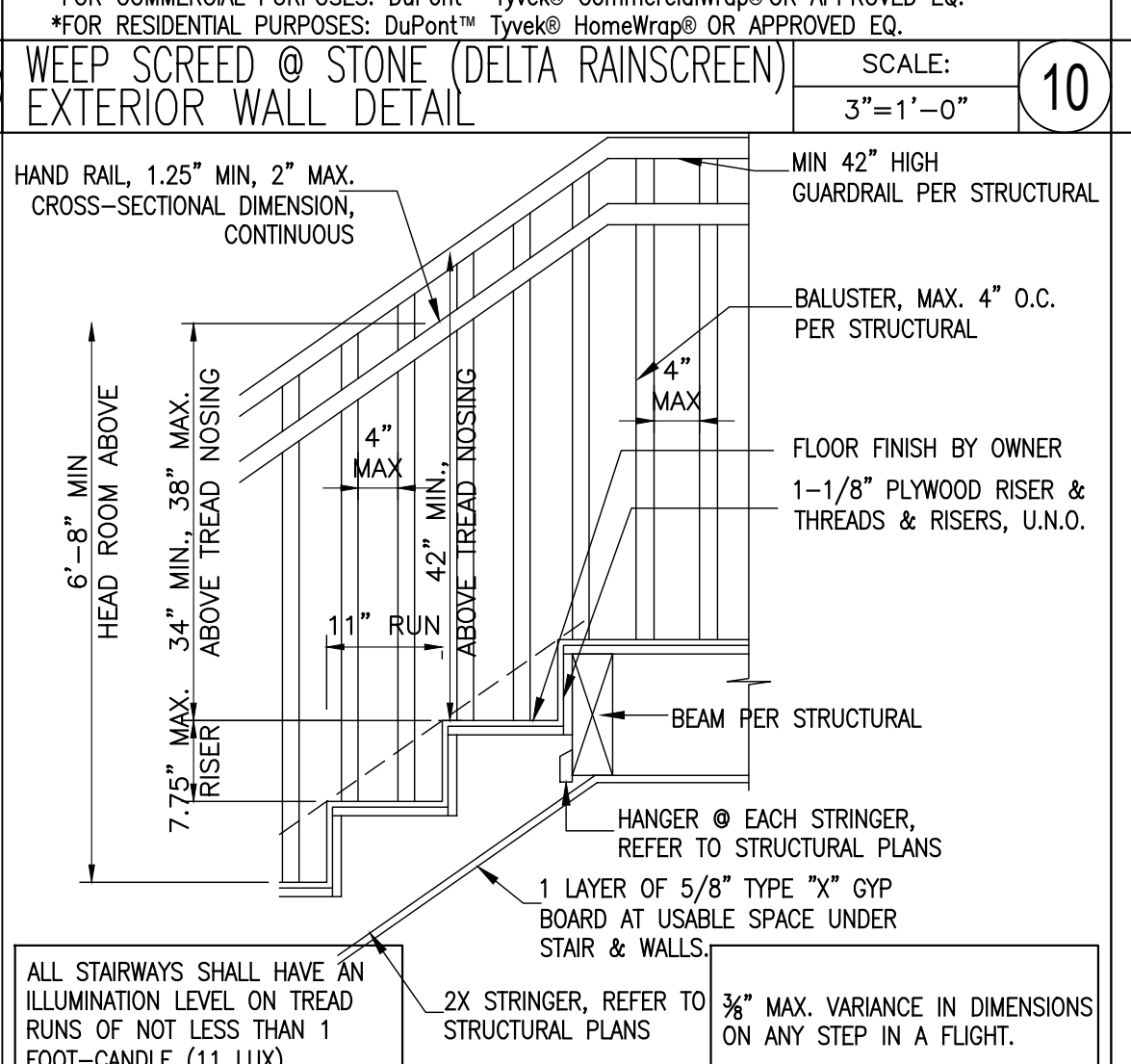
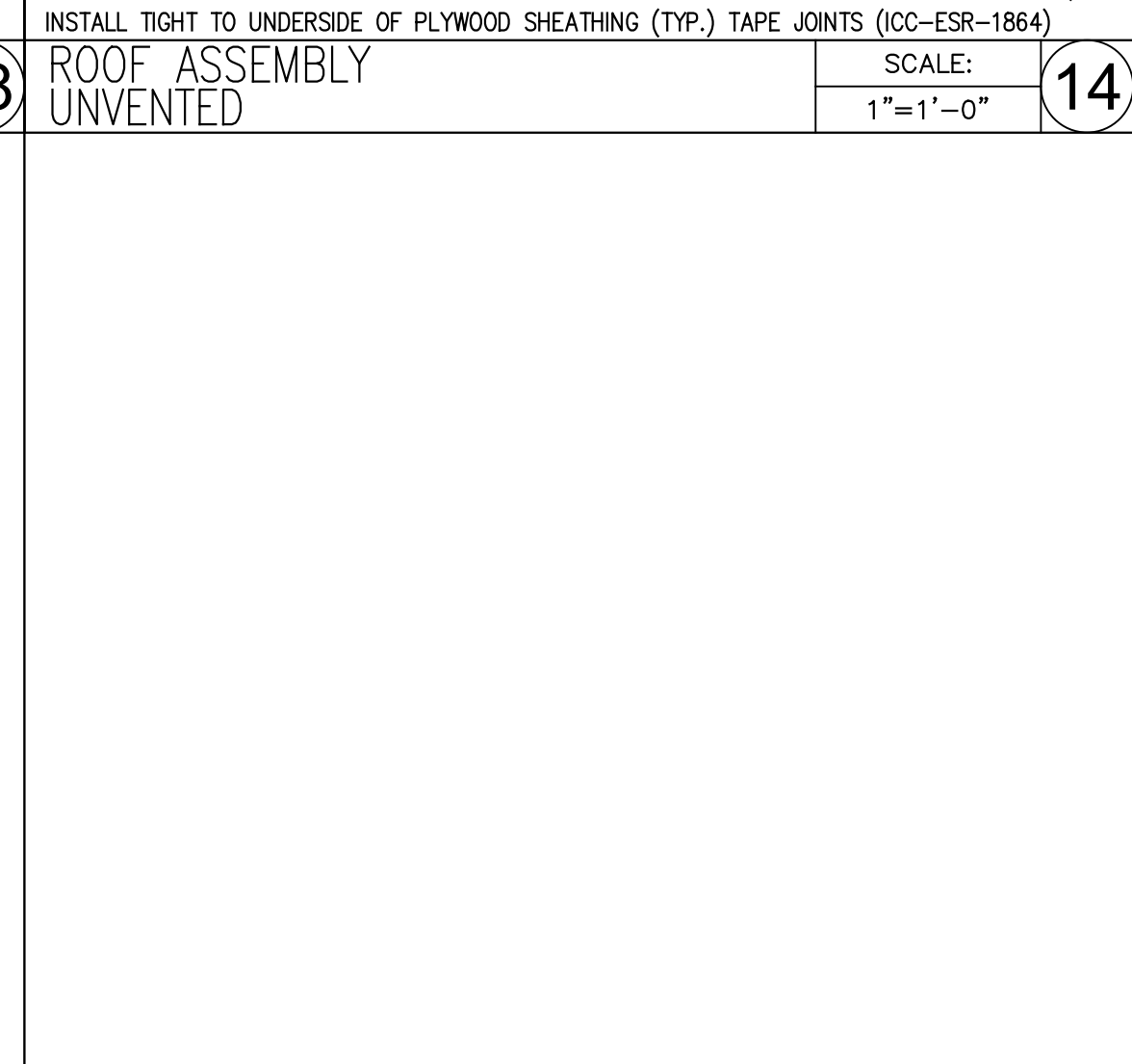
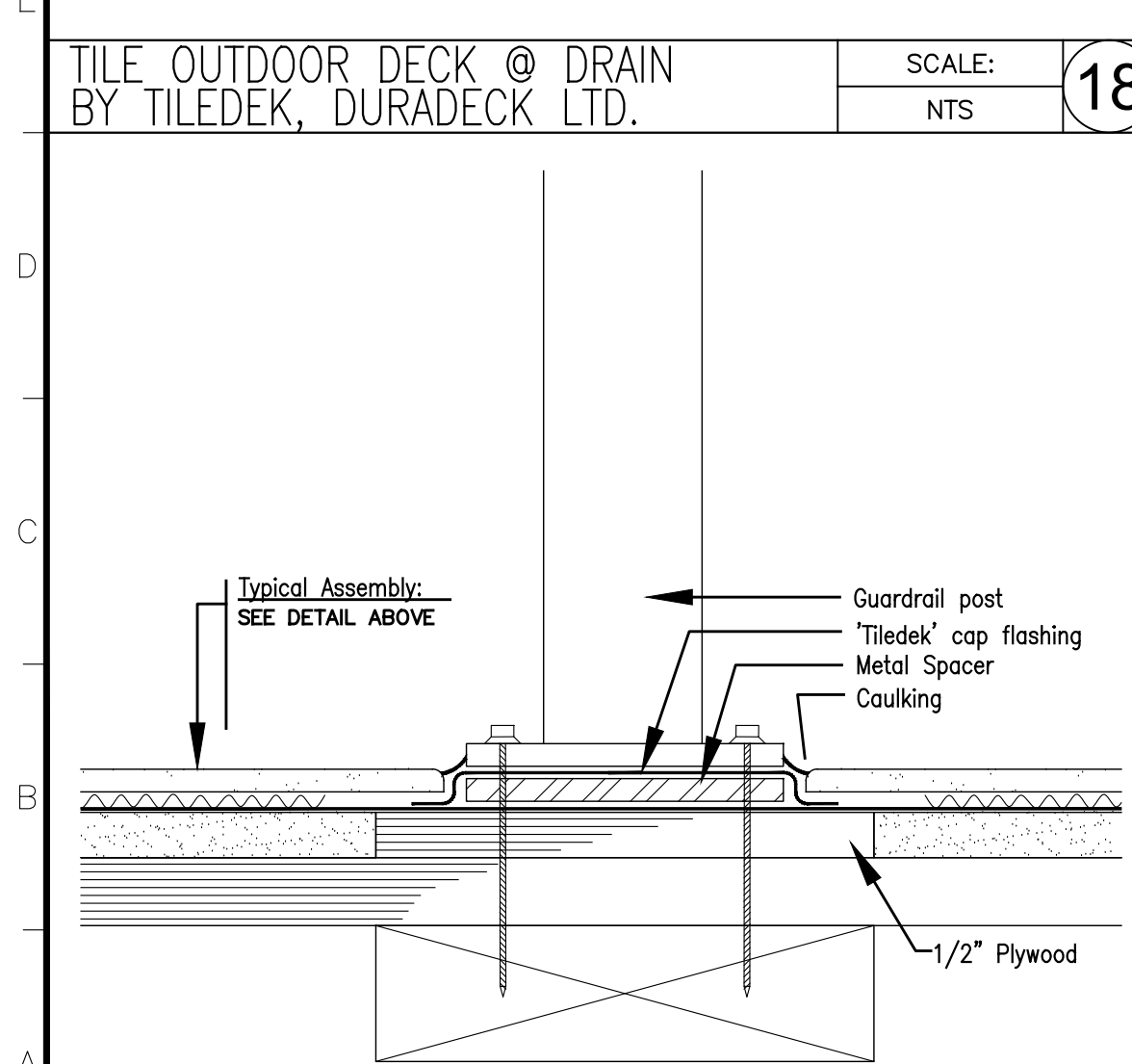
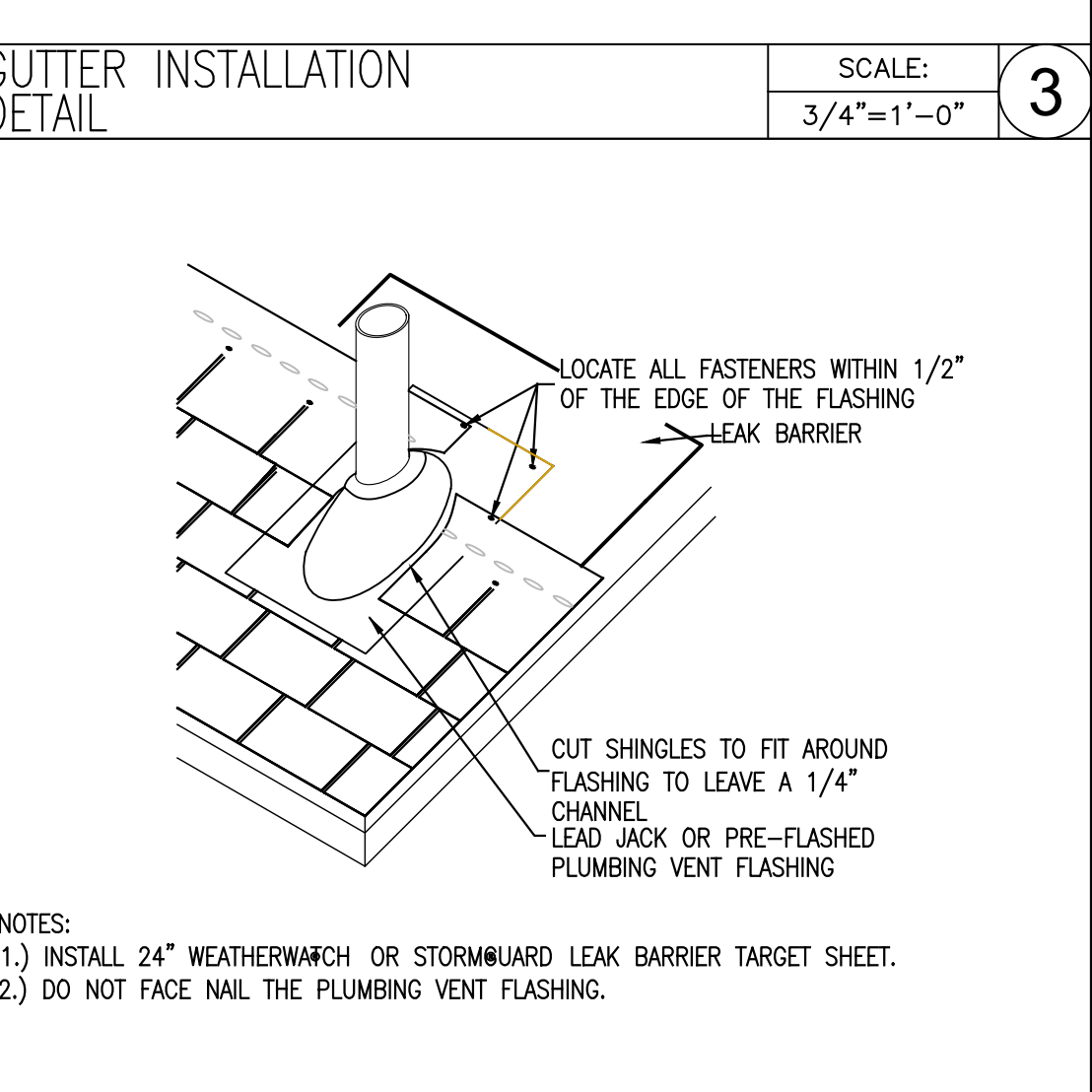
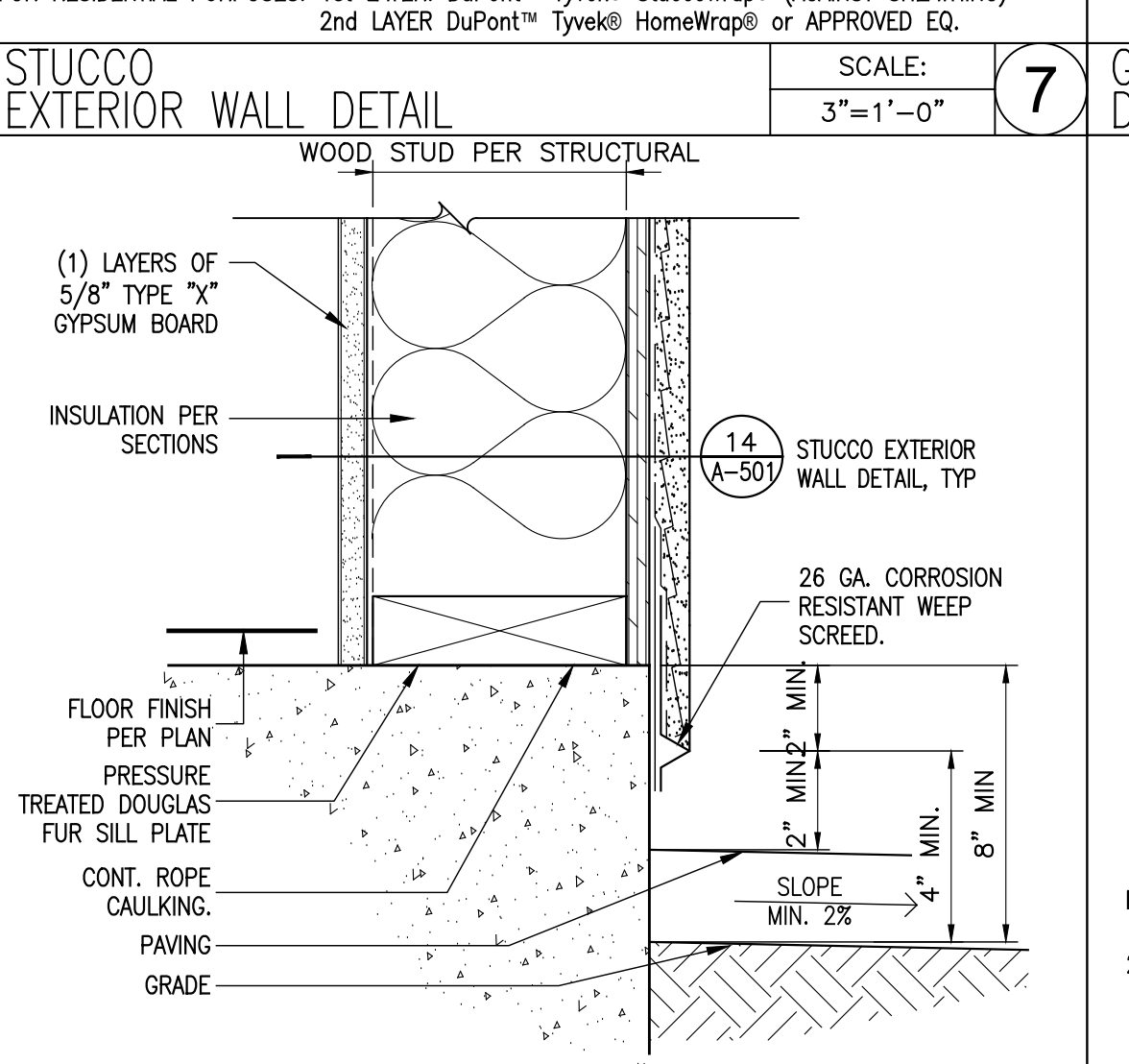
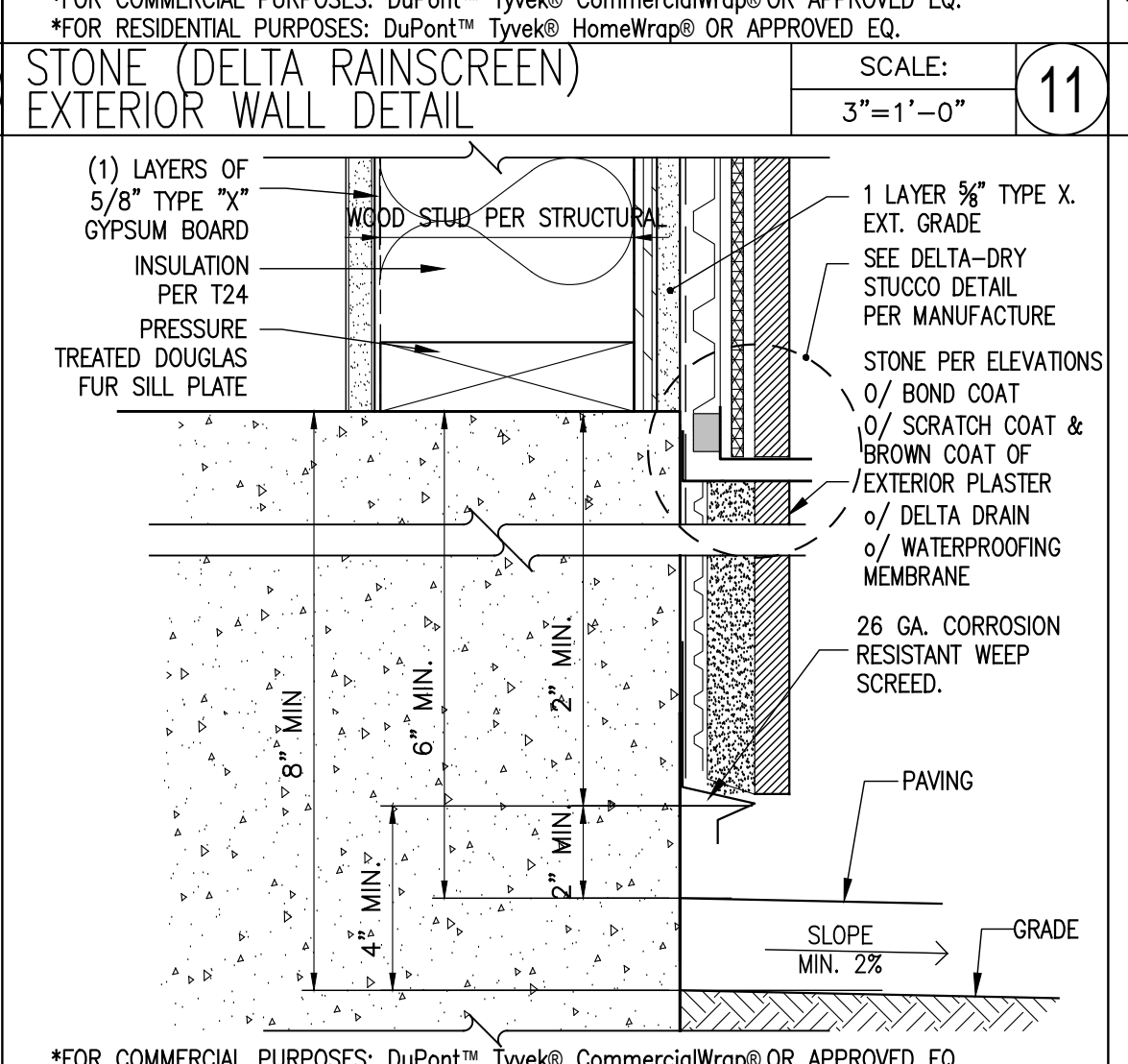
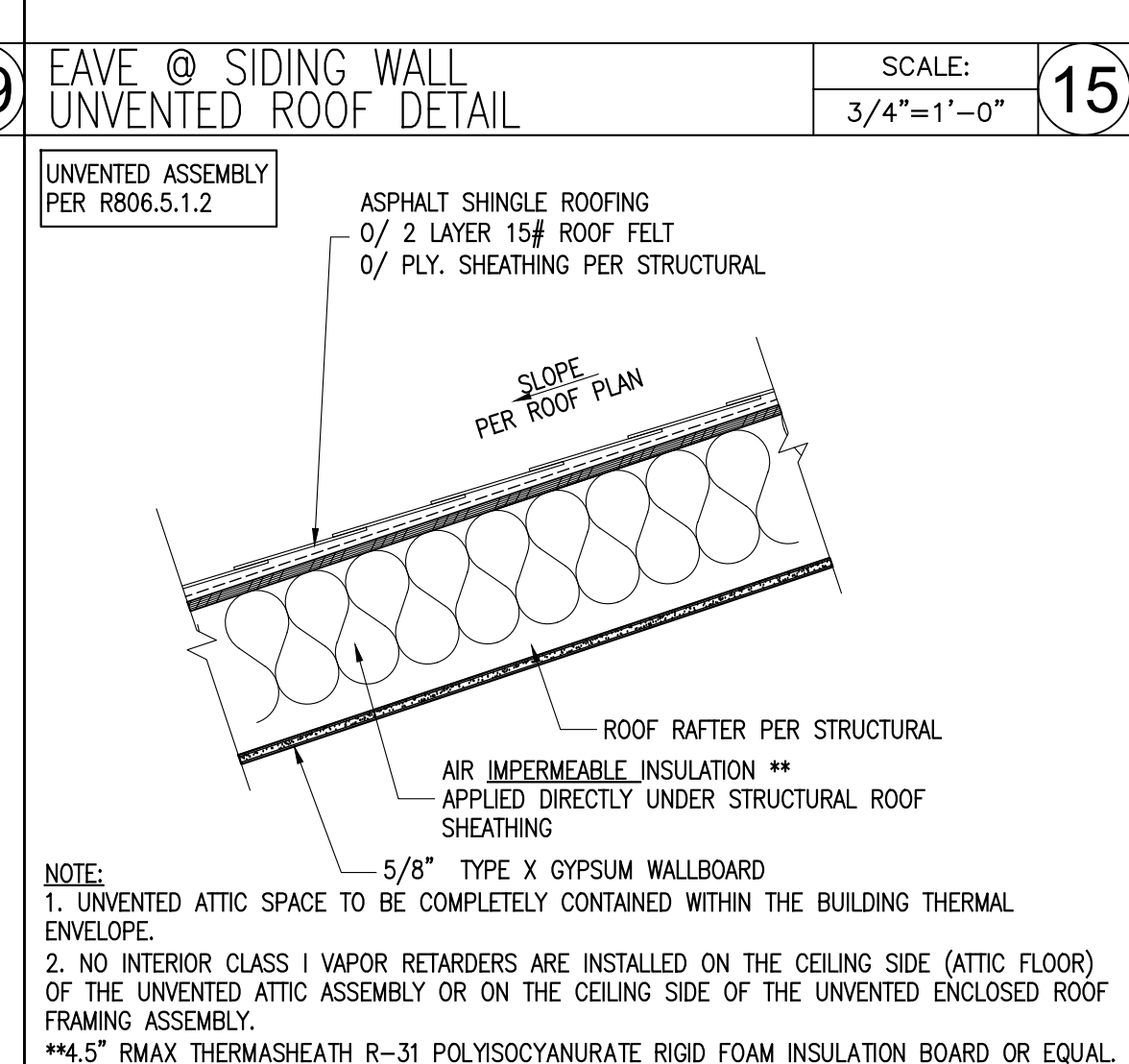
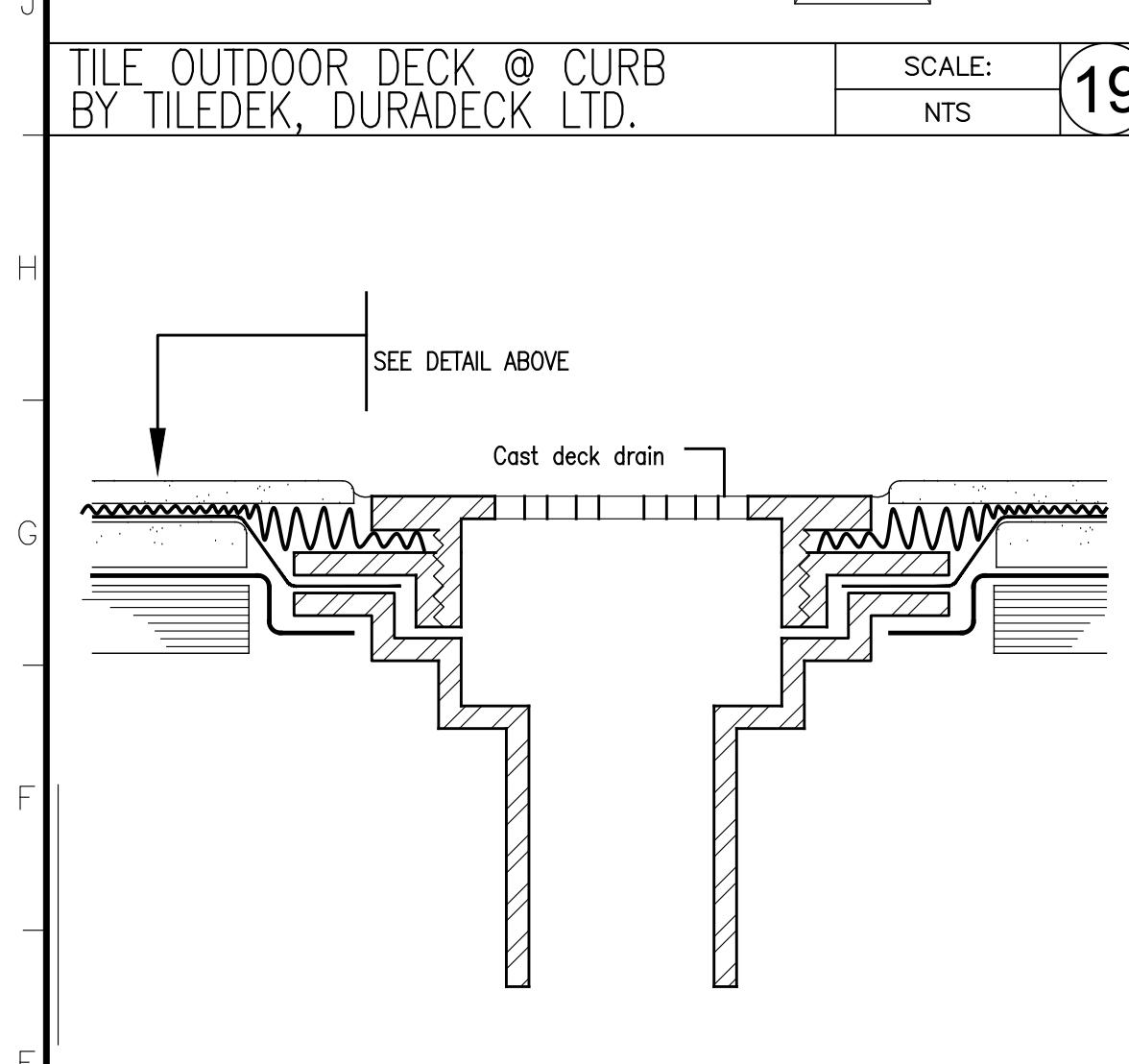
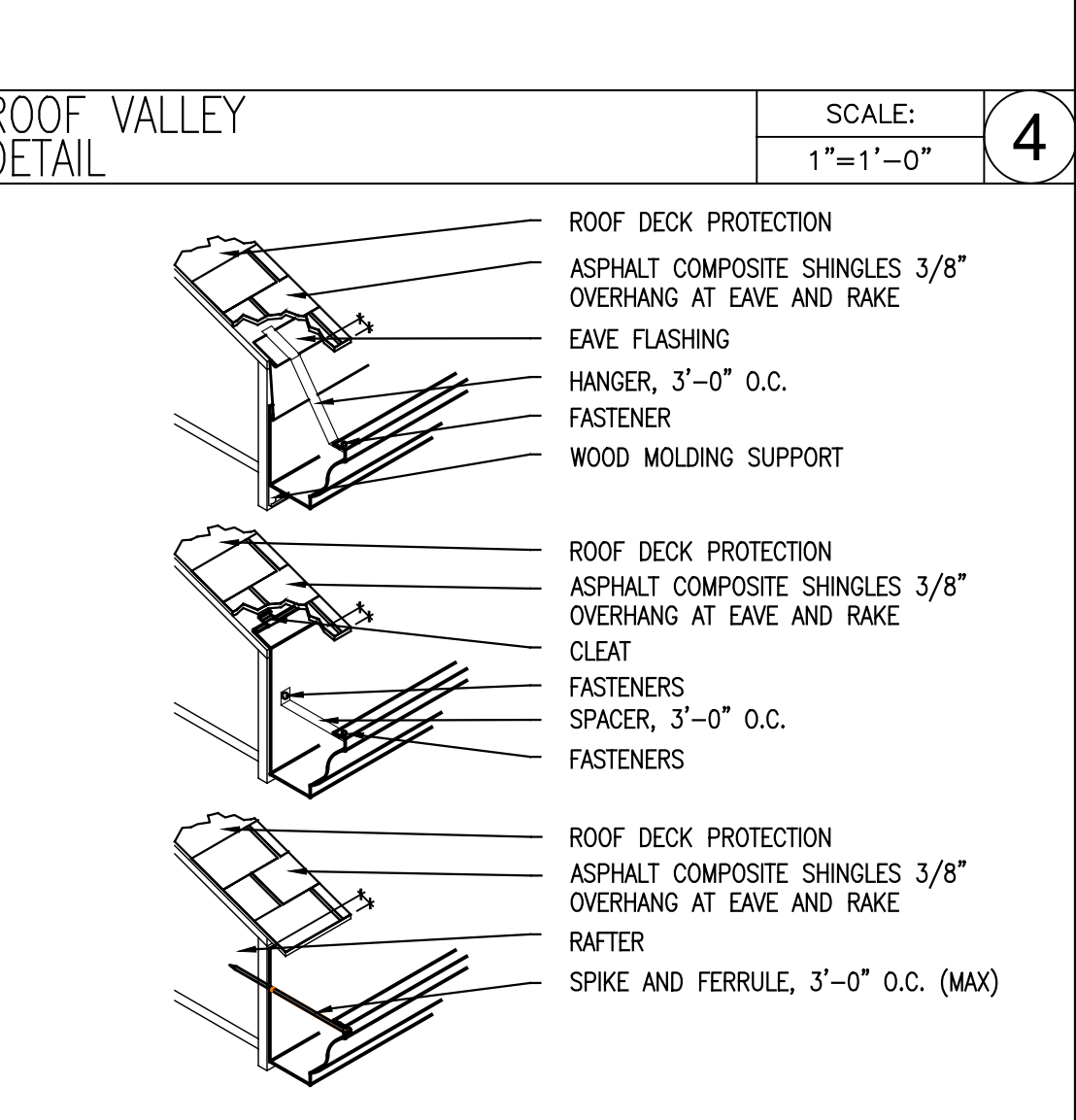
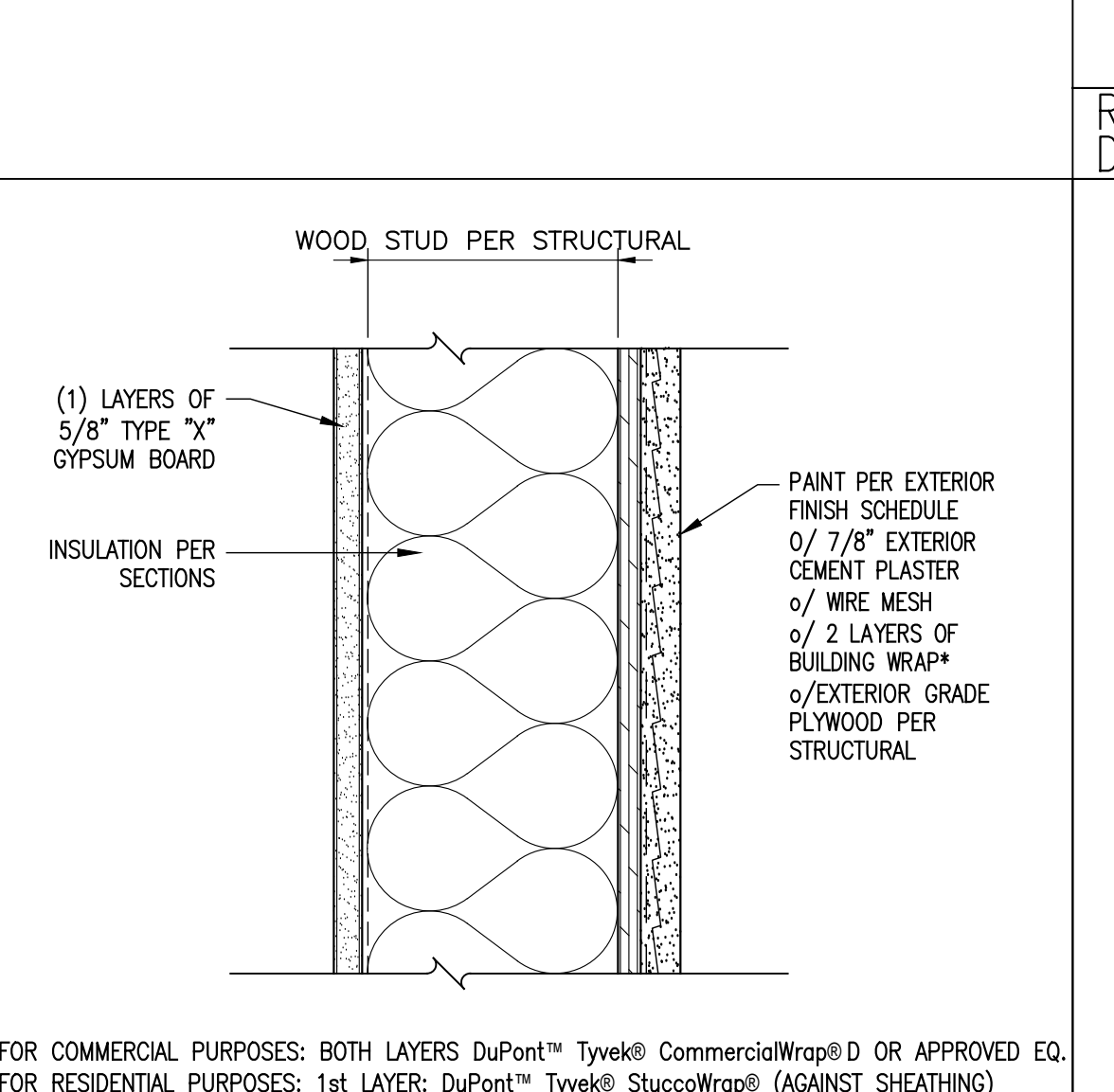
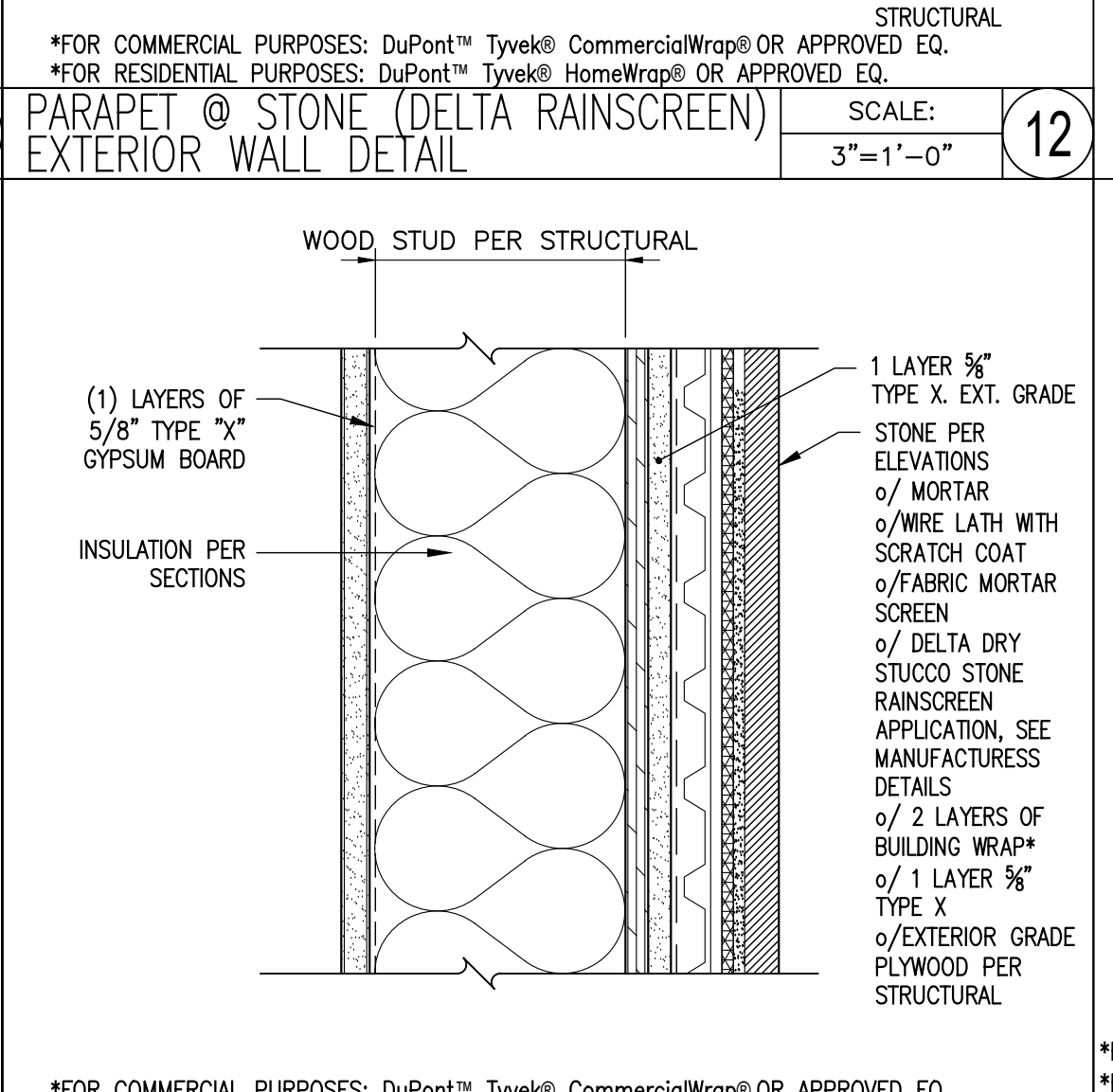
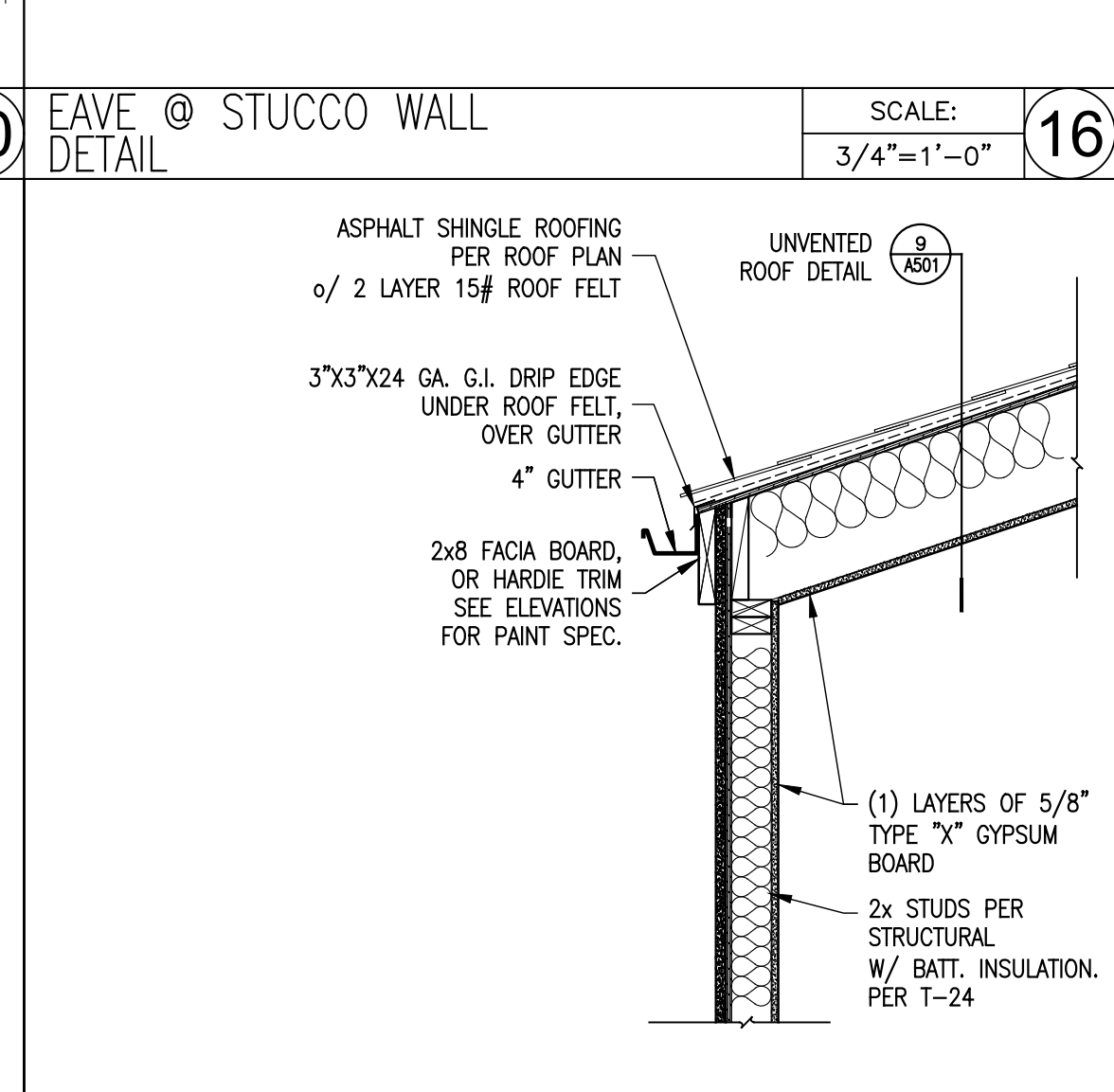
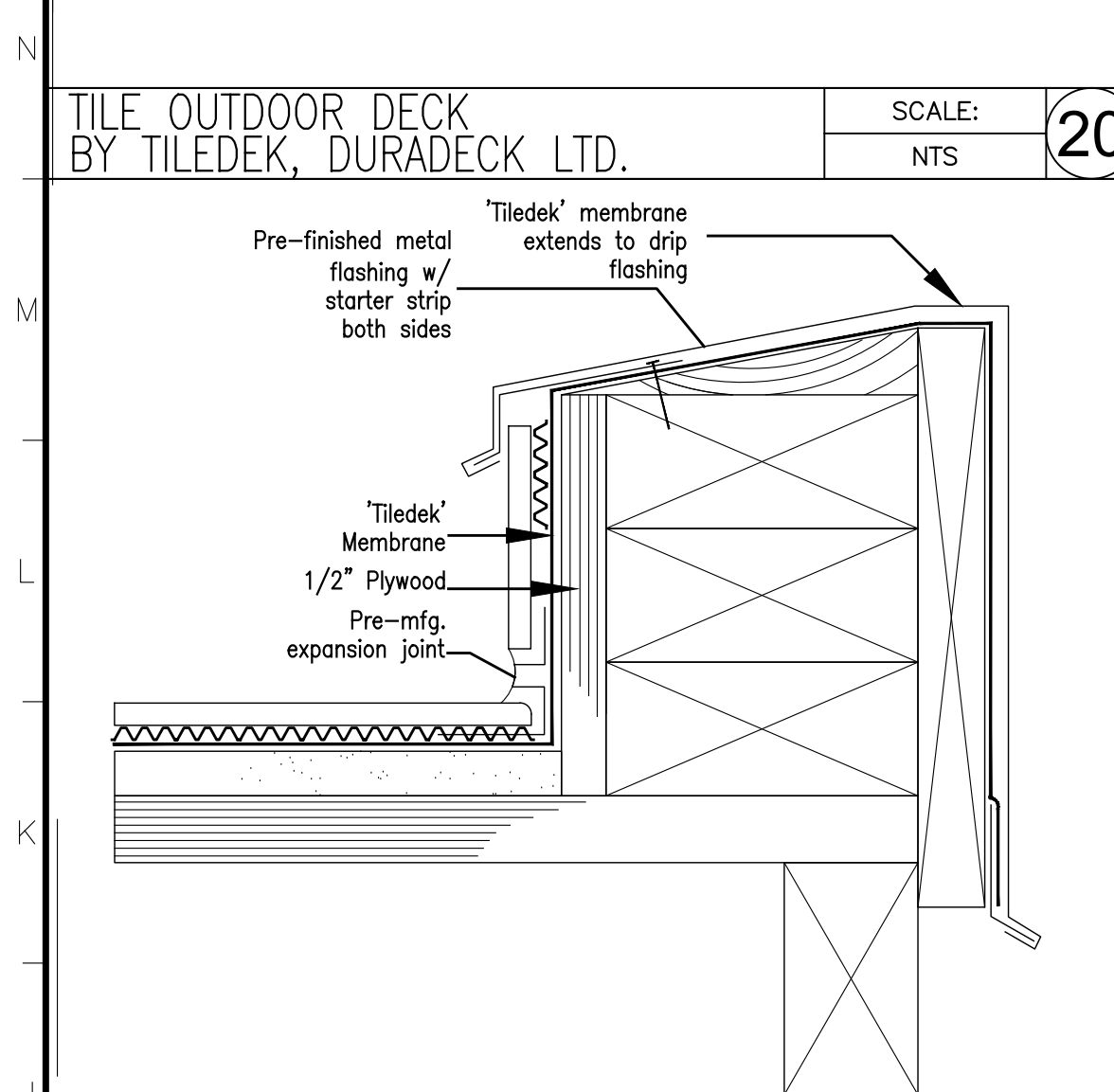
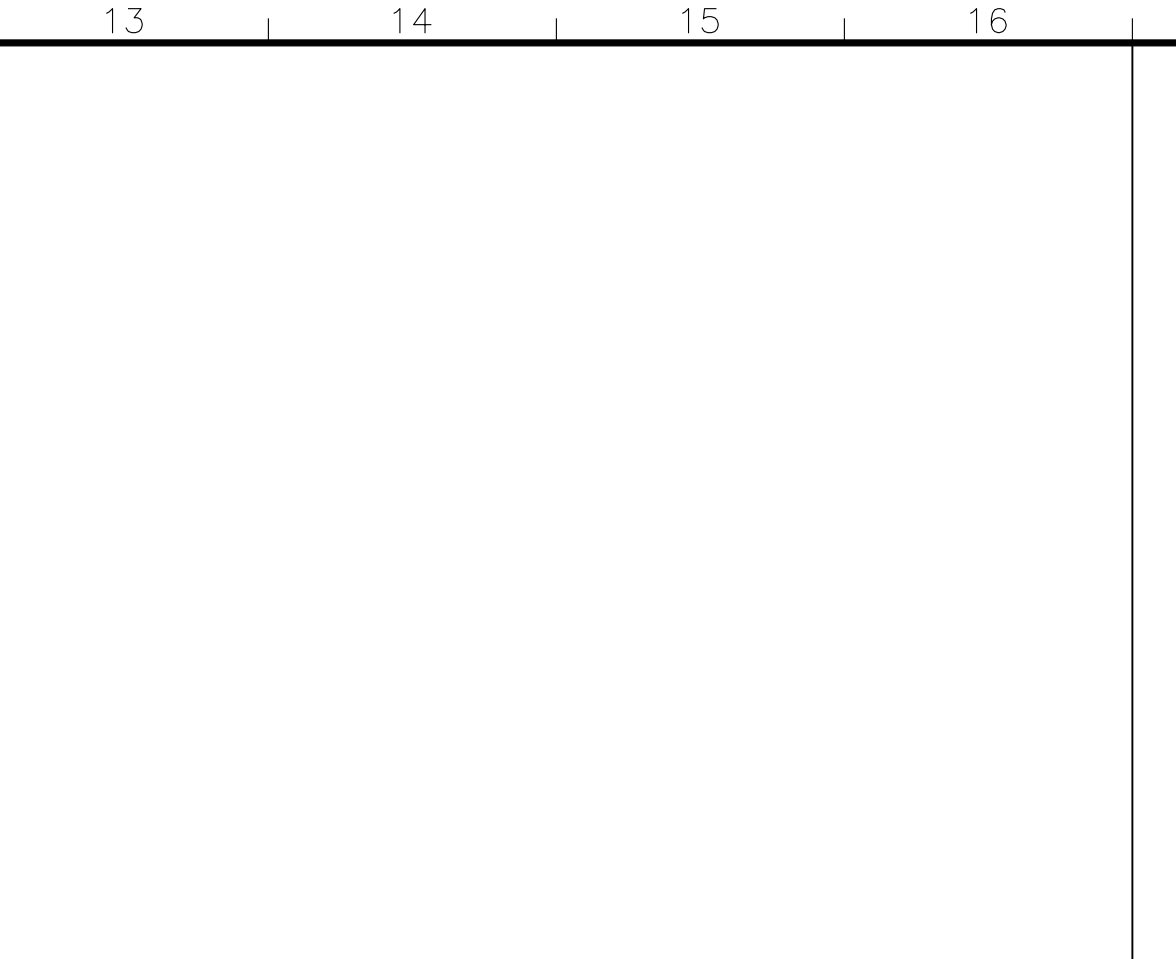
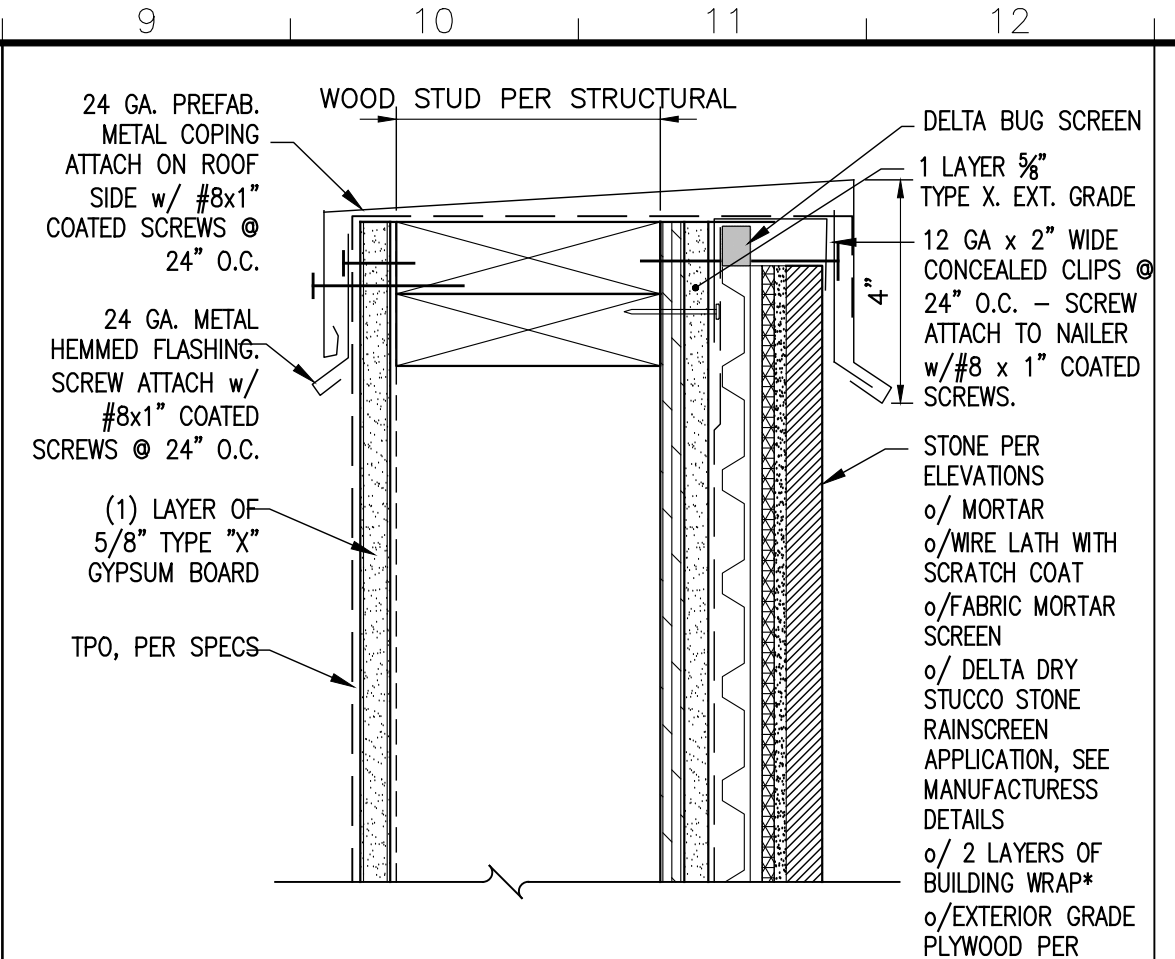
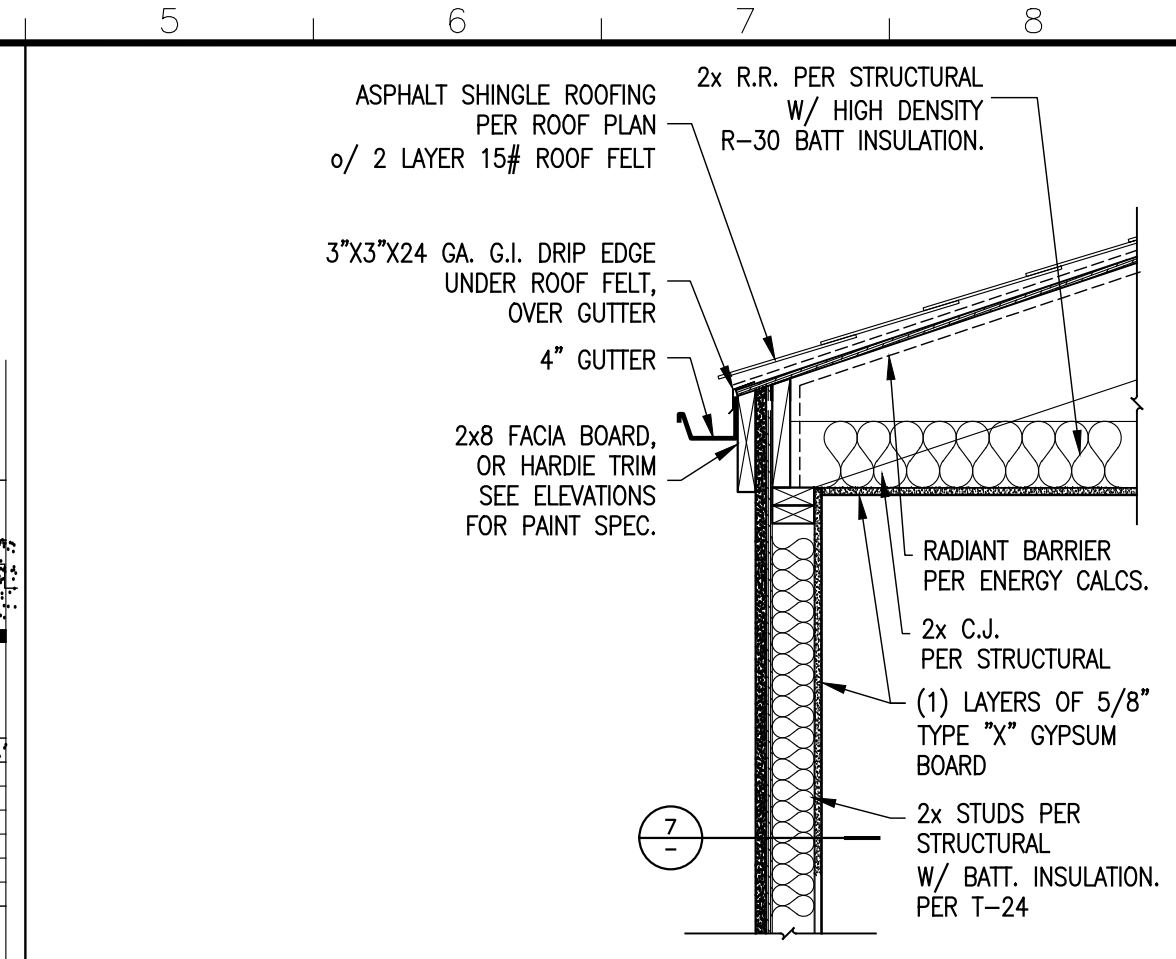
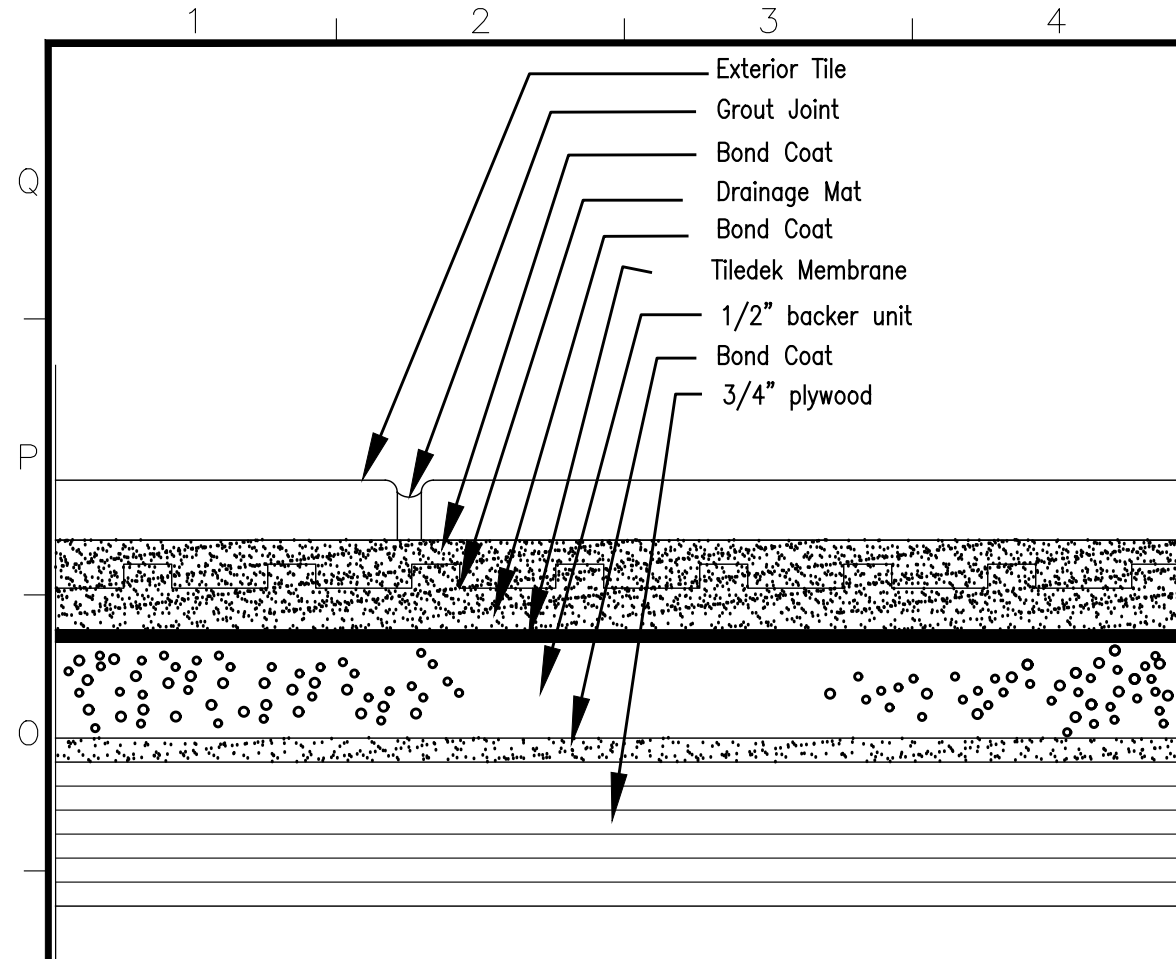
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REV BY:

JOB NO.: 21023
DRAWN BY: A.T.
CHECKED BY: A.T.
DATE: 10-12-22

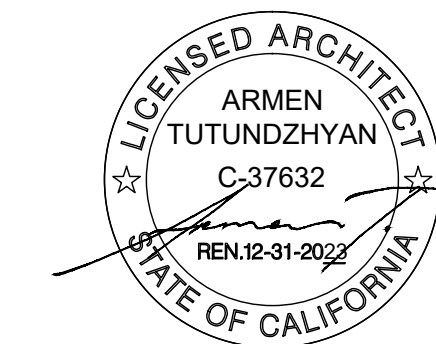
SHEET DESCRIPTION:
ELEVATIONS
SINGLE FAMILY RESIDENCE

SHEET NUMBER:

A-201



ARMENARC
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PROPERTY OWNER:
AVETIS TASHYAN
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206
T: (818) 842-7343

PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

NO.	ISSUED FOR:
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REV	BY:
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JOB NO.:	21023
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DRAWN BY:	A.T.
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CHECKED BY:	A.I.
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DATE: 10/10/2019

SHEET DESCRIPTION:
DETAILS

SHEET NUMBER:

A-501

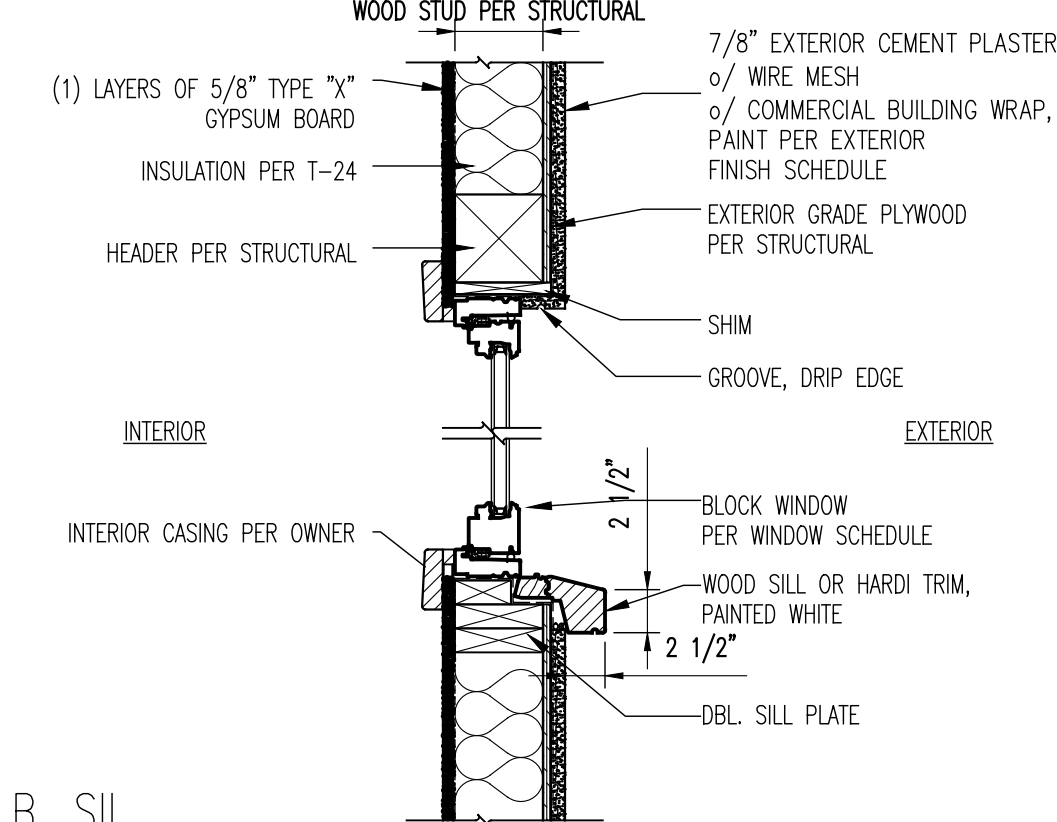
		2		3	4	5	6	7	8	9	10	11	12	13	14	15	16								
	WINDOW TAG	WINDOW TYPE	QUANTITY	(E) WIDTH X HEIGHT	(N) WIDTH X HEIGHT	(E) MATERIAL	(N) MATERIAL	VISIBLE FROM THE STREET? Y/N	(E) OPERATION	(N) OPERATION	(N) FRAME TYPE	(N) EXTERNAL GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME? Y/N	BUILD NEW SILL & FRAME? Y/N	(E) EDGE DETAIL	(N) EDGE DETAIL	BEDROOM? Y/N	ENERGY EFFICIENT Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE Y/N	WINDOW WITHIN 18" OF FLOOR OR 24" OF DOOR?	HEAD HEIGHT	U-FACTOR	SHGC	NOTES:
1ST FLOOR	(1A)	3	1	—	3'0" X 4'0"	—	FIBERGLASS	Y	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	6'8" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1B)	3	1	—	3'0" X 4'0"	—	FIBERGLASS	Y	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	6'8" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1C)	2	1	—	3'0" X 2'6"	—	FIBERGLASS	N	—	DBL. CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1D)	1	1	—	8'5" X 7'6"	—	FIBERGLASS	N	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1E)	3	1	—	3'0" X 5'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1F)	3	1	—	3'0" X 5'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1G)	5	1	—	6'6" X 4'6"	—	FIBERGLASS	N	—	SLIDER	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1H)	1	1	—	2'6" X 4'6"	—	FIBERGLASS	N	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1I)	1	1	—	2'6" X 4'6"	—	FIBERGLASS	N	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1J)	1	1	—	6'0" X 6'0"	—	FIBERGLASS	Y	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
2ND FLOOR	(1K)	1	1	—	8'0" X 4'6"	—	FIBERGLASS	Y	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1L)	1	1	—	5'6" X 4'6"	—	FIBERGLASS	N	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1M)	1	1	—	5'6" X 4'6"	—	FIBERGLASS	N	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(1N)	1	1	—	4'0" X 4'6"	—	FIBERGLASS	N	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	7'6" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2A)	1	1	—	4'6" X 3'6"	—	FIBERGLASS	Y	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2B)	3	1	—	2'0" X 2'6"	—	FIBERGLASS	Y	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2C)	3	1	—	3'0" X 4'6"	—	FIBERGLASS	Y	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2D)	1	1	—	3'0" X 4'6"	—	FIBERGLASS	Y	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2E)	3	1	—	3'0" X 4'6"	—	FIBERGLASS	Y	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2F)	3	1	—	1'0" X 2'0"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2G)	3	1	—	1'0" X 2'0"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2H)	3	1	—	1'6" X 6'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2I)	3	1	—	3'1" X 6'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2J)	3	1	—	3'1" X 6'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2K)	3	1	—	3'1" X 6'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2L)	3	1	—	3'1" X 6'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2M)	3	1	—	4'0" X 6'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2N)	1	1	—	6'0" X 5'6"	—	FIBERGLASS	N	—	FIXED	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2O)	5	1	—	6'0" X 5'0"	—	FIBERGLASS	N	—	SLIDER	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2P)	3	1	—	2'0" X 3'0"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2Q)	5	1	—	6'0" X 5'0"	—	FIBERGLASS	N	—	SLIDER	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2R)	3	1	—	2'8" X 4'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2S)	3	1	—	2'8" X 4'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC
	(2T)	3	1	—	2'8" X 4'6"	—	FIBERGLASS	N	—	CASEMENT	BLOCK	N	—	N	—	2/A-601	N	Y	Y	Y	YES	8'0" A.F.F.	.32 MAX	.25 MAX	NOTE 10 FOR SPEC

SCHEDULE NOTES:

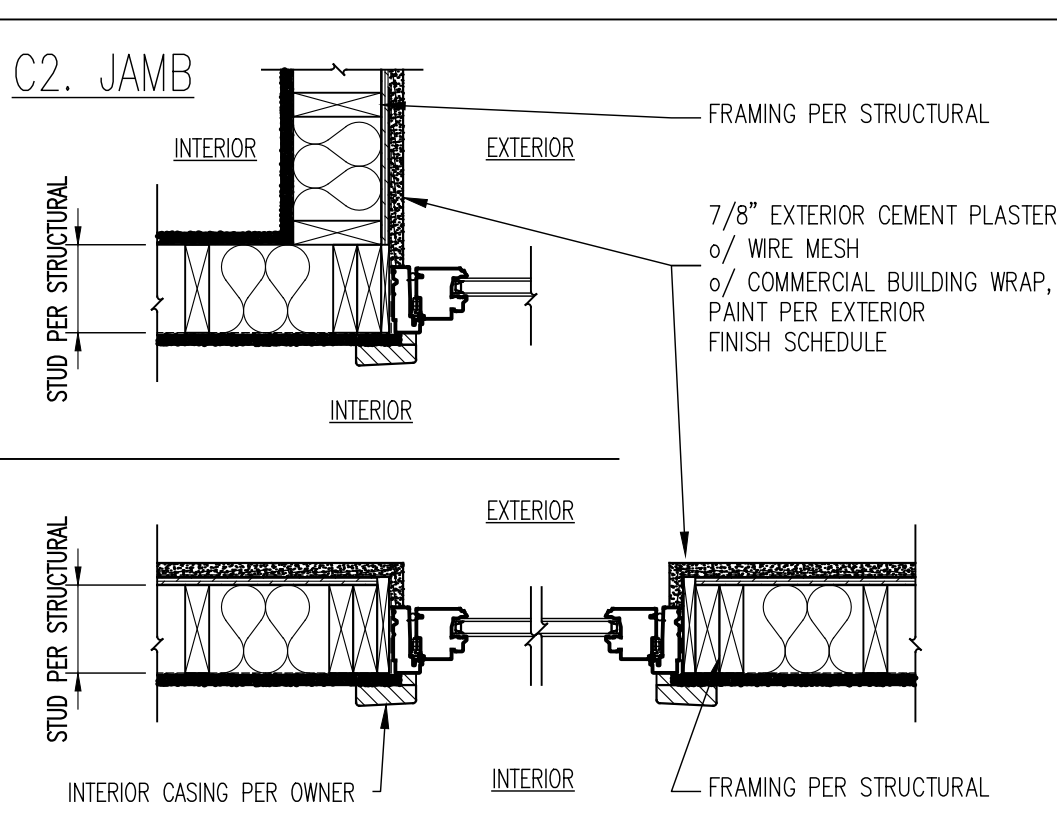
- EMERGENCY ESCAPE / EXIT WINDOW MUST MEET FLOWING REQUIREMENTS:
 - 20" MIN. CLEAR WIDTH
 - 24" MIN. CLEAR HEIGHT
 - 5.7 S.F. MIN. OPENABLE AREA
- THE FOLLOWING LOCATIONS SHALL BE PROVIDED WITH TEMPERED GLAZING (CRC R308.4):
 - ALL GLAZING IN OPERABLE PANELS OF DOORS,
 - ALL GLAZING WITHIN 24 INCHES OF A DOOR AND WITHIN 60 INCHES OF THE WALKING SURFACE,
 - ALL GLASS OVER 9 SQ. FT. IN AREA
 - ALL GLAZING WITHIN 18 INCHES OF THE FLOOR,
 - ALL GLAZING WHEN THE TOP EDGE IS 36 INCHES ABOVE THE FLOOR,
 - ALL GLAZING IN RAILINGS,
 - ALL GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS EDGE OF GLAZING IS LESS THAN 60" ABOVE STANDING SURFACE OR DRAIN INLET,
 - ALL GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" OF A WALKING SURFACE WHEN LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE,
 - ALL GLAZING WITHIN 60" IF STAIRS AND STAIR LANDINGS.
- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- ALL WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED UNLESS NOTED OTHERWISE.
- DOORS USED AS EXITS SHALL OPEN FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT
- GATES INSTALLED ACROSS AND EXIT SHALL NOT BE LOCKED, CHAINED, BOLTED, BARRED, LATCHED OR OTHERWISE RENDERED UNUSABLE AT THE TIME WHEN THE BUILDING OR AREA SERVED BY THE EXIT IS OCCUPIED. ALL GATES SHALL OPEN WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- T OR TEMP. IN ANY OF THE SCHEDULES REPRESENTS TEMPERED GLASS.
- U FACTOR AND SHGC VALUES ARE SHOWN AS MAXIMUM, LESS IS ACCEPTABLE.
- * SYMBOL ON THIS PAGE WINDOW/DOOR LEGEND, FLOOR PLANS & ELEVATIONS MEANS THAT DOORS & WINDOWS SHALL MEET CITY OF GLENDALE'S SECURITY ORDINANCE. SEE SECURITY NOTES ON G-211.
- BLACK FRAMED, ANDERSON A-SERIES FIBERGLASS OR APPROVED EQ. WINDOWS AND PATIO DOORS

SYM.	SIZE		THICKNESS	TYPE	MATERIAL	FRAME	FIRE RATING	(SEE REMARK NOTES BELOW)	
	WIDTH	HEIGHT							
(1)	3'-0"	7'-6"	1-3/4"	SWING	WOOD	WOOD	-	NA	2'-0"x7'-6" SIDELITE ON EACH SIDE
(2)	6'-0"	7'-6"	1-3/4"	SLIDER	GLASS/FIBERGLASS	FIBERLASS	-	NA	NOTE 10 FOR SPEC
(3)	10'-8"	7'-6"	1-3/4"	SLIDER	GLASS/FIBERGLASS	FIBERLASS	-	NA	NOTE 10 FOR SPEC
(4)	22'-0"	10'-0"	1-3/4"	MULTISLIDER	GLASS/FIBERGLASS	FIBERLASS	-	NA	NOTE 10 FOR SPEC
(5)	3'-0"	7'-6"	1-3/4"	SWING	GLASS/FIBERGLASS	FIBERLASS	-	NA	NOTE 10 FOR SPEC
(6)	6'-0"	7'-6"	1-3/4"	SLIDER	WOOD	WOOD	-	NA	2'-0"x7'-6" SIDELITE ON EACH SIDE
(7)	3'-0"	7'-6"	1-3/4"	SWING	GLASS/FIBERGLASS	FIBERLASS	-	NA	NOTE 10 FOR SPEC
(8)	6'-0"	7'-6"	1-3/4"	SLIDER	GLASS/FIBERGLASS	FIBERLASS	-	NA	NOTE 10 FOR SPEC
(9)	18'-0"	7'-6"	1-3/4"	ROLLUP	METAL/WOOD	METAL	-	NA	-
(10)	8'-0"	7'-6"	1-3/4"	ROLLUP	METAL/WOOD	METAL	-	NA	-
(11)	3'-0"	7'-6"	1-3/4"	SWING	WOOD	WOOD	-	NA	-
(12)	6'-0"	8'-0"	1-3/4"	DBL SWING	GLASS/FIBERGLASS	FIBERLASS	-	NA	NOTE 10 FOR SPEC
(13)	6'-0"	8'-0"	1-3/4"	DBL SWING	GLASS/FIBERGLASS	FIBERLASS	-	NA	2'-0"x8'-0" SIDELITE ON EACH SIDE, NOTE 10 FOR SPEC
(14)	3'-0"	7'-0"	1-3/4"	SWING	WOOD	WOOD	-	NA	2'-0"x7'-6" SIDELITE ON EACH SIDE

A. HEAD



B. SIL



C1. JAMB

WINDOW FASTENING NOTE:
PERMITTER OF THE WINDOW TO BE SECURED WITH 6d GALVANIZED OR CORROSION RESISTANT FASTENERS AT 12" O.C. (MAX.). HINGED OR PIVOTED WINDOWS REQUIRE ADDITIONAL FASTENERS LOCATED WITHIN 1" OF EACH SIDE OF, AND IN SAME PLANE AS THE HINGE OR PIVOT. SEAL ALL FASTENER HEADS DURING INSTALLATION WITH SEALANT. IN EACH DIRECTION FROM THE CORNER THERE MUST BE A FASTENER WITHIN 6 INCHES, BUT NO CLOSER THAN 3 INCHES, TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEAL.

WINDOW HEAD, SIL, JAMB
© STUCCO DETAILS

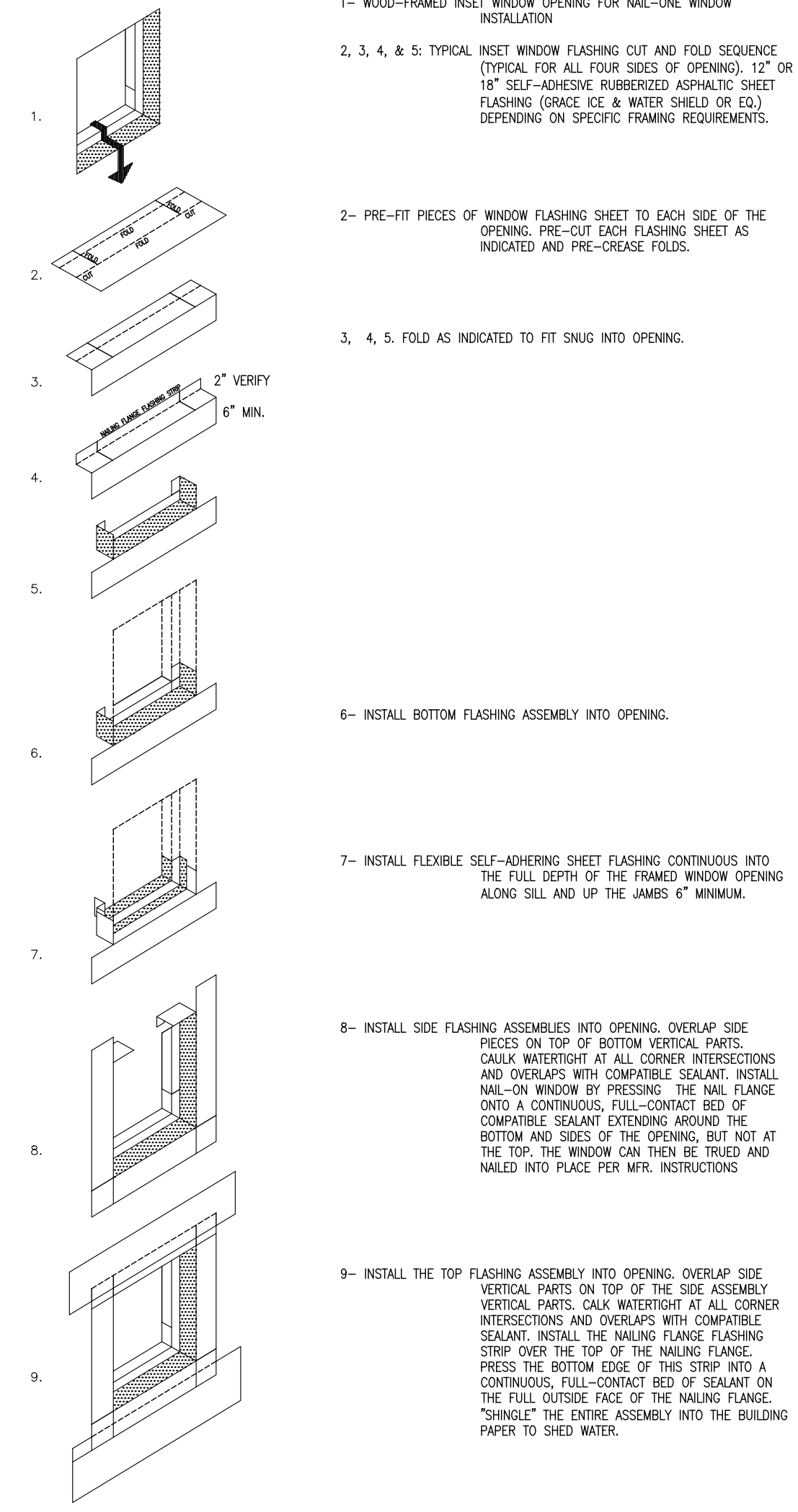
SCALE:
1"=1'-0"

2

RECESSED WINDOW
FLASHING DETAIL

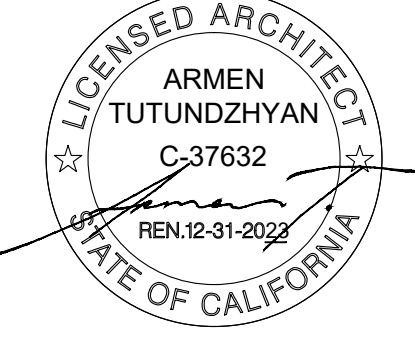
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N.T.S.

1



NOTE:
CAULK AND SEAL ALL PUNCTURES WITH FLUID APPLIED FLASHING PER MANUFACTURE. WINDOW FLASHING ASSEMBLY MANUFACTURE TO MATCH HOUSE WATERPROOFING MANUFACTURE. DO NOT MIX AND MATCH DIFFERENT MANUFACTURES. REFER TO MANUFACTURE SPECIFICATION & DETAILS FOR MORE INFORMATION, IF ASSEMBLY CHANGES CONTRACTOR TO NOTIFY ARCHITECT.

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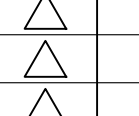
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PROJECT TITLE:
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
3967 SAN AUGUSTINE DR.
GLENDALE, CA 91206

NO. ISSUED FOR:



REV BY:

JOB NO.: 21023

DRAWN BY: A.T.

CHECKED BY: A.T.

DATE: 10-12-22

SHEET DESCRIPTION:
SCHEDULE & DETAILS

SHEET NUMBER:

A-601

