



1844 BARA RD



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#	BY	DATE

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CONTRACTOR TO VERIFY ALL
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PERTAINING TO THE WORK AT
THE SITE BEFORE PROCEEDING
WITH THE WORK

GARY KOKONYAN
1844 BARA RD,
GLENDALE, CA, 91208

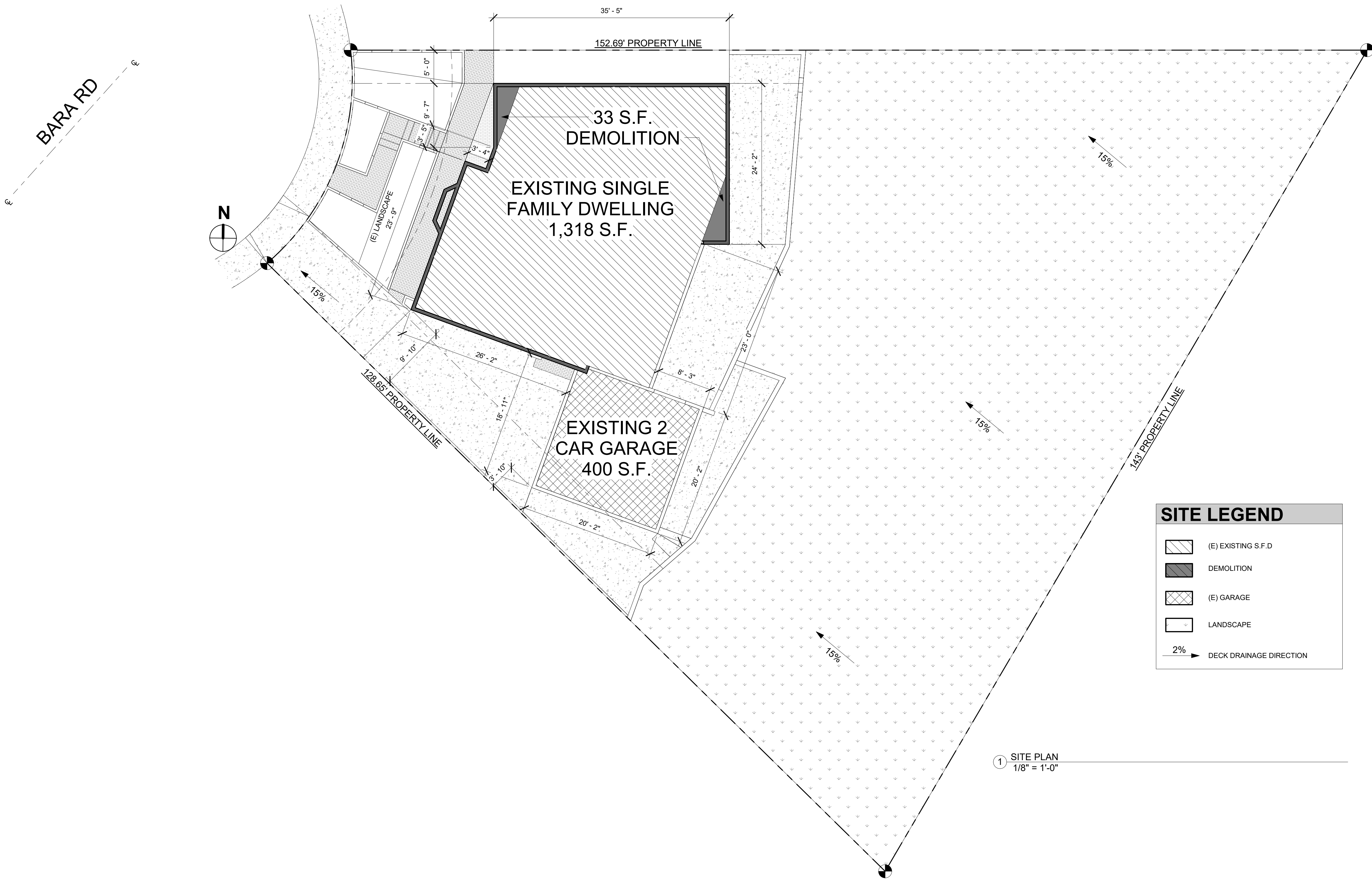
PROJECT INFO	
JOB NO.	A_2021-001
START DATE	1-15-2021
DRAWN BY	Author
CHECKED BY	Checker
ISSUED FOR	
CLIENT APPROVAL	
CITY SUBMITTAL	
BIDDING	
CONSTRUCTION	
SHEET DESCRIPTION	

RENDERED
PERSPECTIVE

SHEET NUMBER

A-0
SHEET OF

1/18/2023 10:44:30 AM



1 SITE PLAN
1/8" = 1'-0"

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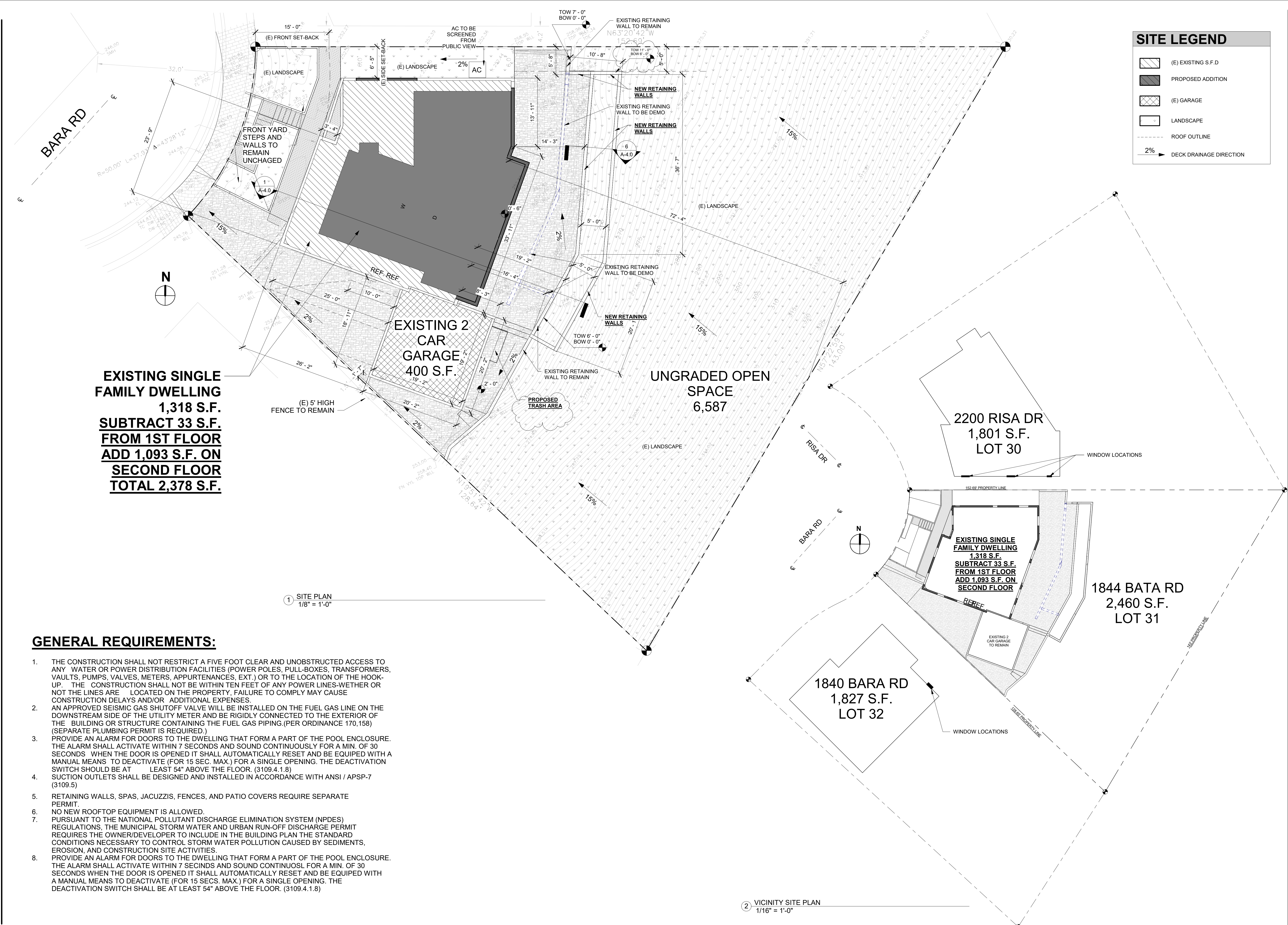
**EXISTING SITE
PLAN**

SHEET NUMBER

A-1.0

SHEET 2 OF 7

2/8/2022 10:30:30 AM



SITE LEGEND

- (E) EXISTING S.F.D
- PROPOSED ADDITION
- (E) GARAGE
- LANDSCAPE
- ROOF OUTLINE
- 2% DECK DRAINAGE DIRECTION



LOS ANGELES, CA
818.331.1151
ARVIN@ARCHNTECH.COM

#	BY	DATE
1	Revision 1	Date 1

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[Signature]

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SHEET DESCRIPTION	

NEW SITE PLAN

SHEET NUMBER

A-1.1

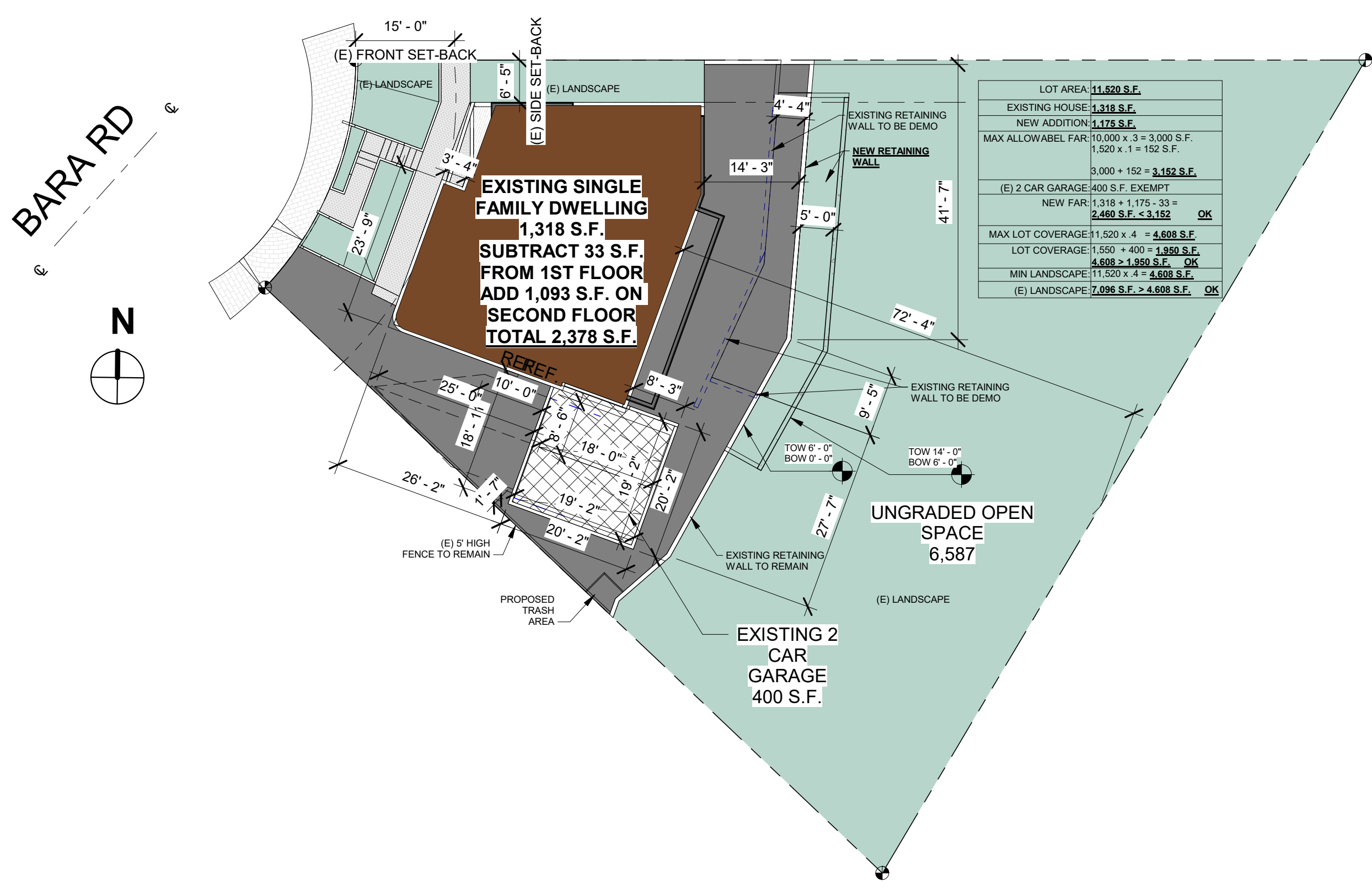
SHEET 2 OF 7

GENERAL REQUIREMENTS:

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, EXT.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY, FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.(PER ORDINANCE 170, 158) (SEPARATE PLUMBING PERMIT IS REQUIRED.)
- PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED IT SHALL AUTOMATICALLY RESET AND BE EQUIPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SEC. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHOULD BE AT LEAST 54" ABOVE THE FLOOR. (3109.4.1.8)
- SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI / APSP-7 (3109.5)
- RETAINING WALLS, SPAS, JACUZZIS, FENCES, AND PATIO COVERS REQUIRE SEPARATE PERMIT.
- NO NEW ROOFTOP EQUIPMENT IS ALLOWED.
- PURSUANT TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REGULATIONS, THE MUNICIPAL STORM WATER AND URBAN RUN-OFF DISCHARGE PERMIT REQUIRES THE OWNER/DEVELOPER TO INCLUDE IN THE BUILDING PLAN THE STANDARD CONDITIONS NECESSARY TO CONTROL STORM WATER POLLUTION CAUSED BY SEDIMENTS, EROSION, AND CONSTRUCTION SITE ACTIVITIES.
- PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL ACTIVATE WITHIN 7 SECINDS AND SOUND CONTINUOSL FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED IT SHALL AUTOMATICALLY RESET AND BE EQUIPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (3109.4.1.8)



2 CUT & FILL MAP
1/16" = 1'-0"



1 PLOT PLAN
1/16" = 1'-0"



CITY OF GLENDALE
BUILDING AND SAFETY
633 EAST BROADWAY ROOM 101 (818) 548-3200

SUPPLEMENTAL CORRECTION SHEET
SECURITY STANDARDS - RESIDENTIAL

- The following buildings shall comply with the Security Provisions:
 - New residential buildings of all types.
 - Additions or alterations to residential buildings of all types.
 - Multiple family dwelling units converted to privately owned family units (condominiums, cooperatives).
- Identify all security openings clearly on plans. The symbol * may be used, but any system which clearly defines security openings will be acceptable.
 - Security Openings are defined as:
 - All exterior doors of residential buildings.
 - The door leading from garage into attached dwelling units.
 - Entrance doors to individual apartments or condominiums from a public area.
 - Any glazed opening within 40" of any door locking mechanism in the closed mechanism.
 - Louvered windows within 12" vertically or 6" horizontally of an accessible surface or an adjoining roof, balcony, landing, stair tread, platform, or similar structure.
 - Openings or windows into public parking areas.
 - All openable windows. See Item 4 below.
- Provide details and specifications for all swinging doors in security openings.
 - Specify thickness, type, and materials as applicable for wood, metal, and glass doors.
 - Specify deadbolts with hardened inserts; dead-locking latch; key-operated locks or exterior; locks operable without key, special knowledge or special effort on interior; any type, throw, and embedment of deadbolts for single swing doors, active leaf of dutch door.
 - Show means of securing inactive leaf of double door and upper leaf of dutch door.
- Architect shall specify sliding glass doors and operable security windows on plans by trade name. Architect shall provide plan checker with a copy of performance test report prepared by manufacturer or ICC number, indicating compliance with tests as required in the most recent edition of the California Building Code.
- Show the method of securing metal or wood overhead or sliding doors.
- For multiple family dwellings, show illuminated diagram on plans as specified in General Notes, Item 12.2.

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- Openings or windows referred to in item 2g above, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens, or grilles. The protective bars or grilles shall not interfere with the operation of opening windows if such windows are required to be operable by this Code.
- In addition to the details and specifications required by items 1 through 7 above, provide appropriate general notes and specifications to comply with Volume VII, Ordinance No. 5592. The following example notes may be used in part or in total as appropriate:

GENERAL NOTES:

All openings marked * are security openings and the following notes shall apply:

- Each unit in a residential development shall be keyed differently than any other units under the same general plan. A certificate from the lock supplier declaring that all locks supplied to the project are keyed separately shall be acceptable as complying with the above requirements.
- Door jambs shall have a solid backing with no voids exist between the strike side of the jamb and the frame opening for a vertical distance of six (6) inches (153mm) each side of the strike.
- In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each side of the door openings. Jambs shall have solid backing against sole plates.
- Iron or steel screens shall be 1/8" thick with 2" mesh securely fastened.
- Iron bars shall be 1/2" diameter bars or 1" x 1/4" flat steel spaced at 5" max, securely fastened.
- Cylinder guards shall be attached with 1/2" connecting screws, and shall be installed whenever the cylinder projects beyond the face of the door, or is otherwise accessible to gripping tools.
- Door stops for in-swinging doors shall be integrated (rabbeted) with the jamb. Jambs for all doors shall be constructed or protected so as to prevent violation of the strike.
- The strike plate for deadbolts on all wood frame doors shall be constructed of at least sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by a minimum of two screws.
- Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.
- Louvered windows shall not be used when any portion of the window is less than 12 feet (3658mm) vertically or 6 feet (1829mm) horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
- Garage Door Types: Rolling overhead, solid overhead, swing or sliding accordion garage-type doors shall conform to the following standards:
 - Wood doors shall have panels a minimum of five-sixteenths (5/16) inch (8mm) in thickness with the locking hardware being attached to the support framing.
 - Aluminum doors shall be a minimum thickness of .0215 inches (.546mm) and riveted together a minimum of eighteen (18) inches (458mm) on center along the outside seams.

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There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestrian access, door framing within three (3) inches (76mm) of the strike area of the pilot or pedestrian access door.

- Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot (1831 gram/m²) from the bottom of the door to a height of seven (7) feet (2134mm). Panels above seven (7) feet (2134mm) and panels in residential structures shall have a density not less than five (5) ounces per square foot (1526 grams/m²).
- Doors utilizing a cylinder lock shall have not less than a five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch (25.4mm).
- Doors exceeding sixteen (16) feet (4877mm) in width shall have two lock receiving points or, if the door does not exceed nineteen (19) feet (5791mm), a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door frame header, or, torsion spring counter balance type hardware may be used.
- Doors with slide bolt assemblies shall have frames a minimum of .120 inches (3mm) in thickness, with a minimum bolt diameter of one-half (1/2) inch (13mm) and protrude at least one and one-half (1 1/2) inches (38mm) into the receiving guide. A bolt diameter of three-eighths (3/8) inch (10mm) may be used in a residential building. The slide bolt shall be attached to the door with non-removable bolts from the outside. Rivets shall not be used to attach slide bolt assemblies.
- Swinging Exterior Doors: All exterior swinging doors of any residential building and attached garages (except for vehicular access doors), including the door leading from the garage area into the dwelling unit shall be equipped as follows:
 - All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 3/4) inches (45mm), or with panels not less than nine-sixteenths (9/16) inch (15mm) thick.
 - A single or double door shall be equipped with a single cylinder deadbolt lock with a minimum projection of one (1) inch (25.4mm) and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch (19mm) into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one fourth (1/4) inch (6.3mm) in diameter. All installation shall be done so that the performance of the locking device will meet the intended anti-burglary requirements. A dual locking mechanism constructed so that both deadbolt and latch can be retracted by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices.
 - The inactive leaf of double doors shall be equipped with metal flush bolts having a minimum embedment of five-eighths (5/8) inch (16mm) into the head and threshold or the door frame.
 - Glazing: Glazing in exterior doors or within forty (40) inches (1016mm) of any locking mechanism shall be of fully tempered glass or rated burglary resistant glazing.
 - Wide Angle Viewer: Except where clear vision panels are installed, all front exterior doors shall be equipped with a wide angle (180°) door viewer.

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- Hollow steel doors shall be a minimum sixteen (16) gauge thick with extra reinforcing around the lock to prevent collapsing.
- Aluminum doors shall be constructed per Vol. VII, Section 15.3 of Security Ordinance No. 5581, and shall be equipped with a double cylinder deadbolt with a 1" min. bolt projection or hook shaped or expanding dog bolt to prevent spreading. The deadbolt lock shall have a minimum of five (5) pin tumblers and a cylinder guard.
- Address Number and Identifying Data: Address numbers and other identifying data shall be displayed as follows:
 - All residential dwellings shall display an address number in a prominent location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than four (4) inches (102mm) in height and shall be of a contrasting color to the background to which they are attached. In addition, any residence with rear vehicular access through any driveway, alleyway or parking lot shall also display the same numbers on the rear of the building.
 - Multiple Family Dwelling: Illuminated Diagrams and Identification Numbers: There shall be positioned at each entrance of a multiple family dwelling complex an illuminated diagrammatic representation of the complex which shows the location of:
 - The viewer.
 - The unit designations within the complex.
 - Each unit that is a "smoking unit and a "non smoking" unit (as governed by Chapter 8.52 of the Glendale Municipal Code, 1995, or any successor legislation);
 - A smoking permitted area authorized under Section 8.52.130 of the G.M.C. and
 - The complex's exits, stairwells, elevators, fire alarm annunciator panels, and standpipes.In addition, each individual unit within the complex shall display a prominent identification number, not less than four (4) inches (102mm) in height, which is easily visible to approaching vehicular and/or pedestrian traffic. In addition, any multiple family dwelling with rear vehicular access shall also display the same numbers on the rear of the building.
- Lighting: Multiple Family Dwelling. Lighting in multiple family dwellings shall be as follows:
 - Aisles, Passageways and Recesses: Aisles, passageways and recesses related to and within the building complex shall be illuminated with an intensity of at least twenty-five hundredths (.25) of a footcandle (2.7 lux) at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.
 - Parking Structures, Parking Lots and Carports: Parking structures, parking lots and carports shall be provided with a minimum of two (2) footcandles (21.5 lux) of light on the parking surface during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.
- Note: These notes are intended as a guide only. Contractor and supplier shall refer to the Glendale Building & Safety Code, Volume VII for more complete and specific details.

Rev 01/20 - Page 4 of 4



#	BY	DATE
1	Revision 1	Date 1

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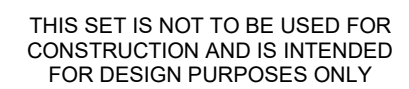
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SHEET DESCRIPTION	

PLOT PLAN	
SHEET NUMBER	
A-1.1.1	OF



#	BY	DATE
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SURVEY

SHEET NUMBER

A-1.2

SHEET OF



THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF GARY KOKONYAN IN MARCH OF 2021.

Larry C. Canterbury 3/20/2012
LARRY C. CANTERBERRY, LS/8776 DATE



BASIS OF BEARINGS:

THE BEARING OF N69°06'33"E, SHOWN FOR THE CENTERLINE OF BARA ROAD ON TRACT NO. 14960, MAP BOOK 428, PAGE 1, WAS USED AS THE BASIS OF BEARINGS HEREON.

NOTES:

ALL DISTANCES AND DIMENSIONS SHOWN HEREON
ARE IN FEET AND DECIMALS THEREOF.

NO TITLE REPORT WAS PROVIDED FOR THIS SURVEY.

CITY BENCHMARK:

BENCH MARK: BM2107
ELEVATION: 892.21 FEET
DESCRIPTION: BRASS DISK IN E'LY CURB VERDUGO RD
1.0 FT N'LY OF BCR N-E'LY CORNER.
STAMPED 'BM 2107 SET 2003'





LEGAL DESCRIPTION:

LOT 31 OF TRACT NO. 14960, MAP BOOK 428, PAGE 1

LAND AREA:

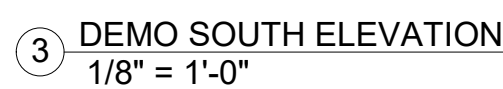
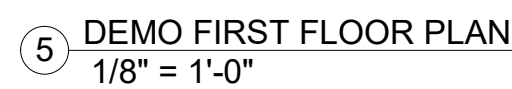
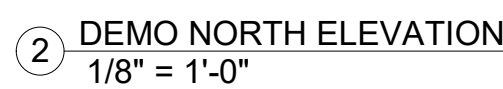
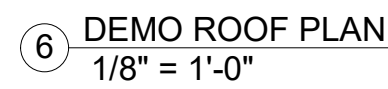
CONTAINING AN AREA OF 11,509 SQUARE FEET, MORE OR LESS

LEGEND:

-  (E) POWER POLE
 (E) SEWER MANHOLE
 (E) FENCE
 (E) OVERHEAD POWER

ABBREVIATIONS:

AC = ASPHALT CONCRETE
AP = ANGLE POINT
CNC = CONCRETE
CLK = LINK-LINK
COR = CORNER
DI = DROP INLET
DW = DRIVEWAY
(E) = EXISTING
EP = EDGE OF PAVEMENT
FD = FOUND
FC = FACE OF
FF = FINISH FLOOR
FL = FLOWLINE
FN = FENCE
GR = GRASS
INV = INVERT
IP = IRON PIPE
LP = LOW POINT
NG = NATURAL GROUND
MH = MANHOLE
MON = MONUMENT
OHE = OVERHEAD ELECTRIC LINE
PP = POWERPOLE
RET = RETENTION WALL
RW = RIGHT-OF-WAY
R/W = RIGHT-OF-WAY
SD = STORM DRAIN
SGN = SIGN
SPG = WATER SPIGOT
SMH = SEWER MANHOLE
STP = STEP
TC = TOP OF CURB
TOE = TOE OF SLOPE
TOP = TOP OF SLOPE
WD = WOOD
WI = WROUGHT IRON
WLL = WALL


$$(4,315.2) / (2,008.2) = \underline{\underline{46.11 \%}}$$

TOTAL WALL AREA **244.8 S.F.**
TO BE DEMOLISHED



1844 BARA RD,
GLENDALE, CA, 91208

A 10

HEET OF

2/8/2022 10:30:31 AM

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[illegible]

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HECKED BY	Checker

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Y SUBMITTAL

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INSTRUCTION

FEET DESCRIPTION

KEY DESCRIPTION

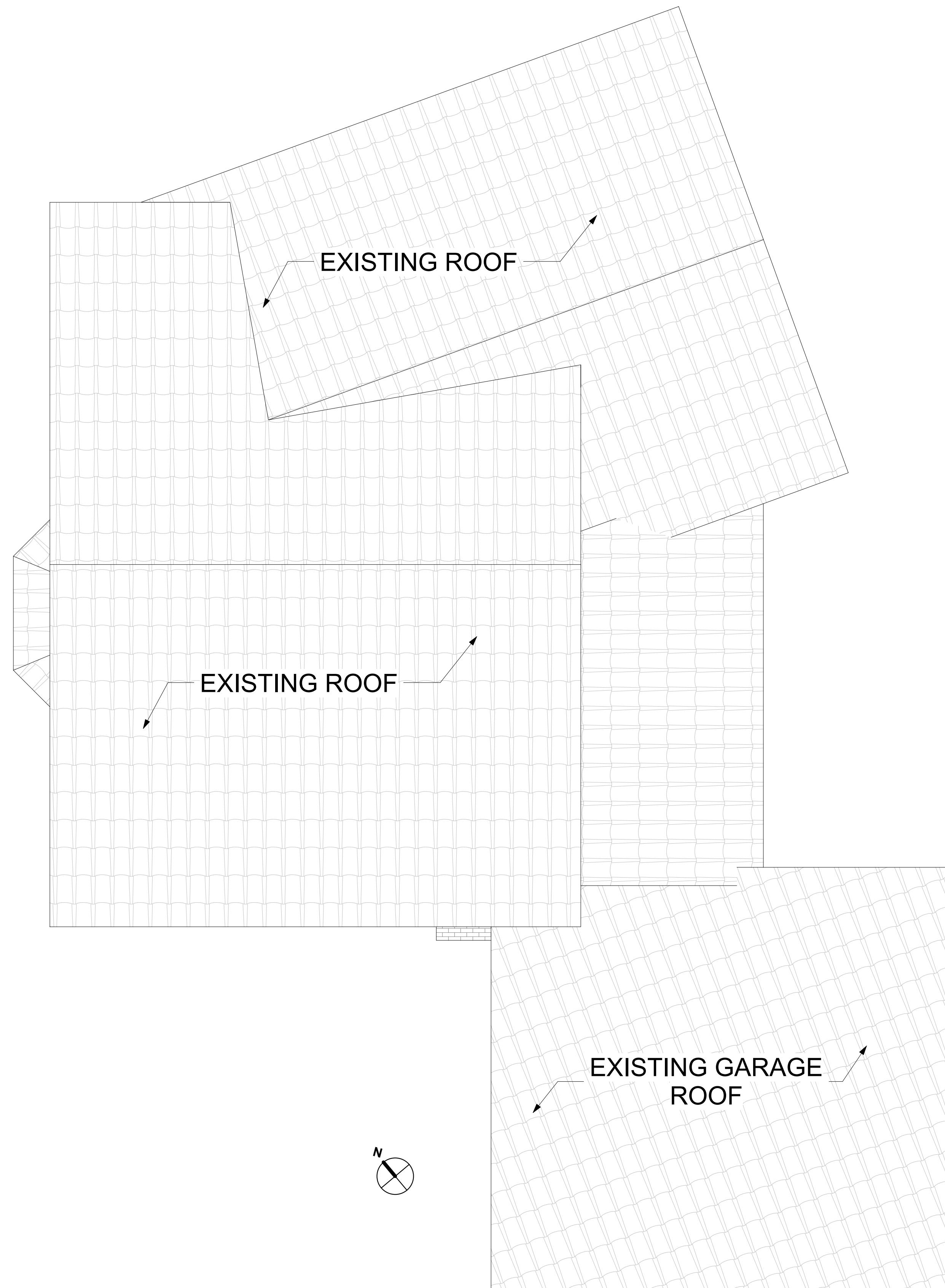
EXISTING

EXISTING FLOOR PLANS

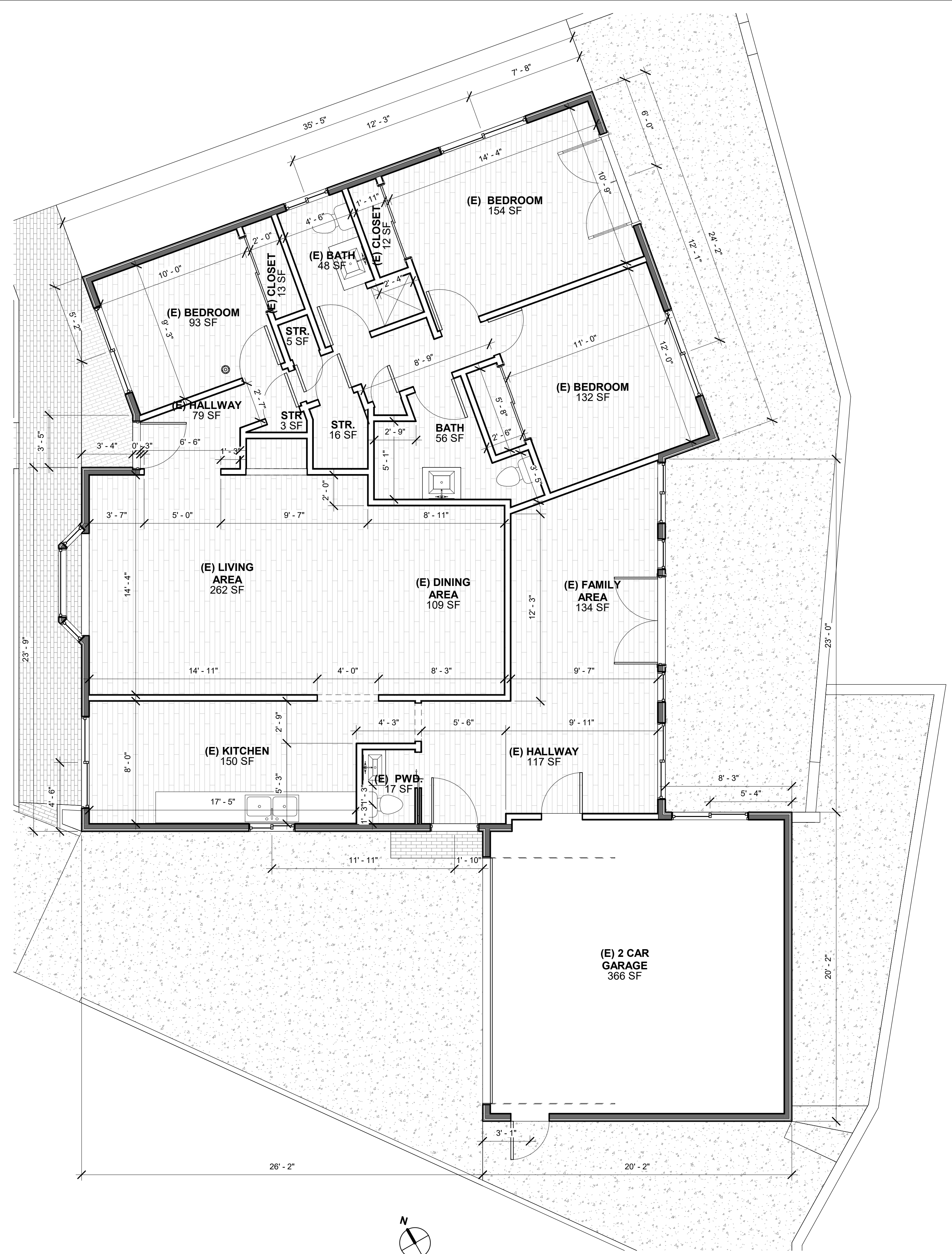
SHEET NUMBER

A-2.0

PAGE _____ OF _____



② TOP OF ROOF
1/4" = 1'-0"

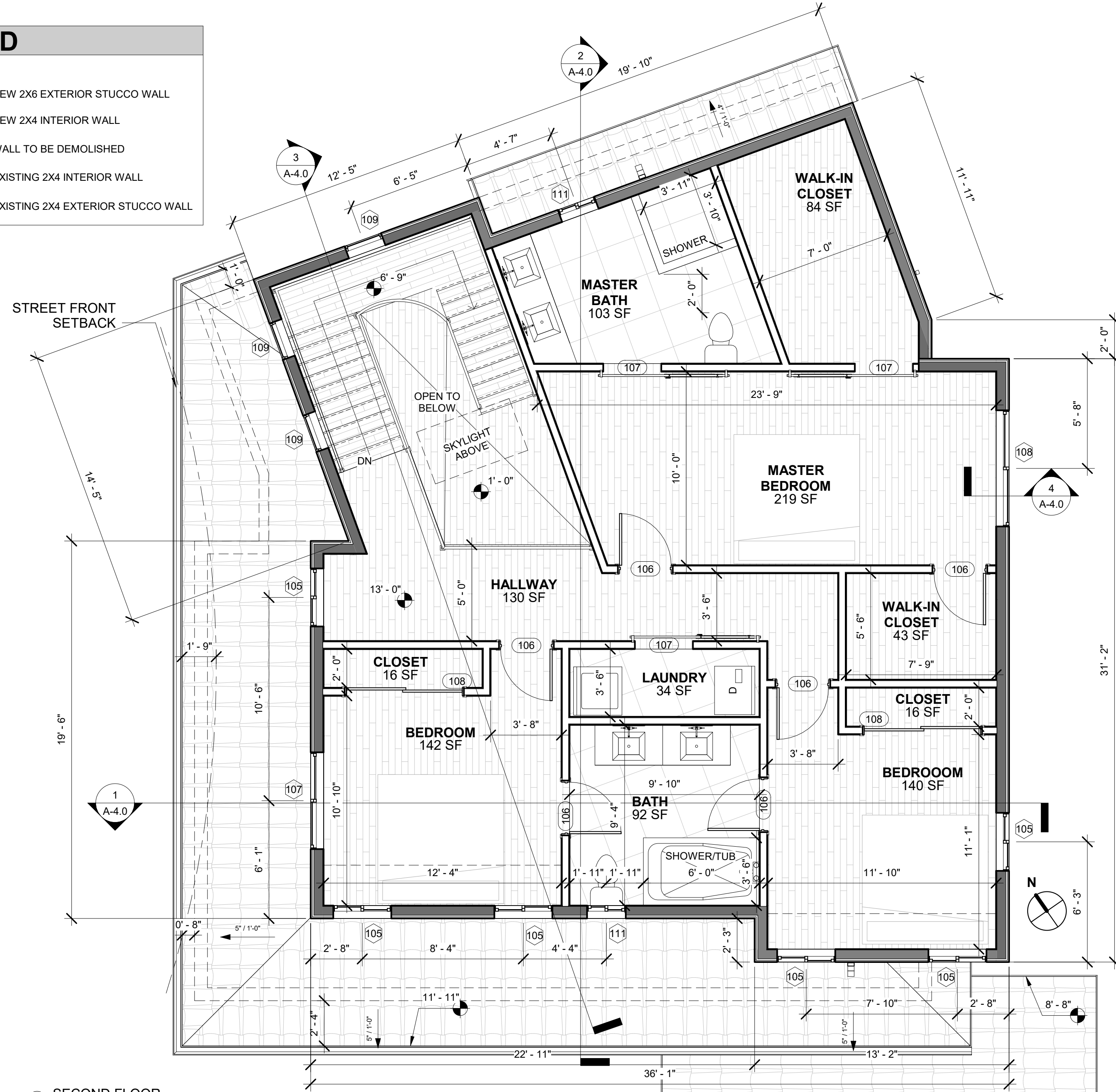


1 FIRST FLOOR PLAN
1/4" = 1'-0"

2/8/2022 10:30:32 AM

WALL LEGEND

	NEW 2X6 EXTERIOR STUCCO WALL
	NEW 2X4 INTERIOR WALL
	WALL TO BE DEMOLISHED
	EXISTING 2X4 INTERIOR WALL
	EXISTING 2X4 EXTERIOR STUCCO WALL

② SECOND FLOOR
1/4" = 1'-0"

DOOR SCHEDULE

#	QTY.	WIDTH	HEIGHT	FUNCTION	MATERIAL	MANUFACTURE	REMARKS	Level
101	1	3' - 6"	8' - 0"	Exterior	WOOD/GLASS		NEW	FLOOR LEVEL
102	1	3' - 0"	6' - 8"	Interior	WOOD		NEW-1 HR. RATED	FLOOR LEVEL
103	2	3' - 2"	8' - 0"	Interior	WOOD		NEW	FLOOR LEVEL
104	1	6' - 0"	8' - 0"	Interior	WOOD		NEW	FLOOR LEVEL
105	1	10' - 0"	9' - 0"	Exterior	GLASS		NEW	FLOOR LEVEL
106	6	2' - 8"	6' - 8"	Interior	WOOD		NEW	SECOND FLOOR
107	3	3' - 0"	6' - 8"	Interior	WOOD		NEW	SECOND FLOOR
108	2	6' - 0"	6' - 8"	Interior	WOOD		NEW	SECOND FLOOR
110	1	2' - 6"	6' - 8"	Exterior	WOOD		EXISTING	NATURAL GRADE
111	1	16' - 0"	7' - 0"	Exterior	ALUMINUM		EXISTING	NATURAL GRADE

WINDOW SCHEDULE

#	QTY.	(E) WIDTH X HEIGHT	(N) WIDTH X HEIGHT	EXISTING MATERIAL	NEW MATREIAL	VISIBLE FROM THE STREET?	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (STL)	KEEP EXISTING SILL & FRAME?	BUILD NEW SILL & FRAME	(E) EDGE DETAIL	NEW EDGE DETAIL	BED-ROOM?	ENERGY EFFICIENT?	TEMPERED GLASS?	FIRE HAZARD ZONE?	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR?
101	1		5'-0" x 7'-0"		ALUMINUM	YES		FIXED ARCHED	NAIL IN	NO		YES		RECESSED	NO	YES	NO	YES	NO - NO
102	1		5'-0" x 5'-0"		ALUMINUM	YES		CASEMENT	NAIL IN	YES		YES		RECESSED	NO	YES	NO	YES	NO - NO
103	2		3'-0" x 5'-0"		ALUMINUM	YES		CASEMENT	NAIL IN	YES		YES		RECESSED	NO	YES	YES	YES	NO - NO
104	6		4'-0" x 5'-0"		ALUMINUM	YES		CASEMENT	NAIL IN	YES		YES		RECESSED	YES	YES	NO	YES	NO - YES
105	5		3'-0" x 4'-0"		ALUMINUM	YES		CASEMENT	NAIL IN	YES		YES		RECESSED	YES	YES	NO	YES	NO - NO
106	1		3'-0" x 5'-0"		ALUMINUM	NO		FIXED-SKYLIGHT	NAIL IN	NO		YES		RECESSED	NO	YES	NO	YES	NO - NO
107	1		5'-0" x 4'-0"		ALUMINUM	YES		CASEMENT	NAIL IN	YES		YES		RECESSED	YES	YES	NO	YES	NO - NO
108	1		6'-0" x 4'-0"		ALUMINUM	NO		CASEMENT	NAIL IN	YES		YES		RECESSED	YES	YES	NO	YES	NO - NO
109	3		2'-0" x 3'-0"		ALUMINUM	YES		FIXED ARCHED	NAIL IN	NO		YES		RECESSED	NO	YES	NO	YES	NO - NO
110	1	5'-0" 4'-0"			VINYL	NO	SLIDING		NAIL IN	NO	YES		RECESSED		NO	NO	NO	YES	NO - NO
111	3		2'-0" x 3'-0"		ALUMINUM	YES		CASEMENT	NAIL IN	YES		YES		RECESSED	NO	YES	YES	YES	NO - NO

STREET FRONT SET-BACK

STREET FRONT SET-BACK

① FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE:

- ALL DOORS AND WINDOWS SHALL MEET CITY OF GLENDALE'S SECURITY ORDINANCE.
- MAXIMUM U-FACTOR 0.32 AND SOLAR HEAT GAIN COEFFICIENT (SHGC) 0.25**
- THRESHOLDS (R311.3.1): 3/4 INCHES MAXIMUM FOR SLIDERS, 1/2 INCHES MAXIMUM FOR OTHER DOORS. THRESHOLDS > 1/4 INCHES SHALL BE BEVELED AT 1:2. 7 3/4" THRESHOLD DROP FOR EXTERIOR DOORS NOT A COMPONENT OF A MEANS OF EGRESS NOT TO SWING OVER LANDING OR STEP.**

ELECTRICAL LEGEND

	EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
	SMOKE ALARMS (R314.3 CRC): SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: A. IN EACH SLEEPING ROOM B. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM. C. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLING OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. D. ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS. E. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP. F. APPROVED COMBINED SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE ACCEPTABLE.
	CARBON MONOXIDE ALARMS (R315.3 CRC) - ALARM REQUIREMENTS (LOCATION): G. OUTSIDE OF EACH SEPARATE DWELLING UNITS SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). H. ON EVERY OCCUPABLE LEVEL OF A DWELLING UNIT, INCLUDING BASEMENTS. I. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP. J. ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS. K. APPROVED COMBINED SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE ACCEPTABLE.

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#	BY	DATE
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GARY KOKONYAN
1844 BARA RD,
GLENDALE, CA, 91208

PROJECT INFO

JOB NO.	A_2021-001
START DATE	1-15-2021
DRAWN BY	ARVIN
CHECKED BY	Checker
ISSUED FOR	
CLIENT APPROVAL	
CITY SUBMITTAL	
BIDDING	
CONSTRUCTION	
SHEET DESCRIPTION	

NEW FLOOR PLANS

SHEET NUMBER

A-2.1
SHEET OF

1/18/2023 10:45:03 AM

28 Watt Solar-Powered Black Remote Mount Attic Vent

The Broan 537 CFM Solar-Powered Black Remote Mount Attic Vent 345RSOBK removes heat from the attic in summer and helps prevent moisture and ice dams in the winter without using any electricity. It also helps to lower energy costs by reducing running time of air conditioners. Easy retrofit can easily replace standard powered attic ventilators.

- Locate the flat solar panel remotely where it can receive the best sunlight and hide the ventilator portion from view, depending on your roof construction
- Provides 537 CFM maximum for year round protection for the structure of your home
- Rated for attics up to 3200 cu. ft., or 1000 sq. ft. with a 6/12 pitch, so your whole house stays cooler
- Housing is a molded design of UV-stabilized, color-dyed, rugged ABS plastic that withstands hail and resists fading to remain attractive for years, may also be painted to match your roof color
- Rugged, tempered glass solar panel withstands large hail and won't delaminate so you can be confident in its reliability, functionality and attractive appearance
- 28-Watt solar panel captures sunlight from dawn to dusk and efficiently converts it into electric power to keep your attic cool and dry all day long
- 12 in. Diameter, 1-piece aluminum 5-blade fan is pitched for maximum air flow to keep your living area cooler, extend the life of your air conditioner and save energy and money
- Aluminum, heavy-gauge corrosion resistant screen helps keep out insects, animals or birds without impeding airflow
- Optional thermostat is easy to install and disables the motor when the temperature dips below 50-degrees, to extend motor life
- Because broan solar powered attic ventilators operate without fuel, waste or pollution, they earn points towards green building helping you save money on electricity
- Compact base footprint means fewer shingles to cut for easier, faster installation
- Includes stainless steel fasteners and galvanized steel brackets for durability and corrosion resistance
- Federal tax credit may apply, see http://www.energystar.gov/index.cfm?c=tax_credits.tx_index
- Variable speed motor enables the fan to begin turning slowly when the sun first comes up or on overcast days
- For any questions regarding product features, installation, or specifications, please call our Technical Services Dept. at 800-637-4663.

28 Watt Solar-Powered Black Remote Mount Attic Vent

Dimensions

Coverage Area (Sq.Ft)	1200	Cut-Out Diameter (in.)	16
Net-Free Area (Sq. In.)	0	Product Depth (in.)	25.5
Product Height (in.)	9	Product Width (in.)	25.5
Rough Opening Height (In.)	14	Rough Opening Width (In.)	14

Details

Airflow (CFM)	537	Color Family	Black
Color/Finish	Black	Color/Finish Family	Black
Features	Corrosion Resistant,UV Resistant,Weather Resistant	Horsepower (hp)	0
Intake/Exhaust	Exhaust	Material	Plastic
Mounting Position	Roof Mount	Power Type	Solar Powered
Product Weight (lb.)	24	Recommended Sq. Ft.	0
Returnable	180-Day	Ventilation Type	Roof
Voltage (volts)	0	Voltage (volts)	120
Wattage (watts)	28		

VENT CALCS. - SPECS ON A-4.0

AREA OF MAIN ATTIC SPACE

@ 1,144 SQ.F.T

28 Watt Solar-Powered Black Remote Mount Attic Vent

THE REMINGTON SOLAR 660 CFM SOLAR-POWERED ROOF-MOUNT EXHAUST FAN WILL HELP REMOVE EXCESS HEAT AND MOISTURE FROM YOUR SMALL ATTIC TO PROTECT YOUR ROOFING SYSTEM FROM PREMATURE DETERIORATION. THIS FAN IS IDEAL FOR SMALL ATTIC SPACES, GARAGES, TOOL SHEDS, CHICKEN COOPS, UTILITY SPACES, GREENHOUSES, AND SHIPPING CONTAINERS. THE SOLAR POWERED FAN REQUIRES NO WIRING, USES NO ELECTRICITY, AND WORKS WITH YOUR EXISTING INTAKE VENTS TO HELP LOWER THE TEMPERATURE IN YOUR ATTIC. THE 12-VOLT DC BRUSHLESS MOTOR PROVIDES AIRFLOW UP TO 660 CFM AND REQUIRES NO MAINTENANCE. THE IMPACT RESISTANT, 10-WATT SOLAR PANEL HAS A TILT TO PROVIDE IDEAL SUN EXPOSURE. RECOMMENDED USAGE FOR THIS UNIT IS 1 UNIT PER 900 SQ. FT. OF ATTIC SPACE WITH A MINIMUM INTAKE VENTILATION OF 300 SQ. IN. OF NET FREE AREA. COMES IN BLACK ONLY.

PERFECT FOR GREEN HOUSES, SHIPPING CONTAINERS, TOOL SHEDS, CHICKEN COOPS, GARAGES, SMALL ATTIC AREAS
TILT ABLE PANEL ALLOWS OPTIMAL ANGLE FOR POWER
NO BATTERY – SOLAR ONLY
NO THERMOSTAT. TURNS ON WHEN THE SUN IS OUT. TURNS OFF WHEN THE SUN IS NOT.
LOW MAINTENANCE 10-WATT 12-VOLT BRUSHLESS DC MOTOR
ALL STEEL CONSTRUCTION WITH WILDLIFE GUARD

1,144 SQ.FT OF ATTIC VENT AREA EQUALS 1,144/1,200=**0.95 REQUIRED**

SQ.IN. TOTAL AREA TO BE VENTILATED:1 PROVIDED @ 1,200 PER SEE SPEC ABOVE, TOTAL NET FREE VENT AREA EQUALS 1,200

1,144 Sq. FT. / 1,200 = 0.95 **Sq. Ft.**

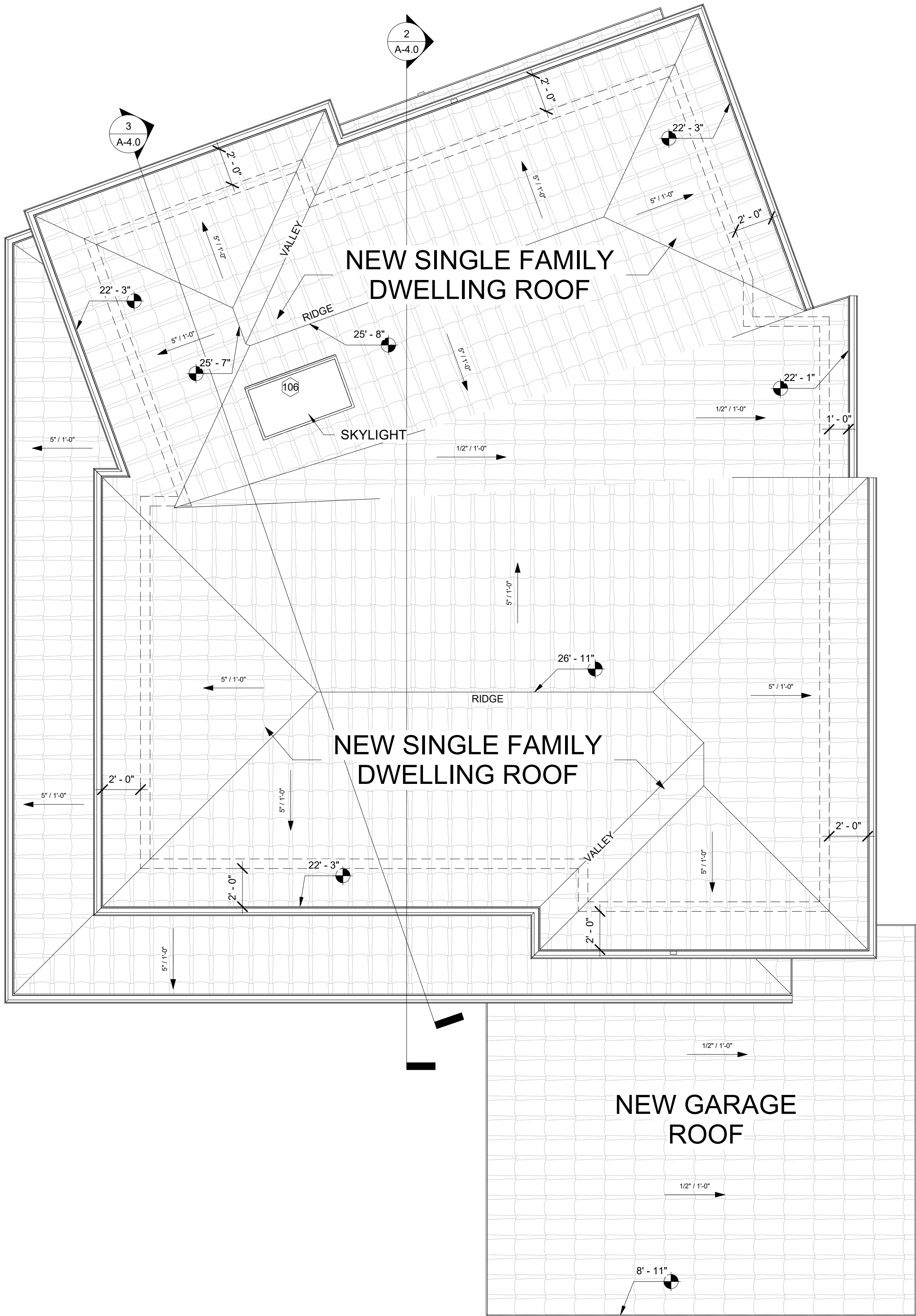
0.95 x 144 = **136.8 Sq. In.**

136.8 Sq. In. / 144 Sq. In. = **0.95**

1 VENT @ 1,200 Sq. In. = **1,200 Sq.Ft. > 1,144 Sq.Ft. OK**

NUMBER OF VENTS REQUIRED:
NUMBER OF VENTS PROVIDED:

0.95
1



1 ROOF PLAN
1/4" = 1'-0"

NOTE:

- MINIMUM 1" AIRSPACE REQUIRED BETWEEN INSULATION AND ROOF SHEATHING (R806.3CRC) PROVIDE MINIMUM STUD/RAFTER SIZE TO ACCOMODATE INSULATION. IF RAFTER-SPACE VENTILATION IS REQUIRED, PROVIDE 2X12, 2X8 AND 2X6 FOR R-30, R-19, AND R-13 RESPECTIVELY.



LOS ANGELES, CA
818.331.1151
ARVIN@ARCH-N-TECH.COM

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GARY KOKONYAN

1844 BARA RD,
GLENDALE, CA, 91208

PROJECT INFO

JOB NO. A_2021-001
START DATE 1-15-2021
DRAWN BY Author
CHECKED BY Checker

ISSUED FOR

CLIENT APPROVAL
CITY SUBMITTAL
BIDDING
CONSTRUCTION

SHEET DESCRIPTION

NEW ROOF
PLAN

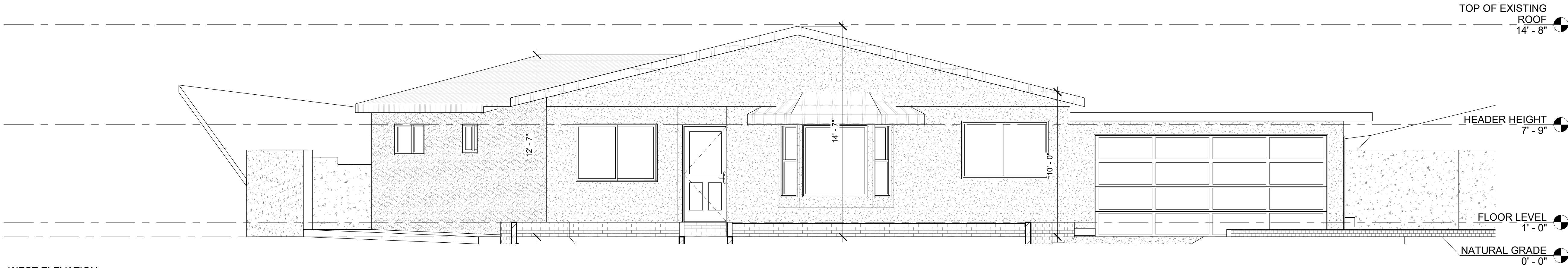
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A-2.2

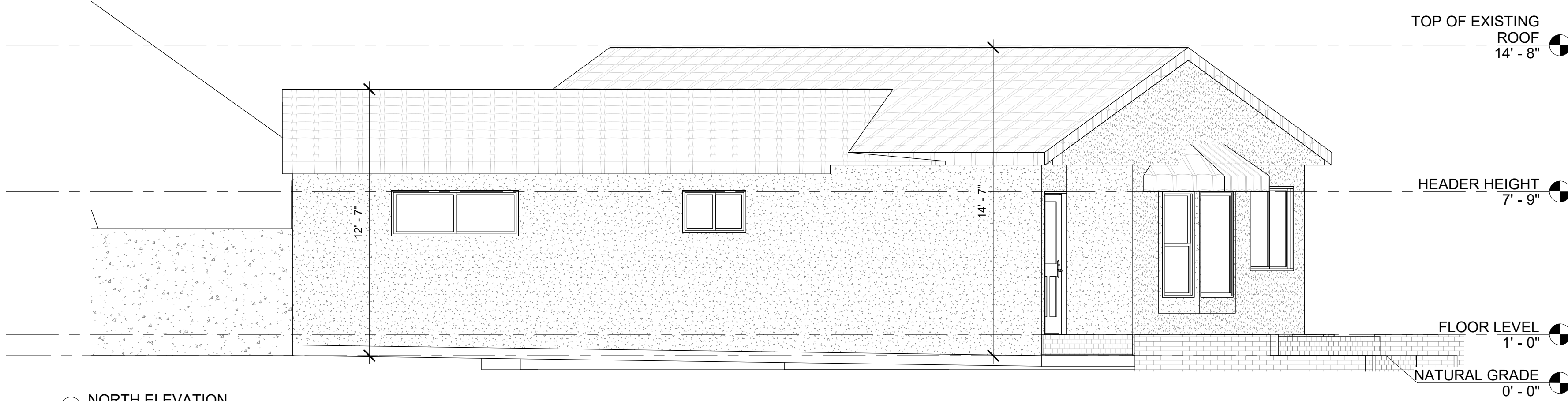
SHEET

OF

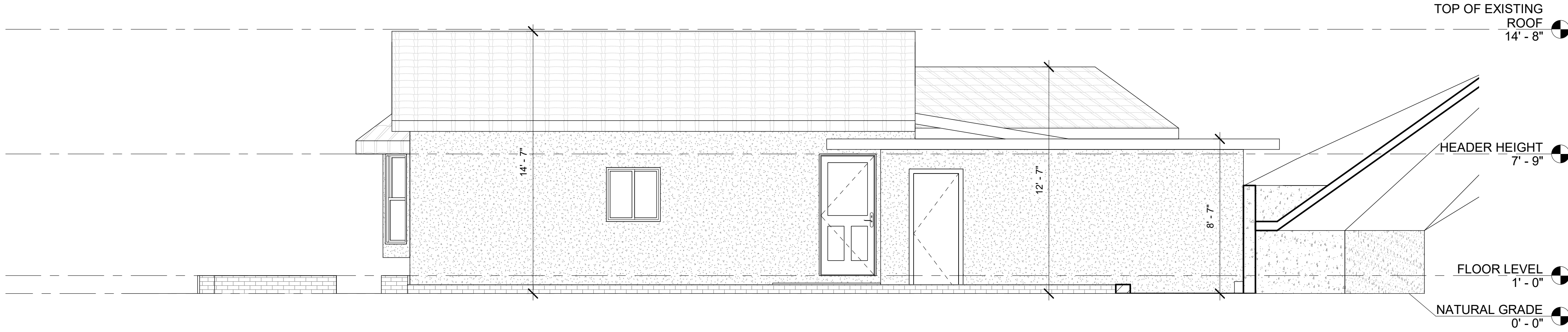
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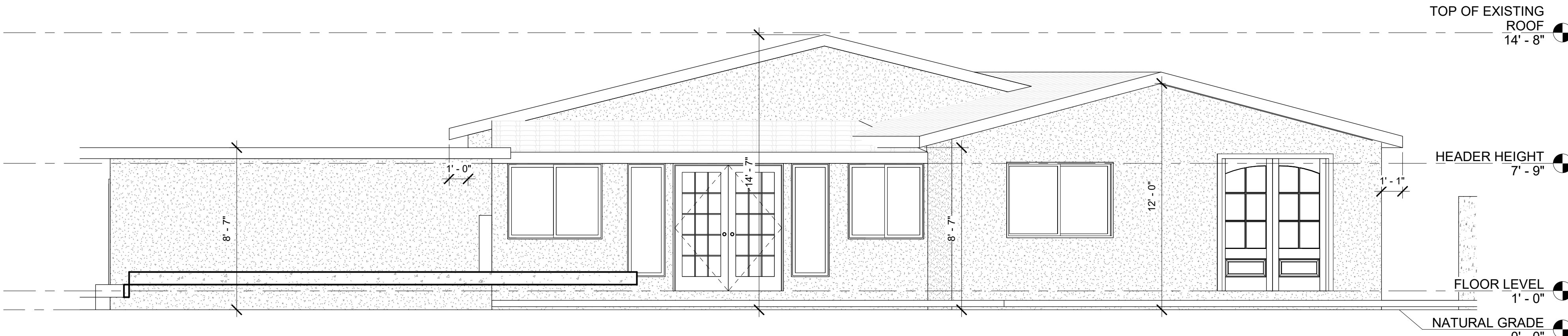
① WEST ELEVATION
1/4" = 1'-0"



⑤ NORTH ELEVATION
1/4" = 1'-0"



② SOUTH ELEVATION
1/4" = 1'-0"



③ EAST ELEVATION
1/4" = 1'-0"

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STAMP

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SHEET DESCRIPTION

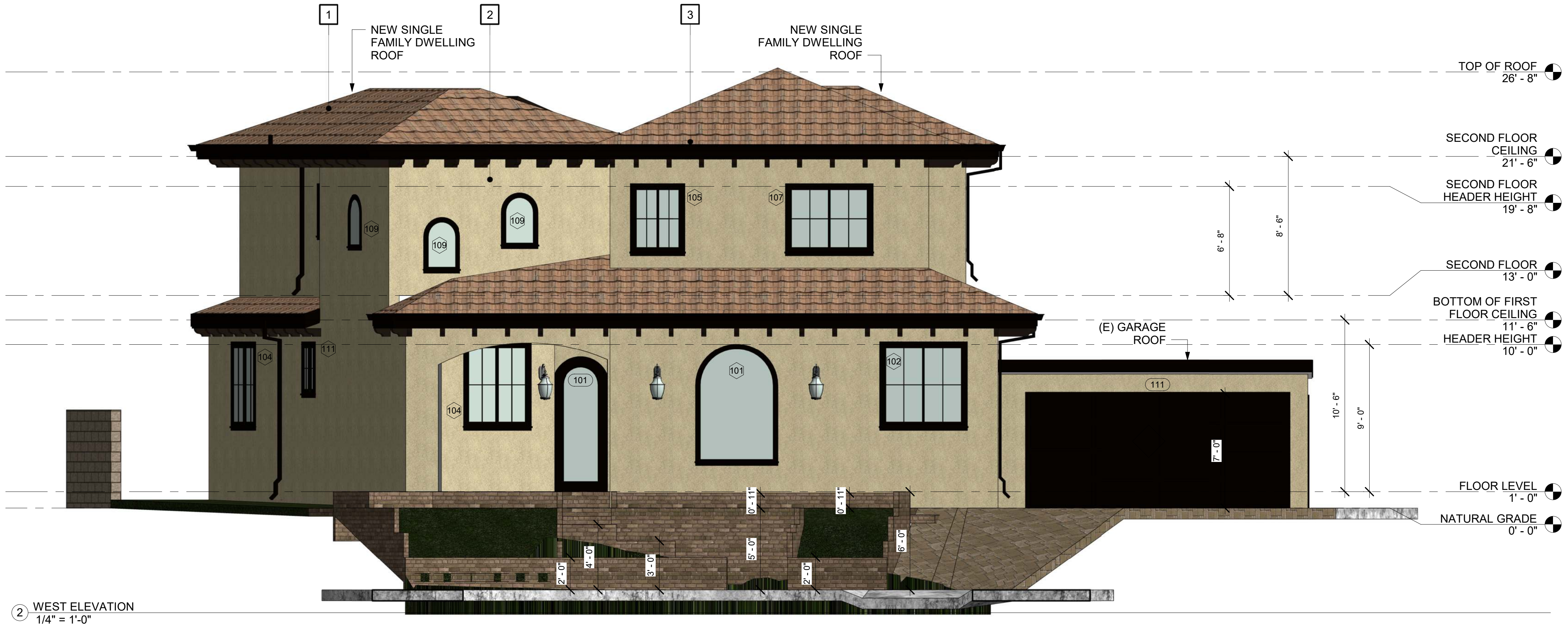
EXISTING
ELEVATIONS

SHEET NUMBER

A-3.0

SHEET OF

MATERIAL SCHEDULE			
NUMBER	NAME/TYPE	MANUFACTURER	COLOR
1	SPANISH ROOF TILE	BORAL	TAN, ORANGE BERMUDA BLEND
2	ROUGH STUCCO	LA HABRA	DESERT BRIDGE P-174 BASE 200
3	PAINT	BEHR	RARE WOOD MQ2-39



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CITY SUBMITTAL	
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CONSTRUCTION	
SHEET DESCRIPTION	

NEW ELEVATIONS

SHEET NUMBER

A-3.1

SHEET OF

1/18/2023 10:45:19 AM

MATERIAL SCHEDULE

NUMBER	NAME/TYPE	MANUFACTURER	COLOR
1	SPANISH ROOF TILE	BORAL	TAN, ORANGE BERMUDA BLEND
2	ROUGH STUCCO	LA HABRA	DESERT BRIDGE P-174 BASE 200
3	PAINT	BEHR	RARE WOOD MQ2-39



1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

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CLIENT APPROVAL	
CITY SUBMITTAL	
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SHEET DESCRIPTION	

NEW
ELEVATIONS

SHEET NUMBER

A-3.2

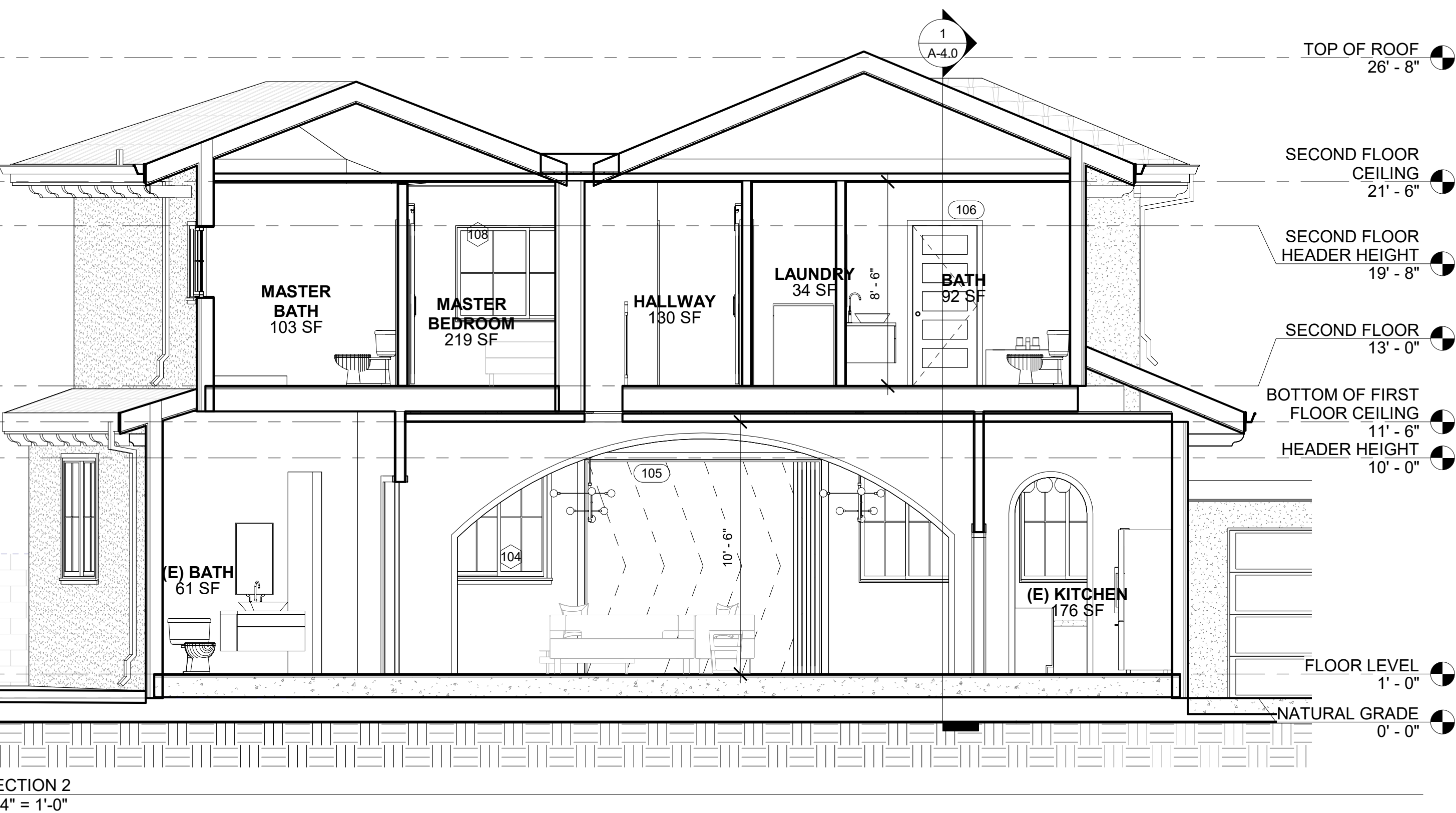
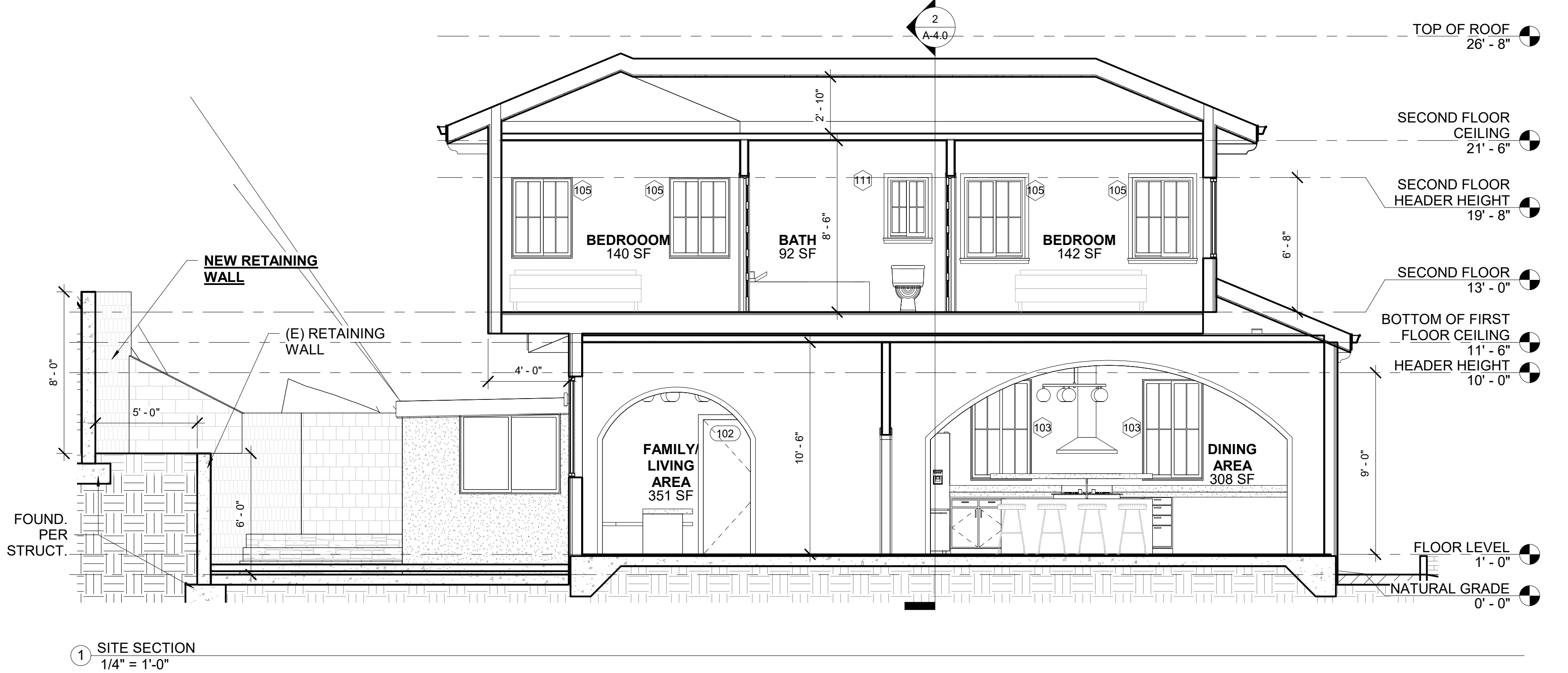
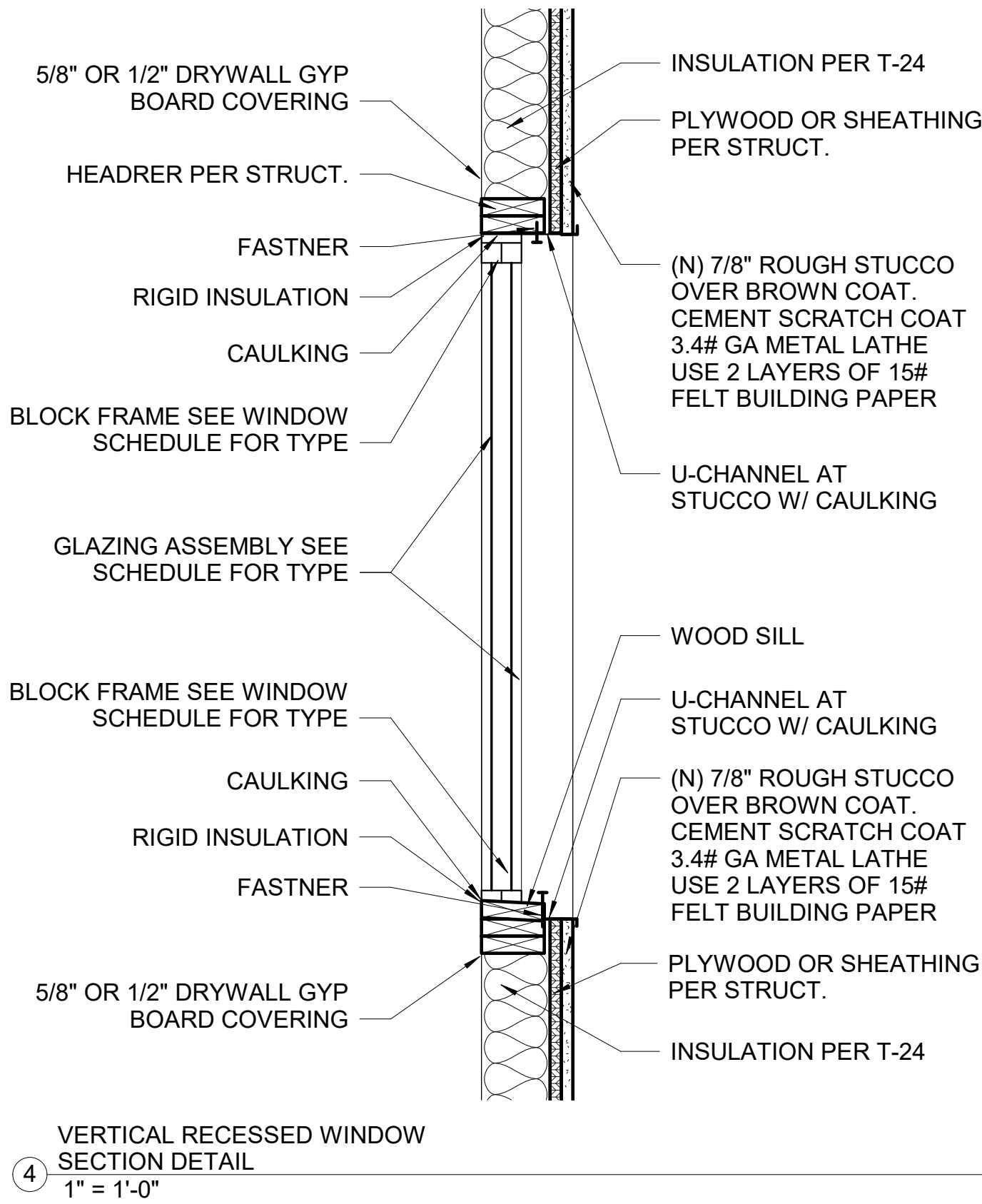
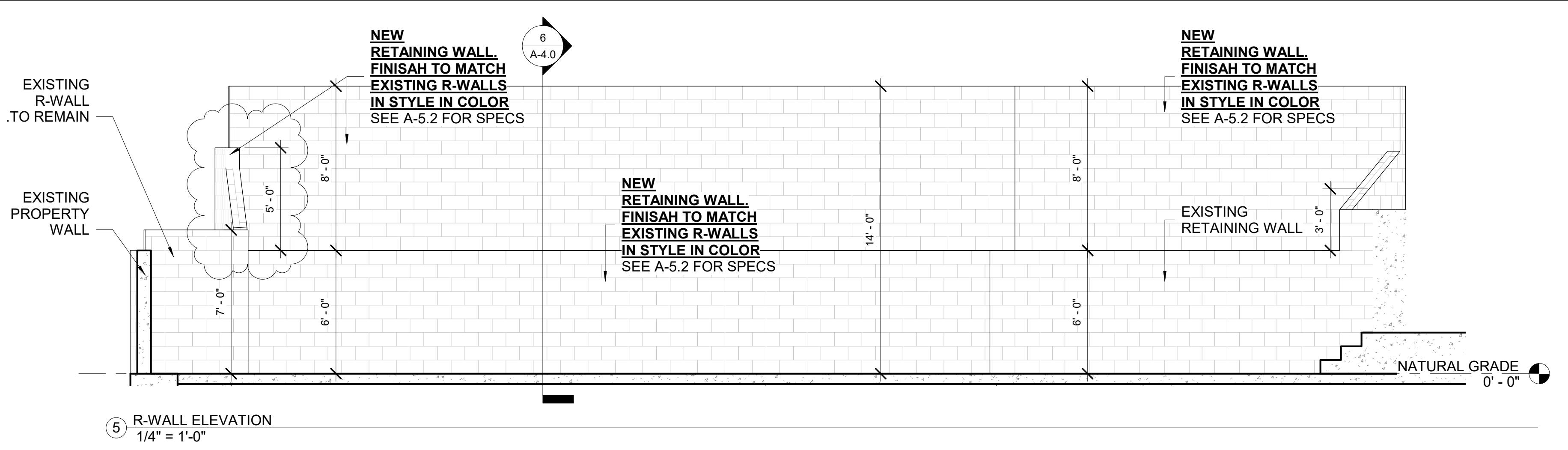
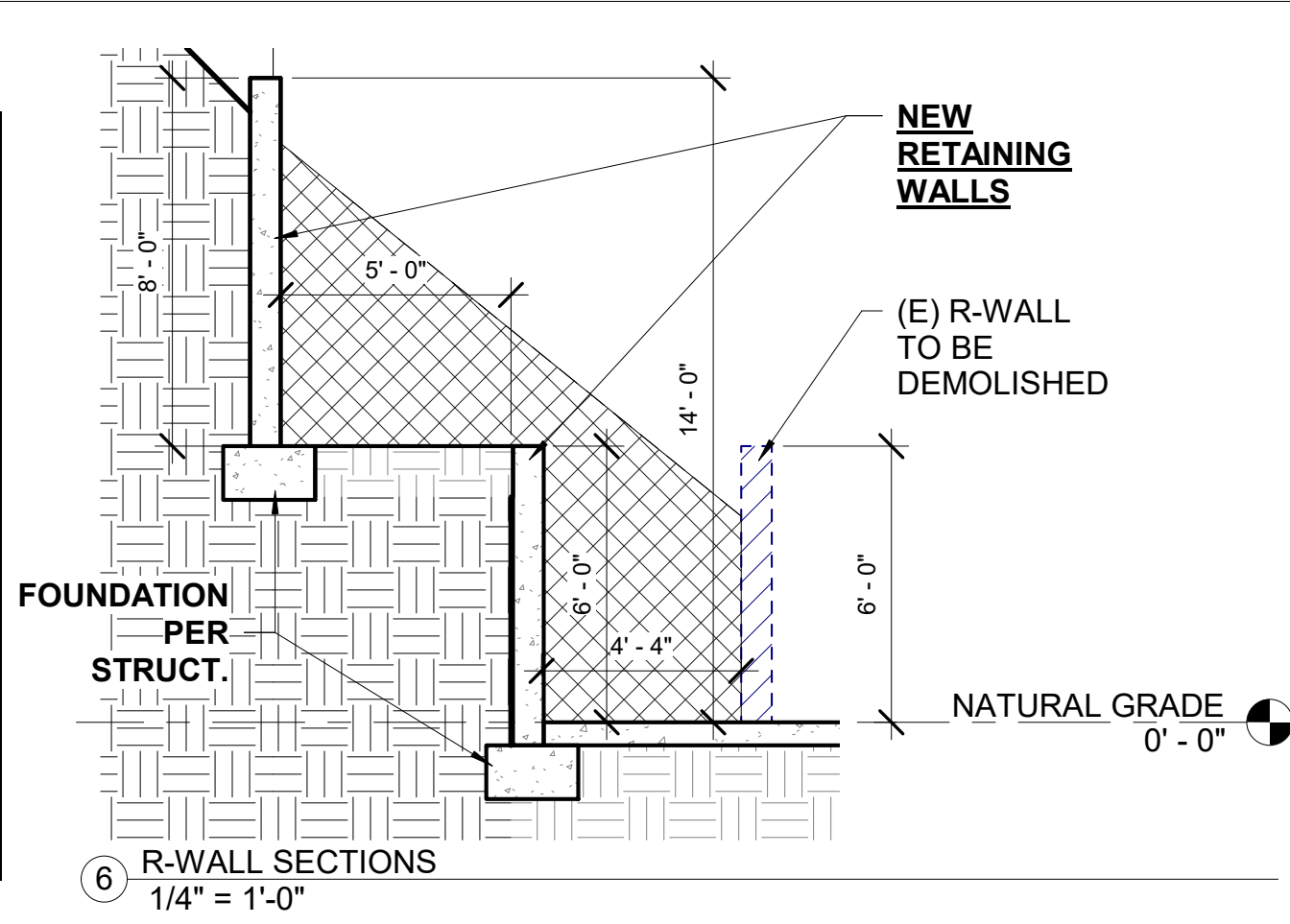
SHEET 5 OF 7

1/18/2023 10:45:39 AM

EARTH WORK QUANTITIES

CUT: 96.59 CY
FILL: 0 CY
EXPORT: 96.59 CY
IMPORT: 0 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE. DOES NOT INCLUDE ROAD PAVEMENT, UTILITY SPOILS, FOUNDATION TRENCHES, SHRINKAGE OR SWELL.



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#	BY	DATE
1	Revision 1	Date 1

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SHEET DESCRIPTION	

SECTIONS

SHEET NUMBER

A-4.0

SHEET 7 OF 7

Revision 1 - 1/15/2023 10:45:40 AM



RESIDENTIAL MANDATORY MEASURES NEW ADDITION AND ALTERATION

The 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen) requires all of the following provisions. These provisions apply to all newly constructed residential buildings including one- and two-family dwellings, townhomes, and multi-family units in low-rise and high-rise residential buildings such as apartments, condominiums, hotels and motels. These provisions also apply to the additions and alterations of existing residential buildings that increase the buildings conditioned area, volume, or size.

Please incorporate these requirements into the plans and sign the compliance statement at the end of this document. **Provisions that are underlined and italicized shall be shown on the construction documents.** The information listed here is an outline of the Mandatory Measures. For complete measures and possible exceptions, please refer to the 2019 CALGreen Code. Code Sections in bold are City of Glendale additional mandatory CALGreen amendments.

ITEM #	CODE SECTION	REQUIREMENTS
Chapter 1 - ADMINISTRATION		
101.3.1	Scope	Applies to ALL newly constructed residential buildings: low-rise, high-rise and hotels/motels.
Chapter 3 - GREEN BUILDING		
301.3	Addition and Alterations	<ul style="list-style-type: none">Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.Requirements only apply within the specific area of the addition or alteration.
Chapter 4 - RESIDENTIAL MANDATORY MEASURES		
Division 4.1 - Planning and Design		
Site Development (Sec. 4.106)		
1 4.106.1	General	Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas.
2 4.106.2	Storm water drainage and retention during construction	Projects which disturb less than one acre of land and not part of a larger common development, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more erosion and sediment control measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. <ul style="list-style-type: none">Retention basins of sufficient size shall be utilized to retain storm water on the site.Where storm water is conveyed to a public drainage system or gutter, water shall be filtered by use of a barrier system or water approved by the city.Compliance with an NPDES and City of Glendale Storm Water Management Ordinance. Note: Refer to the State Water Resource Control Board for projects which disturb one acre or more of soil, or part of a larger common plan of development which in total disturbs one acre or more of soil.

Residential Mandatory Checklist Updated: 01/01/2020
Page 1 of 8

ITEM #	CODE SECTION	REQUIREMENTS
certificate of final completion, certificate of occupancy, or final approval by the City of Glendale Building and Safety Division.		
11 4.304.1	Outdoor Water Use (Sec. 4.304)	Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficiency landscape ordinance or the current California Department of Water Resources Model Water Efficiency Landscape Ordinance (MWELDO) whichever is more stringent. <i>Landscape plans shall show all outdoor water efficiency features of CalGreen Section 4.304.</i>
Division 4.4 - Material Conservation and Resource Efficiency		
Enhanced Durability and Reduced Maintenance (Sec. 4.406)		
12 4.406.1	Roofing	Annular spaces around pipes, electric cables, conduits or other openings in solebottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the city building inspector.
Construction Waste Reduction, Disposal and Recycling (Sec. 4.408)		
13 4.408.1	Construction waste management	Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with the City of Glendale's Construction and Demolition Waste Reduction and Recycling Plan (CDWRRP) Ordinance. A City approved waste management company/hauler shall be used for recycling of construction waste. Documentation of compliance shall be provided to the City's Building and Safety Division. <i>The project shall complete the city's Construction and Demolition Waste Reduction and Recycling Plan form prior to the issuance of the building permit and pay the CDWRRP deposit.</i>
Building Maintenance and Operation (Sec. 4.410)		
14 4.410.1	Operation and Maintenance manual	The builder shall prepare an Operation and Maintenance Manual as defined in 2019 CALGreen Section 4.410.1. The manual shall be given to the owner upon final approval by the building inspector. In such case where the property is being sold, it should be given to the new owner at the time of sale. A copy of the manual shall be available for the inspector prior to, or at the time of final inspection.
15 4.410.2	Recycling by occupants	Where 5 or more multifamily dwelling units are constructed on a building site, provide a readily accessible area(s) that serves all buildings on the site and is identified for recycling. Contact the City's Public Works Integrated Waste Management Division for details of the City's recycling ordinance.
Division 4.5 - Environmental Quality		
Fireplaces (Sec. 4.503)		
16 4.503.1	Fireplaces	Any installed gas fireplace shall be direct vent sealed combustion type. New wood burning masonry fireplaces are not allowed per SCAQMD Rule 465.

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TABLE 4.504.1 ADHESIVE VOC LIMITS ^{1, 2} Less Water and Less Exempt Compounds in Grams per Liter	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Interior carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	50
Nonmembrane roof	150
Wood flooring adhesive	100
Rubber floor adhesives	50
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and vinyl tile adhesives	50
Dowels and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood connector adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	
Plastic foams	30
Perforated material (acoust wood)	50
Wood	30
Fiberglass	80
¹ If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.	
² For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.	

ITEM #	CODE SECTION	REQUIREMENTS
3 4.106.3	Soil	(Website: https://www.waterboards.ca.gov/water_issues/programs/formalwaiver/construction.htm)
4 4.106.4	Grading and paving	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. (Does not apply to additions and alterations not altering the drainage path.)
5 4.106.4.1	Electric vehicle (EV) charging for new construction	New construction shall comply with CALGreen Sections 4.106.4.1, 4.106.4.2 or 4.106.4.3 (Items #6, #8 and #7 below) to facilitate the EV installation and use of electric vehicle (EV) chargers. Electric vehicle supply equipment (EVSE) when installed, shall be in accordance with the California Electrical Code.
6 4.106.4.2	EV charging for new one- and two-family dwellings and townhouses with attached private garages	For each dwelling unit, install a fasted roadway capable of accommodating a dedicated 208/240-volt branch circuit (nominal 1-inch inside diameter) that originates at the main service or subpanel and terminates into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The service panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent device as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". <i>Construction documents shall show the requirements above.</i>
6 4.106.4.2	EV charging for new multi-family dwellings	If residential parking is available on a building site, construction shall comply with the following requirements to facilitate future installation and use of electric vehicle (EV) chargers. <i>Plans and electrical load calculations shall clearly show the following:</i> <ul style="list-style-type: none">Ten-percent (10%) of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces (EV spaces) capable of supporting future electric vehicle supply equipment. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.Electric vehicle charging stations (EVCS) When EV chargers are installed, one in every 25 spaces shall comply with at least one of the following options:<ul style="list-style-type: none">The EV spaces shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.The EV spaces shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2.Electric vehicle charging station (EV space) dimensions. Electric vehicle charging spaces (EV spaces) shall comply with the following dimensions:<ul style="list-style-type: none">Minimum length of each EV space: 9'-6"Minimum width of each EV space: 5'-6"One in every 25 EV spaces, but not less than one, shall also have an 8-foot wide minimum aisle (a 5-foot wide aisle is permitted provided the minimum width of the EV space is 12'-feet). The surface slope of this EV space and aisle shall not exceed a 1:1 unit vertical in 48 units horizontal (2.083 percent) slope in any direction.Single EV space electrical requirements. Install a fasted roadway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than nominal 1-inch inside diameter. The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.

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ITEM #	CODE SECTION	REQUIREMENTS
Pollutant Control (Sec. 4.504)		
17 4.504.1	HVAC system Protection	During the construction process and until final startup of the HVAC system, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other method to reduce the amount of water, dust and debris which may enter the system.
18 4.504.2	Finish material pollutant control	Finish material pollutant control, shall comply as follows: <ul style="list-style-type: none">Adhesives, sealants and caulks used on this project shall comply with SCAQMD Rule 1168 for VOC limits and toxic compounds. Aerosol adhesives, sealants and caulks (in packaging units not more than one pound or 16 fluid ounces) shall comply with statewide VOC standards.Paints and coatings shall comply with VOC limits in CALGreen Table 4.504.3.Aerosol paints and coatings shall comply with statewide requirements and other requirements noted in CALGreen Section 4.504.2.3.Carpet Systems. All carpeting and carpet cushion shall meet the requirements of the Carpet and Rug Institute Green Label Plus Program. Adhesives shall comply with VOC limits in CALGreen Table 4.504.1.Resilient flooring. Where installed, 80% of the floor area receiving resilient flooring shall comply with one or more of the standards listed in CALGreen Section 4.504.4.Composite wood products used on the interior or exterior of the building shall comply with the formaldehyde limits in CALGreen Table 4.504.5.
Verification of compliance with the standards listed above shall be provided upon request to the building inspector.		
Interior Moisture Control (Sec. 4.505)		
19 4.505.1	Interior moisture control	Buildings shall meet or exceed the provisions of the California Building Code. <ul style="list-style-type: none">Concrete Slab foundations. Concrete Slab-on-grade foundations/floors that are required to have a vapor retarder by the California Building Code section 1907 or the California Residential Code section R502, shall have a capillary break consisting of a 4-inch-thick base of 1/2 inch or larger clean aggregate with a vapor retarder in direct contact with concrete. The concrete mix design shall address bleeding, shrinkage, and curing. For additional information, see American Concrete Institute, ACI 302.3R-06.Building materials with visible signs of water damage shall not be installed. Wall and floor framing lumber shall not be enclosed when the framing members exceed 15-percent moisture content. Moisture content shall be verified using one of the methods listed in the CALGreen section 4.505.3.Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.
Indoor Air Quality (Sec. 4.506)		
20 4.506.1	Indoor air quality and exhaust	Each bathroom (a room which contains a bathtub, shower, or toilet) shall be mechanically ventilated and shall comply with the following: <ul style="list-style-type: none">Exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

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TABLE 4.504.2 SEALANT VOC LIMITS Less Water and Less Exempt Compounds in Grams per Liter	
SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	750
Nonmembrane roof	300
Roofing	250
Single-ply roof membrane	450
Other	450
SEALANT PRIMERS	
Architectural	250
Nonporous	775
Modified bituminous	500
Marine deck	750
Other	750

ITEM #	CODE SECTION	REQUIREMENTS
location of the EV spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Construction documents shall identify the raceway termination point and proposed location of future EV spaces and EV chargers.		
1 4.106.4.3	Multiple EV spaces electrical requirements	Construction documents shall also provide information on amperage of future EVSE (raceway methods), wiring schematics and electrical load calculation to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformers, have sufficient capacity to simultaneously charge all EV's at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.
2 4.106.4.3	Identify a single EV space electrical requirements	Identify a single EV space electrical requirements for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
3 4.106.4.3	Accessible EV spaces	EV spaces for hotels/motels and all EVSE, when installed shall comply with the accessibility provisions of EV charging stations in the California Building Code, Chapter 11B.
4 4.106.4.3	Water permeable surface	<i>Provide calculation on site plan to show proposed water permeable surfaces shall not be less than 30 percent of the total on-site, residential unoccupied parking, patios or patio surfaces.</i> The primary driveway, the primary entryway and entry porch or landing and require accessible routes for persons with disability as required by Chapter 11A and/or 11B of CBC shall not be included when calculating the area required to be a permeable surface.
Division 4.2 - Energy Efficiency		
Performance Requirements (Sec. 4.201)		
9 5.201.1	Scope	This project shall comply with all applicable energy efficiency requirements as set forth in the 2019 California Energy Code. <i>Energy calculations and forms shall be included as part of the plans and drawings.</i>
Division 4.3 - Water Efficiency and Conservation		
Indoor Water Use (Sec. 4.303)		
10 4.303.1	Indoor water use	Plumbing fixtures and fittings shall comply with the following and shall be shown on the construction documents: <ul style="list-style-type: none">Water closets: Maximum 1.25 gallons per flushUrinals: Maximum 0.125 gallons per flush for wall-mounted. Other urinals: 0.5 gallons per flushSingle showerheads: Maximum flow rate of 2.0 gallons per minute at 80 psiMultiple showerheads serving one shower: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psiLavatory faucets within dwelling units: Maximum flow rate of 1.2 gallons per minute at 80 psiLavatory faucets in common and public use areas: Maximum flow rate of 0.5 gallons per minute at 80 psiMetering faucets: Maximum flow rate of 1.8 gallons per minute at 80 psiKitchen faucets: Maximum flow rate of 1.8 gallons per minute at 80 psi
Plumbing fixtures and fittings shall be installed in accordance with the 2019 California Plumbing Code and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.		
Note: All noncompliant plumbing fixtures in any residential property shall be replaced with water conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a Certificate of Occupancy.		

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ITEM #	CODE SECTION	REQUIREMENTS
b. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control.		
c. Humidity controls shall be capable of adjustment between 50% and 80% relative humidity. Humidity control may utilize manual or automatic means of adjustment which may be a separate component to the exhaust fan (not required to be built-in).		
Environmental Comfort (Sec. 4.507)		
21 4.507.2	HVAC system design	HVAC systems shall be sized, designed and have equipment selected using the methods listed in CALGreen Section 4.507.2.
Natural Light and Ventilation (Sec. 4.509)		
22 4.509.1 (09BSC)	Natural light and ventilation	<i>Provide calculation of required natural light and ventilation on plans showing floor slab.</i> <ul style="list-style-type: none">The minimum glazed area for natural light shall not be less than 10 percent of the floor area of the room served.The minimum operable area for ventilation to the outdoors shall be 5 percent of the floor area of being ventilated.
Chapter 7 - INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS		
Qualifications (Sec. 702)		
23 702.1	General	New buildings shall comply with the requirements of CALGreen Chapter 7.
24 702.1	Installer and training	HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. <ul style="list-style-type: none">State certified apprenticeship programs.Public utility training programs.Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.Programs sponsored by manufacturing organizations.Other programs acceptable to the enforcing agency.
25 702.2	Special inspection	When required by the California Building Code, or the approved plans, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with the CALGreen Code. Special inspectors shall comply with the following: <ul style="list-style-type: none">Special inspectors shall be approved by the City of Glendale Building & Safety Division CALGreen Code.Special inspectors shall be qualified and able to demonstrate competence to the enforcing agency in the discipline which they are inspecting.Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting.

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TABLE 4.504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{1, 2} Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds	
COATING CATEGORY	VOC LIMITS
Flat coatings	50
Tub and tile refinish coatings	420
Nonflat coatings	100
Nonflat-high gloss coatings	150
SPECIALTY COATINGS	
Aluminum roof coatings	450
Basement moisture coatings	450
Bituminous roof coatings	350
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry-to coatings	250
Faux finishing coatings	150
Fire resistive coatings	250
Floor coatings	100
Form-release compounds	250
Grain's (aka coatings (grain paints))	500
High temperature coatings	120
Industrial maintenance coatings	450
Low solid coatings ¹	250
Marine deck	450
Medium density fiberboard ²	0.11
Thick medium density fiberboard ²	0.13
TABLE 4.504.5 FORMALDEHYDE LIMITS ¹ Maximum Formaldehyde Emissions in Parts per Million	
PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.05
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13
¹ Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as listed in accordance with ASTM D 1333-96/2002. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.	
² Thin medium density fiberboard has a maximum thickness of 8 millimeters.	

ITEM #	CODE SECTION	REQUIREMENTS
raceway methods), wiring schematics and electrical load calculation to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformers, have sufficient capacity to simultaneously charge all EV's at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.		
2 4.106.4.3	Identify a single EV space electrical requirements	Identify a single EV space electrical requirements for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
3 4.106.4.3	Accessible EV spaces	EV spaces for hotels/motels and all EVSE, when installed shall comply with the accessibility provisions of EV charging stations in the California Building Code, Chapter 11B.
Division 4.2 - Energy Efficiency		
Performance Requirements (Sec. 4.201)		
9 5.201.1	Scope	This project shall comply with all applicable energy efficiency requirements as set forth in the 2019 California Energy Code. <i>Energy calculations and forms shall be included as part of the plans and drawings.</i>
Division 4.3 - Water Efficiency and Conservation		
Indoor Water Use (Sec. 4.303)		
10 4.303.1	Indoor water use	Plumbing fixtures and fittings shall comply with the following and shall be shown on the construction documents: <ul style="list-style-type: none">Water closets: Maximum 1.25 gallons per flushUrinals: Maximum 0.125 gallons per flush for wall-mounted. Other urinals: 0.5 gallons per flushSingle showerheads: Maximum flow rate of 2.0 gallons per minute at 80 psiMultiple showerheads serving one shower: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psiLavatory faucets within dwelling units: Maximum flow rate of 1.2 gallons per minute at 80 psiLavatory faucets in common and public use areas: Maximum flow rate of 0.5 gallons per minute at 80 psiMetering faucets: Maximum flow rate of 1.8 gallons per minute at 80 psiKitchen faucets: Maximum flow rate of 1.8 gallons per minute at 80 psi
Plumbing fixtures and fittings shall be installed in accordance with the 2019 California Plumbing Code and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.		
Note: All noncompliant plumbing fixtures in any residential property shall be replaced with water conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a Certificate of Occupancy.		

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ITEM #	CODE SECTION	REQUIREMENTS
Verifications (Sec. 703)		
28 703.1	Documentation	Documentation used to show compliance with this code shall include but is not limited to: construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the City of Glendale which demonstrates substantial conformance.
COMPLIANCE STATEMENT		
27	Compliance Statement	As the design professional or designer of record for this project, I certify that this project will comply with all applicable provisions of the 2019 California Green Building Standards Code (CALGreen Code).
Signature		Print Name
Company		Address
Date		License

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TABLE 4.504.3 (CONT'D) VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{1, 2} Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds	
COATING CATEGORY	VOC LIMITS
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340
¹ Grams of VOC per liter of coating, including water and including exempt compounds.	
² The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.	
³ Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.	
TABLE 4.504.5 FORMALDEHYDE LIMITS ¹ Maximum Formaldehyde Emissions in Parts per Million	
PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.05
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13
¹ Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as listed in accordance with ASTM D 1333-96/2002. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.	
² Thin medium density fiberboard has a maximum thickness of 8 millimeters.	



SCONCE SPECS

STYLE	MANU	COLOR	
TRADITIONAL	HAILEE	BRONZE	
Details			
Compatible Bulb Type	Incandescent,LED	Exterior Lighting Product Type	Outdoor Lanterns
Fixture Color/Finish	Matte Black	Fixture Material	Metal
Glass/Lens Type	Water Glass	Included	Hardware Included
Light Bulb Base Code	E12	Light Bulb Type Included	No Bulbs Included
Maximum Bulb Wattage	60	Number of Lights	3 Lights
Outdoor Lighting Features	Rust Resistant,Water Resistant,Weather Resistant	Power Options	Hardwired
Power Type	Hardwired	Product Size	X-Large
Product Weight (lb.)	6.9	Recommended Light Bulb Shape Code	E12
Returnable	90-Day	Source Type	Wall Lantern
Style	Classic,Mediterranean	Voltage Type	Line Voltage
Warranty / Certifications			
Certifications and Listings	UL Listed	Manufacturer Warranty	One Year Limited Manufacturer Warranty applies to products purchased from AA Warehouseing

CMU BLOCKS SPECS

STYLE	MANU	COLOR	
Split Face	ANGELUS	BEIGE	8 Wide

Description

Split Face units have a rough, uneven texture with exposed aggregate. They begin as two or more units molded together and, after a curing period, are fractured apart by a splitting machine. Blades in the machine exert pressure simultaneously on the top, bottom, and sometimes the ends of the units.

By the very nature of its manufacture the split face texture varies in terms of degree of aggregate exposure and surface projections or depressions.

Sizes of split units are expressed in terms of nominal dimensions and compensate for a standard 3/8 inch mortar joint. That is, an 8 x 8 x 16 is actually 7 5/8 x 7 5/8 x 15 5/8 inches, with a permissible variation in overall dimensions (width, height, length) of ± 1/8 inch.

Standards

All Split Face units manufactured by Angelus Block are hollow or solid loadbearing CMU in accordance with ASTM C-90.

Availability

Standard, or stock, items include a variety of widths in three weights:

Medium Weight is stocked in gray and a color in a "tan" range.

Lightweight is stocked in gray only and may be limited in availability.

Units shown in this section are generally available except as noted.

Special order items are in addition to normal stock and are indicated as "Special Order Only". Such units require manufacturing lead times and possible minimum quantities. Additional charges may apply depending on order quantities.

High-Stress units with compressive strengths of 2,500 to 3,750 net psi are available on special order. Limited inventory may be available in some facilities; verify with your representative.

Colors are available on special order from an extensive palette. Contact your representative for color references and materials, or visit Colors & Textures at www.angelusblock.com.

For any special order, whether for configuration, strength, weight, or color, please contact your representative for specific information.

Specifications

Please see Specifications at www.angelusblock.com/specifications.cfm for guide specs containing informative user notes.

Website

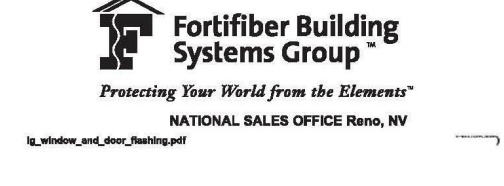
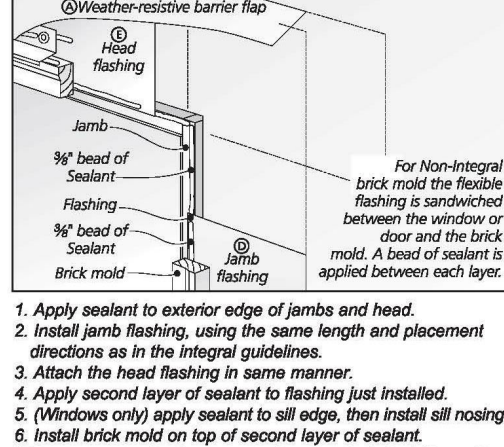
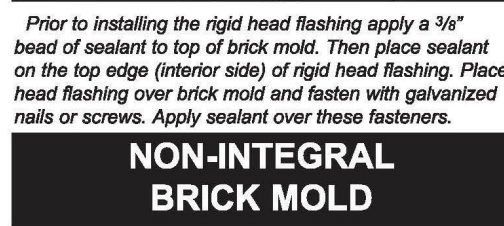
Keep current! Visit <https://www.angelusblock.com> for up to date products and information.

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Split Face - 1

Angelus



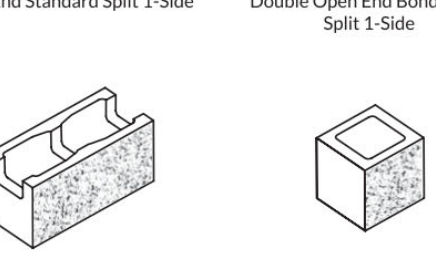
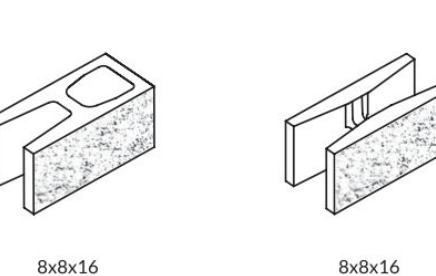
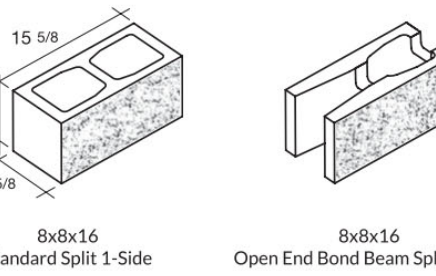
WINDOW SPECS

STYLE	MANU	COLOR	
SINGLE HUNG	PLY GEM	WHITE	
Details			
Exterior Color/ Finish	White	Features	Argon Gas Insulated,Integrated Nail Fin
Frame Type	Nail Fin	Glazing Type	Double-Pane
Grille Type	No Grille	Included	Hardware,Screen
Lock Type	Cam Action	Number of Locks	2
Solar Heat Gain Coefficient	22	Window Type	Other
Exterior Color/Finish Family	White	Frame Material	Vinyl
Glass Type	Low-E Glass	Grid Pattern	No Grid

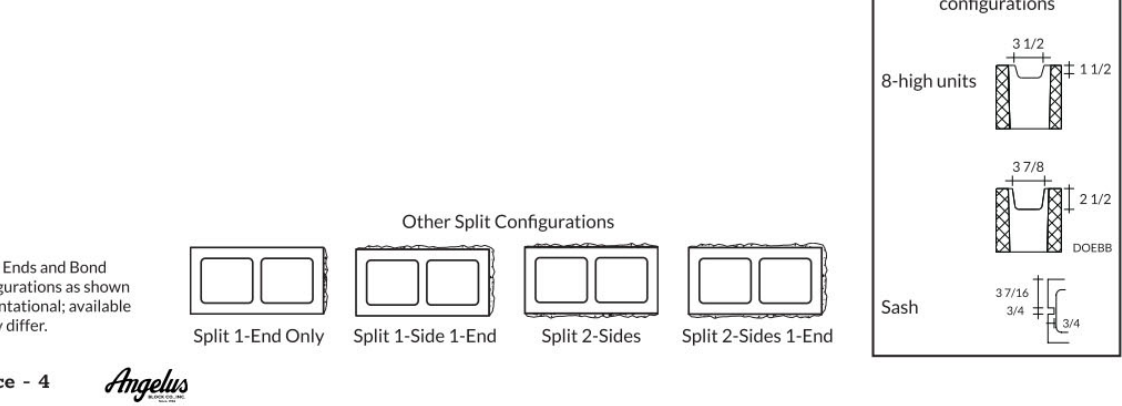


8 Wide

8 High

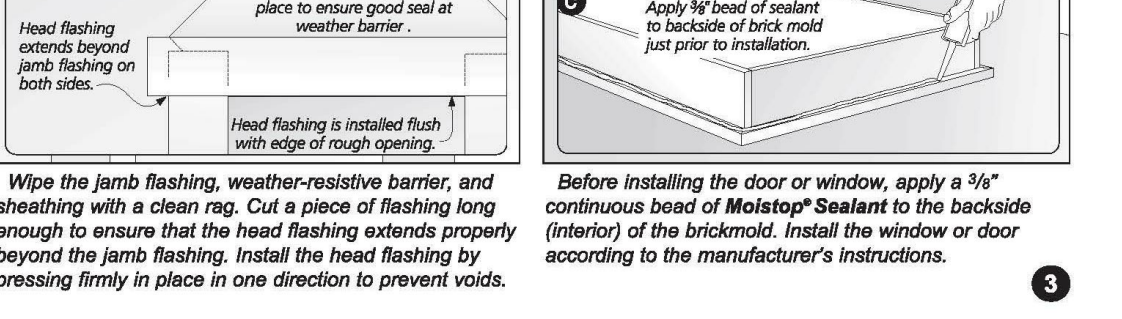
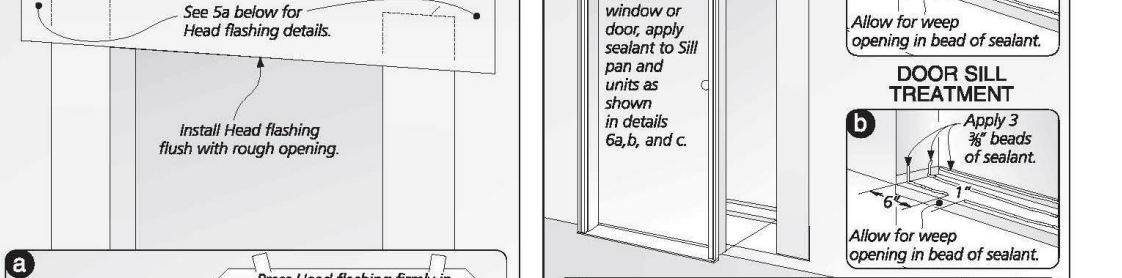
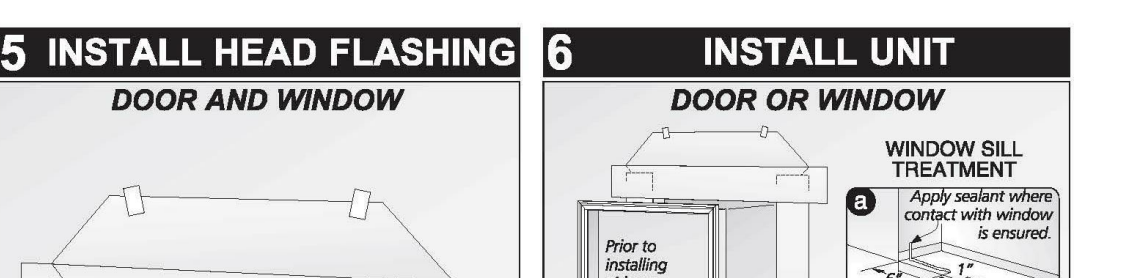
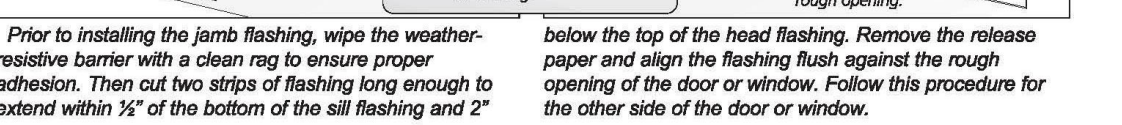
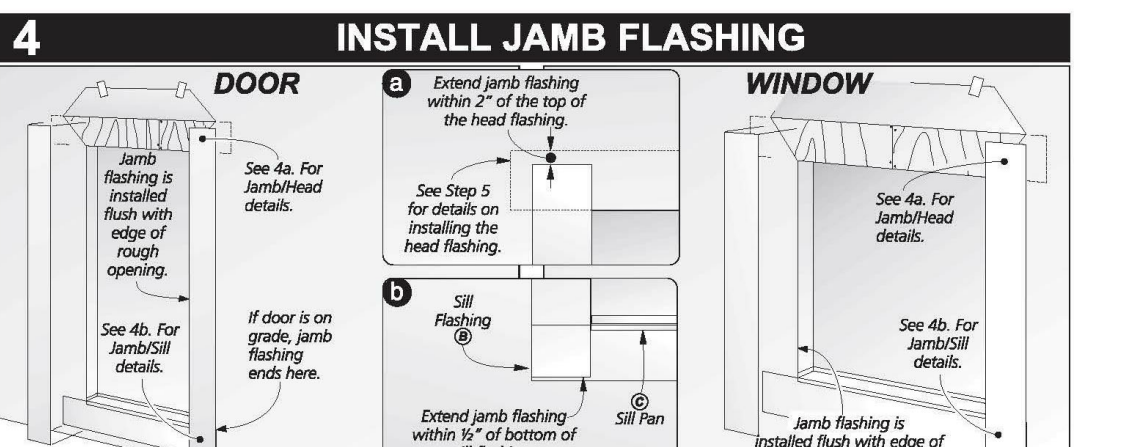


SPLIT FACE MEDIUM WEIGHT-HARVEST TEXTURE & COLOR



Split Face - 4

Angelus



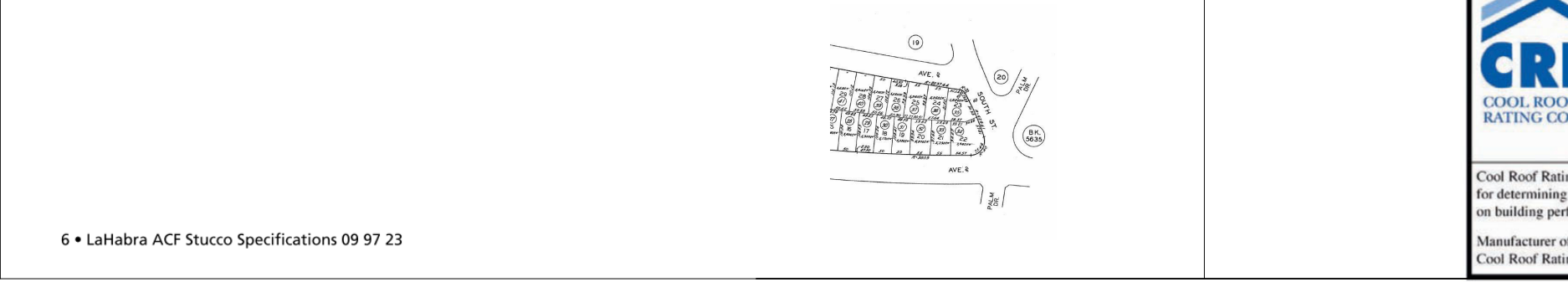
STUCCO SPECS

STYLE	MANU	COLOR	
SMOOTH	LA HABRA	DESERT BRIDGE P-174 BASE 200	
Product Performance Sheet Page 1 <i>Architectural Coatings and Finishes</i>			
Fire Performance	Method	ICC or ASTM Criteria	Results
Surface Burning Characteristic	ASTM E84	Individual components shall each have a flame spread <25, and smoke developed < 450	Flame Spread: 0 to 15 Smoke Developed: 0 to 15
EIFS Strength	Method	ICC or ASTM Criteria	Results
Flexural Strength	ASTM C203	No Requirement	60.6 psi (418 kPa)
Falling Ball Impact	ASTM D1037	No Requirement	92 to over 600 in-lbs
Creep Resistance of Adhesive	ASTM D2294	No Requirement	28 days 208 psf shear stress: no creep
Tensile Bond Strength	ASTM E2134	Minimum 15 psi (103kPa)	Pass

Environmental Durability	Method	ICC or ASTM Criteria	Results
Abrasion Resistance	ASTM D968	No cracking or loss of film at 528 quarts (500 L) of sand	Pass: 500 Liters
Accelerated Weathering	ASTM G153/ (ASTM G23) ASTM G154	No deleterious effects* at 2000 hours when viewed under 5x magnification	Pass: 2000 Hours
Freeze/Thaw Resistance	ASTM E 2485	No deleterious effects* at 10 cycles when viewed under 5x magnification	Pass: 60 cycles
Fungus Resistance	MIL STD 810B	No growth supported during 28 day exposure period	Pass: 28 days- no growth
Mildew Resistance	ASTM D3273	No growth supported during 28 day exposure period	Pass
Water Penetration	ASTM E331	No water penetration beyond the plane of the base coat/EPS board interface after 15 minutes at 6.24 psf (298 Pa)	Pass
Moisture Resistance	ASTM D2247	No deleterious effects at 14 day exposure	Pass
Salt Fog Resistance	ASTM B117	No deleterious effects* at 300 hours	Pass: 500 hours
Wind Driven Rain	F.S. TT-C-555B	No Requirement	Pass: 24 hours

*No deleterious effects: no cracking, checking, crazing, erosion, rusting, blistering.

Where several tests on different materials are summarized, a range of values is shown. This summary has been prepared to provide quick but partial information on how certain combinations of Parex USA products perform during certain tests. It is not a complete description of the test procedures or of the results thereof. Copies of original test reports are available at no charge upon request. Please contact Parex USA's Architectural Sales (866-516-0061) or Technical Support Department (800-226-2424) if further information is required.



ROOF TILE SPECS

STYLE	MANU	COLOR	
2 PIECE SPANISH ROOF TILE	BORAL	TAN, ORANGE BERMUDA BLEND	
US Tile® by Boral® Build something great™			
PRODUCT INFORMATION			
Profile: 2-Piece Mission			
Color Name: Bermuda Blend			
SKU Number: tops:1UADU0074/pans:1UBDU6080			
Product Type: Standard Weight Tile			
Color: Orange			
Available Regions: Nationwide Suitable for Cold Climate Regions, ASTM C1167 Tested			
Tile Specifications			
Size: 18" x 7" - 8.5"			
Coverage: 172			
Approx. Installed Weight: 1,000 lbs			
Pieces per Pallet: 360			
Squares per Pallet: 2.09			
Approx. Weight per Pallet: 2150 lbs			
Cool Rated Product			
Reflectivity: 0.42			
Aged Ref. (3 yr): 0.39			
Emmissivity: 0.84			
Aged Em. (3 yr): 0.86			
SRI: 45			
Aged SRI (3 yr): 42			
CRRC ID#: 0131b			
Seller ID#: 0942			
Calculated Aged Value The printed color shown here may vary from actual available color and should not be used to color match. Please contact your local Sales Representative for actual tile samples.			
1,800.669 TILE (8453) www.BoralRoof.com			
CRRC COOL ROOF RATING COUNCIL Cool Roof Rating Council ratings are determined for a fixed set of conditions, and may not be appropriate for determining seasonal energy performance. The actual effect of solar reflectance and thermal emittance on building performance may vary. Manufacturer of product stipulates that these ratings were determined in accordance with the applicable Cool Roof Rating Council procedures.			



THIS SET IS NOT TO BE USED FOR CONSTRUCTION AND IS INTENDED FOR DESIGN PURPOSES ONLY

#	BY	DATE
1	Revision 1	Date 1

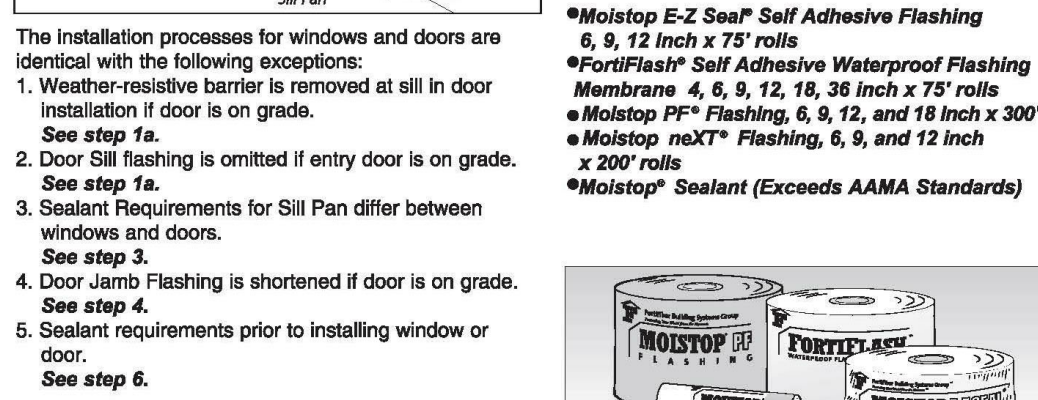
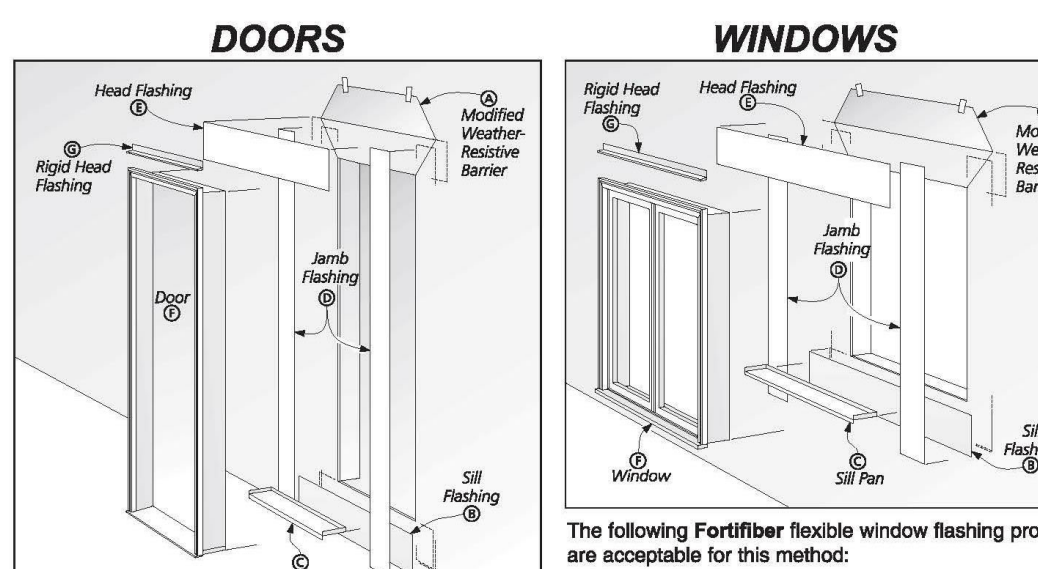
AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARCHNTECH NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARCHNTECH. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.

GARY KOKONYAN
1844 BARA RD.,
GLENDALE, CA, 91208

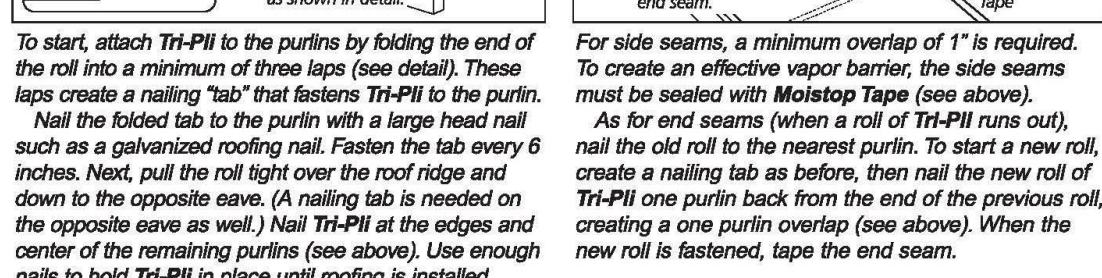
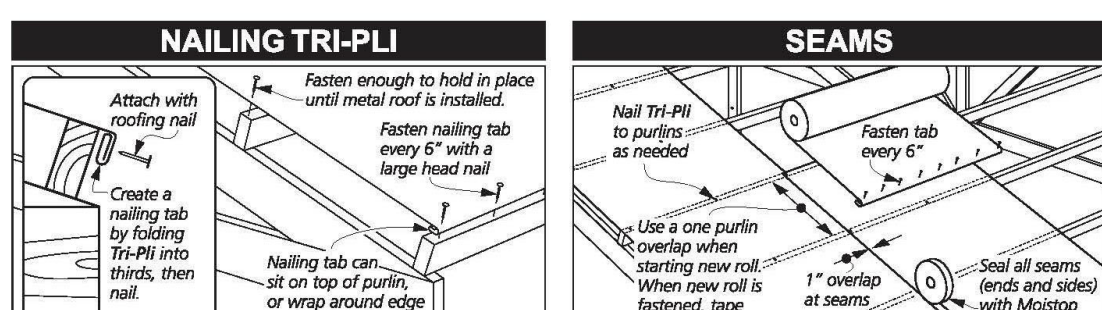
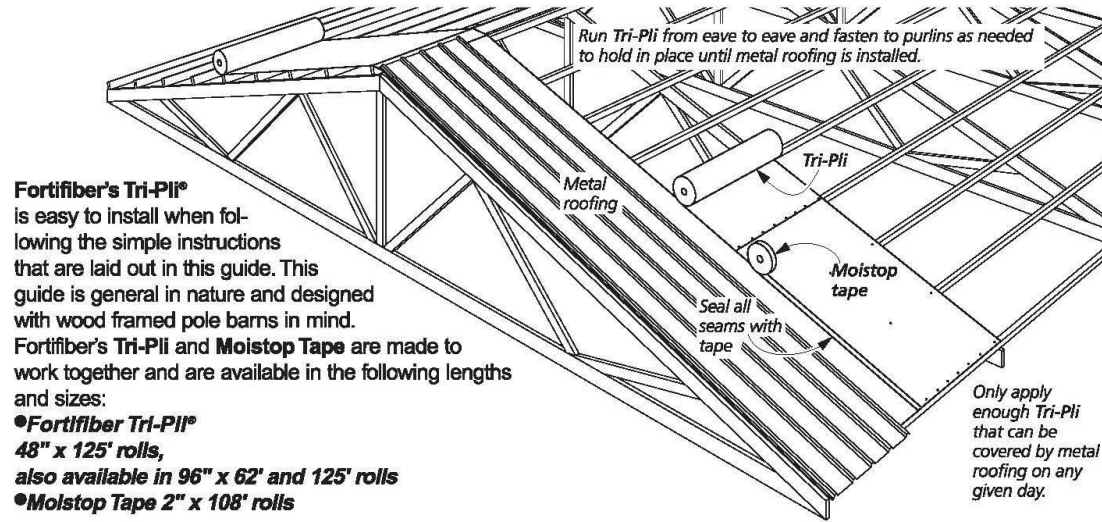
WINDOW AND DOOR FLASHING A GUIDE TO INSTALLING WOOD WINDOWS AND DOORS WITH INTEGRAL BRICK MOLD

The "Wood Windows and Doors", installation guide is designed for windows and doors with integral brick mold applications, where these units are installed after the weather-resistive barrier is applied. Note: Integral brick mold is brick mold that is installed at the factory by the manufacturer. Non-integral brick mold comes from the factory with the brick mold not attached to the unit and must be installed on the job site. The detail on the last page of this guide addresses flashing non-integral brick mold units. It is the responsibility of the installer and General Contractor to consult with the manufacturer on how these instructions apply to the specific units that are being installed, as well as any additional measures that may need to be taken. Fortifiber Building Systems Group® provides this Door and Window Flashing Installation Guide to assist installers by demonstrating an efficient and effective method for concealed exterior wall flashing installation. Compliance with the building code and proper installation are critical in reducing potential water leakage points.



INSTALLING TRI-PLI® EAVE TO EAVE APPLICATION

Fortifiber Tri-PLI® is a highly effective vapor barrier which retards the passage of moisture or condensation by water vapor. Tri-PLI is a strong, reinforced asphalt-laminated paper product extrusion-coated on both sides with white polyethylene film. The white plastic film provides an excellent light reflecting surface for a brighter, more attractive interior.



PROJECT INFO	
JOB NO.	A_2021-001
START DATE	1-15-2021
DRAWN BY	Author
CHECKED BY	Checker
ISSUED FOR	
CLIENT APPROVAL	
CITY SUBMITTAL	
BIDDING	
CONSTRUCTION	
SHEET DESCRIPTION	

SPECS	
SHEET NUMBER	
A-5.1	
SHEET OF	