

GENERAL NOTES

- THE CONTRACTOR SHALL EXAMINE THE CONDITION OF THE PROJECT AREA AND PRIOR TO COMMENCEMENT OF WORK. REPORT ALL DISCREPANCIES TO THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND OBTAIN ALL PERMITS, LICENSE, AND PAY ALL REQUIRED FEES.
- DIMENSIONS SHOWN ON PLANS ARE TO FACE OF EXTERIOR MASONRY, CONCRETE COLUMN OR GRID LINES AND FACES OF GYPSUM BOARD, UNLESS OTHERWISE NOTED OR DETAILED.
- CEILING HEIGHTS ON FINISH SCHEDULE ARE FROM FINISH CEILING.
- CONTRACTOR SHALL IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING AND THE LIKE NECESSARY TO COMPLETE THE WORK AND TO RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THIS CONTRACT TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER.
- PROVIDE BLOCKING BEHIND ALL FIXTURES, CLOSET SHELVES, POLES ETC., WHERE INDICATED OR REQUIRED.
- EXTEND SOFFIT FRAMING TO STRUCTURE ABOVE, DIAGONALLY BRACE AS REQUIRED.
- PROVIDE METAL BULLNOSE CORNER BEAD AT ALL OUTSIDE CORNERS OF PLASTERED OR DRYWALLED SURFACES, UNLESS OTHERWISE NOTED.
- ALL FOOTINGS SHALL BE FOUNDED IN UNDISTURBED NATURAL SOIL PER CODE.
- ALL EXTERIOR WALL OPENINGS, WINDOWS, DOORS, VENTS FLASHING, COPING AND EXPANSION JOINTS SHALL BE WEATHERPROOF.
- IN THE EVENT EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.
- PROVIDE STIFFENERS, BRACING, BACK UP PLATE, ETC., AS REQUIRED AT STUD WALLS FOR SUPPORT OF TOILET ROOM FIXTURES OR OTHER EQUIPMENT.
- PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH THE LOCAL LABOR CODE.
- NO TRENCHES EXCAVATIONS OR MORE DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN NECESSARY PERMISSION FROM THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- ALL DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
- PROVIDE 70" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- FIRE CLASS A ROOF IS REQUIRED.
- WHERE FACTORY FINISHED ON FACTORY PRIMED ITEMS OCCUR SUCH AS GRILLES, DIFFUSERS, METAL TRIM AND ACCESSORIES, ETC., THEY SHALL BE PAINTED TO MATCH THE ADJACENT SURFACE AND OR AS DIRECTED BY THE ARCHITECT.
- ALL MATERIALS AND FINISHES INDICATED ON PLANS SHALL BE NEW AND UNUSED.
- CONTRACTOR SHALL COORDINATE WORK PERFORMED BY OTHER SUB CONTRACTORS, DISCREPANCIES, IF ANY, SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- SHOULD THE DRAWING DISCREPANCIES IN THEMSELVES OR WITH THE SPECIFICATIONS OR SHOULD THE SPECIFICATIONS DISAGREE IN THEMSELVES, THE BETTER QUALITY AND/OR GREATER QUANTITY OF WORK AND/OR MATERIAL SHALL BE ESTIMATED UPON, AND UNLESS OTHERWISE ORDERED IN WRITING, SHALL BE FURNISHED AND INSTALLED.
- IF ANY ERROR OR OMISSIONS OCCUR IN THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH ERROR OR OMISSION. IF CONTRACTOR FAILS TO GIVE SUCH NOTICE, HE WILL BE HELD RESPONSIBLE FOR RESULTS OF SUCH ERRORS AND OMISSIONS AND FOR THE COST OF RECTIFYING SAME.
- KEEP ALL PIPING AS CLOSE TO WALLS AND AS HIGH TO UNDERSIDE OF FLOOR ROOF FRAMING AS POSSIBLE.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK. COORDINATE WITH ARCHITECT.
- ALL MILL WORK, ARCHITECTURAL WOODWORK, WOOD DOORS, MODULAR AND CUSTOM CASEWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARD ESTABLISHED IN THE LATEST EDITION OF THE MANUAL OF MILLWORK OF THE WOODWORK INSTITUTE OF CALIFORNIA IN THE GRADE OR GRADES SPECIFIED THEREIN OR AS SHOWN ON THE DRAWINGS.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- FOOTINGS SHALL BE SET BACK FROM THE DESCENDING SLOPE SURFACE EXCEEDING 3 HORIZONTAL TO 1 VERTICAL AS PER SECTION 91.1806.5.3.
- ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED, VIA GRAVITY, TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM.
- PROVIDE RESIDENTIAL FIRE SPRINKLER SYSTEM. SPRINKLER CONTRACTOR TO PROVIDE SPRINKLER SHOP DRAWINGS AND PERMIT. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

- INACTIVE LEAF OF A PAIR OF DOORS OR UPPER LEAF OF DUTCH DOORS SHALL HAVE A DEADBOLT AS PER THE PARAGRAPH "A" NOT A KEY OPERATED, OR HARDENED DEADBOLT AT TOP AND BOTTOM WITH 1/2-IN. EMBEDMENT. (6709.3)
- SWINGING WOOD DOOR(S) SHALL BE SOLID CORE NOT LESS THAN 1-3/8-IN. THICK. (6709.1.1)
- PANELS OF WOOD DOORS SHALL BE 1-3/8-IN. THICK AND NOT MORE THAN 300 SQ. INCHES. STILES AND RAILS TO BE 1-3/8-IN. THICK AND 3-IN. MINIMUM WIDTH. (6709.1.2)
- DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE NON-REMOVABLE. (6709.5)
- DOORSTOPS OF WOOD JAMBS OF IN-SWINGING DOORS SHALL BE ONE-PIECE CONSTRUCTION OR JOINED BY A RABBIT. (6709.4)
- GLAZING WITHIN 40-IN. OF THE LOCKING DEVICE OF THE DOOR SHALL BE FULLY TEMPERED/APPROVED. (6714)
- OVERHEAD AND SLIDING GARAGE DOORS SHALL BE SECURED WITH A CYLINDER LOCK, A PADLOCK WITH A HARDENED STEEL SHACKLE, OR EQUIVALENT WHEN NOT OTHERWISE LOCKED BY ELECTRIC POWER OPERATION. JAMB LOCKS SHALL BE ON BOTH JAMBS FOR DOORS EXCEEDING 6-FT. IN WIDTH. (6711)
- SLIDING GLASS DOORS AND SLIDING GLASS WINDOWS SHALL BE CAPABLE OF WITHSTANDING THE TESTS SET FORTH IN SECTION 6706 AND 6707 AND SHALL BEAR FORCEDENTRY-RESISTANT LABELS. (6710, 6715)

CONSTRUCTION REQUIREMENTS

- NOTCHING OF EXTERIOR AND BEARING/NONBEARING WALLS SHALL NOT EXCEED 25% / 40% RESPECTIVELY. BORED HOLES IN BEARING/NONBEARING WALLS SHALL NOT EXCEED 40% / 60% RESPECTIVELY. (2308.9.10, 2308.9.11)
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS, PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVEL AND AT 10-FT. INTERVALS BOTH VERTICAL AND HORIZONTAL. (717.2)
- DUCTS INSTALLED UNDER A FLOOR IN A CRAWL SPACE SHALL NOT PREVENT ACCESS TO AN AREA OF CRAWL SPACE. WHERE IT IS REQUIRED TO MOVE UNDER DUCTS FOR ACCESS TO AREAS OF THE CRAWL SPACE, A VERTICAL CLEARANCE OF 18" MIN. SHALL BE PROVIDED.
- WHERE FLASHING IS METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN .019 INCH (NO. 26 GALVANIZED SHEET)
- NOTE ON THE PLANS: "ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS"
- SUBFLOORS SHALL HAVE END-MATCHED LUMBER, HAVE BLOCKED PANEL EDGES, OR OCCUR OVER SUPPORT. FLOOR SHEATHING SHALL COMPLY WITH SECTION R503

GLAZING REQUIREMENTS

- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING PER SECTION R308:
- GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS.
 - GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - WINDOW GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 S.F.
 - THE BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 - THE TOP EDGE IS MORE THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING
 - GLAZING ADJACENT TO STAIRS AND RAMPS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS, AND RAMPS, UNLESS THE GLAZING IS MORE THAN 36 INCHES MEASURED HORIZONTALLY FROM THE WALKING SURFACE, OR A RAIL IS DESIGNED PER SECTION R308.4.6.

MECHANICAL NOTES

PLUMBING NOTES:

- WALL COVERINGS SHALL BE GYPSUM GREEN BOARD, TILE OR APPROVED EQUAL TO 70 INCHES ABOVE THE DRAIN INLET AT SHOWERS OR TUB WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT.
- GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY II. SWING DOOR OUTWARD; NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. INCHES OF FLOOR AREA AND ENCOMPASS 30 INCH DIA. METER CIRCLE.
- ALL PLUMBING WALLS SHALL BE 2x6 STUDS @ 16 INCH O.C.
- PROVIDE LOW CONSUMPTION WATER CLOSETS (1.6 GALS. PER FLUSH)

WATER HEATER NOTES:

- PROVIDE 18 INCH HIGH PLATFORM.
- INSTALL 3/4"x24 GAUGE PERFORMANCE STEEL PLUMBERS TAPE TOP AND BOTTOM OF WATER HEATER.
- PROVIDE 30" SQ. EACH VENT, TOP AND BOTTOM OF WATER HEATER ENCLOSURE DOOR.
- PROVIDE VENT THRU ROOF. (12" MIN. ABOVE ROOF LINE.)

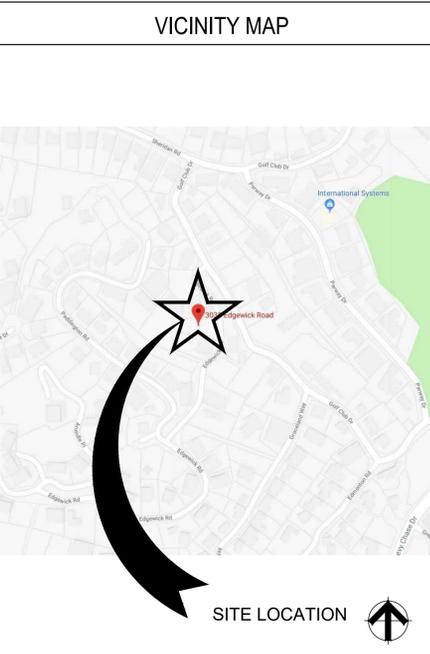
GENERAL NOTES:

- ALL DOORS OPEN ON A LANDING 1/2" BELOW THE THRESHOLD.
- UNDER CUT BEDROOM DOORS BY 2" MIN. FOR WARM AIR CIRCULATION.
- ALL GLASS WITHIN 18" OF FLOOR SURFACE SHALL BE APPROVED FOR IMPACT HAZARD.

WATER HEATER
 WATER HEATER, GAS AMERICAN APPLIANCE MODEL #GFK4547 CAPACITY: 50.00 GALS.
SHADING DEVICES typ. _____
 EXTERIOR: BUG SCREEN INTERIOR: DRAPERY-STANDARD FRAME: METAL TYPE: DOUBLE GLASS

INSULATION typ. _____
 CEILING: R-30 W/LS: R-13 FLOOR: R-19 (U VALUE: 0.87)

DESIGN BUILD SPLIT SYSTEM FORCED AIR FURNACES FOR 72,000 CU. FT. PROPOSED DESIGN 5.96 REMOTE CONDENSERS (CONDITIONED COOLING) PROPOSED DESIGN 5.73 SEE TITLE 24 CALCULATIONS



PROJECT SCOPE
 A NEW SINGLE FAMILY RESIDENCE ON A HILLSIDE SITE

PROJECT DIRECTORY

OWNER: RAYMOND SOHRABIAN
 3035 EDGEWICK RD
 GLENDALE, CA 91206
 TEL: (-) - anurjproperties@gmail.com

ARCHITECT: LR/ ARCHITECTURE
 217 W ALAMEDA, SUITE 203
 BURBANK, CA 91502
 (818) 840-8361
 (818) 840-8341 FAX

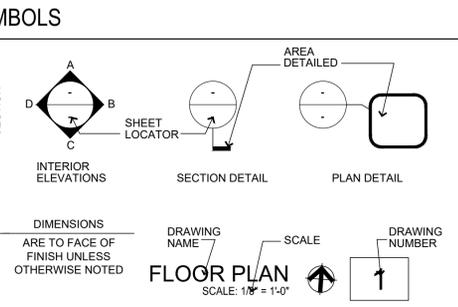
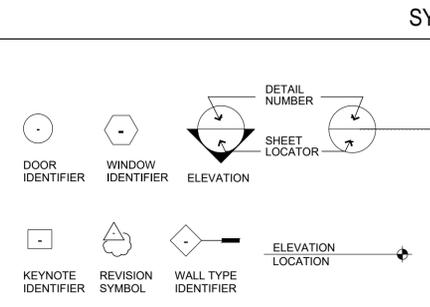
STRUCTURAL: MESSIHA ENGINEERING SERVICES, INC.
 9854 NATIONAL BLVD., SUITE 474
 LOS ANGELES, CA 90034
 TEL: (310)-717-3020
 HANY MESSIHA, PE, MSCE

TITLE 24 ENVELOPE: ENERGY LOGICS ENGINEERS
 665 FAIRMONT AVE. #11
 GLENDALE, CA 91203
 CONTACT: ARMAND HENRY ESTRADA
 TEL: (213) 820-3683

CIVIL: MESSIHA ENGINEERING SERVICES, INC.
 9854 NATIONAL BLVD., SUITE 474
 LOS ANGELES, CA 90034
 TEL: (310)-717-3020
 HANY MESSIHA, PE, MSCE

PROJECT INDEX

ARCHITECTURAL		
NO.	DATE	DESCRIPTION
1	A-0.0	COVER SHEET
2	A-1.0	SITE PLAN
3	A-1.1	PLOT PLAN
4	A-2.0	GARAGE LEVEL FLOOR PLAN
5	A-2.1	FIRST FLOOR AND SPLIT LEVEL PLAN
6	A-2.2	SECOND FLOOR PLAN
7	A-2.3	ADU PLAN AND ELEVATIONS
8	A-3.0	ROOF PLAN
9	A-4.0	EXTERIOR ELEVATION
10	A-4.1	EXTERIOR ELEVATION
11	A-4.2	EXTERIOR ELEVATION
12	A-4.3	EXTERIOR ELEVATION
13	A-5.0	BUILDING SECTION
14	A-5.1	BUILDING SECTION



PROJECT INFORMATION

ADDRESS: 3035 EDGEWICK RD. GLENDALE, CA 91206

BUILDING USAGE: RESIDENTIAL
 EXISTING ZONE: R-1R

PLANNING NO. -

LEGAL DESCRIPTION: NO 9041 LOT 21 BLK3 LOT 21 APN: -

(E) LOT SIZE: 8,581 SQ. FT.

(N) BLDG SQUARE AREA: 3,260 SQ. FT.

LOT COVERAGE: 37.9%

CONSTRUCTION TYPE: TYPE V

AREA ANALYSIS:

OCCUPANCY: -
 LAVATORIES: 2 STORIES, BELOW GRADE GARAGE

SETBACKS: FRONT 15'-0" MIN. SIDE (E) 10'-0" MIN. REAR 10'-0" MIN. SIDE (W) 10'-0" MIN.

FIRE ZONE: -

APPLICABLE CODES: WITH 2014 LOS ANGELES COUNTY AMENDMENTS & 2016 CALIFORNIA ENERGY CODE

2016 CALIFORNIA BUILDING CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA ELECTRICAL CODE
 2016 CALIFORNIA RESIDENTIAL CODE
 2016 GREEN BUILDING STANDARDS

GOVERNING AGENCY: GLENDALE BUILDING AND SAFETY
 633 E. BROADWAY #101
 GLENDALE, CA 91206
 818-548-3200

REVISIONS

ISSUE	DATE	REVISION
1	2-5-2020	PLANNING SUBMITTAL
2	4-22-2020	PLANNING RESUBMITTAL

PROJECT DATA

PROJECT DATA:	
SITE AREA:	8,581 SQ. FT.
AREAS:	
ENTRY AREA AT GARAGE:	123 SQ. FT.
FIRST FLOOR:	1,730 SQ. FT.
SECOND FLOOR:	1,407 SQ. FT.
AREA FOR FAR CALC:	3,260 SQ. FT.
FAR = (440% OF SITE AREA)	3,432 SQ. FT. ALLOWABLE PROJECT FAR:
OTHER SITE AREA:	
ADU:	500 SQ. FT.
GARAGE:	432 SQ. FT.
COVERAGE:	3,432 SQ. FT. ALLOWABLE ACTUAL COVERAGE:
	31.2% (2,883 SQ. FT. INCLUDES ADU)
LANDSCAPE AREA:	3,937 SQ. FT. (45.8 %)
PROPERTY SLOPE:	32.5%
UNDISTURBED AREA:	3,430 SQ. FT. (40%)
SLOPE AT HOUSE POLYGON:	29.3%
CUT:	1,150 C.Y.
FILL:	25 C.Y.
EXPORT:	835 C.Y.

LR/A
 LR/ARCHITECTURE
 Architecture
 Planning
 Interior Design
 Construction Management

217 W. Alameda Avenue, Suite 203
 Burbank, CA 91502
 (818) 840-8361 Fax (818) 840-8341

N O T E

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SUBMITTALS

NO.	DATE	DESCRIPTION
1	2-5-2020	PLANNING SUBMITTAL
2	4-22-2020	PLANNING RESUBMITTAL



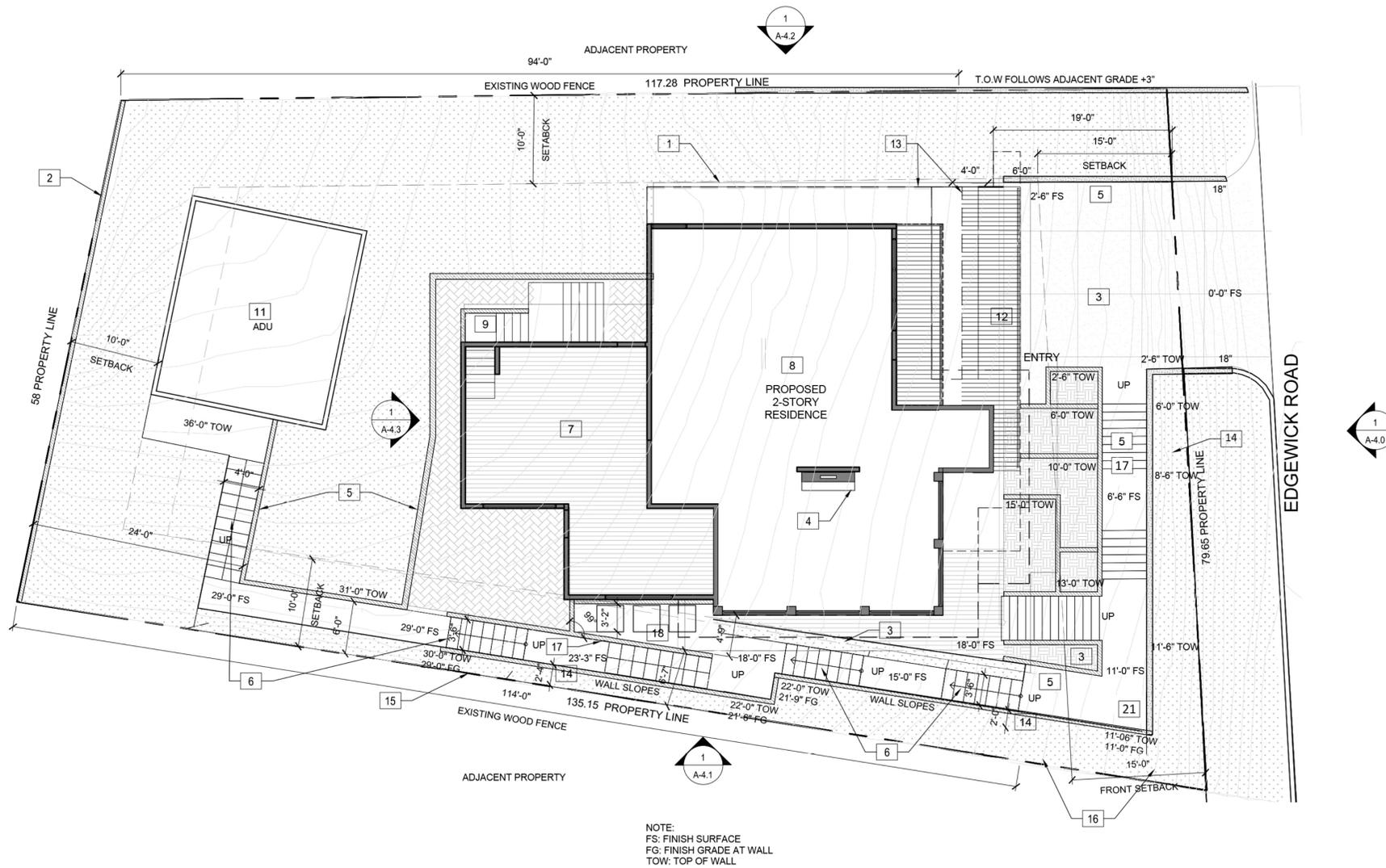
CLIENT
 Raymond Sohrabian
 3035 EDGEWICK RD GLENDALE
 CA 91206

REVISIONS

ISSUE	DATE	REVISION
1	2-5-2020	PLANNING SUBMITTAL
2	4-22-2020	PLANNING RESUBMITTAL

COVER SHEET

JOB NO. 18523
 DATE 08/03/2020
 SCALE AS SHOWN
 TITLE COVER SHEET
 SHEET A-0.0



NOTE:
 FS: FINISH SURFACE
 FG: FINISH GRADE AT WALL
 TOW: TOP OF WALL

- 1 LINE OF BUILDING STRUCTURE BELOW
- 2 EXISTING CMU WALL
- 3 NEW CONCRETE DRIVEWAY - LIGHT ACID ETCH
- 4 CHIMNEY
- 5 RETAINING WALL - DECORATIVE MATERIAL TO MATCH HOUSE STONE FINISH
- 6 EXTERIOR STEPS
- 7 ROOF DECK
- 8 ROOF
- 9 STAIRS TO ROOF DECK
- 10 BALCONY BELOW
- 11 FUTURE SINGLE STORY ADU
- 12 DECK AT ENTRY LEVEL
- 13 CANOPY
- 14 TERRAIN AREA
- 15 EXISTING WOOD FENCE
- 16 LINE OF EXISTING GRADE
- 17 PLANTER WALL
- 18 CONCRETE PAD LANDING AREA. AREA FOR AC UNITS
- 19 LINE OF CANOPY ABOVE
- 20 BUILDING LINE AT GRADE
- 21 WALL FINISH FROM INSIDE CORNER TO ADU TO BE ANGELUS BLOCK DECORATIVE CMU "GOLDENROD" - BURNISHED 6x8x16

KEYNOTES

SITE PLAN 1
 SCALE: 1/8" = 1'-0"

SITE AREA :	8,581 S.F.	100%
HOUSE AND ADU COVERAGE :	2,683 S.F.	31.2%
LANDSCAPE AREA:	3,937 S.F.	45.8%
UNDISTURBED:	3,430 S.F.	40.1%

- PROPERTY LINE
- [Pattern] CMU WALL
- [Pattern] (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL
- [Pattern] RETAINING WALL
- [Pattern] INTERIOR WALL
- ← SLOPE 2% SLOPE SITE DRAINAGE DIRECTION
- [Symbol] BUILDING GRID IDENTIFICATION WORK POINT
- [Pattern] LANDSCAPING

SITE PLAN NOTES

LEGEND

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 Planning
 Interior Design
 Construction Management

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SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
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BID SET:		
RELEASES:		
NO.	DATE	DESCRIPTION
1	2-5-2020	PLANNING SUBMITTAL
2	4-22-2020	PLANNING RESUBMITTAL



PROJECT
 3035 EDGEWICK RD
 GLENDALE, CA 91206

CLIENT
 Raymond Sohrabian
 3035 EDGEWICK RD GLENDALE
 CA 91206

ISSUE	DATE	REVISION
1	5/17/21	CMU spec revision
2		
3		
4		
5		
6		

DRAWN
 STAFF
 CAD FILE

18.523.00 PLNG A-1.0 Site Plan.dwg

JOB NO.
 18523

DATE
 08/03/2020

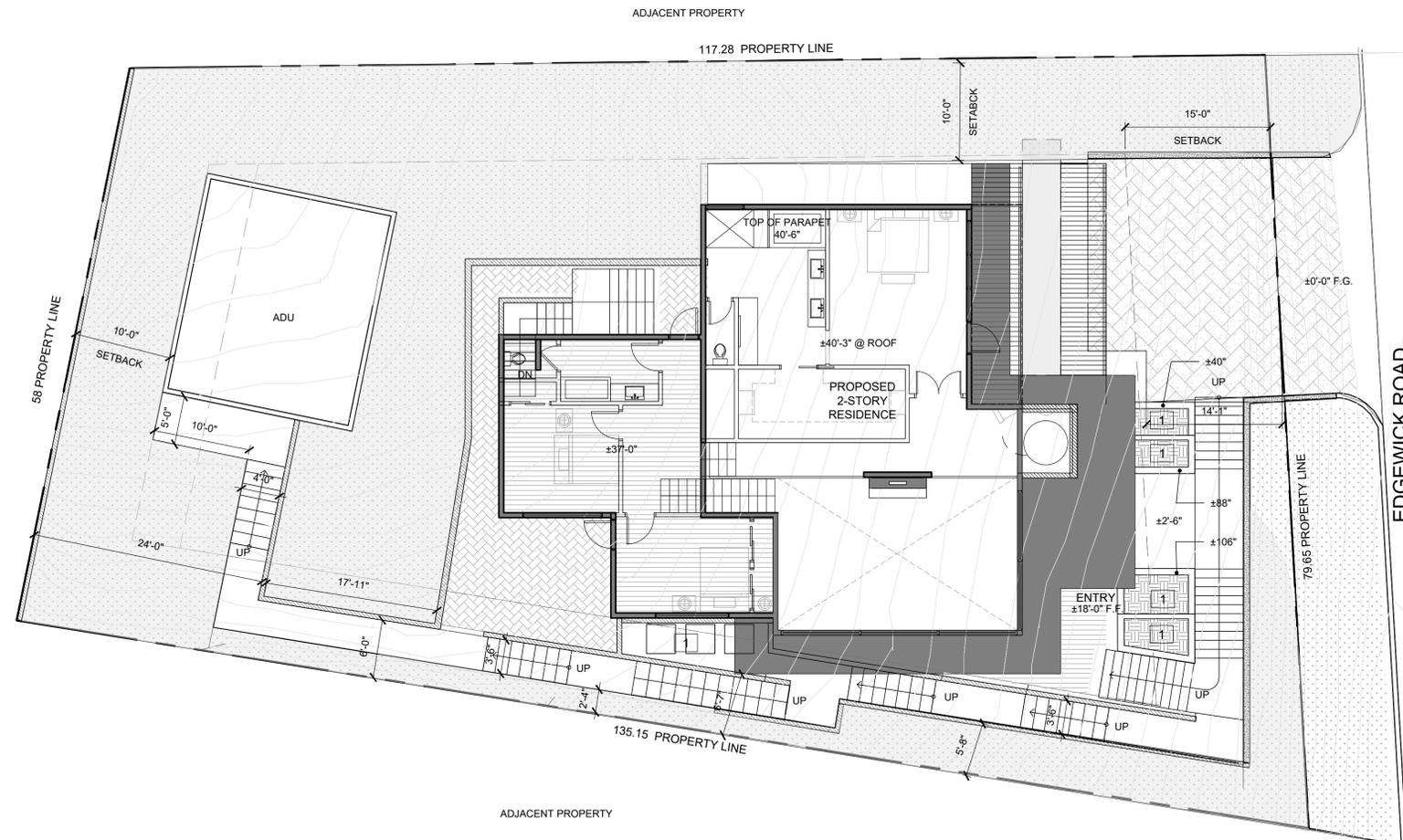
SCALE
 AS SHOWN

TITLE

SITE PLAN

SHEET

A-1.0



1 PLANTER

KEYNOTES

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ARCH/CONSULTANT:



PROJECT
 3035 EDGEWICK RD
 GLENDALE, CA 91206

CLIENT
 Raymond Sohrabian
 3035 EDGEWICK RD GLENDALE
 CA 91206

REVISIONS	ISSUE	DATE	REVISION
△			
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DRAWN	CHECKED
STAFF	WR / RM

CAD FILE
 18.523.00 PLNG A-1.1 Site Plan Undisturbed.dwg

JOB NO.
 18523

DATE
 04/22/2020

SCALE
 AS SHOWN

TITLE
 SITE PLAN
 UNDISTURBED TERRAIN

SHEET
 A-1.1

SITE PLAN 1
 SCALE: 1/8" = 1'-0"

SITE AREA :	8,581 S.F.	100%
HOUSE AND ADU COVERAGE :	2,703 S.F.	31%
HARDSCAPE, STEPS, PLANTERS:	2,440 S.F.	28%
UNDISTURBED:	3,438 S.F.	40%

- PROPERTY LINE
- ▨ CMU WALL
- (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL
- ▭ INTERIOR WALL
- ← SLOPE
- 2% SLOPE SITE DRAINAGE DIRECTION
- BUILDING GRID IDENTIFICATION WORK POINT
- UNDISTURBED TERRAIN 3,438 SQ.FT.

SITE PLAN NOTES

LEGEND

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ARCH/CONSULTANT:



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS

ISSUE	DATE	REVISION
△	2/22/21	Driveway width / stairs
△		
△		
△		
△		
△		

DRAWN

CHECKED

STAFF

WR/ RM

CAD FILE

18.523.00 PLNG A-2.0 GARAGE LEVEL.dwg

JOB NO.

18523

DATE

08/03/2020

SCALE

AS SHOWN

TITLE

**GARAGE
LEVEL FLOOR
PLAN**

SHEET

A-2.0

- 1 DRIVEWAY ACCESS
- 2 CARVED OUT EXISTING TERRAIN
- 3 (N) PLANTERS
- 4 GARAGE WITH VESTIBULE ACCESS
- 5 EXTERIOR STAIRS
- 6 AVERAGE GRADE ELEV: 1034' = 0'-0"
- 7 GARAGE ELEV: +2'-8" = 1036.66

KEYNOTES

GARAGE PLAN

SCALE: 1/4" = 1'-0"

1

A- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

D- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

H- WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

K- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED, FOR HUMAN OCCUPANCY. UPON THE OWNERS APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (1,000). (R314.6.2).

M- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED

GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2).

N- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

O- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

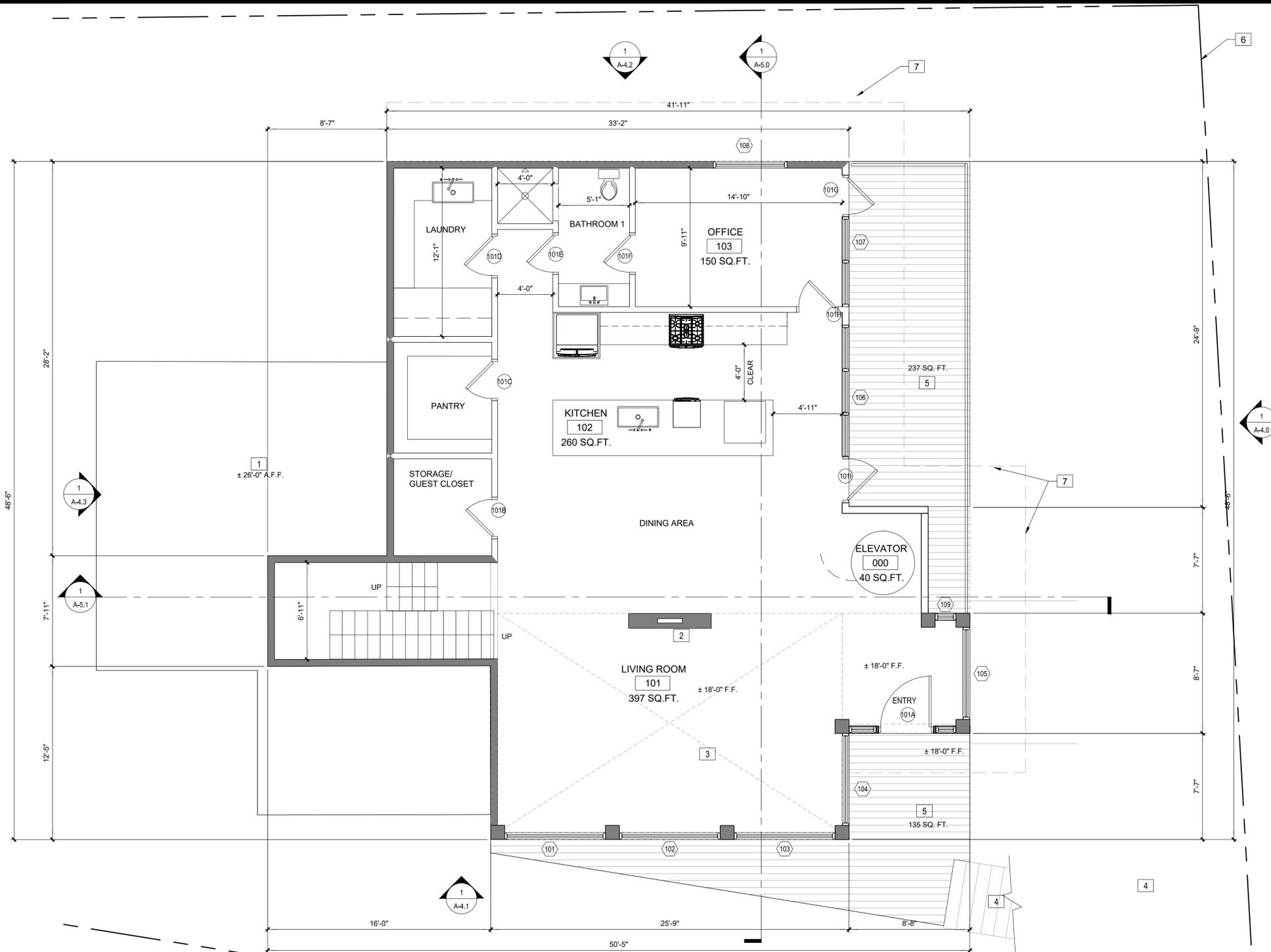
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- PROPERTY LINE
- CMU WALL
- (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL
- INTERIOR WALL
- SLOPE
2% SLOPE SITE DRAINAGE DIRECTION
- BUILDING GRID IDENTIFICATION WORK POINT
- DOOR TAG
- WINDOW TAG
- ELECTRICAL DUPLEX OUTLET
- SWITCH LOCATION
- WALL LIGHTS

LEGENDS

GENERAL NOTES



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" **1**

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F- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

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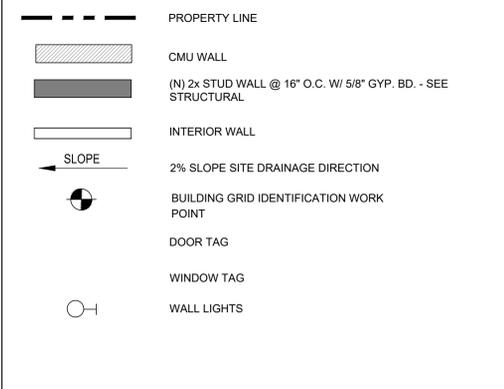
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GENERAL NOTES

LEGENDS

- 1 SHADED AREA DENOTES AREA OF MID-LEVEL FLOOR @26'-0" A.F.F.
- 2 GAS FIRE PLACE
- 3 DOUBLE-HEIGHT SPACE
- 4 EXTERIOR STAIRS
- 5 OUTDOOR DECK
- 6 PROPERTY LINE
- 7 CANOPY ABOVE

KEYNOTES

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

N O T E

THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT. THE DESIGN SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAUGHTSMANSHIP AND SPECIFICATIONS SHALL NOT BE COPIED, REPRODUCED OR OTHERWISE USED IN WHOLE OR IN PART. THE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY THE OWNER OR OTHER PERSONS FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT.

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		

RELEASES:	NO.	DATE	DESCRIPTION
	1	2-5-2020	PLANNING SUBMITTAL
	2	4-22-2020	PLANNING RESUBMITTAL

ARCH/CONSULTANT:

PROJECT

**3035 EDGEWICK RD
GLENDALE, CA 91206**

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS	ISSUE	DATE	REVISION
	△		
	△		
	△		
	△		
	△		
	△		

DRAWN _____ CHECKED _____

STAFF _____ WR/ RM _____

CAD FILE

18.523.00 PLNG A-2.1 FIRST LEVEL FLOOR PLAN.dwg

JOB NO.

18523

DATE

04/22/2020

SCALE

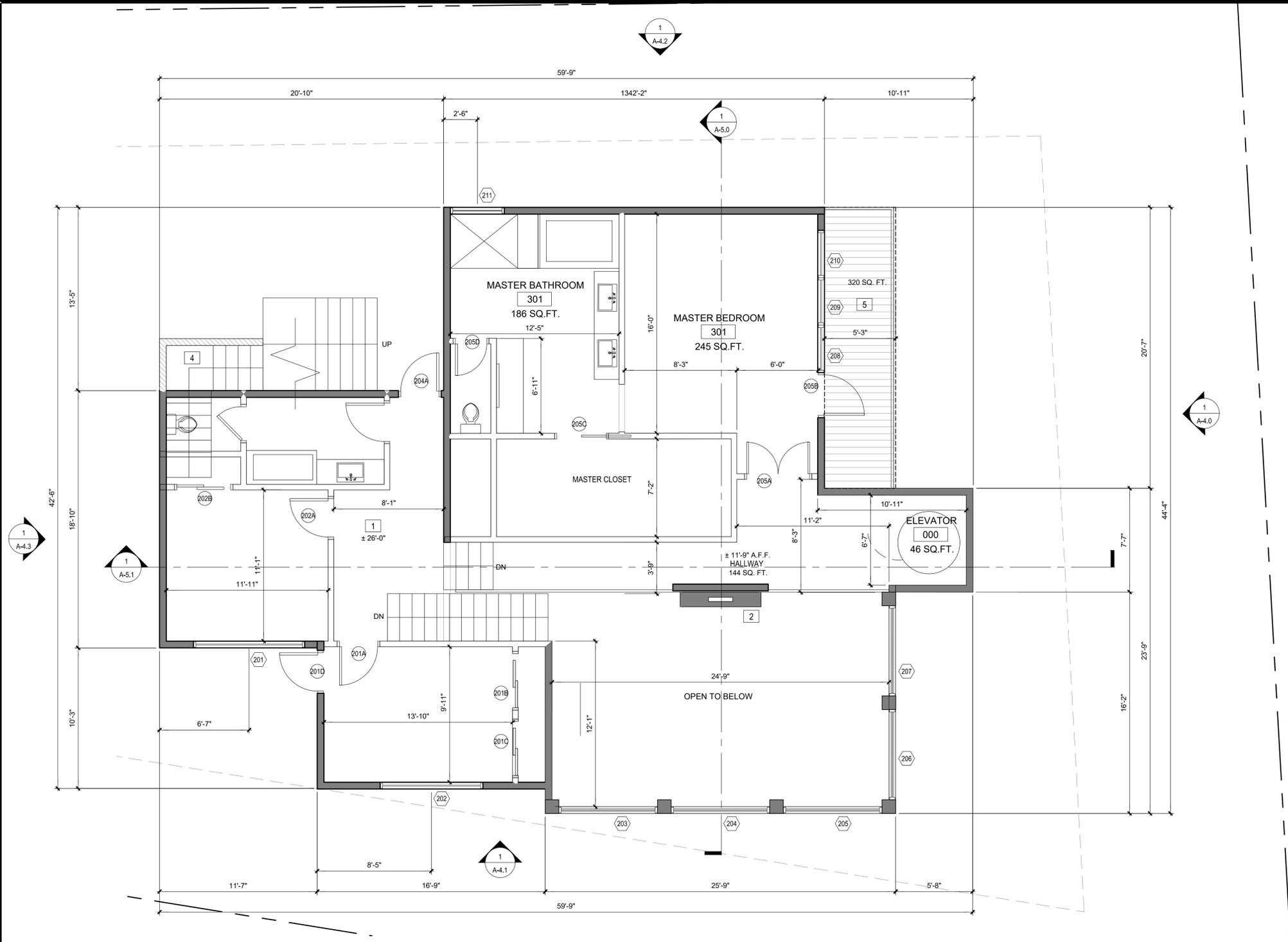
AS SHOWN

TITLE

**FIRST FLOOR
PLAN**

SHEET

A-2.1



- 1 ROOF DECK ABOVE MID LEVEL
- 2 GAS FIRE PLACE
- 3 DOUBLE-HEIGHT SPACE BELOW
- 4 EXTERIOR STAIRS
- 5 BALCONY

KEYNOTES

LR/A
LR/ARCHITECTURE
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PROJECT
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 GLENDALE, CA 91206**
 CLIENT
Raymond Sohrabian
 3035 EDGEWICK RD GLENDALE
 CA 91206

ISSUE	DATE	REVISION

DRAWN _____ CHECKED _____
 STAFF _____ WR/ RM

CAD FILE
 18.523.00 PLNG A-2.2 SECOND FLOOR PLAN.dwg

JOB NO.
 18523

DATE
 04/22/2020

SCALE
 AS SHOWN

TITLE
**SECOND
 FLOOR PLAN
 AND SPLIT LEVEL**

SHEET
A-2.2

SECOND FLOOR PLAN 1
 SCALE: 1/8" = 1'-0"

A- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

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- PROPERTY LINE
- CMU WALL
- (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL
- INTERIOR WALL
- 2% SLOPE SITE DRAINAGE DIRECTION
- BUILDING GRID IDENTIFICATION WORK POINT
- DOOR TAG
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- SWITCH LOCATION
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GENERAL NOTES

LEGENDS

N O T E

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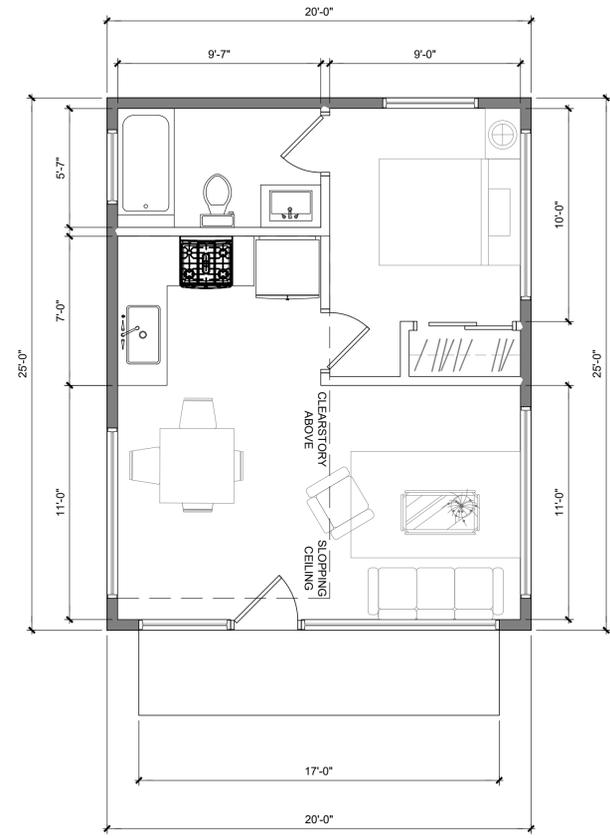
DATE
 04/22/2020

SCALE
 AS SHOWN

TITLE
**ADU
 PLAN AND
 ELEVATIONS**

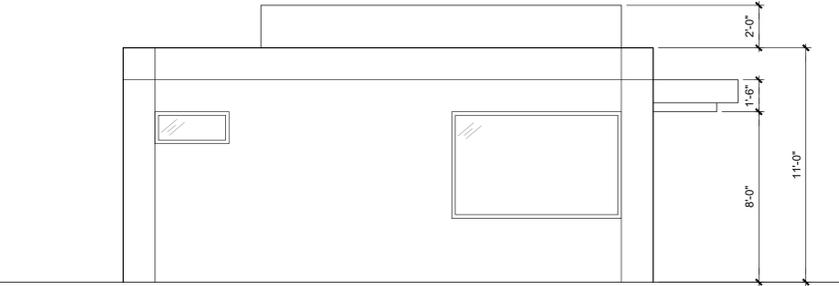
SHEET

A-2.3

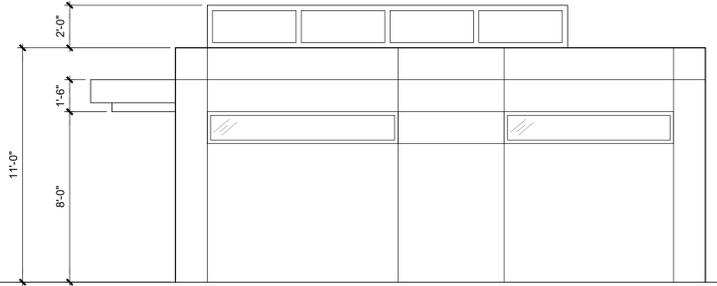


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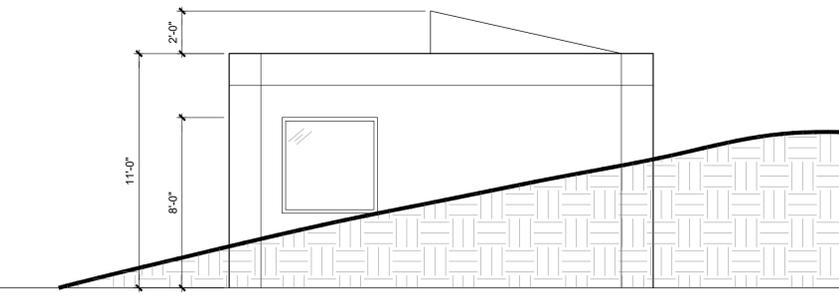
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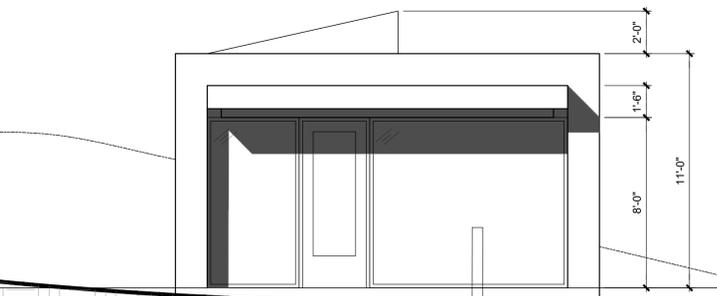
WEST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0" 5



EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0" 4



NORTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0" 3



SOUTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0" 2

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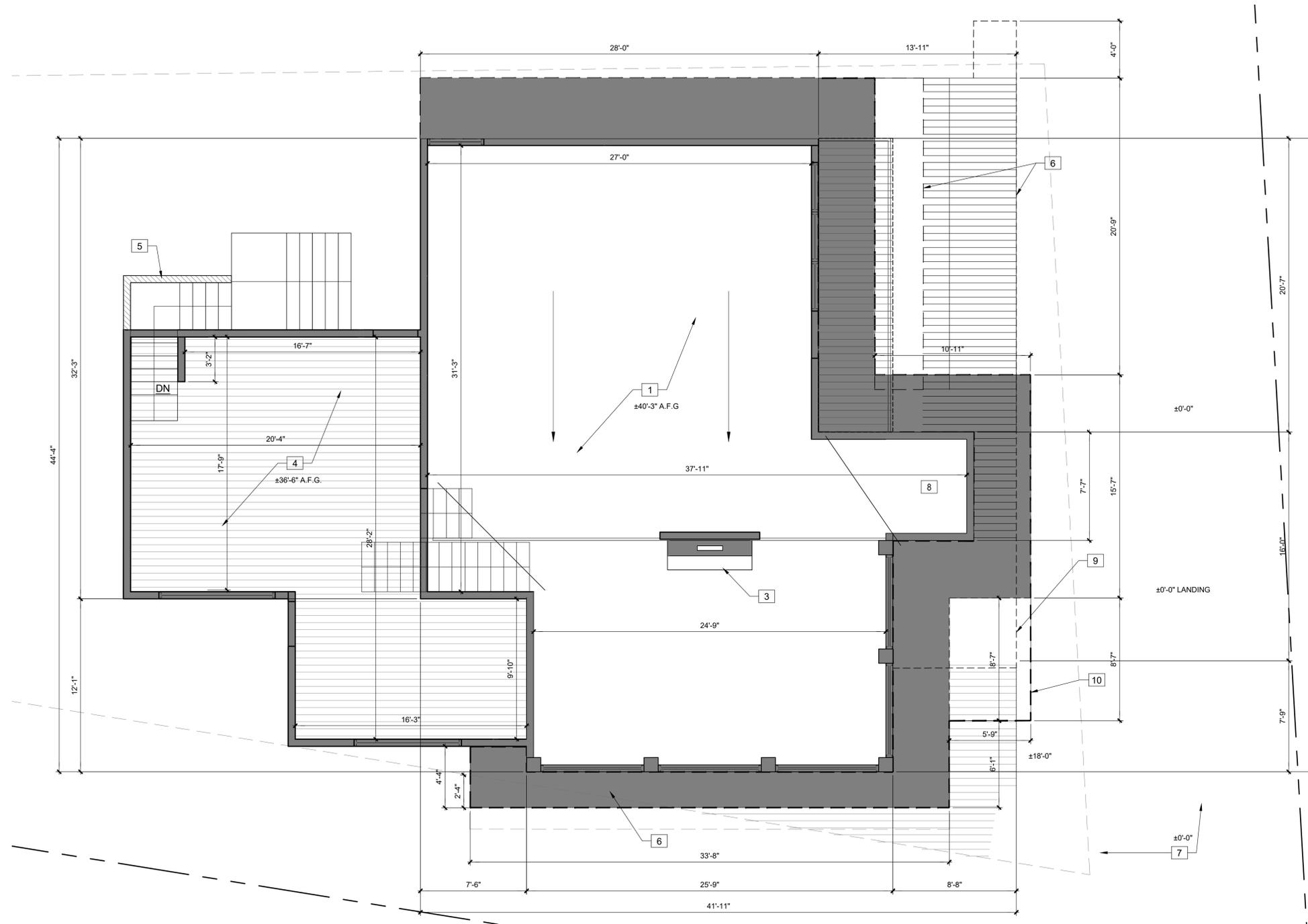
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GENERAL NOTES

KEYNOTES

LEGENDS



ROOF PLAN
SCALE: 1/4" = 1'-0" 1

- 1 SINGLE-PLY TPO ROOFING MATERIAL CLASS "A"
- 2 EXTERIOR WALL OUTLINE BELOW
- 3 CHIMNEY
- 4 ROOF DECK BELOW
- 5 STAIRS TO ROOF DECK
- 6 CANOPY
- 7 EXTERIOR STAIRS BELOW TO ENTRY
- 8 ELEVATOR LOCATION
- 9 LINE OF GRADE @ BUILDING BELOW
- 10 LINE OF OVERHEAD BELOW

BUILDING DEPARTMENT NOTES

GENERAL NOTES

FIRE BLOCKING NOTES

ATTIC VENT CALCULATIONS

KEYNOTES

LR/A
LR/ARCHITECTURE
Architecture
Planning
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PROJECT
3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT
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3035 EDGEWICK RD GLENDALE
CA 91206

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18523

DATE
08/03/2020

SCALE
AS SHOWN

TITLE
ROOF
PLAN

SHEET
A-3.0

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REVISIONS	ISSUE	DATE	REVISION
△	2/22/21	Driveway width reduction misc adjustments	
△	5/19/21	Adjustments at north eave	
△	.	.	
△	.	.	
△	.	.	
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CAD FILE
 18.523.00 PLNG A-4.0 Exterior Elevations.dwg

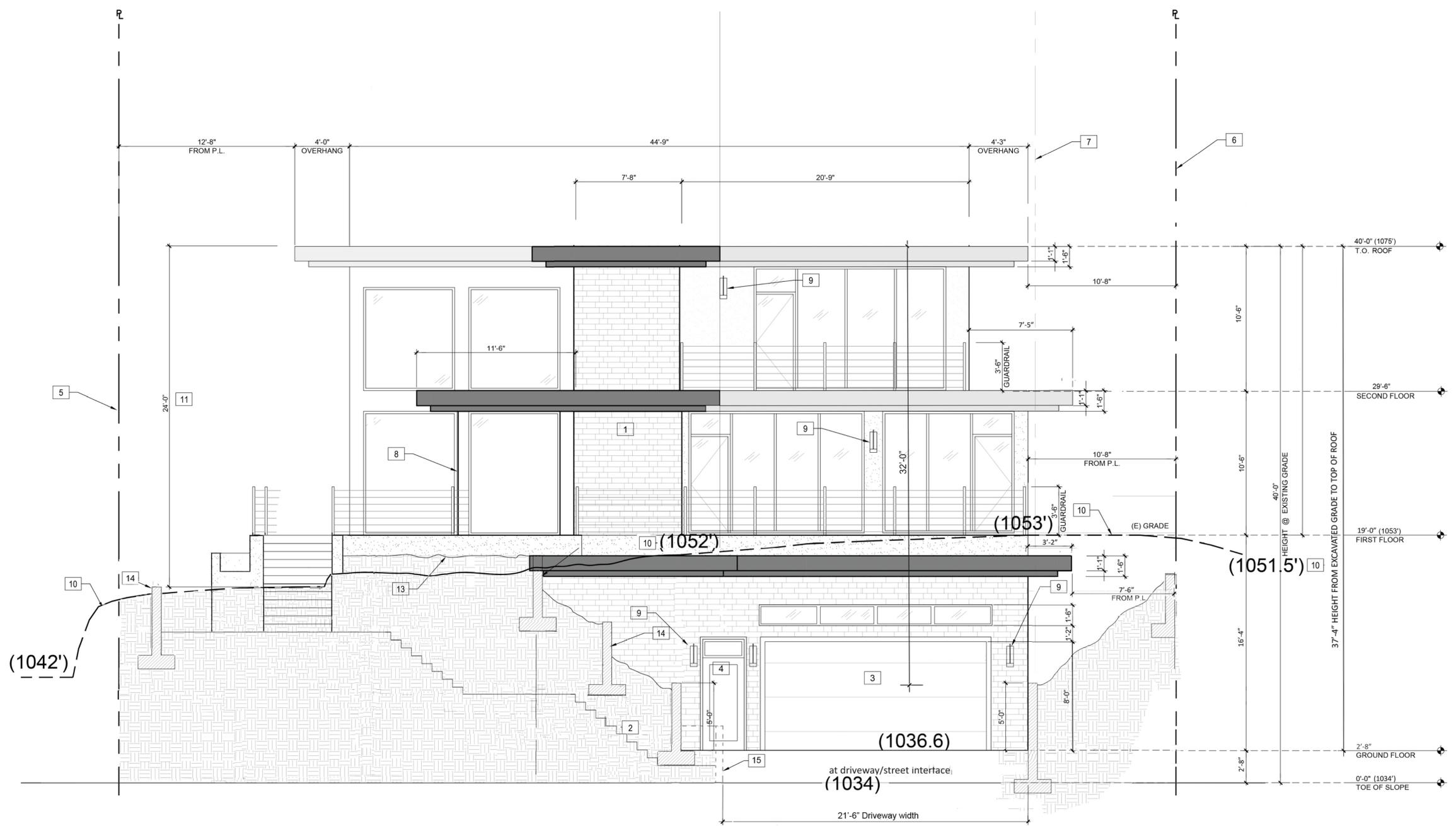
JOB NO.
 18523

DATE
 04/22/2020

SCALE
 AS SHOWN

TITLE
**EXTERIOR
 ELEVATIONS**

SHEET
A-4.0



EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0" **1**

- 1 ELEVATOR SHAFT
- 2 ENTRANCE STAIR CASE IN FOREGROUND
- 3 GARAGE DOOR
- 4 GUEST ENTRANCE TO ELEVATOR
- 5 LINE OF NATURAL GRADE
- 6 PROPERTY LINE
- 7 LINE OF BUILDING SETBACKS
- 8 FRONT DOOR ENTRY
- 9 EXTERIOR LIGHT FIXTURES
- 10 NATURAL GRADE AT HOUSE FRONT (PRIOR TO CONSTRUCTION)
- 11 HEIGHT TO TOP OF PARAPET FROM NATURAL GRADE AT LOWEST POINT.
- 12
- 13 LINE INDICATES WHERE NEW GRADE MEETS BUILDING WALL
- 14 RETAINING WALL IN HOUSE FOREGROUND
- 15 RETAINING WALL IN FOREGROUND DEFINDS DRIVEWAY

KEYNOTES

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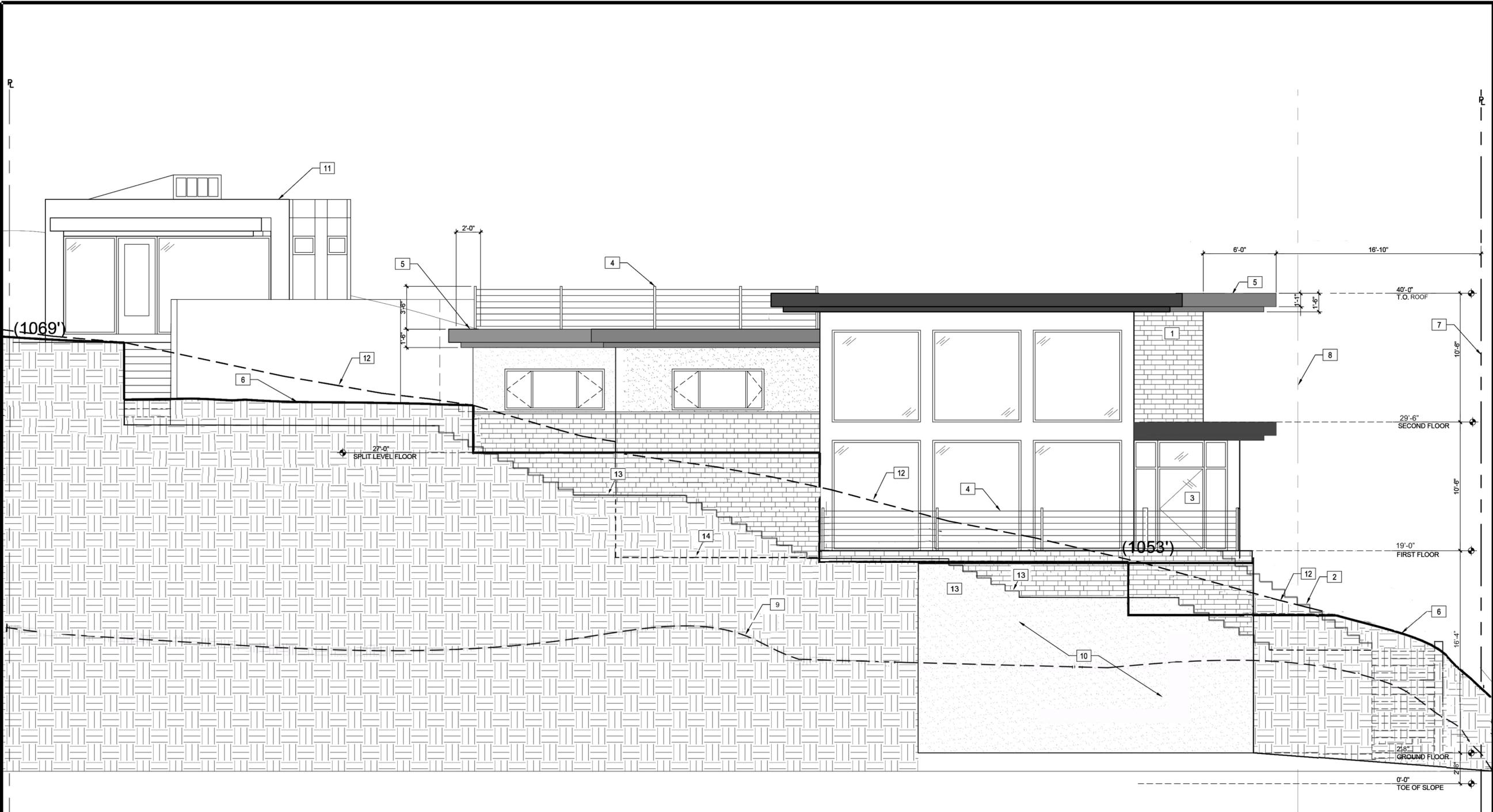
DATE
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SCALE
 AS SHOWN

TITLE
EXTERIOR ELEVATIONS

SHEET

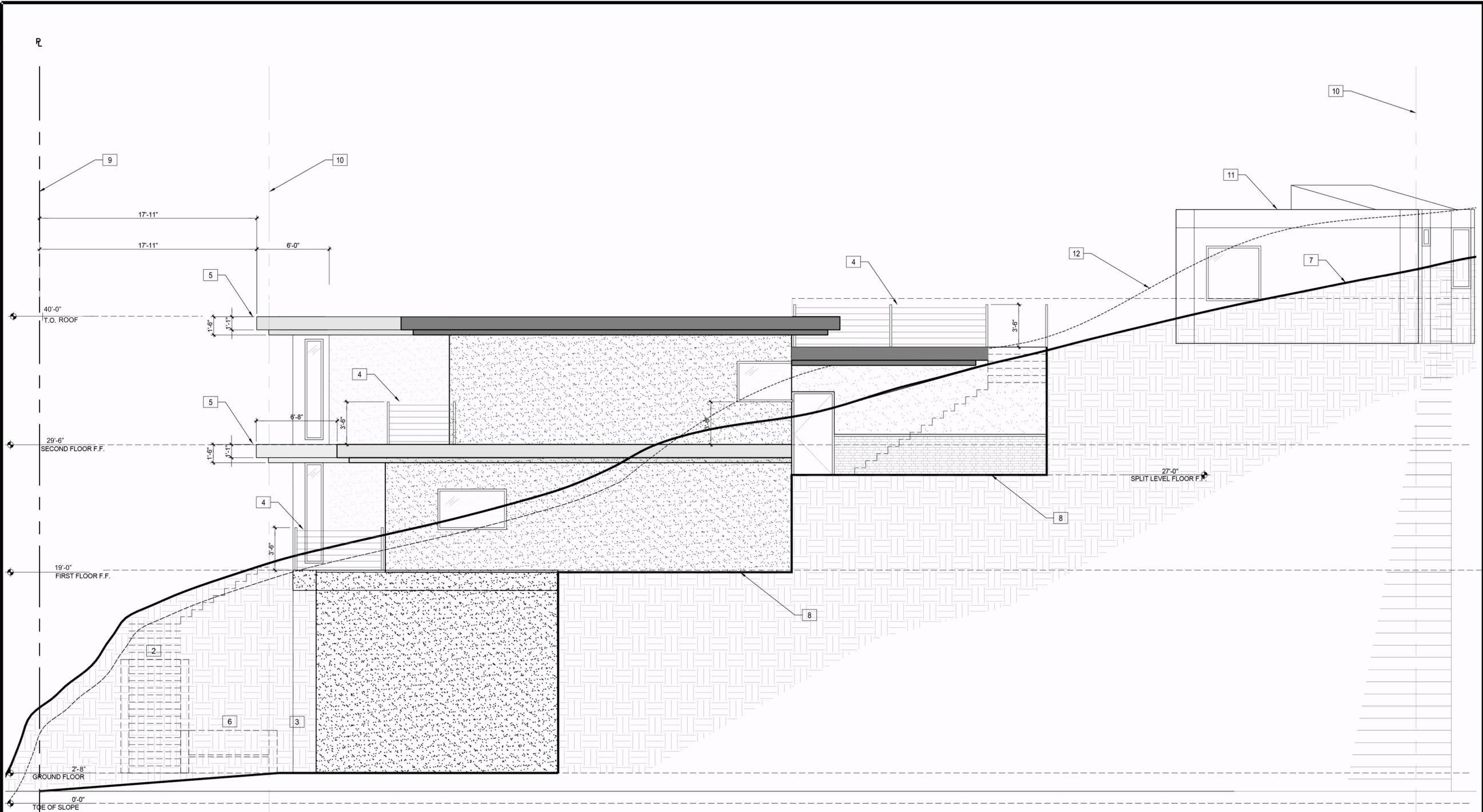
A-4.1



SOUTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0" **1**

- 1 ELEVATOR SHAFT
- 2 ENTRANCE STAIRS
- 3 ENTRANCE
- 4 CABLE GUARD RAIL
- 5 CANOPY
- 6 LINE OF GRADE
- 7 PROPERTY LINE
- 8 LINE OF BUILDING SETBACK
- 9 LINE OF ADJACENT GRADE SEE A-5.1 FOR LOCATION OF PROFILE
- 10 GARAGE BEYOND
- 11 GUEST HOUSE, SEE A-2.3
- 12 NATURAL GRADE - PRIOR TO CONSTRUCTION
- 13 STEPS AND PATHWAY TO ADU (IN FOREGROUND)
- 14 PAD BEYOND FOR HVAC EQUIPMENT

KEYNOTES



NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 1

- 1 ELEVATOR SHAFT
- 2 ENTRANCE STAIRS
- 3 ENTRANCE
- 4 CABLE SYSTEM GUARD RAIL
- 5 CANOPY
- 6 PLANTER/LANDSCAPE AREA
- 7 LINE OF NATURAL GRADE
- 8 LINE OF BUILDING FOOTPRINT
- 9 PROPERTY LINE
- 10 LINE OF BUILDING SETBACK
- 11 GUEST HOUSE, SEE A-2.3
- 12 LINE OF ADJACENT GRADE @NORTH SIDE

KEYNOTES

LR/A
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△
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SCALE
 AS SHOWN

TITLE
 EXTERIOR
 ELEVATIONS

SHEET
 A-4.2

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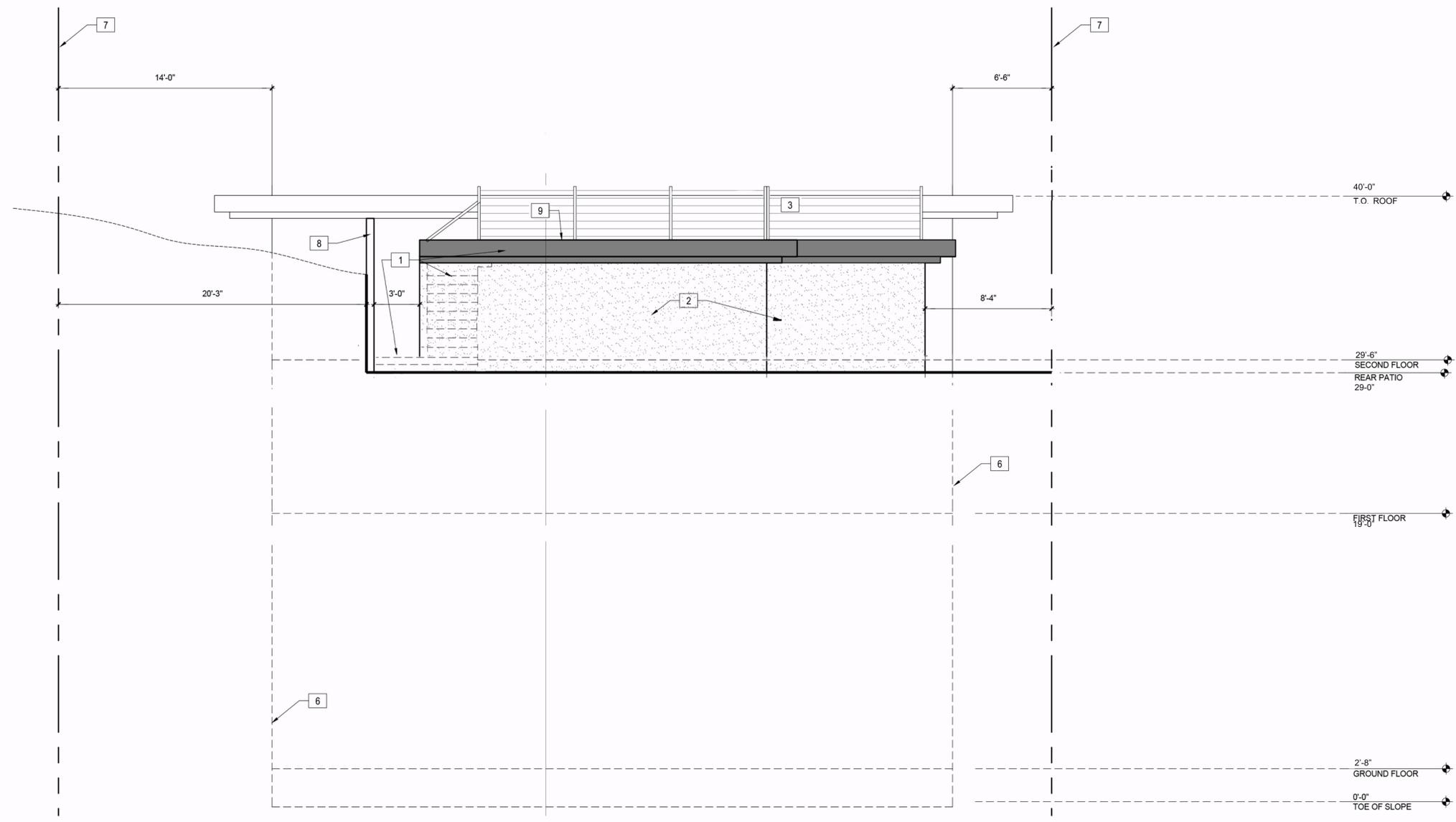
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 18523

DATE
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SCALE
 AS SHOWN

TITLE
EXTERIOR ELEVATIONS

SHEET
A-4.3

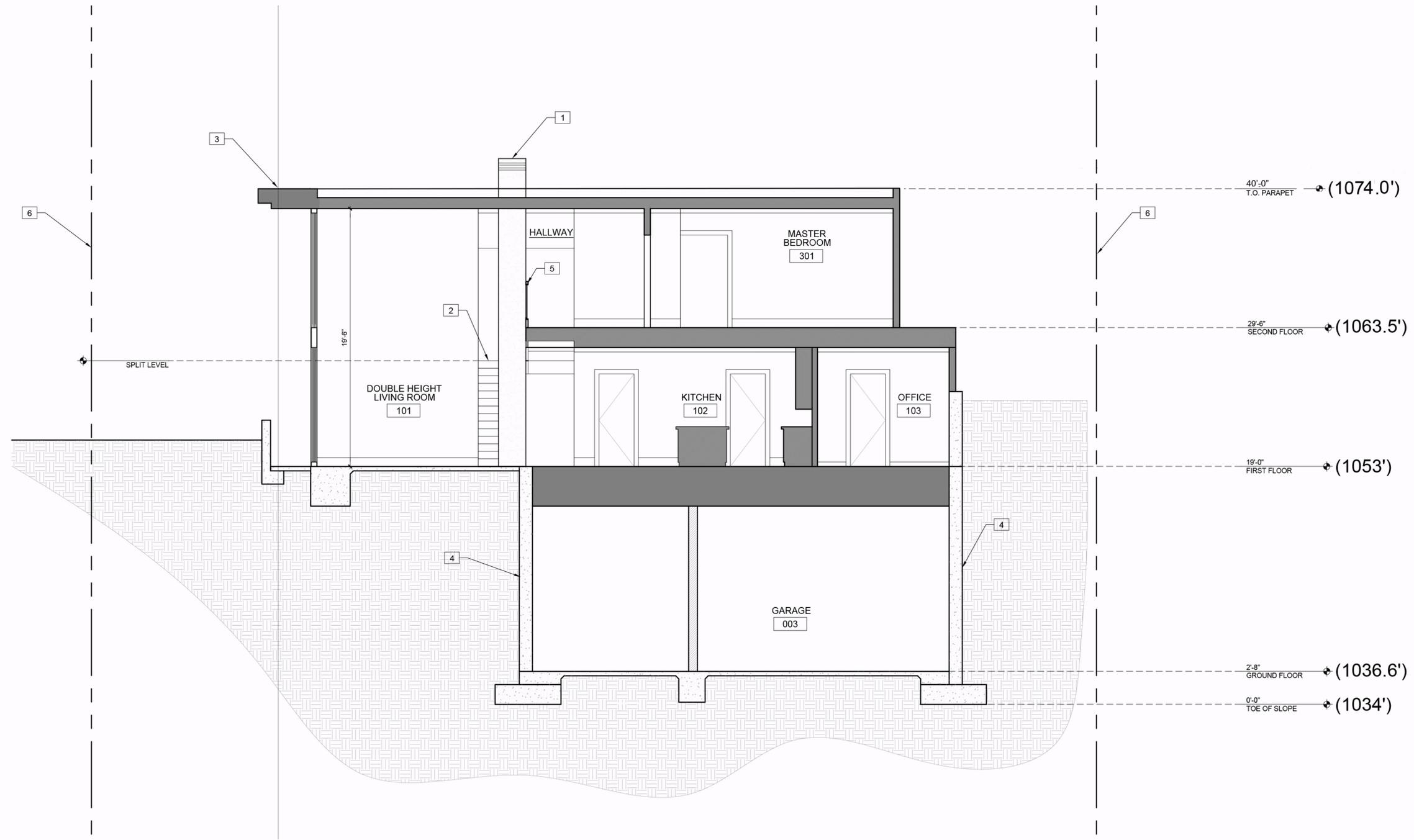


WEST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0" **1**

NOTE: IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
 1. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 S.F.
 2. A MINIMUM CLEAR HEIGHT OF 24-IN.
 3. A MINIMUM CLEAR WIDTH OF 20 IN.
 4. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-IN. MEASURED FROM THE FLOOR.

- 1 REAR STAIRS TO ROOF DECK AND OUTDOOR PATIO
- 2 OUTDOOR PATIO AREA
- 3 CABLE SYSTEM GUARD RAIL
- 4 PLANTER/LANDSCAPE AREA
- 5 LINE OF NATURAL GRADE
- 6 LINE OF BUILDING FOOTPRINT
- 7 PROPERTY LINE
- 8 RETAINING WALL
- 9 ROOF DECK

KEYNOTES



SECTION THRU EAST ELEVATION
SCALE: 1/4" = 1'-0" 1

- 1 CHIMNEY
- 2 STAIRS BEYOND
- 3 CANOPY
- 4 RETAINING WALL
- 5 GUARDRAIL 42"
- 6 PROPERTY LINE

NOTES

KEYNOTES

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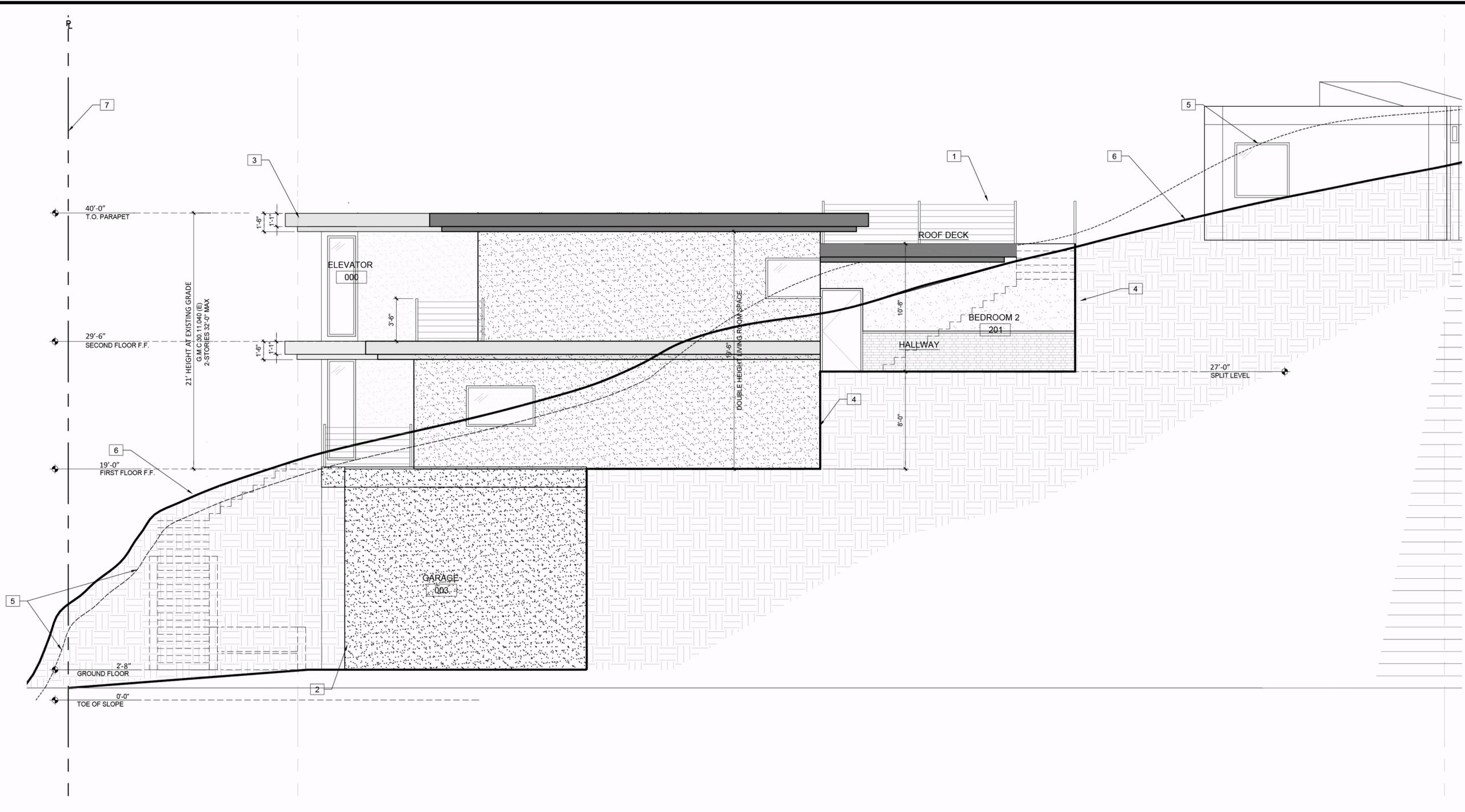
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18523

DATE
08/03/2020

SCALE
AS SHOWN

TITLE
BUILDING
SECTION

SHEET
A-5.0



SECTION THRU NORTH ELEVATION
SCALE: 1/4" = 1'-0" 1

- 1 ROOF DECK GUARDRAIL
- 2 ELEVATOR PIT BEYOND
- 3 CANOPY
- 4 RETAINING WALL
- 5 LINE OF ADJACENT SITE SLOPE
- 6 LINE OF SITE SLOPE
- 7 PROPERTY LINE

NOTES

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2			
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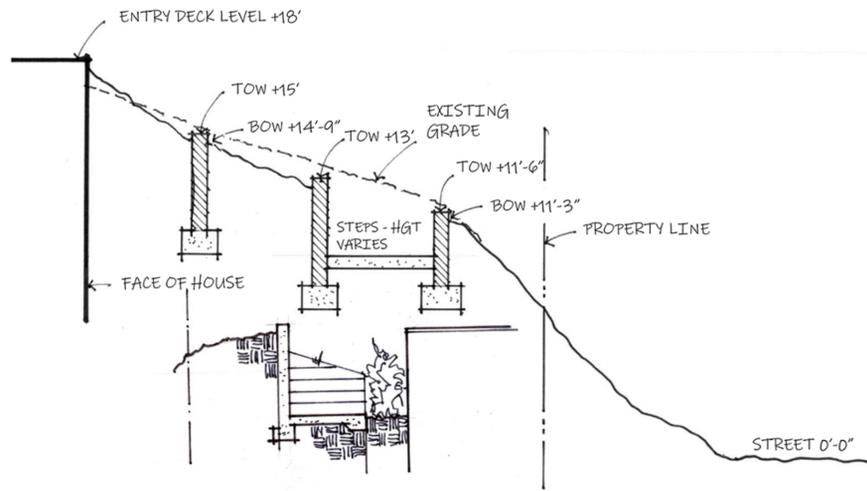
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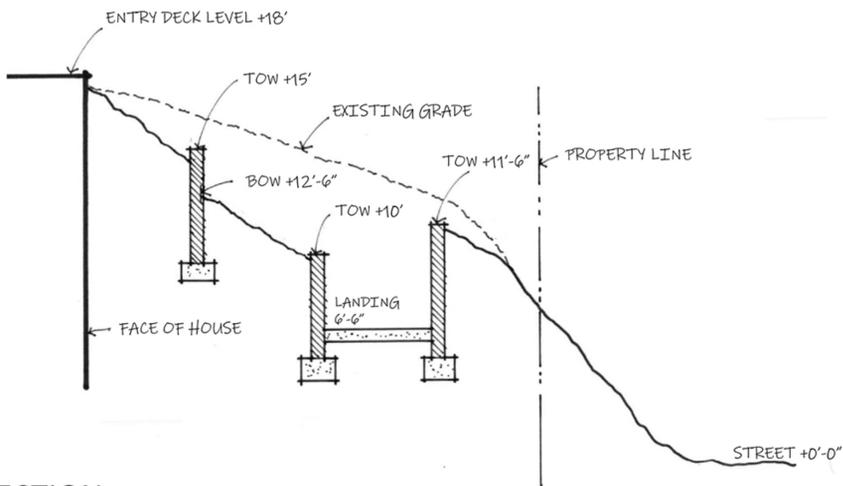
SCALE
AS SHOWN

TITLE
BUILDING
SECTION

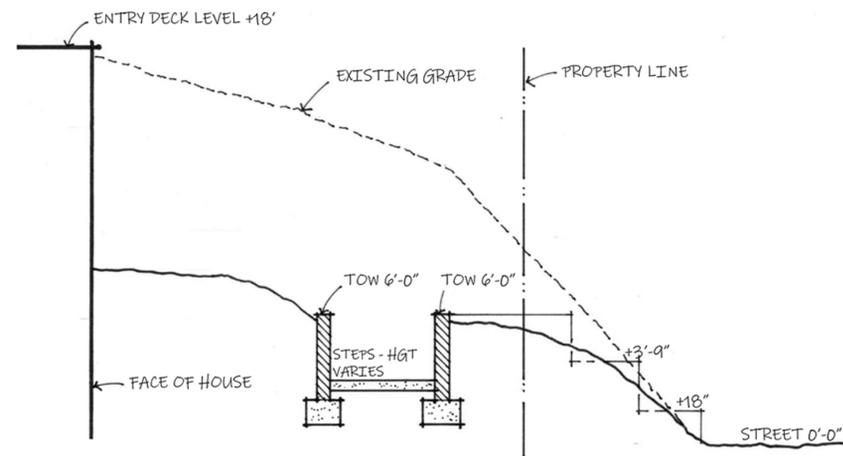
SHEET
A-5.2



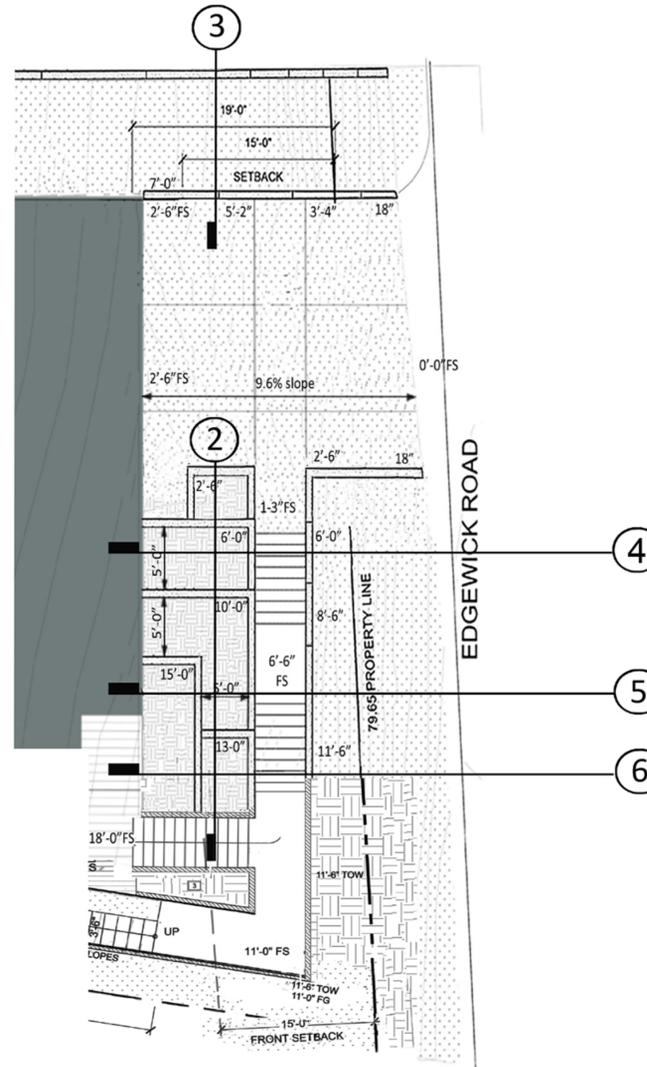
6 SECTION
1/4" = 1'-0"



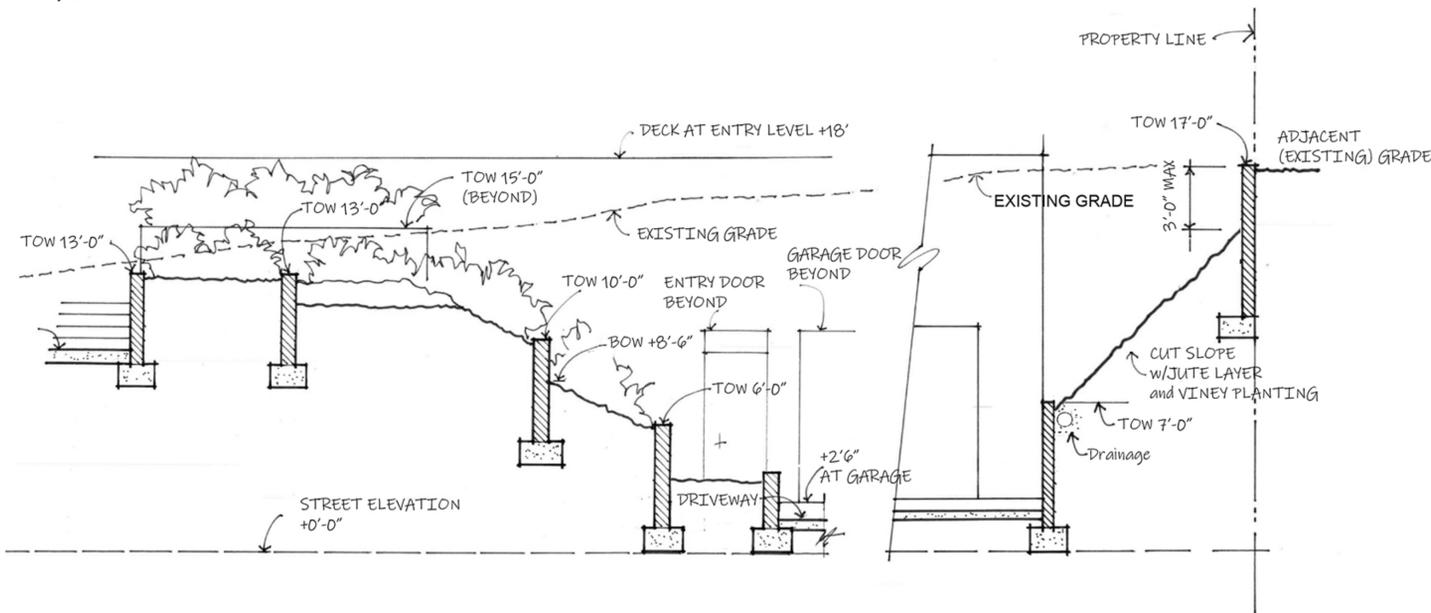
5 SECTION
1/4" = 1'-0"



4 SECTION
1/4" = 1'-0"



1 PARTIAL SITE PLAN - HOUSE TO STREET / FRONT SETBACK
1/8" = 1'-0"



2 SECTION
1/4" = 1'-0"

3 SECTION
1/4" = 1'-0"

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18523
DATE
12-28-2020
SCALE
AS SHOWN

TITLE
RETAINING WALLS
PLAN
SECTIONS

SHEET
RW-1.0

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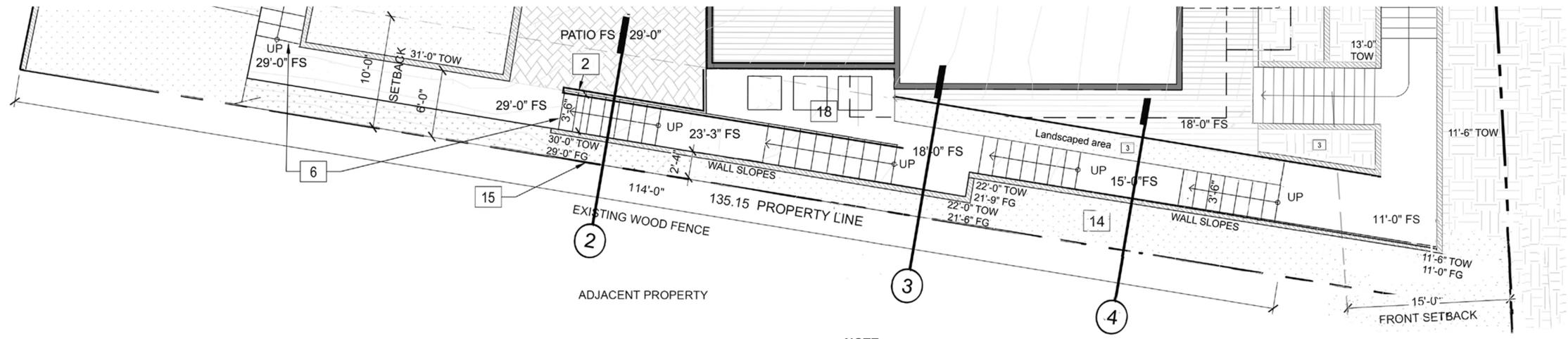
DATE
 3-9-21

SCALE
 AS SHOWN

TITLE
**RETAINING WALLS
 PLAN
 SECTIONS**

SHEET

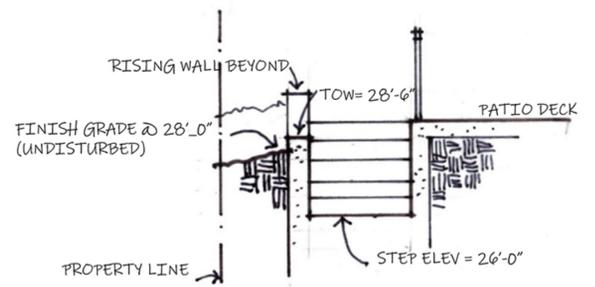
RW-2.0



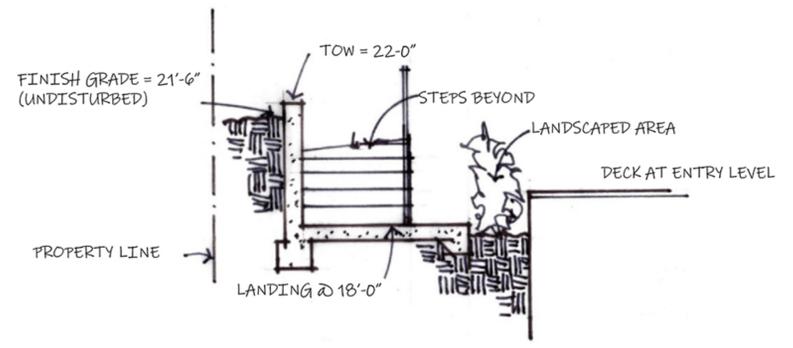
NOTE:
 FS = Finish surface
 FG = Finish grade at wall
 TOW = Top of wall



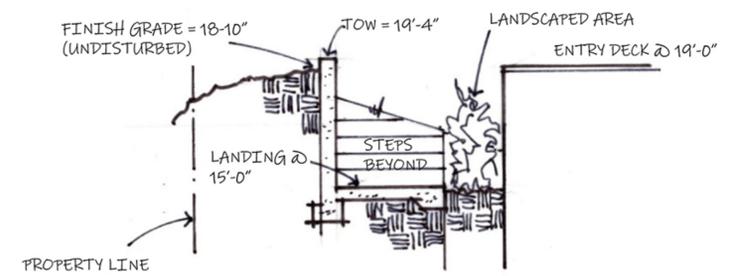
① PARTIAL SITE PLAN - SOUTH RETAINING WALLS
 1/8" = 1'-0"



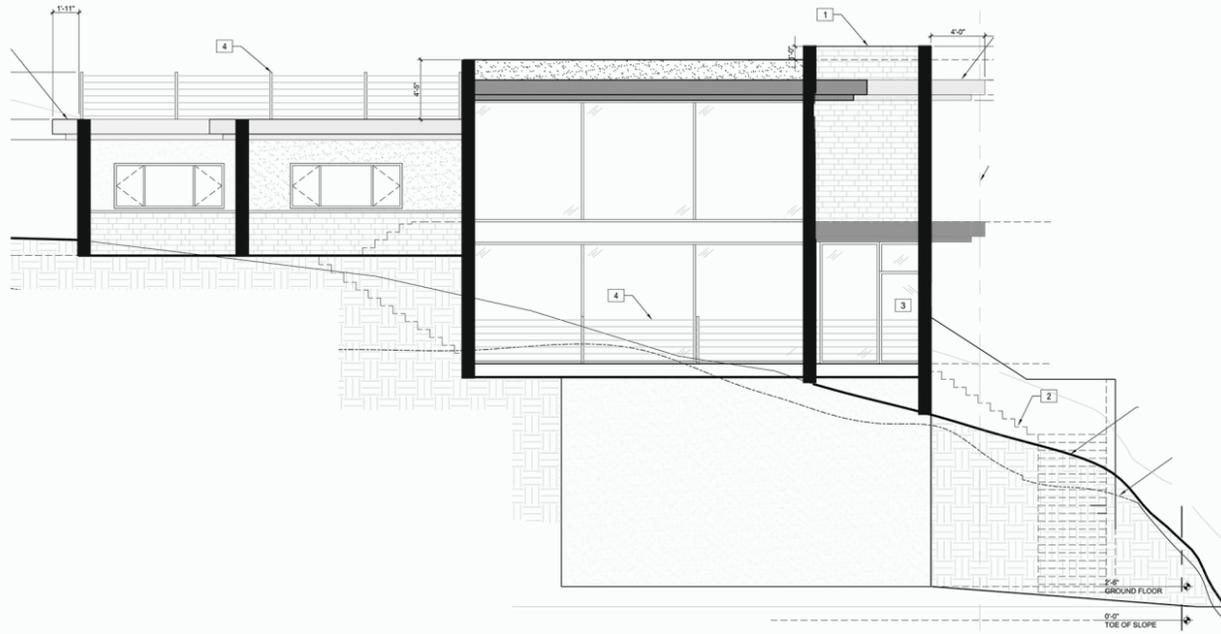
② SECTION
 1/4" = 1'-0"



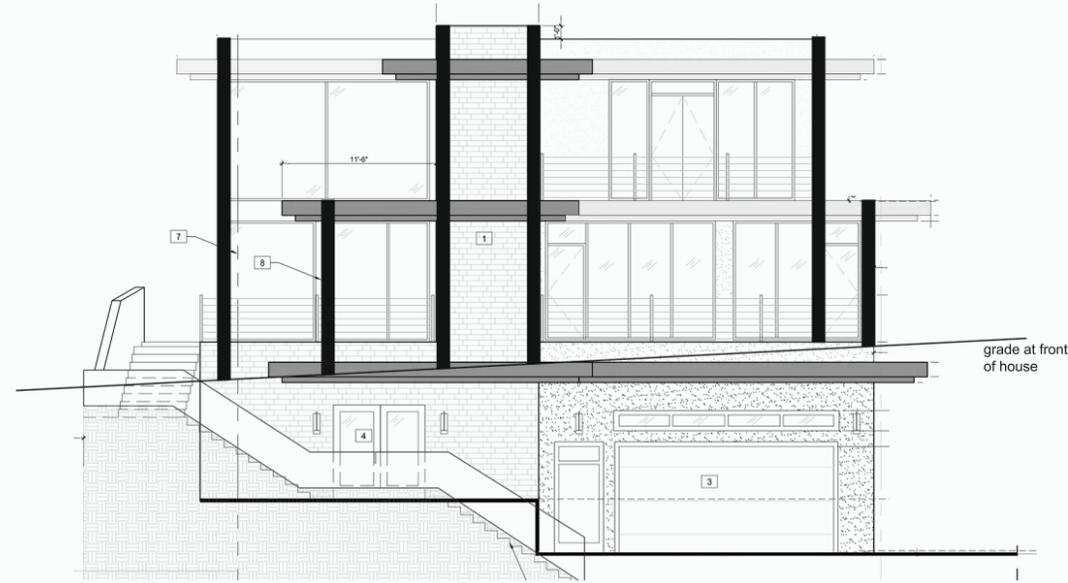
③ SECTION
 1/4" = 1'-0"



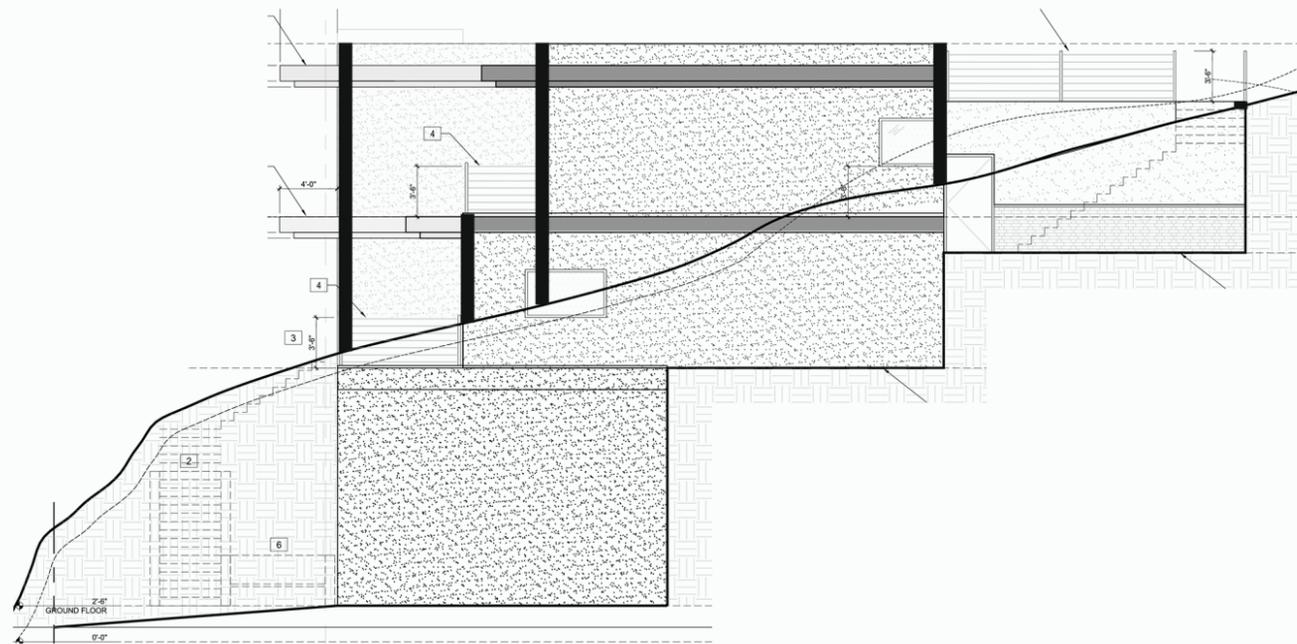
④ SECTION
 1/4" = 1'-0"



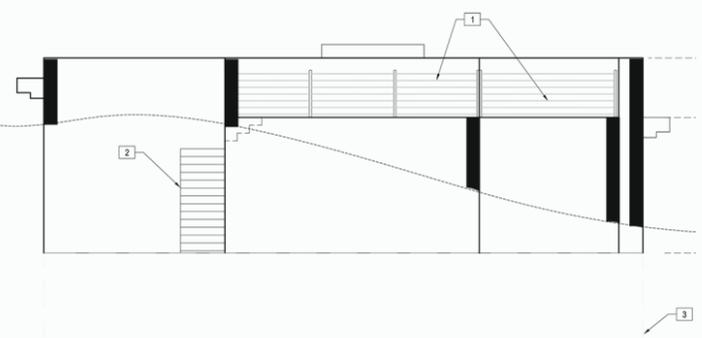
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

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△	3	-	-
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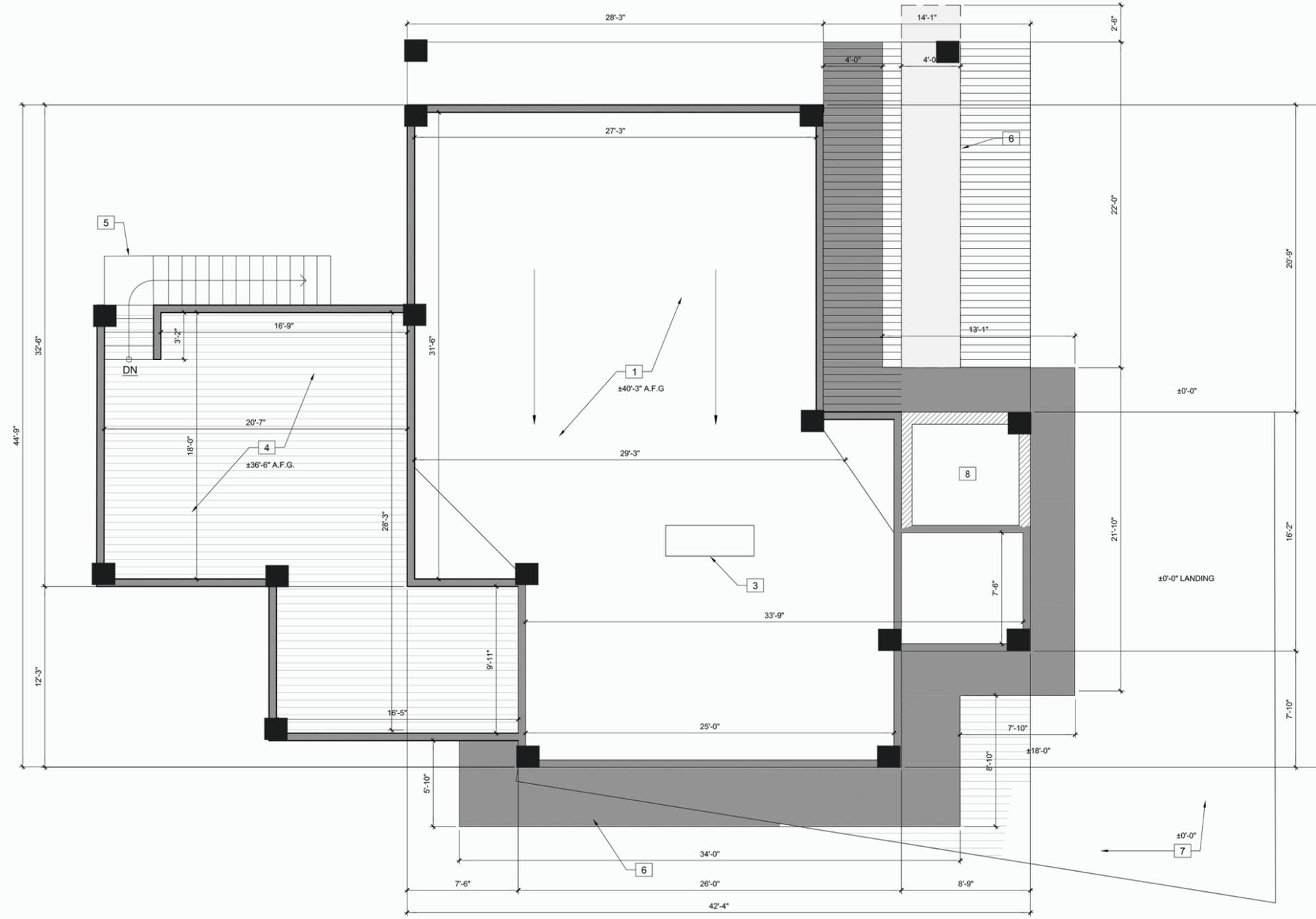
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DATE
 -

SCALE
 AS SHOWN

TITLE
 EXTERIOR ELEVATIONS
 WITH
 TEMPORARY FRAME
 LOCATIONS

SHEET
 A-4.0.TF



■ Temporary Post locations

ROOF PLAN
SCALE: 1/4" = 1'-0" 1

- 1 SINGLE-PLY TPO ROOFING MATERIAL CLASS "A"
- 2 EXTERIOR WALL OUTLINE BELOW
- 3 CHIMNEY
- 4 ROOF DECK BELOW
- 5 STAIRS TO ROOF DECK
- 6 CANOPY
- 7 EXTERIOR STAIRS BELOW TO ENTRY
- 8 ELEVATOR SHAFT

BUILDING DEPARTMENT NOTES

GENERAL NOTES

FIRE BLOCKING NOTES

ATTIC VENT CALCULATIONS

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3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT
Raymond Sohrabian
3035 EDGEWICK RD GLENDALE
CA 91206

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18523

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-

SCALE
AS SHOWN

TITLE
ROOF PLAN WITH
TEMPORARY POSTS

SHEET
A-3.0.TP







EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

- 1 Smooth finish stucco - DE6365 "Cold Morning"
- 2 Norstone natural stone - "Ochre Blend"
- 3 Paint color - DE6384 "Iron Fixture"
- 4 Paint color - DE6369 "Legendary Gray"
- 5 Vision glass - Vitro Solar Grey

All Paint colors by Dunn Edwards

KEYNOTES

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LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

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CA 91206

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DATE

-

SCALE

AS SHOWN

TITLE

EXTERIOR
ELEVATIONS

SHEET

A-4.0

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SCALE
AS SHOWN

TITLE
EXTERIOR ELEVATIONS

SHEET

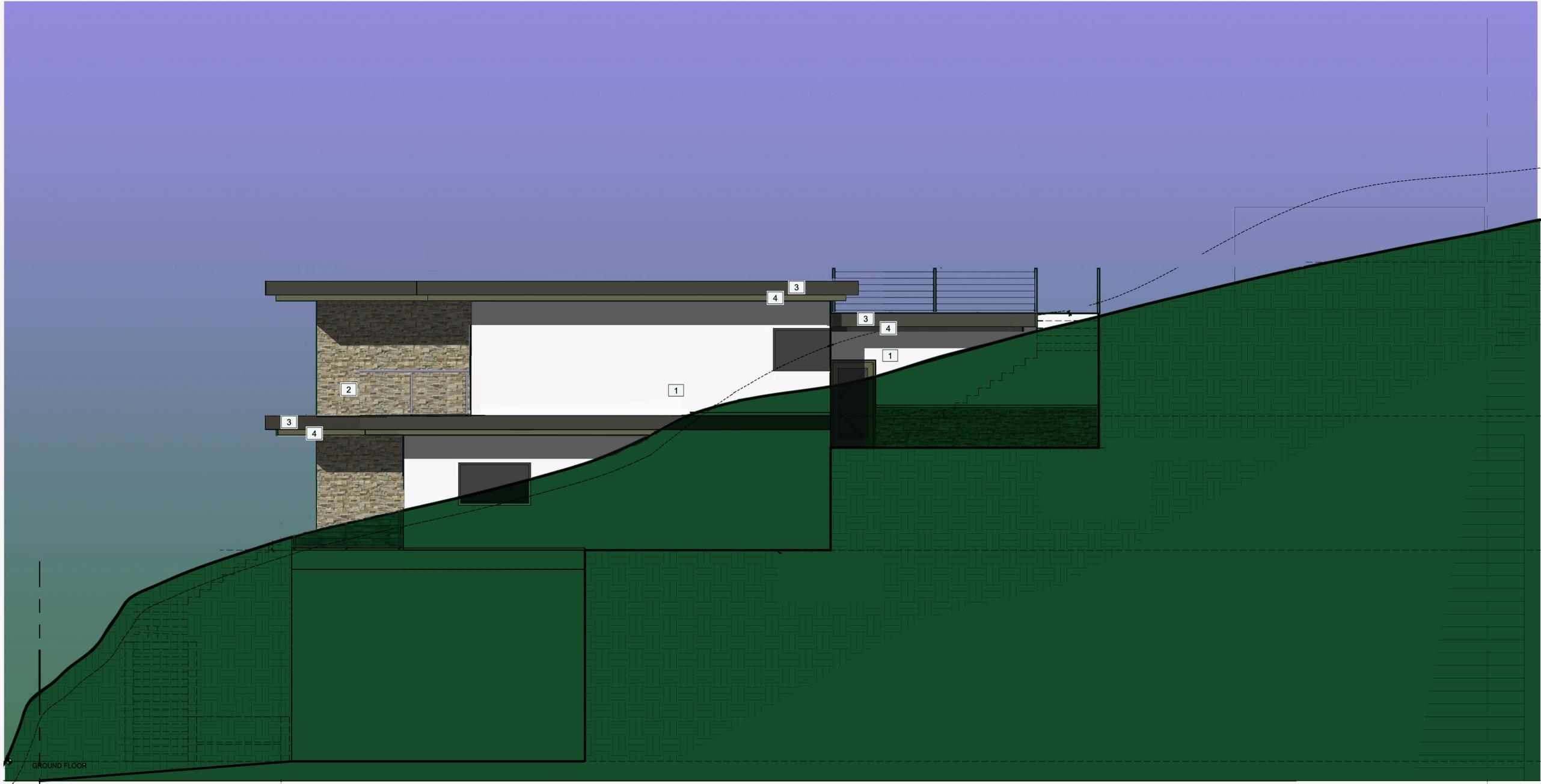
A-4.1



SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 1

- 1 Smooth finish stucco - DE6365 "Cold Morning"
 - 2 Norstone natural stone - "Ochre Blend"
 - 3 Paint color - DE6384 "Iron Fixture"
 - 4 Paint color - DE6369 "Legendary Gray"
 - 5 Vision glass - Vitro Solar Grey
- All Paint colors by Dunn Edwards

KEYNOTES



0'-0"
TOE OF SLOPE

NORTH EXTERIOR ELEVATION 1
SCALE: 1/4" = 1'-0"

- 1 Smooth finish stucco - DE6365 "Cold Morning"
- 2 Norstone natural stone - "Ochre Blend"
- 3 Paint color - DE6384 "Iron Fixture"
- 4 Paint color - DE6369 "Legendary Gray"
- 5 Vision glass - Vitro Solar Grey

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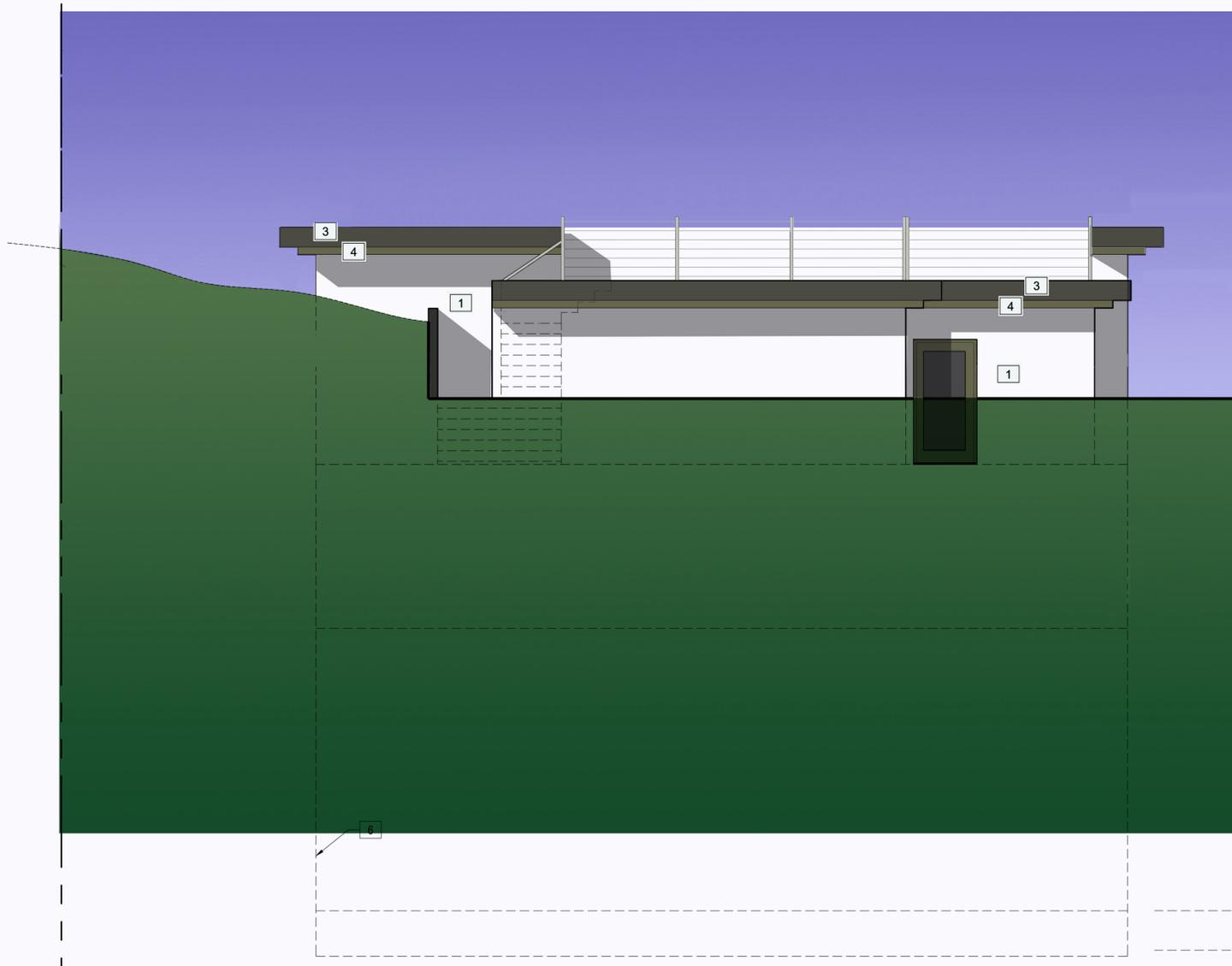
JOB NO.
 18523

DATE
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SCALE
 AS SHOWN

TITLE
EXTERIOR ELEVATIONS

SHEET
A-4.2



WEST EXTERIOR ELEVATION 1
SCALE: 1/4" = 1'-0"

- 1 Smooth finish stucco - DE6365 "Cold Morning"
- 2 Norstone natural stone - "Ochre Blend"
- 3 Paint color - DE6384 "Iron Fixture"
- 4 Paint color - DE6369 "Legendary Gray"
- 5 Vision glass - Vitro Solar Grey

All Paint colors by Dunn Edwards

KEYNOTES

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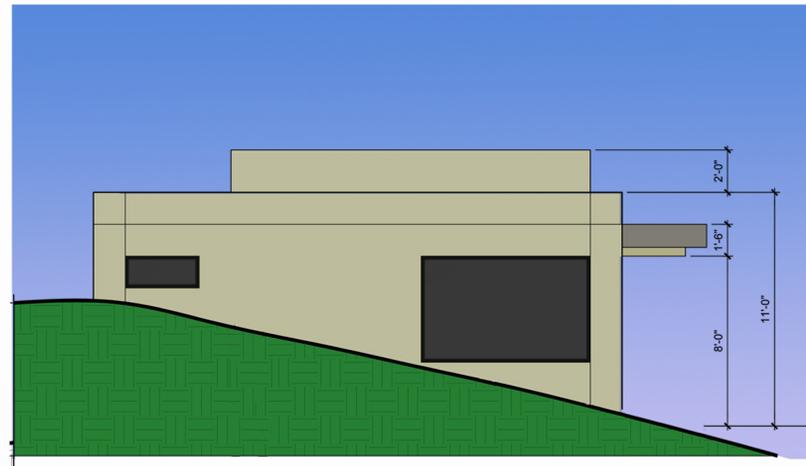
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DATE: -

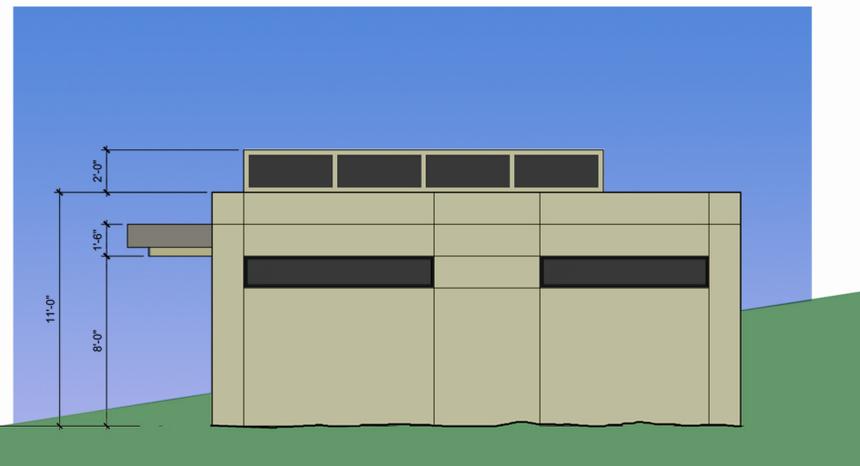
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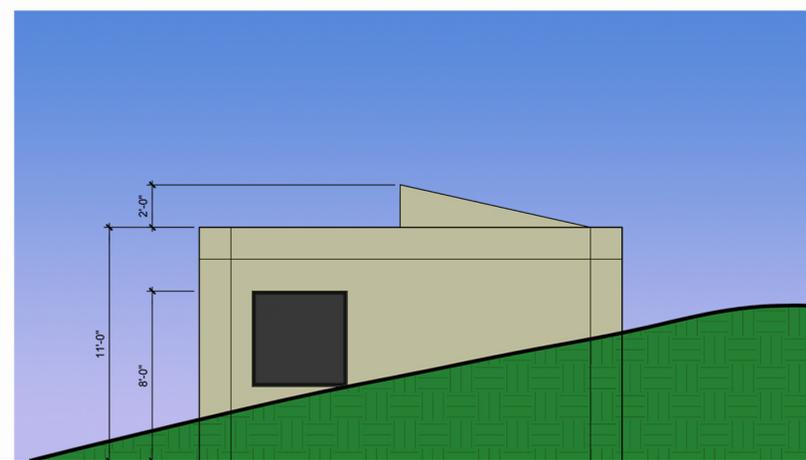
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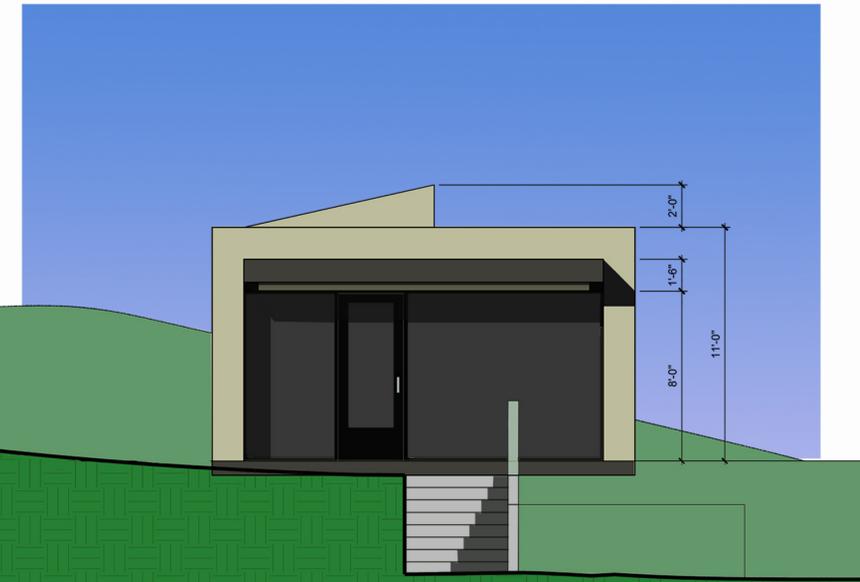
WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 5



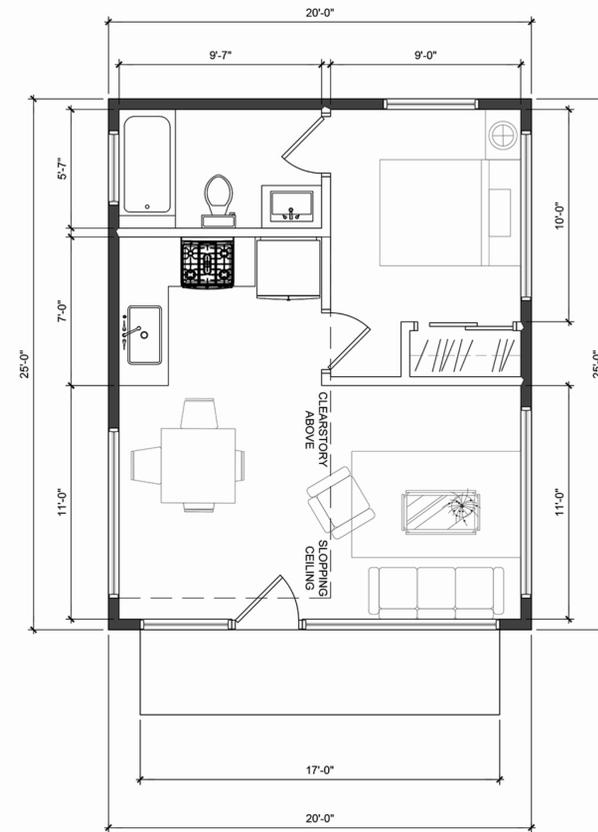
EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 4



NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 3



SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0" 2



FLOOR PLAN
SCALE: 1/4" = 1'-0" 1

- PROPERTY LINE
- ▨ CMU WALL
- ▬ (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL
- ▭ INTERIOR WALL
- ← SLOPE 2% SLOPE SITE DRAINAGE DIRECTION
- ⊙ BUILDING GRID IDENTIFICATION WORK POINT
- ⊙ DOOR TAG
- ⊙ WINDOW TAG
- ⊙ WALL LIGHTS

LEGENDS

GENERAL NOTES

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CA 91206

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18523

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-

SCALE
AS SHOWN

TITLE
GUEST HOUSE
PLAN AND
ELEVATIONS

SHEET
A-2.3



Image representative of window, door and garage treatments



Typical window frame
Black anodized aluminum



Midtown I/O Led Sconce
by Sonneman Lighting -
18' tall

Paint colors:
All colors by
Dunn Edwards

Stucco

1

DE6365
Cold Morning



Primary horizontal
overhang

3

DE6384
Iron Fixture



Garage door
Recessed eave

4

DE6369
Legendary Gray



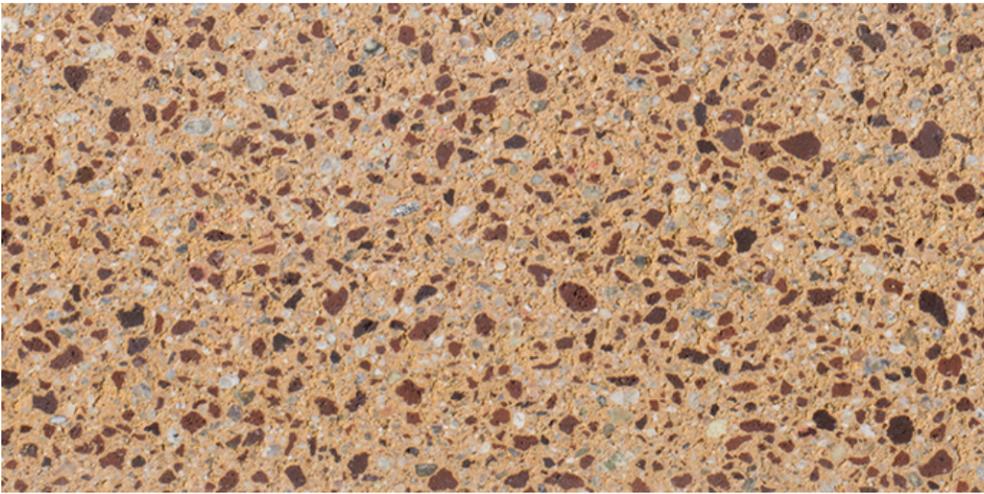
Cable Railing System



Winchester Grey manufactured
wood deck by Trex

3035 Edgewick Rd

CMU material for retaining walls



Angeles Block Co
Goldenrod Burnished
6x8x16



PROPOSED FRONT VIEW

KEY LANDSCAPE NOTES

- LANDSCAPED AREA: 4010 SF
- LANDSCAPE AND IRRIGATION PLANS TO COMPLY WITH MWEL (2015 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL))
- ALL PLANTS APPROPRIATE FOR SUNSET ZONE 20 - CLIMATE ZONE
- 100% LOW WATER USE PLANTINGS: PER WUCOLS IV, STATE OF CALIFORNIA FOR REGION 4 (SOUTH INLAND CALIFORNIA)
- PLANTS NON-INVASIVE PER CALIFORNIA INVASIVE PLANT COUNCIL
- FOR DRIP IRRIGATION PLANS & DETAILS SEE SHEETS L-4 AND L-5
- IRRIGATION CONTROLLER IS WEATHER-BASED, SEE SHEET L-4 EQUIPMENT LIST
- PROVIDE MINIMUM 3" BARK MULCH FOR ALL NEW PLANTING BEDS EXCEPT SLOPES EXCEEDING 15%. FOR SLOPES EXCEEDING 15% USE JUTE NETTING WHERE PLANTING OCCURS.
- MINIMUM SOIL DEPTHS: 12" FOR GROUND COVER AREAS; 18" FOR SHRUB/VINE AREAS, 24" DEPTH FOR TREES
- PLANTS TO BE IRRIGATED ONLY EVERY OTHER DAY IN HIGH SUMMER SEASON PER WEEK AND CUT BACK TO 40% FROM DEC-MARCH.
- LANDSCAPE CERTIFICATION SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL
- ALL RAISED PLANTERS TO CONNECT TO DRAIN SYSTEM CONVEYANCE PER CIVIL ENGINEER'S PLANS

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EARTHKNOWER STUDIO
LANDSCAPE ARCHITECT STATE OF CALIFORNIA LIC. NO. 4276
225 W. FIGUEROA STREET
SANTA BARBARA, CA 93101
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robert@earthknower.com
WEB: EARTHKNOWER.COM



PROJECT
**3035 EDGEWICK RD
GLENDALE, CA 91206**

CLIENT
Raymond Sohrabian
3035 EDGEWICK RD GLENDALE
CA 91206

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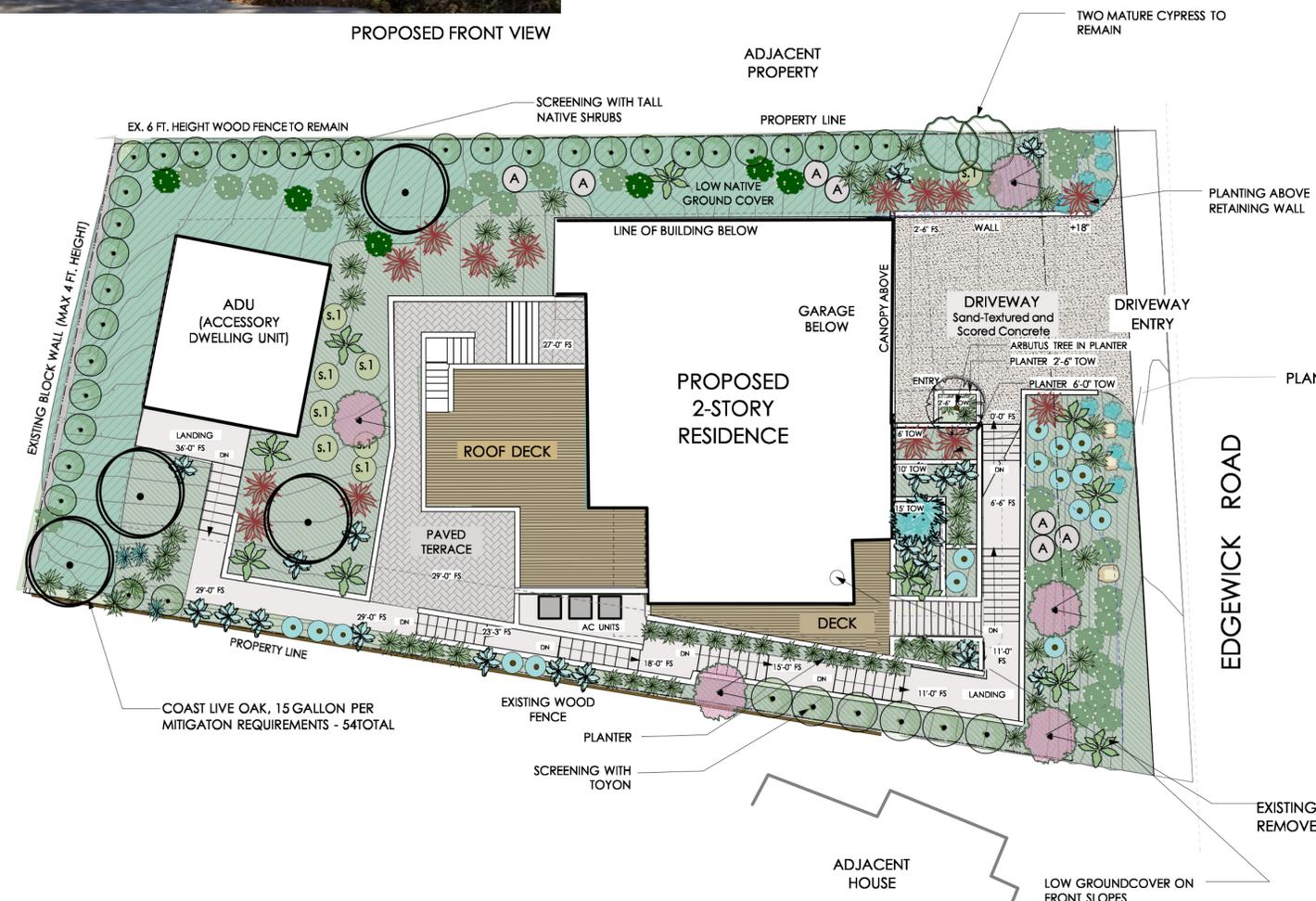
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LANDSCAPE PLAN

SHEET

L-1

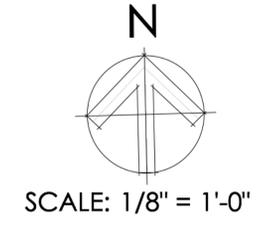


PLANT LIST

- BOTANIC NAME (COMMON NAME) - SIZE AT PLANTING - QUANTITY - WATER USE DESIGNATION PER WUCOLS IV FOR REGION 4 (SO. INLAND CA)
- SYMBOL**
- DECIDUOUS TREES**
 - CERCIS OCCIDENTALIS (WESTERN REDBUD) CALIFORNIA NATIVE - 5 GALLON - 5 TOTAL - LOW WATER USE
 - EVERGREEN TREES**
 - QUERCUS AGRIFOLIA (COAST LIVE OAK) CALIFORNIA NATIVE - 15 GALLON (PER CITY OF GLENDALE SEP. 2019) (MITIGATION PER CITY OF GLENDALE FOR LOSS OF ONE COAST LIVE OAK: A MINIMUM 2:1 RATIO FOR A TOTAL OF 4 TREES) 4 TOTALS - LOW WATER USE
 - ARBUTUS (STRAWBERRY TREE) - 24" BOX - 1 TOTAL
 - PALMS** - 10 GALLON
 - CHAEMEROPS CERIFERA (ATLAS MOUNTAIN PALM) 1 TOTAL - LOW WATER USE
 - SCREENING SHRUBS** - 5 GALLON
 - HETEROMELES ARBUTIFOLIA (TOYON) - CALIFORNIA NATIVE - 29 TOTAL - LOW WATER USE
 - SHRUBS** - SIZE AS NOTED - ALL LOW WATER USE FOR REGION 4
 - (A) ARTEMESIA DOUGLASIANA (MUGWORT) CALIFORNIA NATIVE - 1 GALLON - 5 TOTAL
 - (S1) SALVIA SPATHACEA (HUMMINGBIRD SAGE) CALIFORNIA NATIVE - 1 GALLON - 9
 - RIBES VIBURNIFOLIUM (CATALINA CURRANT) CALIFORNIA NATIVE - 1 GALLON - PLANT 3 FT. O.C. - 18
 - RIBES SPECIOSUM (GOOSEBERRY) CALIFORNIA NATIVE - 1 GALLON - PLANT 3 FT. O.C. - 4 TOTAL
 - SUCCULENT SIZES AS NOTED - ALL LOW WATER USE PER REGION 4:**
 - AGAVE ATTENUATA (FOXTAIL AGAVE) 5 GALLON - 17
 - AGAVE BLUE FLAME - 5 GALLON - 5
 - ALOE BARBADENSIS (BARBADENSIS ALOE) 5 GALLON - 13
 - HESPERALOE PARVIFLORA (RED YUCCA) - 1 GALLON - 11
 - ORNAMENTAL GRASSES - 1 GALLON**
 - MISCANTHUS 'ADAGIO' (ADAGIO FOUNTAIN GRASS) - 63 - LOW WATER USE
 - HELIOTRICHON SEMPERVIRENS (BLUE AVENA GRASS) - 9 - LOW WATER USE
 - GROUNDCOVERS**
 - CAREX DIVULSA (BERKELEY SEDGE) - 1 GALLON AT 18" O.C. - 575 SF - LOW WATER USE
 - BACCHARIS PILULARIS 'TWIN PEAKS' (COYOTE BRUSH) - 1 GALLON AT 36" O.C. - 535 SF - LOW WATER USE
 - VINCA MAJOR (VINCA) - 1 GALLON AT 24" O.C. - 400 SF - MEDIUM WATER USE

I HAVE COMPLIED WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

Robert F. Adams 03/08/2021
ROBERT F. ADAMS, ASLA
STATE OF CA LICENSE # 4276
EXP. 10/2021



Tree F is not pictured; it is a small pine.

At the middle of the property is the *Picture 7* left with G,H manzanita plants & *Picture 8* below right with tree E Oak and G,H manzanita on left with oleander (I) in the center.



Most other bushes on the property are sumac. *Picture 9* below left shows the sumac K and neighbor's tree P butted to wall is a bottlebrush tree. Bottom right *Picture 10* shows neighbor's Eucalyptus trees about 10 feet away from the wall.



The only other tree that is protected is on the neighbor's property to the north is a Coast Live Oak and it is greater than 30 feet away. As seen in the *Picture 11* below left.



In the diagram page 1 all other bushes J, L, M, N are sumac bushes.

To summarize the only trees protected are the 2 Coast Live Oak B and E and they are minor trees.

Prepared by:
Mary Beth MacKenzie
Board Certified Arborist WE 6121



Picture 4: Facing toward the street to the East, we see the backside of tree B Coast Live Oak and A Silver Dollar Eucalyptus which we viewed with the first picture on page 1 from the front side.

The only protected tree in this part of the property is tree B the Coast Live Oak with DBH of 11 inches, canopy spread 20 feet, and health rated as good. At this stage it would be rated as young and not fully mature.

Above picture 4 and below picture 5.



Picture 5: these are trees C and D and are Cypress And below is *Picture 6* (tree E) a small Coast Live Oak with 8 stems all with a DBH less than 6 inches, 15 foot spread canopy and health is good. It is more like a bush.



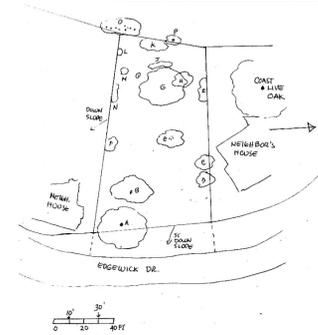
644 North Orchard Drive Burbank, CA 91506 Fax: 818-842-9712
818-845-9190 • 626-844-9198 Contractor's License #648824

21 September 2019

Arborist report for Ray Sohrabian
SITE:
3035 Edgewick Road
Glendale



Above picture 1, bottom left picture 2, bottom right picture 3.
Front view of property with diagram on left plotting the location of the trees and bushes. Bottom picture faces the more northerly portion of the property (right side).



ARBORIST'S REPORT

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LANDSCAPE ARCHITECT STATE OF CALIFORNIA LIC. NO. 4726
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LANDSCAPE ARCHITECT



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

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SCALE

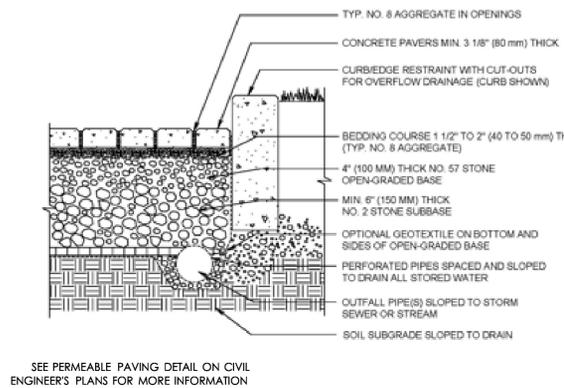
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ARBORIST'S REPORT

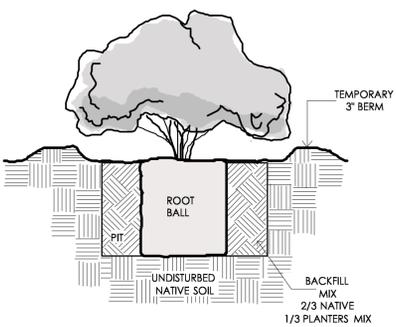
SHEET

L-2



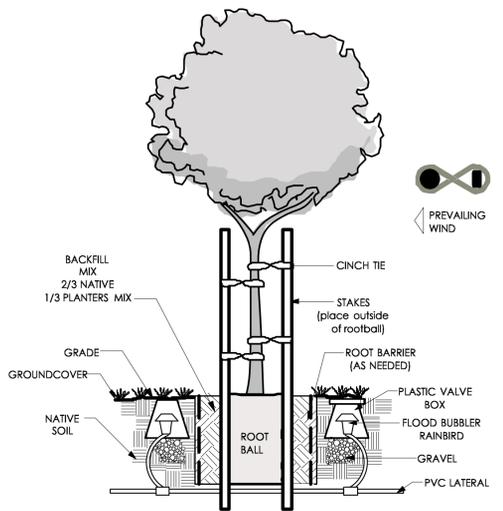
BACK AREA PAVING DETAIL

NOT TO SCALE



TYPICAL PLANTING DETAIL

NOT TO SCALE



TREE STAKING DETAIL

NOT TO SCALE



WATER CONSERVATION NOTES:

(A) FOR THE EFFICIENT USE OF WATER, A LANDSCAPE SHALL BE CAREFULLY DESIGNED AND PLANNED FOR THE INTENDED FUNCTION OF THE PROJECT. A LANDSCAPE DESIGN PLAN MEETING THE FOLLOWING DESIGN CRITERIA SHALL BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

- (1) PLANT MATERIAL
- (A) ANY PLANT MAY BE SELECTED FOR THE LANDSCAPE, PROVIDING THE ESTIMATED TOTAL WATER USE IN THE LANDSCAPE AREA DOES NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE. TO ENCOURAGE THE EFFICIENT USE OF WATER, THE FOLLOWING IS HIGHLY RECOMMENDED:
1. PROTECTION AND PRESERVATION OF NATIVE SPECIES AND NATURAL VEGETATION;
 2. SELECTION OF WATER-CONSERVING PLANT AND TURF SPECIES;
 3. SELECTION OF PLANTS BASED ON DISEASE AND PEST RESISTANCE;
 4. SELECTION OF TREES BASED ON APPLICABLE LOCAL TREE ORDINANCES OR TREE SHADING GUIDELINES; AND
 5. SELECTION OF PLANTS FROM LOCAL AND REGIONAL LANDSCAPE PROGRAM PLANT LISTS.

(B) EACH HYDROZONE SHALL HAVE PLANT MATERIALS WITH SIMILAR WATER USE, WITH THE EXCEPTION OF HYDROZONES WITH PLANTS OF MIXED WATER USE, AS SPECIFIED IN SECTION 492.7(A)(2)(D).

- (C) PLANTS SHALL BE SELECTED AND PLANTED APPROPRIATELY BASED UPON THEIR ADAPTABILITY TO THE CLIMATIC, GEOLOGIC, AND TOPOGRAPHICAL CONDITIONS OF THE PROJECT SITE, TO ENCOURAGE THE EFFICIENT USE OF WATER, THE FOLLOWING IS HIGHLY RECOMMENDED:
1. USE THE SUNSET WESTERN CLIMATE ZONE SYSTEM WHICH TAKES INTO ACCOUNT TEMPERATURE, HUMIDITY, ELEVATION, TERRAIN, LATITUDE, AND VARYING DEGREES OF CONTINENTAL AND MARINE INFLUENCE ON LOCAL CLIMATE;
 2. RECOGNIZE THE HORTICULTURAL ATTRIBUTES OF PLANTS (I.E., MATURE PLANT SIZE, INVASIVE SURFACE ROOTS) TO MINIMIZE DAMAGE TO PROPERTY OR INFRASTRUCTURE (E.G., BUILDINGS, SIDEWALKS, POWER LINES); AND
 3. CONSIDER THE SOLAR ORIENTATION FOR PLANT PLACEMENT TO MAXIMIZE SUMMER SHADE AND WINTER SOLAR GAIN.

(D) TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOP OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE AND WHERE 25% MEANS 1 FOOT OF VERTICAL ELEVATION CHANGE FOR EVERY 4 FEET OF HORIZONTAL LENGTH (RISE DIVIDED BY RUN X 100 = SLOPE PERCENT).

(E) A LANDSCAPE DESIGN PLAN FOR PROJECTS IN FIRE-PRONE AREAS SHALL ADDRESS FIRE SAFETY AND PREVENTION. A DEFENSIBLE SPACE OR ZONE AROUND A BUILDING OR STRUCTURE IS REQUIRED PER PUBLIC RESOURCES CODE SECTION 4291(A) AND (B). AVOID FIRE-PRONE PLANT MATERIALS AND HIGHLY FLAMMABLE MULCHES.

(F) THE USE OF INVASIVE AND/OR NOXIOUS PLANT SPECIES IS STRONGLY DISCOURAGED.

(G) THE ARCHITECTURAL GUIDELINES OF A COMMON INTEREST DEVELOPMENT, WHICH INCLUDE COMMUNITY APARTMENT PROJECTS, CONDOMINIUMS, PLANNED DEVELOPMENTS, AND STOCK COOPERATIVES, SHALL NOT PROHIBIT OR INCLUDE CONDITIONS THAT HAVE THE EFFECT OF PROHIBITING THE USE OF LOW-WATER USE PLANTS AS A GROUP.

WATER CONSERVATION NOTES continued

- (3) MULCH AND AMENDMENTS
- (A) A MINIMUM TWO INCH (2) LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS INDICATED.
- (B) STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES.
- (C) THE MULCHING PORTION OF THE SEED/MULCH SLURRY IN HYDRO-SEEDED APPLICATIONS SHALL MEET THE MULCHING REQUIREMENT.
- (D) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.

- (B) THE LANDSCAPE DESIGN PLAN, SHALL:
- (1) DELINEATE AND LABEL EACH HYDROZONE BY NUMBER, LETTER, OR OTHER METHOD;
 - (2) IDENTIFY EACH HYDROZONE AS LOW, MODERATE, HIGH WATER, OR MIXED WATER USE. TEMPORARILY IRRIGATED AREAS OF THE LANDSCAPE SHALL BE INCLUDED IN THE LOW WATER USE HYDROZONE FOR THE WATER BUDGET CALCULATION;
 - (3) IDENTIFY RECREATIONAL AREAS;
 - (4) IDENTIFY AREAS PERMANENTLY AND SOLELY DEDICATED TO EDIBLE PLANTS;
 - (5) IDENTIFY AREAS IRRIGATED WITH RECYCLED WATER;
 - (6) IDENTIFY TYPE OF MULCH AND APPLICATION DEPTH;
 - (7) IDENTIFY SOIL AMENDMENTS, TYPE, AND QUANTITY;
 - (8) IDENTIFY TYPE AND SURFACE AREA OF WATER FEATURES;
 - (9) IDENTIFY HARDSCAPES (PERVIOUS AND NON-PERVIOUS);

- (10) IDENTIFY LOCATION AND INSTALLATION DETAILS OF ANY APPLICABLE STORMWATER BEST MANAGEMENT PRACTICES THAT ENCOURAGE ON-SITE RETENTION AND INFILTRATION OF STORMWATER. STORMWATER BEST MANAGEMENT PRACTICES ARE ENCOURAGED IN THE LANDSCAPE DESIGN PLAN AND EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO:
- (A) INFILTRATION BEDS, SWALES, AND BASINS THAT ALLOW WATER TO COLLECT AND SOAK INTO THE GROUND;
 - (B) CONSTRUCTED WETLANDS AND RETENTION PONDS THAT RETAIN WATER, HANDLE EXCESS FLOW, AND FILTER POLLUTANTS; AND
 - (C) PERVIOUS OR POROUS SURFACES (E.G., PERMEABLE PAVERS OR BLOCKS, PERVIOUS OR POROUS CONCRETE, ETC.) THAT MINIMIZE RUNOFF.

- (11) IDENTIFY ANY APPLICABLE RAIN HARVESTING OR CATCHMENT TECHNOLOGIES (E.G., RAIN GARDENS, CISTERNS, ETC.);
- (12) CONTAIN THE FOLLOWING STATEMENT: "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"; AND
- (13) BEAR THE SIGNATURE OF A LICENSED LANDSCAPE ARCHITECT, LICENSED LANDSCAPE CONTRACTOR, OR ANY OTHER PERSON AUTHORIZED TO DESIGN A LANDSCAPE.

PLANTING NOTES

- (1) LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR, PROJECT ARCHITECT, AND LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS. SEE PLANTING PLANS FOR EACH AREA (A, B AND C). LANDSCAPE CONTRACTOR TO LOCATE ALL WATER METERS, UTILITY EQUIPMENT AND OBSTRUCTIONS PRIOR TO LAYOUT OF TOPSOILS AND PLANT MATERIALS INCLUDING TREES. REPORT ANY OBSTRUCTIONS TO GENERAL CONTRACTOR/ OWNER'S REPRESENTATIVE.
- (2) LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS. LANDSCAPE CONTRACTOR TO SCHEDULE A WALK-THROUGH WITH LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE TO REVIEW AND APPROVE FINAL LOCATIONS OF TREES, SHRUBS, VINES AND GROUNDCOVERS FOR EACH AREA OR PHASE OF WORK.
- (3) IRRIGATION SYSTEM SHALL BE INSTALLED PRIOR TO PLANT MATERIALS - SEE IRRIGATION PLANS FOR EACH AREA
- (4) TREES AND SHRUBS SHALL BE PLANTED AFTER PAVING, DRIVEWAYS OR PATHWAYS INSTALLED BUT NOT BEFORE IRRIGATION COVERAGE TEST.
- (5) PLACE TREES BETWEEN IRRIGATION EQUIPMENT WHEREVER POSSIBLE, AND PLACE TREES IN BEDS ALONG PARKING STRIPE IN PARKING LOT IF POSSIBLE.
- (6) LANDSCAPE CONTRACTOR SHALL NEW PLANTING SOILS AND MULCH HERE NEEDED. FOLLOW ANY RECOMMENDATIONS PROVIDED BY SOIL TESTS. PLANTING MIX TO BE MINIMUM 40% FIRABLE, DISEASE-FREE TOPSOIL AND 60% ORGANIC COMPOST MIN. AND MINIMUM 14 INCHES DEEP FOR ALL NEW PLANTING BEDS.
- (7) PRE EMERGENT HERBICIDE SHALL BE APPLIED AT OWNER'S APPROVAL, PRIOR TO MULCH INSTALLATION.
- (8) BARK MULCH INSTALLATION: INSTALL 2 INCH DEPTH FOR ALL PLANTING BEDS AS INDICATED BY THESE PLANS. MULCH SHALL BE CERTIFIED CLEAN AND FREE OF ALL PESTS AND DISEASE (INCLUDING FUNGUS THAT MAY CAUSE DAMAGE TO SURROUNDING STRUCTURES)
- (9) CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND REPLACEMENTS OF ANY DAMAGED LANDSCAPE AREA BEYOND THE LIMIT OF WORK, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR(S). REPLACEMENT ITEMS SHALL BE DUPLICATES OF ORIGINAL WORK.
- (10) CLEAN UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.
- (11) PLANT QUALITY SHALL BE GRADE A, FREE OF DAMAGE, DISEASE, ROOTBOUND, OR INFERIOR QUALITY WILL NOT BE ACCEPTED. PLANT MATERIAL TO BE INSPECTED UPON DELIVERY OR AT THE NURSERY PRIOR TO DELIVERY. CONTRACTOR TO SCHEDULE INSPECTION MEETING WITH GENERAL CONTRACTOR WITH AN ADVANCED NOTICE OF 48 HRS. ANY UNACCEPTABLE PLANT MATERIAL WILL BE REJECTED.
- (12) AT GRADING, ALL TOPSOIL SHALL BE SAVED TO BE UTILIZED ON THE PROJECT TO MINIMIZE IMPORTED MATERIAL. TOPSOIL SHALL BE STOCKPILED IN EACH AREA OF CONSTRUCTION AND SECURED WITH A TARP OR PROTECTIVE COVERING TO PROTECT AGAINST WIND OR STORM RUNOFF.
- (13) ALL TREE AND SHRUB PLACEMENT WILL BE APPROVED BY THE GENERAL CONTRACTOR OR LANDSCAPE ARCHITECT PRIOR TO PLANTING. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING THE MEETING 48 HOURS IN ADVANCE FOR PLANT PLACEMENT MEETING.
- (14) ALL TREES SHALL BE STAKED. SHALL BE PLANTED PER THE DETAIL SHOWN ON THIS PLAN, PROVIDING STANDARDS AND HAVE ROOT BARRIERS INSTALLED AROUND ROOTBALLS DUE TO CLOSE PROXIMITY OF PAVING, DRIVEWAYS, BIKE PARKING AREAS AND SIDEWALKS (SEE TREE PLANTING DETAIL).
- (15) CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A TREE AND SHRUB COUNT AND DETERMINING THE QUANTITIES SHOWN ON PLAN, FOR ALL PLANTING INDICATED. REPORT FINAL NUMBERS TO OWNER'S REPRESENTATIVE AND GENERAL CONTRACTOR.
- (16) CONTRACTOR TO PROVIDE IN WRITING TO OWNER A PLANT GUARANTEE FOR ALL PLANT MATERIAL PROVIDED. THE DURATION SHOULD BE AS FOLLOWS #24" BOX AND OVER- ONE YEAR, #15 GALLON, 5 GALLON/1GALLON/FLATS AND SMALLER-3 MONTHS FOR EACH SPECIFIC AREA OF LANDSCAPE CONSTRUCTION.
- (17) CONTRACTOR TO SCHEDULE A WALK THROUGH AT THE CONCLUSION FOR THE FOLLOWING: 1) IRRIGATION WORK 2)BED PREP, FINE GRADING AND BEFORE PLANTING IS FINISHED. CONTRACTOR TO CONTACT GENERAL CONTRACTOR AND/OR LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE EACH WALK THROUGH. CONTRACTOR SHALL BE PROVIDED A PUNCH LIST OF LANDSCAPE ITEMS TO CORRECT BEFORE LANDSCAPE IS COMPLETE. CONTRACTOR TO PROVIDE A NINETY DAY MAINTENANCE AGREEMENT FOR ALL WORK PERFORMED.
- (18) SEE CIVIL ENGINEERING PLANS FOR INFORMATION ON PROPOSED HARDSCAPE, CURBS, STRUCTURES, SITE WALLS, ANY OTHER STRUCTURES AND ALL DRAINAGE FEATURES AROUND PROPOSED BUILDINGS. REPORT ANY DISCREPANCIES TO THE GENERAL CONTRACTOR, PROJECT ARCHITECT AND OWNER OF THE PROPERTY.



PLANT MATERIALS

LR/A
LR/ARCHITECTURE
 Architecture
 Planning
 Interior Design
 Construction Management
 217 W. Alameda Avenue, Suite 203
 Burbank, CA 91502
 (818) 840-8361 Fax (818) 840-8341

N O T E

THESE DRAWINGS AND PROPERTY OF THE ARCHITECT. THE SERVICES SHOWN AND DESCRIBED HEREIN INCLUDE ALL TECHNICAL DRAWINGS AND NECESSARY MEASUREMENTS AND CALCULATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION AND PROBLEMS THAT MAY OCCUR AS A RESULT OF THE CONTRACTOR'S FAILURE TO FOLLOW THE INSTRUCTIONS AND SPECIFICATIONS OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION AND PROBLEMS THAT MAY OCCUR AS A RESULT OF THE CONTRACTOR'S FAILURE TO FOLLOW THE INSTRUCTIONS AND SPECIFICATIONS OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION AND PROBLEMS THAT MAY OCCUR AS A RESULT OF THE CONTRACTOR'S FAILURE TO FOLLOW THE INSTRUCTIONS AND SPECIFICATIONS OF THE ARCHITECT.

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLDG. DEPT.:		
BID SET:		

Robert F. Adams, ASLA
 EARTHKNOWER STUDIO
 LANDSCAPE ARCHITECT STATE OF CALIFORNIA LIC. NO. 4726
 225 W. FIGUEROA STREET
 SANTA BARBARA, CA 93101
 (805) 722-2144
 robert@earthknower.com
 WEB: EARTHKNOWER.COM
 LANDSCAPE ARCHITECT



PROJECT

**3035 EDGEWICK RD
 GLENDALE, CA 91206**

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
 CA 91206

ISSUE	DATE	REVISION
△		
△		
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DRAWN CHECKED

7/24/2020 RFA

CAD FILE

JOB NO.
 2020-14

DATE
 7/24/2020

SCALE
 NOT TO SCALE

TITLE

SITE DETAILS AND NOTES

GRADING AND DRAINAGE PLANS

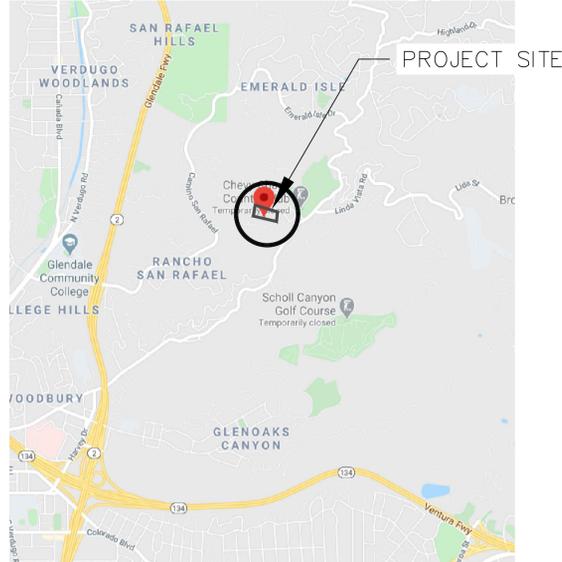
SINGLE FAMILY RESIDENCE

30325 EDGEWICK ROAD, GLENDALE, CA 91206

APN: 5659-007-015

GRADING NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE GRADING ORDINANCE AND REGULATIONS OF THE COUNTY OF L.A., THE BUILDING CODE LATEST EDITION AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
2. NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL.
3. CUT SLOPES SHALL BE NO STEEPER THAN 1.5 HORIZONTAL TO 1 VERTICAL.
4. FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL HAVE NOT LESS THAN 90% COMPACTION OUT TO THE FINISHED SURFACE.
5. ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION MAXIMUM DENSITY TO BE DETERMINED BY ASTM-1557-78, AND FIELD DENSITY BY ASTM-1556, OR APPROVED EQUIVALENT.
6. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND CLEARED OF ALL TRASH, BRUSH, TREES, CLUMPS, TIMBER, OR DEGREE AND SHALL BE SCARIFIED AND COMPACTED.
7. FILLS SHALL BE BENCHED INTO RECOMMENDED COMPETENT MATERIAL AS PER DETAIL OF PLAN.
8. ALL FILL SLOPES SHALL BE PROTECTED IMMEDIATELY UPON COMPLETION WITH PLANTER OR OTHER FORM OF APPROVED EROSION CONTROL DEVICE.
9. THE DESIGN CIVIL ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PREVIEW.
10. DUST SHALL BE CONTROLLED BY WATERING.
11. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
12. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PLAN.
13. PRIOR TO FINAL APPROVAL THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN.
14. UNDERGROUND UTILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS. THE CONTRACTOR SHALL OBTAIN FROM THE RESPECTIVE OWNERS THE EXACT LOCATION OF THESE UTILITIES PRIOR TO ANY EXCAVATION WORK. LOCATION OF UTILITIES WITHIN THE PROJECT ARE ON FILE IN THE CITY ENGINEER'S OFFICE FOR REFERENCES.
15. DRAINAGE FROM THE LOT AND ROOF SHALL BE CARRIED TO THE STREET BY MEANS OF A DRIVEWAY OR SIDEWALK DRAIN OR PIPE DRAIN, CONTRACTOR REQ'D TO USE NON-EROSIVE DRAINAGE DEVICES.
16. THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED FOR BOTTOM INSPECTION BEFORE ANY FILL IS PLACED.
17. SPECIFICATIONS: ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTIONS," LATEST EDITION.
18. GEOLOGIC AND SOILS ENGINEER REPORT BY SUBSURFACE DESIGNS, INC. DATED FEBRUARY 21, 2017 SHALL BE INCORPORATED HERE WITH AND MADE PART OF THIS GRADING PLAN.
19. "GENERAL SPECIFICATIONS FOR ALL GRADING PLANS"- BUILDING AND SAFETY FORM B-164 IS A PART OF THE PLANS.
20. ALL GRADED SLOPES SHALL BE PLANTED AND SPRINKLED.
21. STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. SEC.91.7013.3
22. NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
23. CUBIC YARDS OF CUT 950 C.Y
CUBIC YARDS OF FILL 115 C.Y
OVER EXCAVATION _____
IMPORT _____
EXPORT 835 C.Y
24. A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL SHORING WORK INCLUDING SLOT-CUT SEC. 1701.5
25. CONTINUOUS INSPECTION BY THE SOILS ENGINEER/GEOLOGIST IS REQUIRED FOR REMOVAL AND RECOMPACTION.
26. MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% COHESIONLESS SOIL WITH LESS THAN 15% FINER THAN 0.005mm REQUIRE 95% COMPACTION SEC. 91.7011.3
27. TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN NOVEMBER 1 AND APRIL 15 OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES [>200CY] SEC. 91.7007.1
28. "REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE (SITE EXCEEDS 60,000 S.F.) (CUT OR FILL SLOPES EXCEEDS 2:1) (CUTS EXCEEDS 40 FT. IN HEIGHT AND WITHIN 20 FT. OF A PROPERTY LINE) (FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE) (PROJECTS INVOLVE UNUSUAL HAZARDS)." SEC. 91.17501.5
29. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACK FILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
30. ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLED.
31. STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES



VICINITY MAP
NOT TO SCALE

BENCH MARK:
???

BASIS OF BEARINGS:
??

SURVEYOR:
??

LEGAL DESCRIPTION:
LOT 21, BLOCK 3
TRACT NO. 9041
123-59-64
APN:5659-007-015

EXISTING CONDITIONS: UNDEVELOPED LOT

PROJECT DESCRIPTION AND PROPOSED SCOPE:
NEW 1,604 SQ FT THREE-LEVELS SINGLE FAMILY RESIDENCE AND ADU

GEOTECHNICAL REPORT PROVIDED BY:
??

OWNER:
??

PROJECT DATA:

LOT AREA DETAILS	
DESCRIPTION	AREA (SF)
LOT SIZE	8,582
TOTAL GRADED AREA	7,020
EXISTING IMPERVIOUS AREA	0.0
PROPOSED BUILDING FOOTPRINT	3,150
PROPOSED IMPERVIOUS AREA	3,950
PROPOSED IMPERVIOUS PERCENTAGE	=46%

LEGEND

- EXISTING CONTOUR LINE
- PROPERTY LINE
- SPLASH BLOCK - 2FT LONG
- GRADE SLOPE
- FINISH GRADE ELEVATION IN FEET
- FLOW DIRECTION
- GRADE BREAK
- OPEN CURB
- FLOW LINE
- SC-8 SANDBAG BARRIER
- 4"-6" COBBLE
- LANDSCAPE AREA
- NEW CONCRETE SURFACE
- EXISTING TREE
- NDS 1200KIT DRAINAGE INLET
- SE-1 SILT FENCE
- EXISTING FENCE
- SC-8 SANDBAG BARRIER
- STORM DRAIN LINE
- SANITARY SEWER LINE
- WATER LINE
- OVER HEAD CABLE
- ELECTRIC LINE

ABBREVIATIONS

- APN - ASSESSOR'S PARCEL NUMBER
- A.C. - ASPHALT CONCRETE
- A.D. - AREA DRAIN
- BW - BACK OF WALL
- CO - CLEAN OUT
- CONC - CONCRETE
- DI - DRAINAGE INLET
- DS - DOWNSPOUT
- (E) - EXISTING
- ELEV - ELEVATION
- EST - ESTABLISH
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE ELEVATION
- FF - FINISH FLOOR ELEVATION
- FH - FIRE HYDRANT
- FL - FLOWLINE ELEVATION
- FS - FINISH SURFACE ELEVATION
- GB - GRADE BREAK
- H - HEIGHT IN FEET
- INVERT
- MAX - MAXIMUM
- MB - MAP BOOK
- MIN - MINIMUM
- (N) - NEW
- OH - OVERHANG
- R / PL - PROPERTY LINE
- PLNTR - PLANTER
- TC - TOP OF GRATE ELEVATION
- RW - RETAINING WALL
- TC - TOP OF CURB ELEVATION
- TR - TRACT MAP
- TW - TOP OF WALL ELEVATION
- TYP - TYPICAL

SHEET INDEX	
SHEET	DESCRIPTION
C-1	TITLE SHEET
C-2	GRADING PLAN
C-3	EROSION CONTROL PLAN
C-4	EROSION CONTROL AND DETAILS
C-5	LID PLAN AND DETAILS

MESSIHA ENGINEERING SERVICES

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GLENDALE, CA 912064

TITLE SHEET

MESSIHA ENGINEERING SERVICES, INC.
9854 NATIONAL BLVD. SUITE 474
LOS ANGELES, CA. 90034
Tel. (310) 717-3020 - Hany@MessihaEng.com



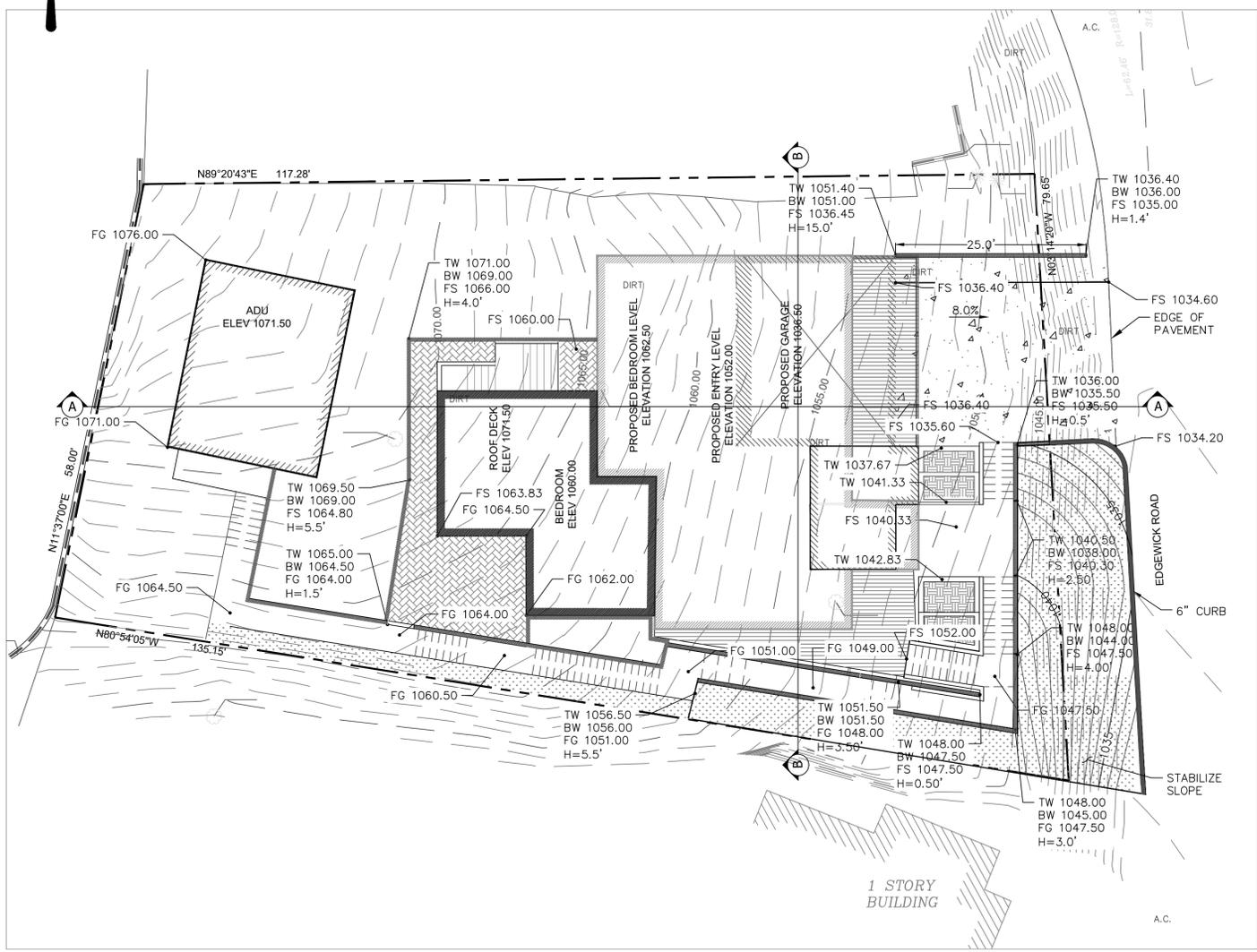
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SCALE: AS NOTED

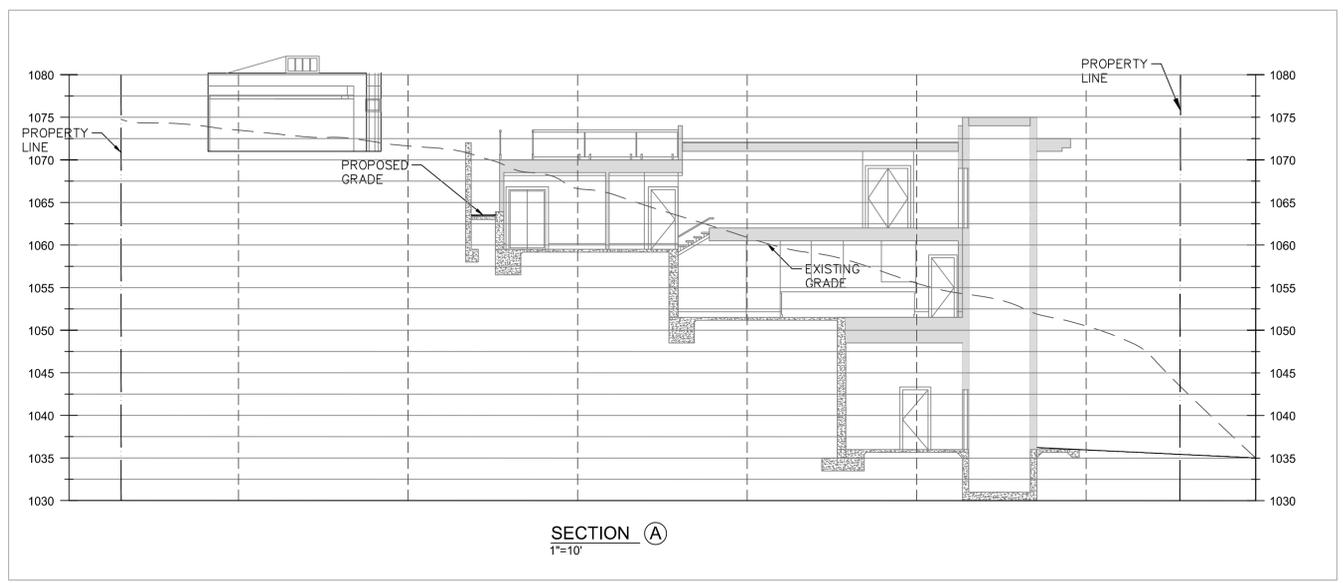
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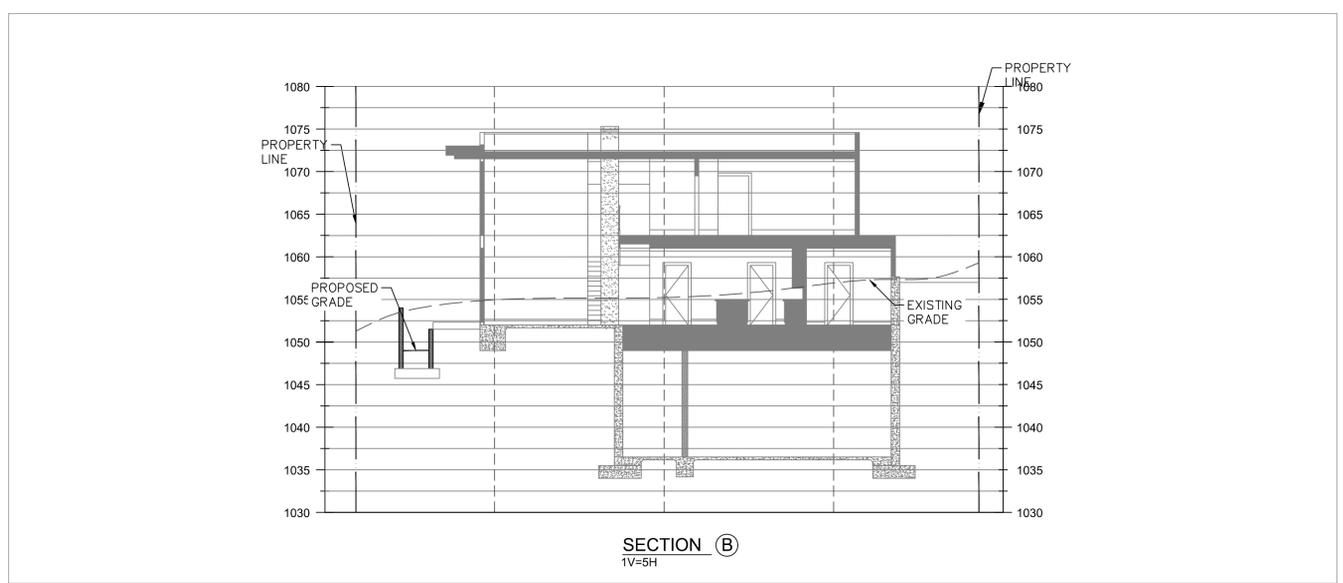
C-1



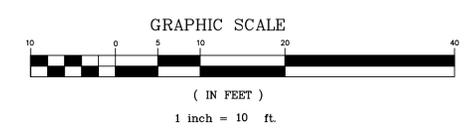
PLAN
SCALE 1"=10'



SECTION (A)
1"=10'



SECTION (B)
1V=5H



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NEW SINGLE FAMILY RESIDENCE
3035 EDGEWICK ROAD
GLENDALE, CA,

GRADING PLAN

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LOS ANGELES, CA. 90034
Tel: (310) 717-3020 - Hany@MessihaEng.com



DATE: 2019-25-11
SCALE: 1"=10'
DRAWN BY: HM
JOB#: 19-xxx

STORMWATER POLLUTION PLAN NOTES:
(ATTACHMENTS A & B) TO BE ADDED TO ALL GRADING PLANS:

- IN CASE OF EMERGENCY, CALL
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APR 30). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAYBE REMOVED WHEN APPROVED BY THE GRADING INSPECTOR IF THE GRADING OPERATIONS HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERTY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2'. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM.
- EXCEPT AS OTHERWISE APPROVED BY THE GRADING INSPECTOR, ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEEKENDS WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- ALL LOOSE SOILS AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE GRADING INSPECTOR.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR, WITHOUT THE APPROVAL OF THE GRADING INSPECTOR.
- EROSION CONTROL DEVICES ARE TO BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES AND PLANS OF THESE CHANGES MUST BE SUBMITTED FOR APPROVAL AS REQUIRED.
- ADD THE FOLLOWING NOTES (OR SIMILAR) TO THE PLANS TO DEFINE THE CURRENT STATE OF CONSTRUCTION. CHANGES MUST BE SUBMITTED FOR APPROVAL AS REQUIRED.
 - STORM DRAINS AND CATCH BASINS ARE (NOT) CONSTRUCTED.
 - STREETS ARE (NOT) PAVED, EXCEPT AS NOTED ON THE EROSION CONTROL PLANS.
 - DRAINAGE DEVICES ARE (NOT) CONSTRUCTED, EXCEPT AS NOTED ON PLANS.

STORMWATER POLLUTION CONTROL REQUIREMENTS MUST BE INTEGRATED INTO THE EROSION CONTROL PLANS PER TITLE 62, SECTION 7010 OF THE COUNTY CODE FOR ANY CONSTRUCTION BETWEEN OCTOBER 1 & APRIL 15 THE FOLLOWING NOTES AND BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 1993, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAYBE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS):

ATTACHMENT A NOTES

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OF WATER
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE W/ THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER & DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN/OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS NOT CAUSE EROSION.

NOTES:

- EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
- FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
- SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP, AND DISPOSED OF PROPERLY.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY PROBABILITY FORECAST
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATED A HAZARDOUS CONDITION.
- THE UNDERSIGNED CIVIL ENGINEER SHALL INSPECT THE EROSION CONTROL WORK AND ENSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- AT LEAST 2-LAYERS OF SANDBAGS FILLED WITH SAND AND PEA GRAVEL SHALL BE LAID ALONG THE PERIMETER OF THE PROJECT AREA AS SHOWN DURING CONSTRUCTION.

ATTACHMENT B NOTES

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 2009, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT(ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS.)

- | | |
|---|--|
| EROSION CONTROL | NON-STORMWATER MANAGEMENT |
| EC1 - SCHEDULING | NS1 - WATER CONSTRUCTION PRACTICE |
| EC2 - PRESERVATION OF EXISTING VEGETATION | NS2 - DEWATERING OPERATIONS |
| EC3 - HYDRAULIC MULCH | NS3 - PAVING AND GRINDING OPERATIONS |
| EC4 - HYDROSEEDING | NS4 - TEMPORARY STREAM CROSSING |
| EC5 - SOIL BINDERS | NS5 - CLEAR WATER DIVERSION |
| EC6 - STRAW MULCH | NS6 - ILLICIT CONNECTION/DISCHARGE |
| EC7 - GEOTEXTILES AND MATS | NS7 - POTABLE WATER/ IRRIGATION |
| EC8 - WOOD MULCHING | NS8 - VEHICLE AND EQUIPMENT CLEANING |
| EC9 - EARTH DIKES AND DRAINAGE SWALES | NS9 - VEHICLE AND EQUIPMENT FUELING |
| EC10 - VELOCITY DISSIPATION DEVICE | NS10 - VEHICLE AND EQUIPMENT MAINTENANCE |
| EC11 - SLOPE DRAINS | NS11 - PILE DRIVING OPERATIONS |
| EC12 - STREAMBANK STABILIZATION | NS12 - CONCRETE CURING |
| EC13 - POLYACRYLAMIDE | NS13 - CONCRETE FINISHING |
| | NS14 - MATERIAL AND EQUIPMENT USE |
| | NS15 - DEMOLITION ADJACET TO WATER |
| | NS16 - TEMPORARY BATCH PLANTS |

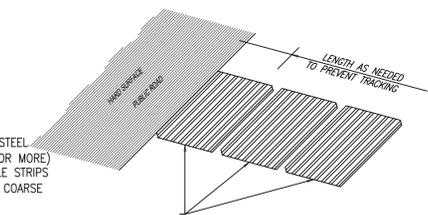
- WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL**
- WM1 - MATERIAL DELIVERY AND STORAGE
 - WM2 - MATERIAL USE
 - WM3 - STOCKPILE MANAGEMENT
 - WM4 - SPILL PRESERVATION AND CONTROL
 - WM5 - SOLID WASTE MANAGEMENT
 - WM6 - HAZARDOUS WASTE MANAGEMENT
 - WM7 - CONTAMINATION SOIL MANAGEMENT
 - WM8 - CONCRETE WASTE MANAGEMENT
 - WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
 - WM10 - LIQUID WASTE MANAGEMENT

- WIND EROSION CONTROL**
- WE1 - WIND EROSION CONTROL

- EQUIPMENT TRACKING CONTROL**
- TC1 - STABILIZED CONSTRUCTION ENTRANCE
 - TC2 - STABILIZED CONSTRUCTION ROADWAY
 - TC3 - ENTRANCE/OUTLET TIRE TRASH

CONSTRUCTION NOTES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER CASQA BMP # TC-1.
- PROTECT STOCKPILED MATERIALS FROM EROSION PER CASQA BMP # WM-3.
- PROVIDE BERMED CONCRETE AND MORTAR WASHOUT CONTAINMENT AREA PER CASQA BMP # WM-8.
- PLACE GRAVELBAGS TWO ROWS HIGH PER CASQA BMP # SE-6.
- CONSTRUCT CONSTRUCTION FENCE WITH DUST SCREEN ALONG THE PERIMETER.



41) STABILIZED CONSTRUCTION ENTRANCE BMP # TC-1

NOTES:

- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED ONTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM. STABILIZED CONSTRUCTION ENTRANCES SHALL BE:
 - LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
 - A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 4" COARSE AGGREGATE WITH LENGTH, WIDTH, AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
 - ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
- ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL USE THE STABILIZED CONSTRUCTION ENTRANCE(S).
- THE FOLLOWING STREET MAINTENANCE MEASURES SHALL BE IMPLEMENTED:
 - REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
 - SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
 - PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.



44) BMP # SE-6 NOT TO SCALE



PLAN SCALE 1"=10'

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**NEW SINGLE FAMILY RESIDENCE
3035 EDGECROCK ROAD
GLENDALE, CA,**

EROSION CONTROL

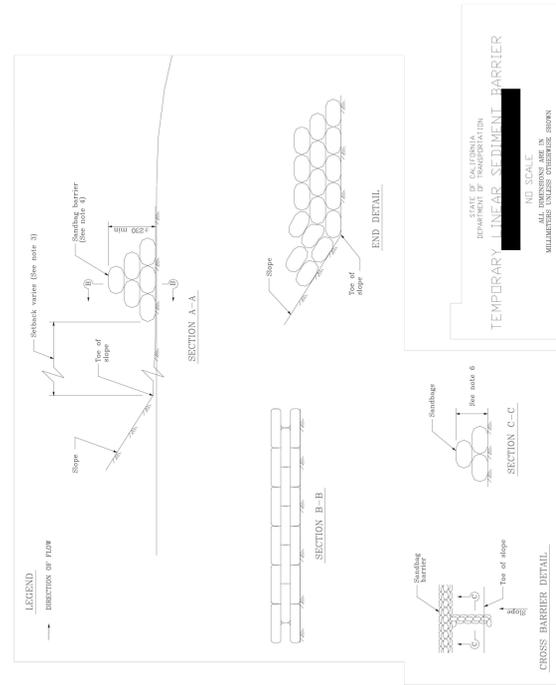
MESSIHA ENGINEERING SERVICES, INC.
9854 NATIONAL BLVD. SUITE 474
LOS ANGELES, CA. 90034
Tel. (310) 717-3020 - Hany@MessihaEng.com



DATE: 2020-4-10
SCALE: 1"=10'
DRAWN BY: HM
JOB#: 19-085

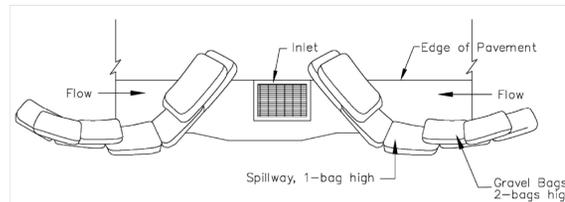
Gravel Barrier

SC-8

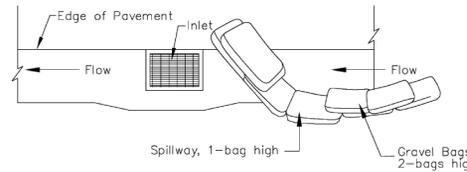


Storm Drain Inlet Protection

SC-10



TYPICAL PROTECTION FOR INLET WITH OPPOSING FLOW DIRECTIONS

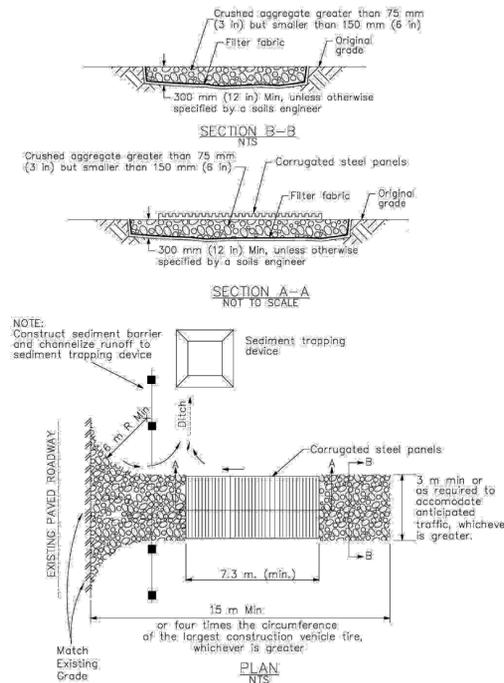


TYPICAL PROTECTION FOR INLET WITH SINGLE FLOW DIRECTION

- NOTES:
1. Intended for short-term use.
 2. Use to inhibit non-storm water flow.
 3. Allow for proper maintenance and cleanup.
 4. Bags must be removed after adjacent operation is completed.
 5. Not applicable in areas with high silts and clays without filter fabric.

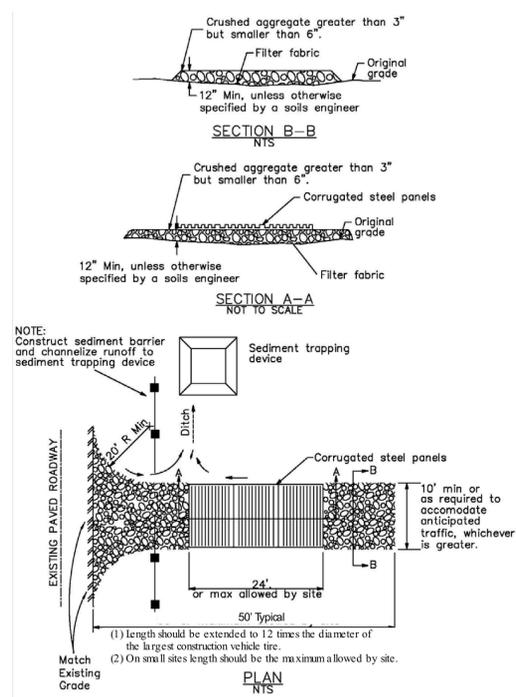
Stabilized Construction Entrance/Exit

TC-1



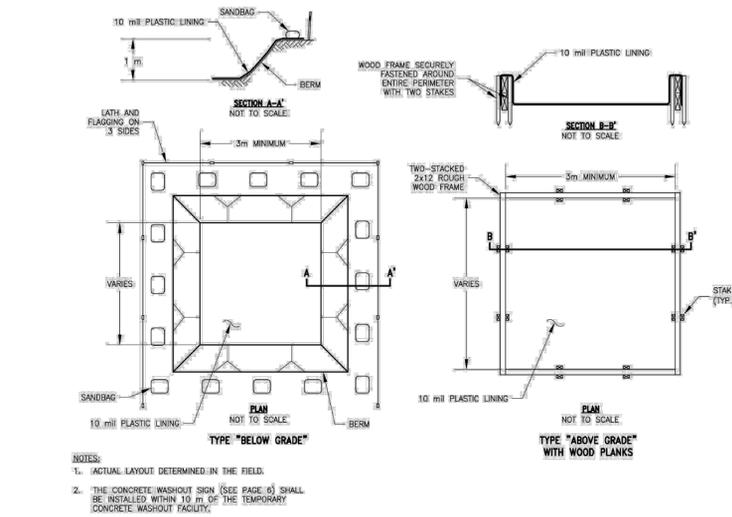
Stabilized Construction Entrance/Exit (Type 2)

Stabilized Construction Entrance/Exit TC-1



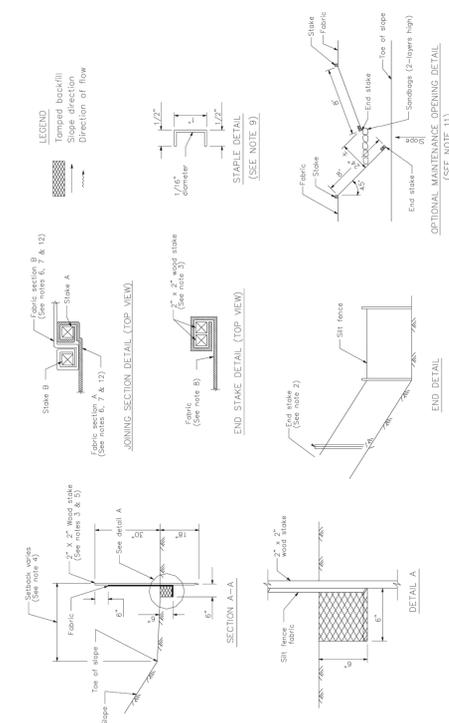
Concrete Waste Management

WM-8



Silt Fence

SE-1



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NEW SINGLE FAMILY RESIDENCE
3035 EDGEWICK ROAD
GLENDALE, CA,

EROSION CONTROL
DETAILS

MESSIHA ENGINEERING SERVICES, INC.
9854 NATIONAL BLVD. SUITE 474
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DATE: 2020-4-10

SCALE: AS NOTED

DRAWN BY: HM

JOB#: 19-085

C-4