









<u>SITE AREA :</u>	8,581 S.F.	100%
<u>HOUSE AND ADU COVERAGE :</u>	2,683 S.F.	31.2%
<u>LANDSCAPE AREA:</u>	3,937 S.F.	45.8%
<u>UNDISTURBED:</u>	3,430 S.F.	40.1%

- | | |
|---|---|
|  | PROPERTY LINE |
|  | CMU WALL |
|  | (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL |
|  | RETAINING WALL |
|  | INTERIOR WALL |
|  | 2% SLOPE SITE DRAINAGE DIRECTION |
|  | BUILDING GRID IDENTIFICATION WORK POINT |
|  | LANDSCAPING |

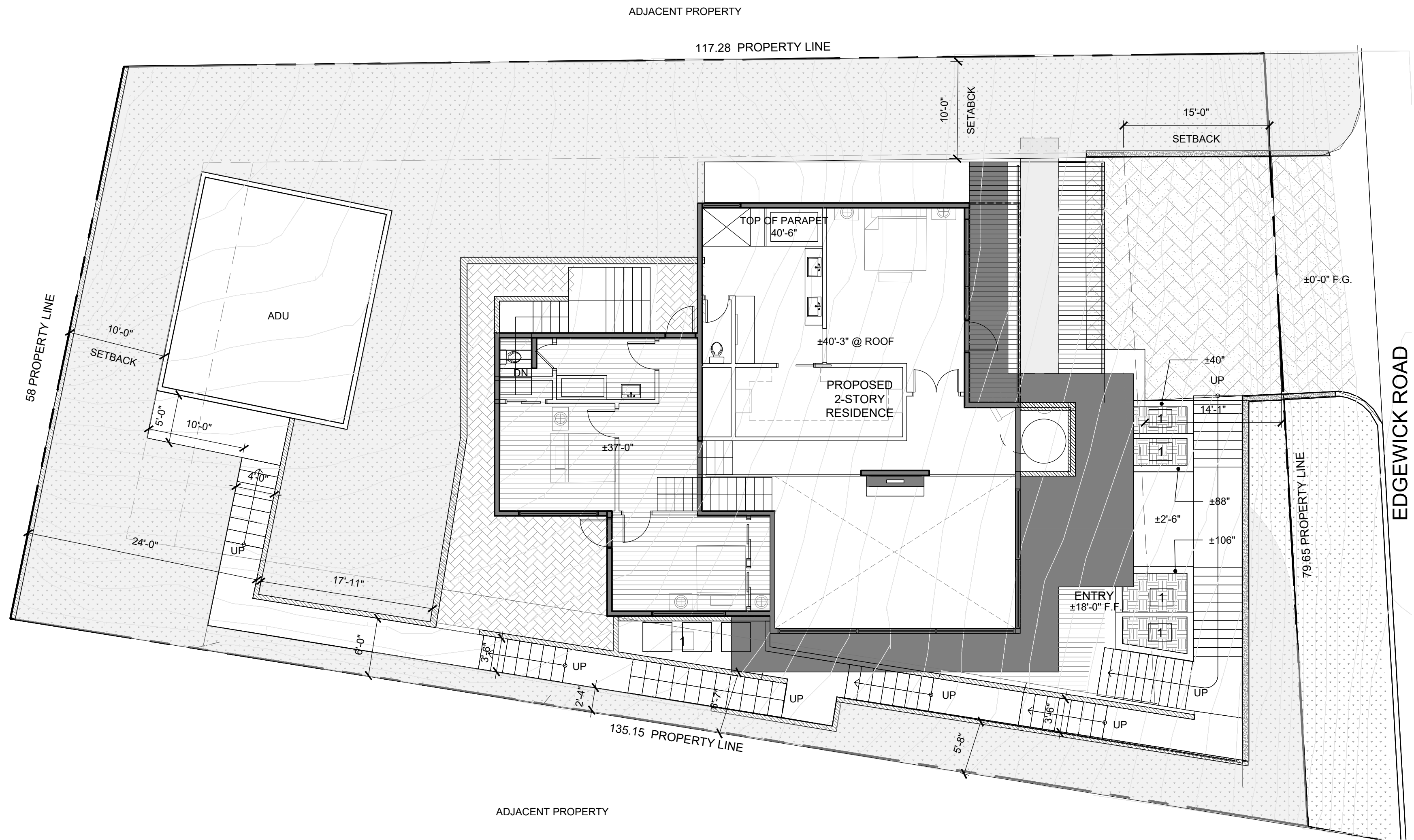
LEGEND

SITE PLAN

SHEET

A-1.0

SITE PLAN NOTES



SITE PLAN
SCALE: 1/8" = 1'-0"

1

SITE AREA :	8,581 S.F.	100%
HOUSE AND ADU COVERAGE :	2,703 S.F.	31%
HARDSCAPE,STEPS,PLANTERS:	2,440 S.F.	28%
UNDISTURBED:	3,438 S.F.	40%

---	PROPERTY LINE
	CMU WALL
	(N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL
	INTERIOR WALL
	2% SLOPE SITE DRAINAGE DIRECTION
	BUILDING GRID IDENTIFICATION WORK POINT
	UNDISTURBED TERRAIN 3,438 SQ.FT.

SITE PLAN NOTES

LEGEND

1 PLANTER

KEYNOTES

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

N O T E

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SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		

RELEASES:		
NO.	DATE	DESCRIPTION
①	2-5-2020	PLANNING SUBMITTAL
②	4-22-2020	PLANNING RESUBMITTAL
③		

ARCH/CONSULTANT:



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS

ISSUE	DATE	REVISION
△	.	.
△	.	.
△	.	.
△	.	.
△	.	.
△	.	.

DRAWN	CHECKED
STAFF	WR/ RM

CAD FILE

18.523.00 PLNG A-1.1 Site Plan Undisturbed.dwg

JOB NO.

18523

DATE

04/22/2020

SCALE

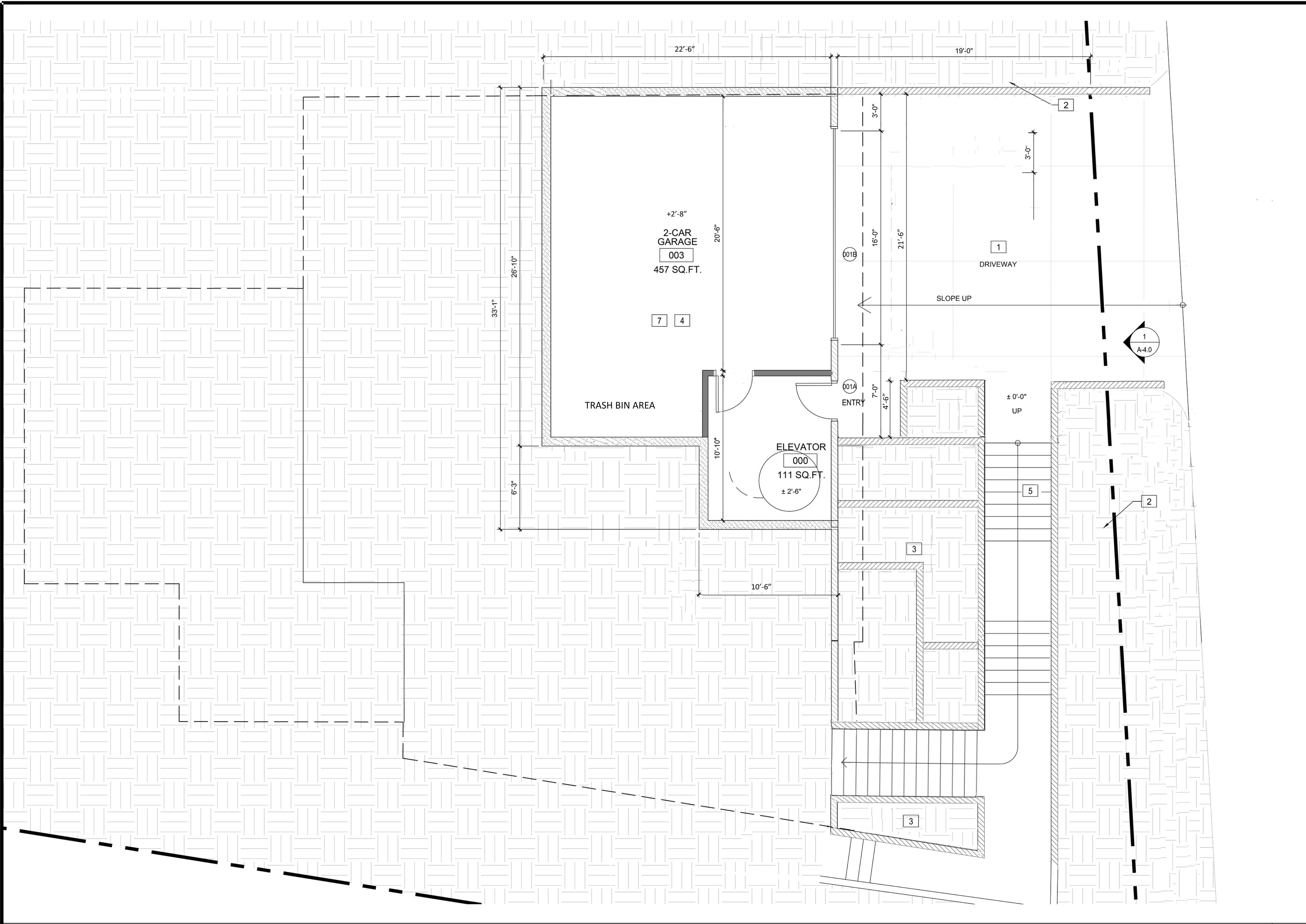
AS SHOWN

TITLE

SITE PLAN
UNDISTURBED TERRAIN

SHEET

A-1.1



- 1 DRIVEWAY ACCESS
- 2 CARVED OUT EXISTING TERRAIN
- 3 (N) PLANTERS
- 4 GARAGE WITH VESTIBULE ACCESS
- 5 EXTERIOR STAIRS
- 6 AVERAGE GRADE ELEV: 1034' = 0'-0"
- 7 GARAGE ELEV : +2'-8" = 1036.66

KEYNOTES

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

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SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		

RELEASES:		
NO.	DATE	DESCRIPTION
1	2-5-2020	PLANNING SUBMITTAL
2	4-22-2020	PLANNING RESUBMITTAL
.	.	.



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS		
ISSUE	DATE	REVISION
1	2/22/21	Driveway width / stairs
2		
3		
4		
5		
6		
7		

DRAWN	CHECKED
STAFF	WR/ RM

CAD FILE

18.523.00 PLNG A-2.0 GARAGE LEVEL.dwg

JOB NO.

18523

DATE

08/03/2020

SCALE

AS SHOWN

TITLE

GARAGE
LEVEL FLOOR
PLAN

SHEET

A-2.0

18.523.00 PLNG A-2.0 GARAGE LEVEL.dwg

18523

08/03/2020

AS SHOWN

GARAGE
LEVEL FLOOR
PLAN

A-2.0

18.523.00 PLNG A-2.0 GARAGE LEVEL.dwg

18523

08/03/2020

AS SHOWN

GARAGE
LEVEL FLOOR
PLAN

A-2.0

18.523.00 PLNG A-2.0 GARAGE LEVEL.dwg

18523

08/03/2020

AS SHOWN

GARAGE
LEVEL FLOOR
PLAN

A-2.0

18.523.00 PLNG A-2.0 GARAGE LEVEL.dwg

18523

08/03/2020

AS SHOWN

GARAGE
LEVEL FLOOR
PLAN

A-2.0

18.523.00 PLNG A-2.0 GARAGE LEVEL.dwg

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GARAGE
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PLAN

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GARAGE
LEVEL FLOOR
PLAN

A-2.0

18.523.00 PLNG A-2.0 GARAGE LEVEL.dwg

18523

08/03/2020

AS SHOWN

GARAGE
LEVEL FLOOR
PLAN

A-2.0

A- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R308.3).

D- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

H- WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

K- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED, FOR HUMAN OCCUPANCY. UPON THE OWNERS APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (1,000). (R314.6.2).

M- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED

GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2).

N- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

O- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

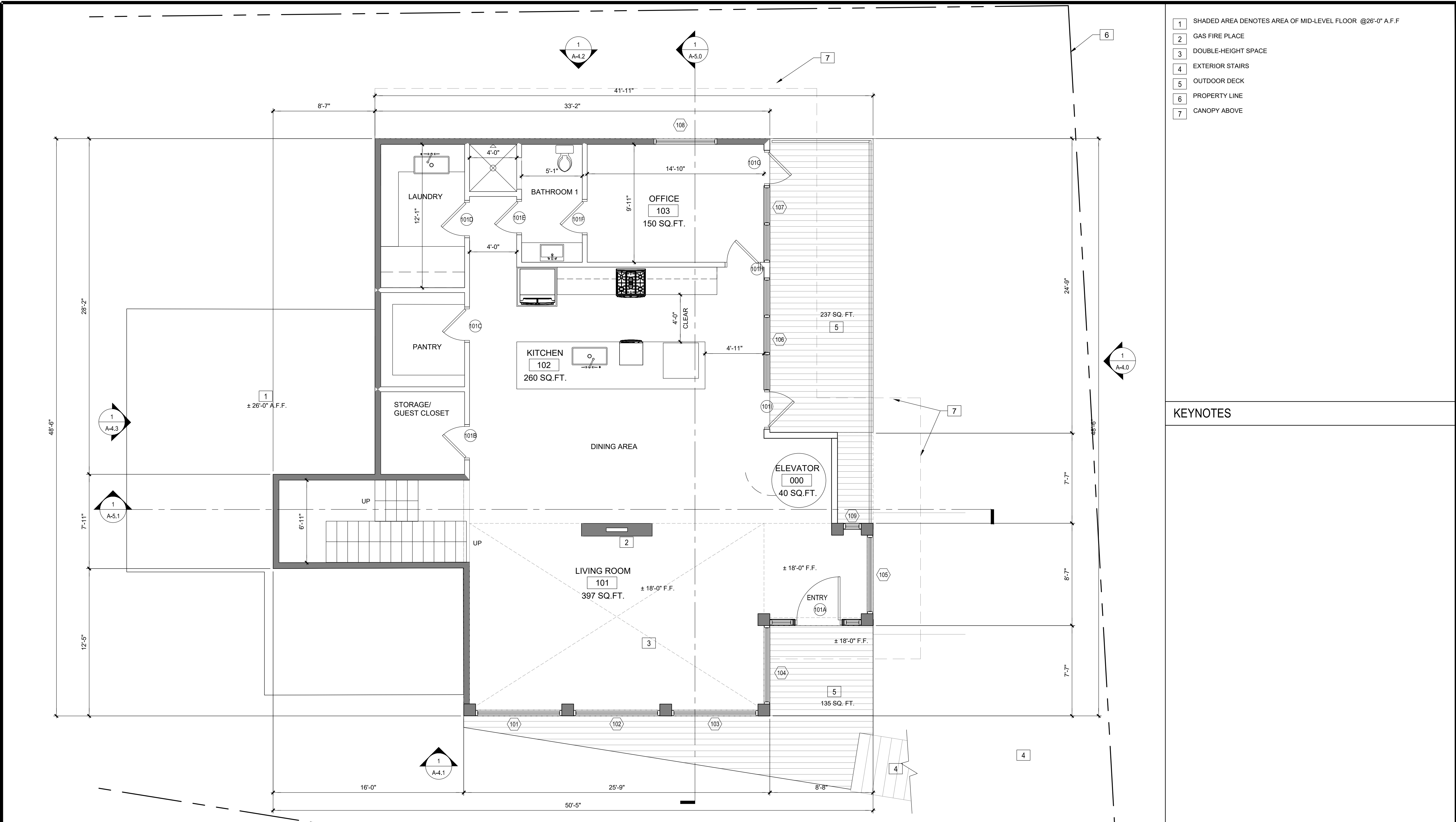
1- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 F AT A POINT 3 FET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

2- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCTS, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

- PROPERTY LINE
- CMU WALL
- (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL
- INTERIOR WALL
- 2% SLOPE SITE DRAINAGE DIRECTION
- BUILDING GRID IDENTIFICATION WORK POINT
- DOOR TAG
- WINDOW TAG
- ELECTRICAL DUPLEX OUTLET
- SWITCH LOCATION
- WALL LIGHTS

LEGENDS

GENERAL NOTES



- 1 SHADED AREA DENOTES AREA OF MID-LEVEL FLOOR @26'-0" A.F.F
- 2 GAS FIRE PLACE
- 3 DOUBLE-HEIGHT SPACE
- 4 EXTERIOR STAIRS
- 5 OUTDOOR DECK
- 6 PROPERTY LINE
- 7 CANOPY ABOVE

KEYNOTES

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- BUILDING GRID IDENTIFICATION WORK POINT
- DOOR TAG
- WINDOW TAG
- WALL LIGHTS

LEGENDS

GENERAL NOTES

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

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SUBMITTALS

DATE

DESCRIPTION

PRE-BID:

BLD'G. DEPT.:

BID SET:

RELEASES:

NO.

DATE

DESCRIPTION

1

2-5-2020

PLANNING SUBMITTAL

2

4-22-2020

PLANNING RESUBMITTAL

3

8-31-2021

REN. 8/31/2021

ARCH/CONSULTANT:

LICENSED ARCHITECT

JOHN GILMORE
DEENHAN
C-8147
REN. 8/31/2021

STATE OF CALIFORNIA

PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS

ISSUE

DATE

REVISION

1

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18523.00 PLNG A-2.1 FIRST LEVEL FLOOR PLAN.dwg

JOB NO.

18523

DATE

04/22/2020

SCALE

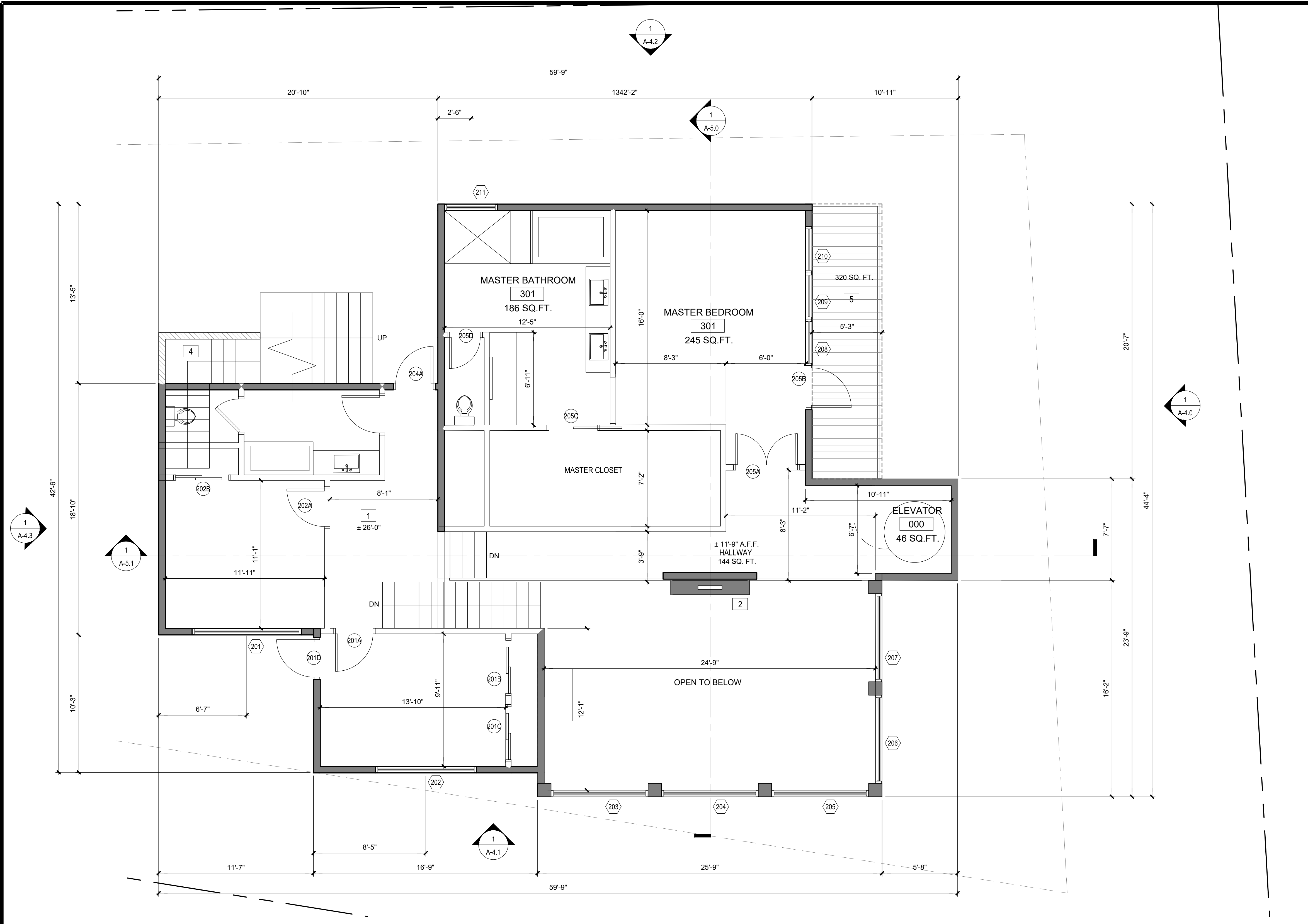
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TITLE

FIRST FLOOR PLAN

SHEET

A-2.1



- 1 ROOF DECK ABOVE MID LEVEL
- 2 GAS FIRE PLACE
- 3 DOUBLE-HEIGHT SPACE BELOW
- 4 EXTERIOR STAIRS
- 5 BALCONY

KEYNOTES

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

1

A- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

D- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

H- WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

K- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED, FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (1,000). (R314.6.2).

M- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED

GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2).

N- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

O- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

1- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 F AT A POINT 3 FET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

2- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCTS, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

GENERAL NOTES

- PROPERTY LINE
- CMU WALL
- (N) 2x STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. - SEE STRUCTURAL
- INTERIOR WALL
- 2% SLOPE SITE DRAINAGE DIRECTION
- BUILDING GRID IDENTIFICATION WORK POINT
- DOOR TAG
- WINDOW TAG
- ELECTRICAL DUPLEX OUTLET
- SWITCH LOCATION
- WALL LIGHTS

LEGENDS

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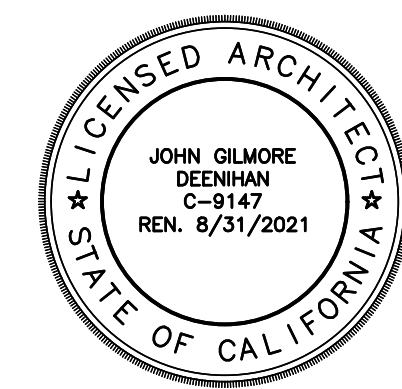
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CLIENT

Raymond Sohrabian

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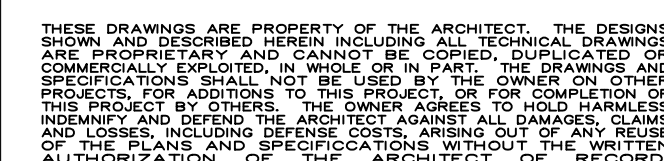
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SECOND
FLOOR PLAN
AND SPLIT LEVEL

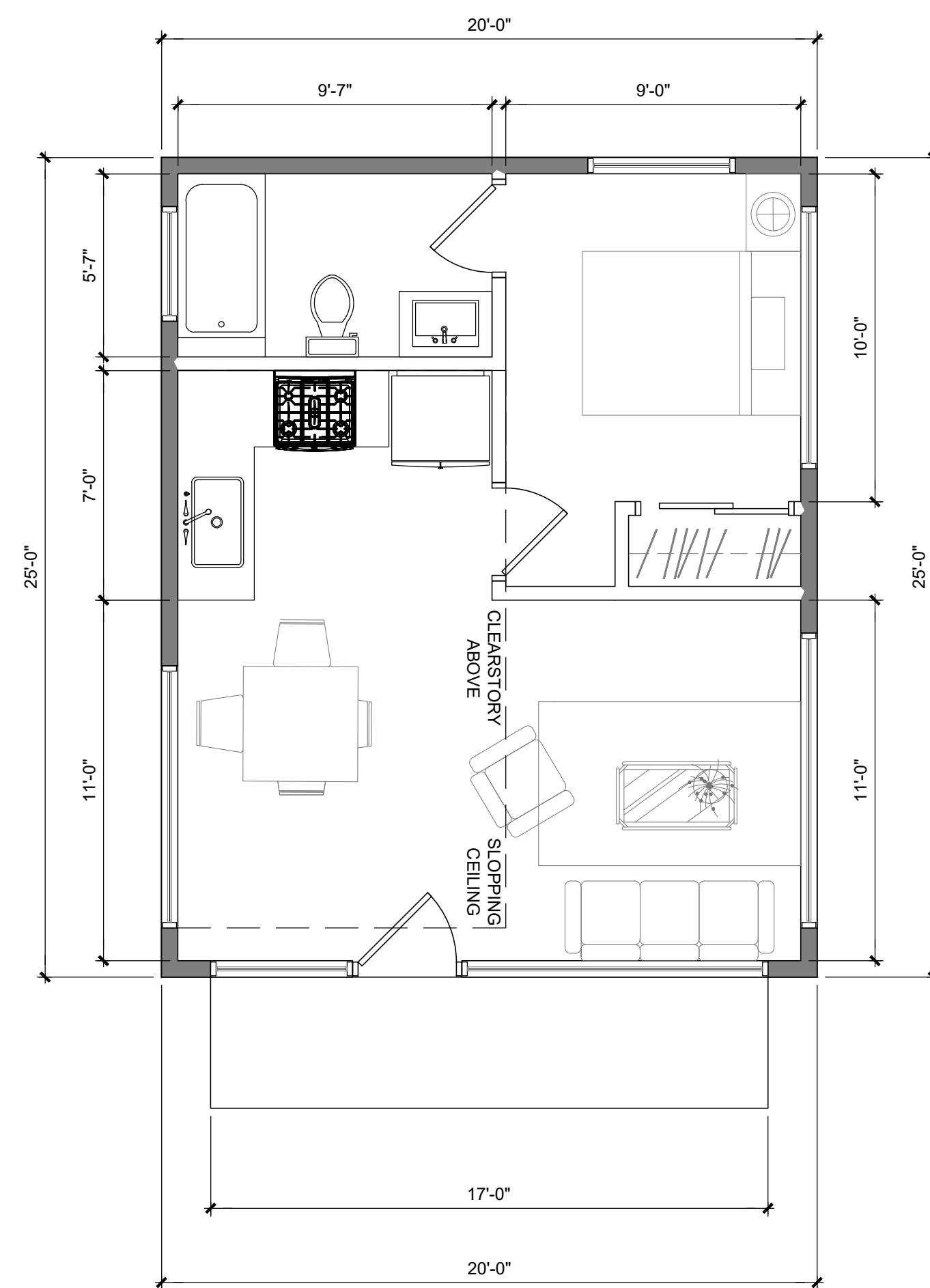
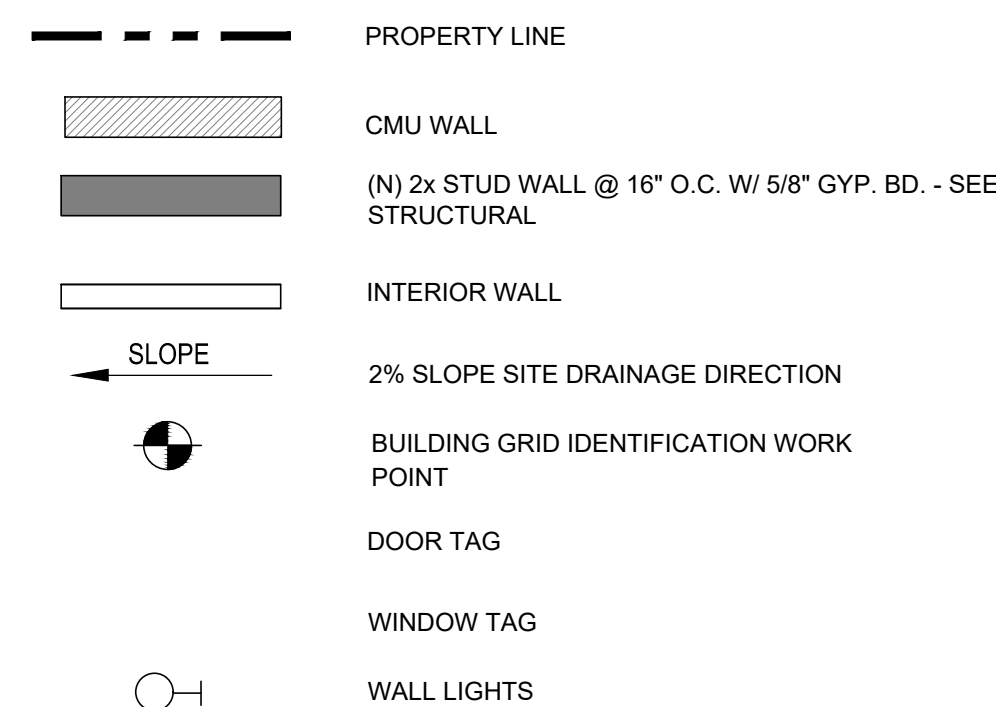
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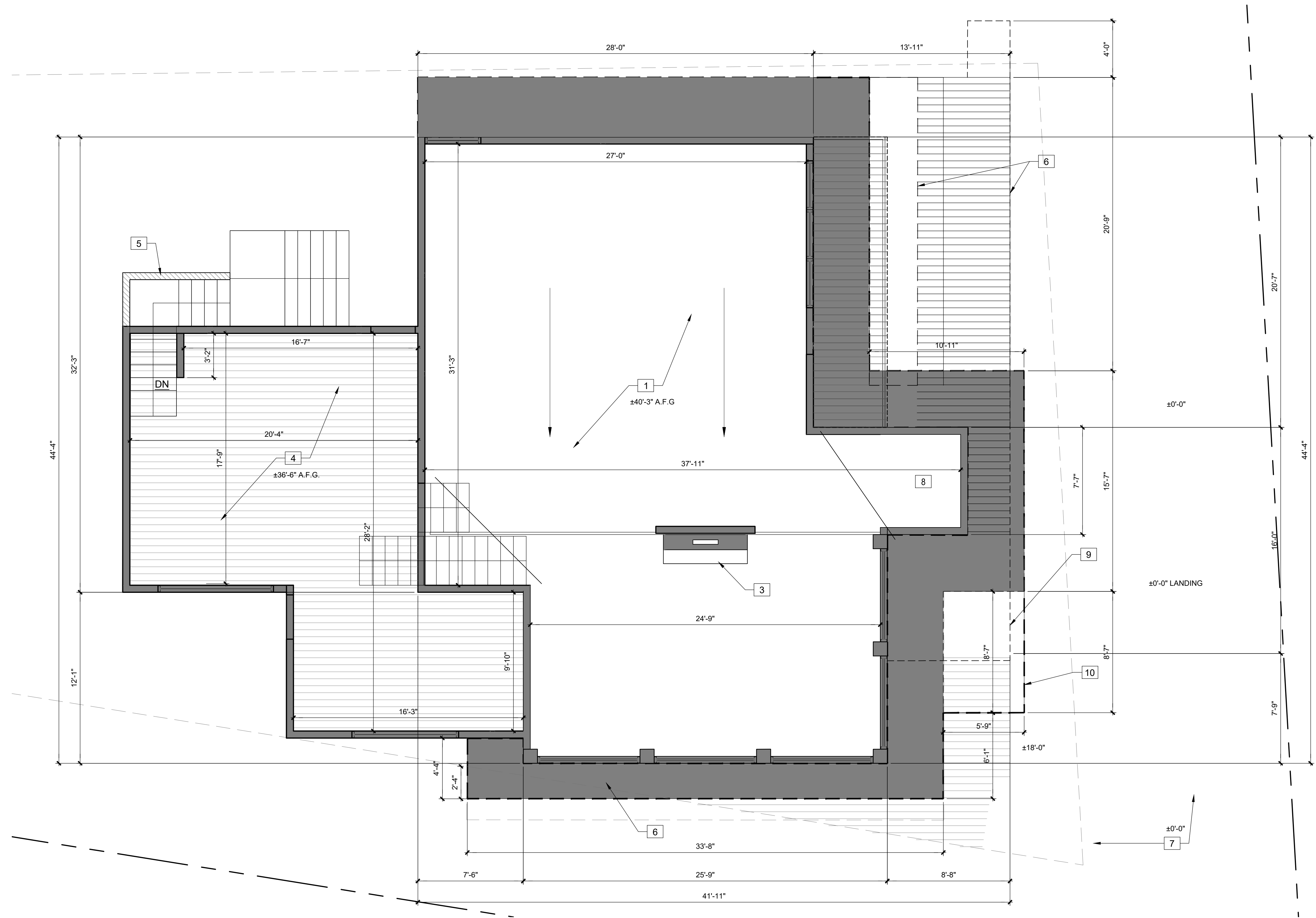
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A-2.3





ROOF PLAN
SCALE: 1/4"= 1'-0"



1

- 1 SINGLE-PLY TPO ROOFING MATERIAL CLASS "A"
- 2 EXTERIOR WALL OUTLINE BELOW
- 3 CHIMNEY
- 4 ROOF DECK BELOW
- 5 STAIRS TO ROOF DECK
- 6 CANOPY
- 7 EXTERIOR STAIRS BELOW TO ENTRY
- 8 ELEVATOR LOCATION
- 9 LINE OF GRADE @ BUILDING BELOW
- 10 LINE OF OVERHEAD BELOW

BUILDING DEPARTMENT NOTES

GENERAL NOTES

FIRE BLOCKING NOTES

ATTIC VENT CALCULATIONS

KEYNOTES

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Interior Design

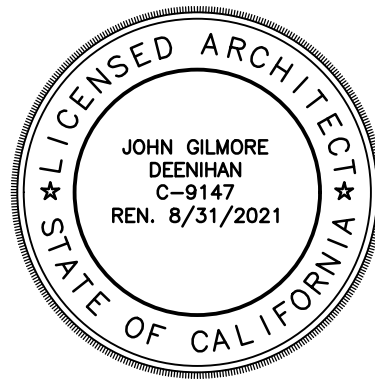
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TITLE

ROOF
PLAN

SHEET

A-3.0

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ISSUE	DATE	REVISION
△	2/22/21	Driveway width reduction
△	:	misc adjustments
△	5/19/21	Adjustments at north eave
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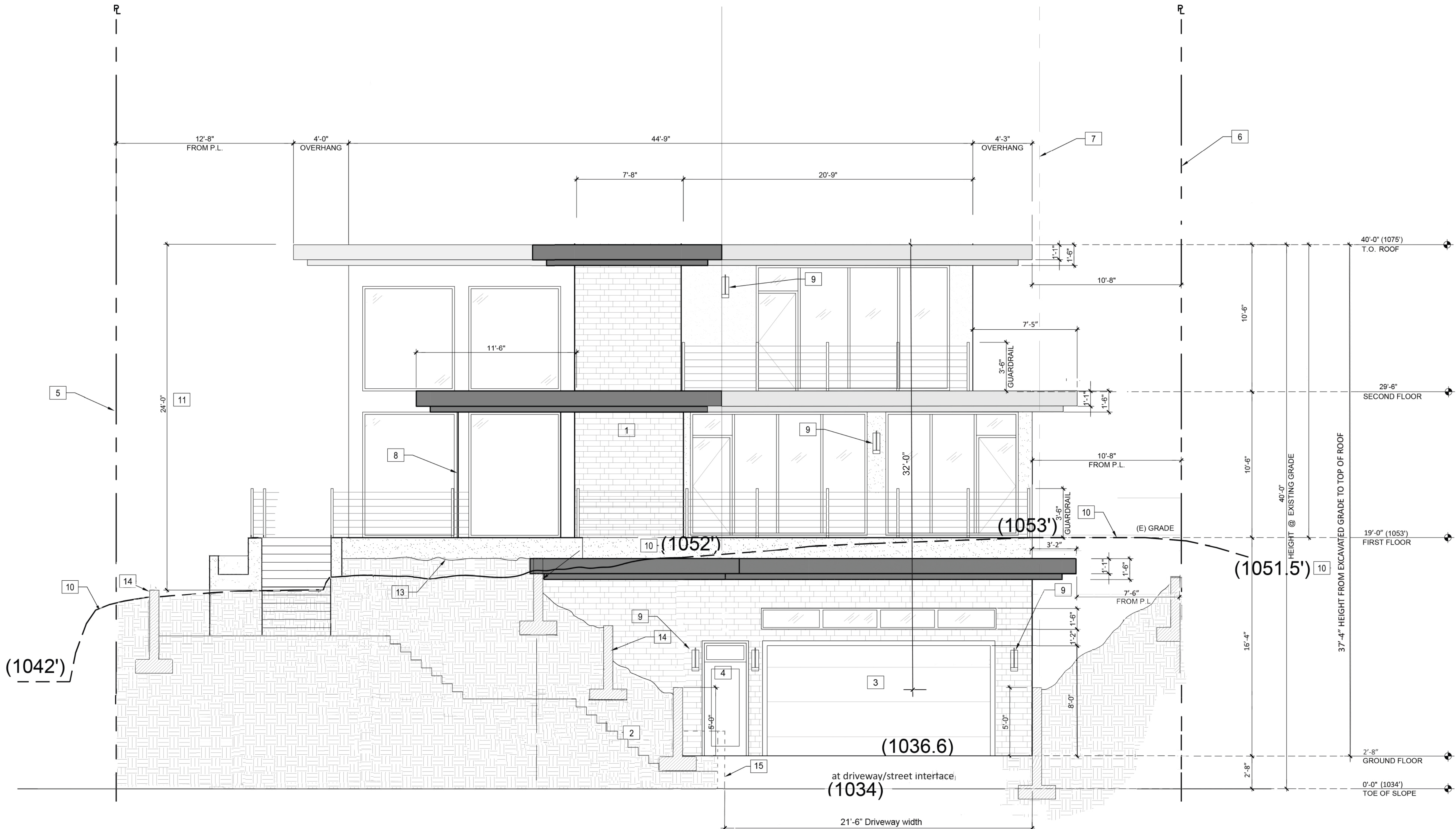
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EXTERIOR
ELEVATIONS

SHEET

A-4.0

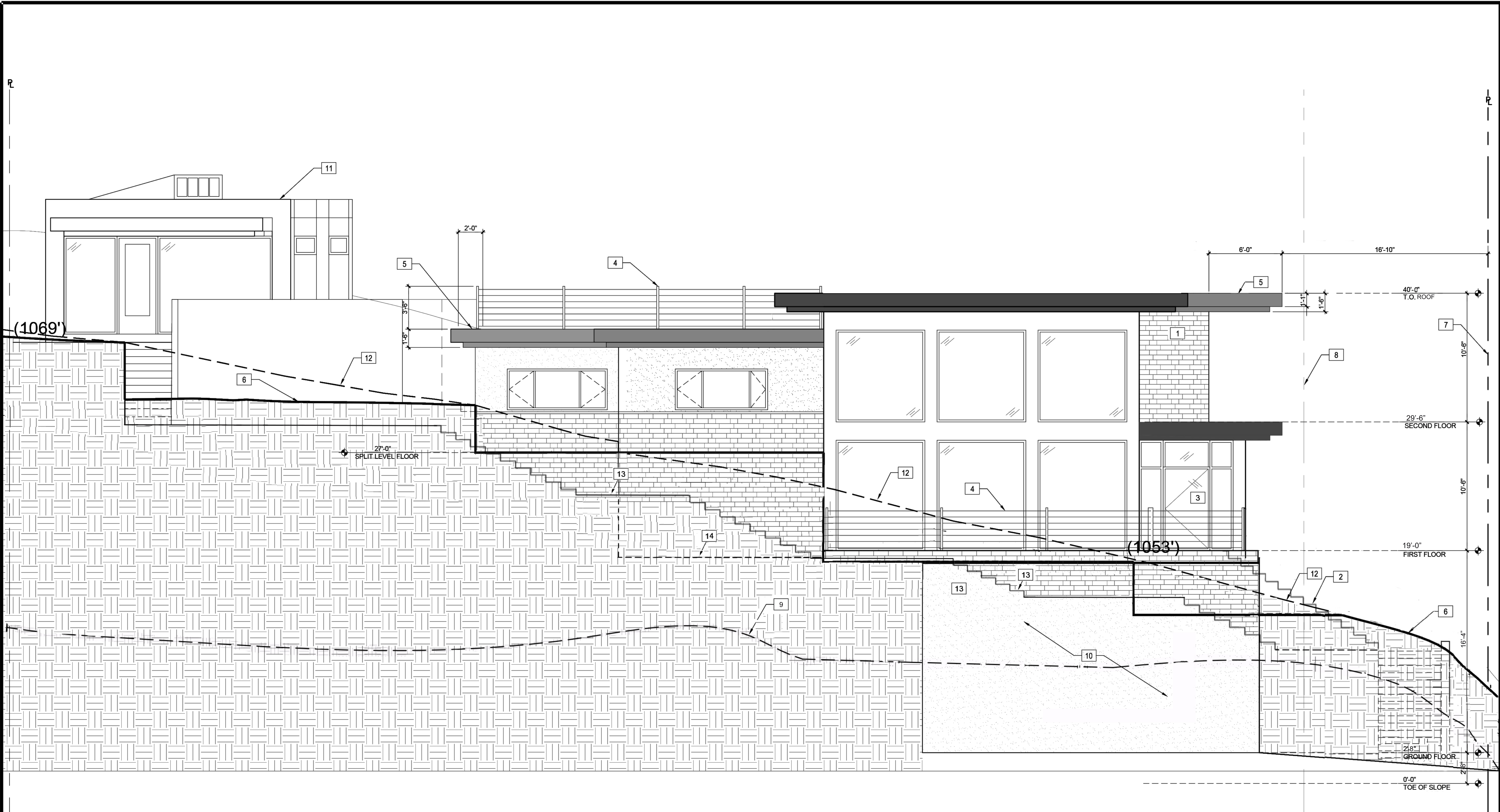


EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

- 1 ELEVATOR SHAFT
- 2 ENTRANCE STAIR CASE IN FOREGROUND
- 3 GARAGE DOOR
- 4 GUEST ENTRANCE TO ELEVATOR
- 5 LINE OF NATURAL GRADE
- 6 PROPERTY LINE
- 7 LINE OF BUILDING SETBACKS
- 8 FRONT DOOR ENTRY
- 9 EXTERIOR LIGHT FIXTURES
- 10 NATURAL GRADE AT HOUSE FRONT (PRIOR TO CONSTRUCTION)
- 11 HEIGHT TO TOP OF PARAPET FROM NATURAL GRADE AT LOWEST POINT.
- 12
- 13 LINE INDICATES WHERE NEW GRADE MEETS BUILDING WALL
- 14 RETAINING WALL IN HOUSE FOREGROUND
- 15 RETAINING WALL IN FOREGROUND DEFINES DRIVEWAY

KEYNOTES



SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

- 1 ELEVATOR SHAFT
- 2 ENTRANCE STAIRS
- 3 ENTRANCE
- 4 CABLE GUARD RAIL
- 5 CANOPY
- 6 LINE OF GRADE
- 7 PROPERTY LINE
- 8 LINE OF BUILDING SETBACK
- 9 LINE OF ADJACENT GRADE SEE A-5.1 FOR LOCATION OF PROFILE
- 10 GARAGE BEYOND
- 11 GUEST HOUSE, SEE A-2.3
- 12 NATURAL GRADE - PRIOR TO CONSTRUCTION
- 13 STEPS AND PATHWAY TO ADU (IN FOREGROUND)
- 14 PAD BEYOND FOR HVAC EQUIPMENT

KEYNOTES

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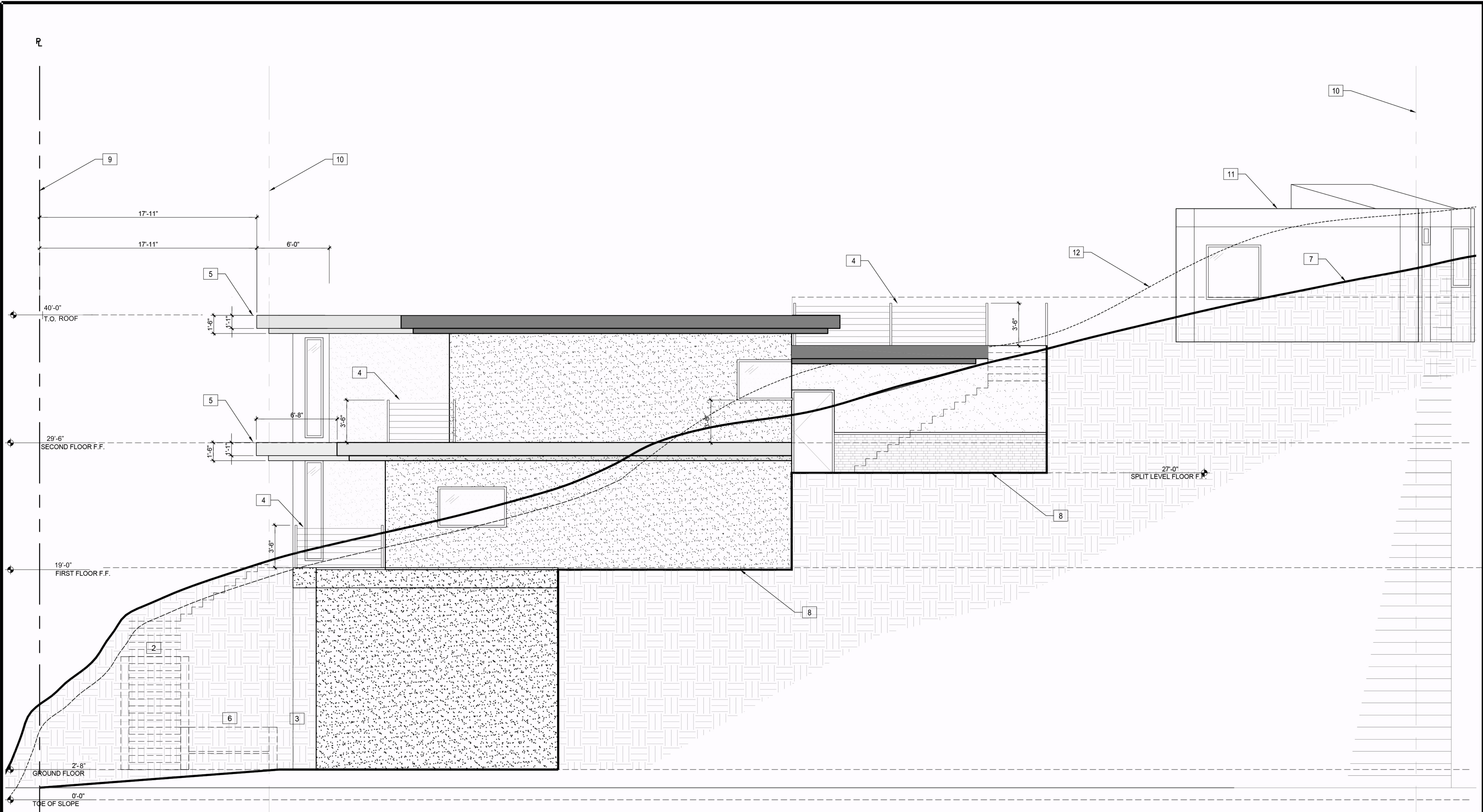
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EXTERIOR
ELEVATIONS

SHEET

A-4.1



NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

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- 1 ELEVATOR SHAFT
- 2 ENTRANCE STAIRS
- 3 ENTRANCE
- 4 CABLE SYSTEM GUARD RAIL
- 5 CANOPY
- 6 PLANTER/LANDSCAPE AREA
- 7 LINE OF NATURAL GRADE
- 8 LINE OF BUILDING FOOTPRINT
- 9 PROPERTY LINE
- 10 LINE OF BUILDING SETBACK
- 11 GUEST HOUSE, SEE A-2.3
- 12 LINE OF ADJACENT GRADE @NORTH SIDE

KEYNOTES

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LICENSED ARCHITECT

JOHN GILMORE
DEENHAN
C-8147
REN. 8/31/2021

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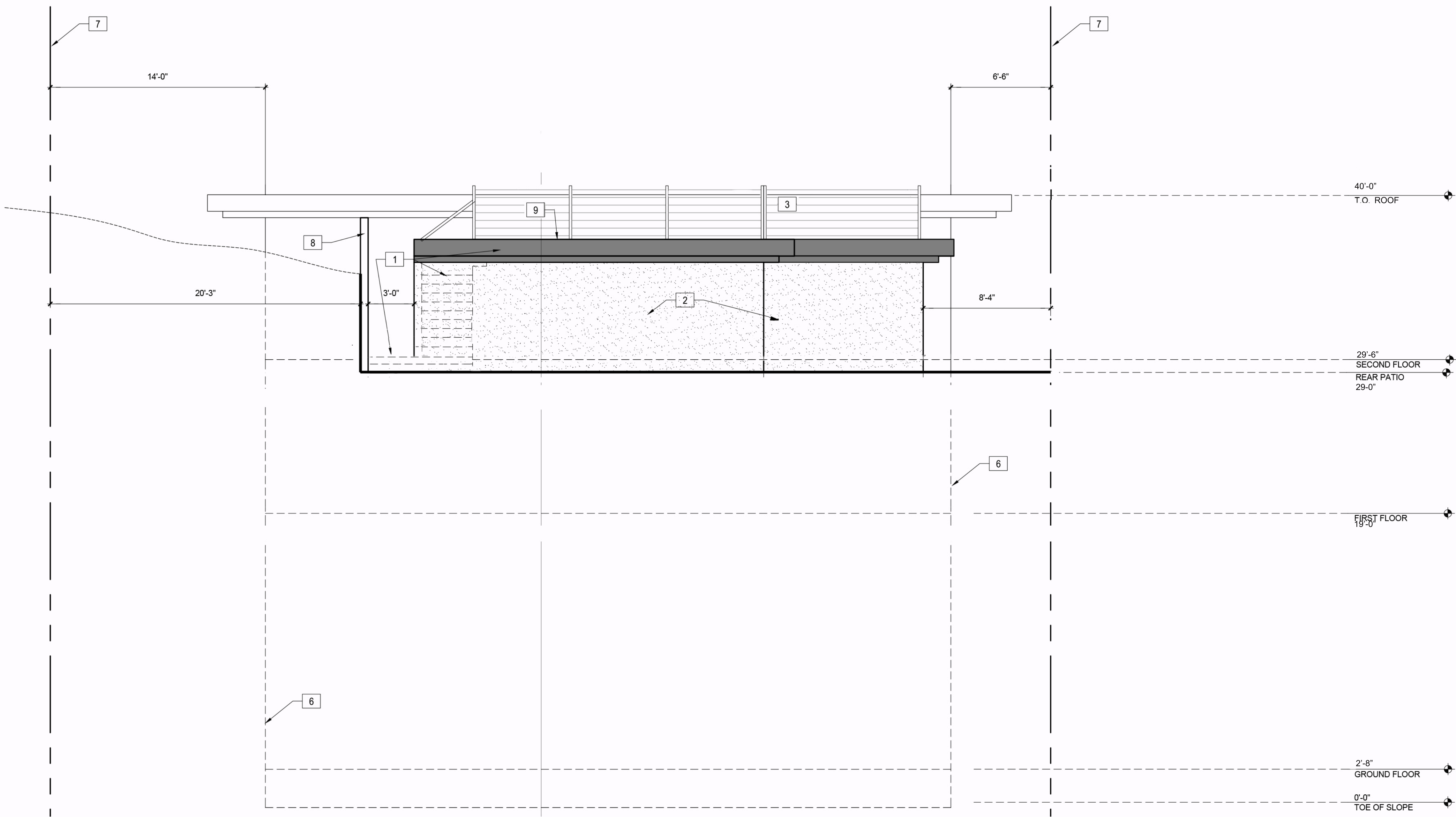
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EXTERIOR
ELEVATIONS

SHEET

A-4.2



WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

NOTE: IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
1. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 S.F.
2. A MINIMUM CLEAR HEIGHT OF 24-IN.
3. A MINIMUM CLEAR WIDTH OF 20 IN.
4. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-IN. MEASURED FROM THE FLOOR.

- 1 REAR STAIRS TO ROOF DECK AND OUTDOOR PATIO
- 2 OUTDOOR PATIO AREA
- 3 CABLE SYSTEM GUARD RAIL
- 4 PLANTER/LANDSCAPE AREA
- 5 LINE OF NATURAL GRADE
- 6 LINE OF BUILDING FOOTPRINT
- 7 PROPERTY LINE
- 8 RETAINING WALL
- 9 ROOF DECK

KEYNOTES

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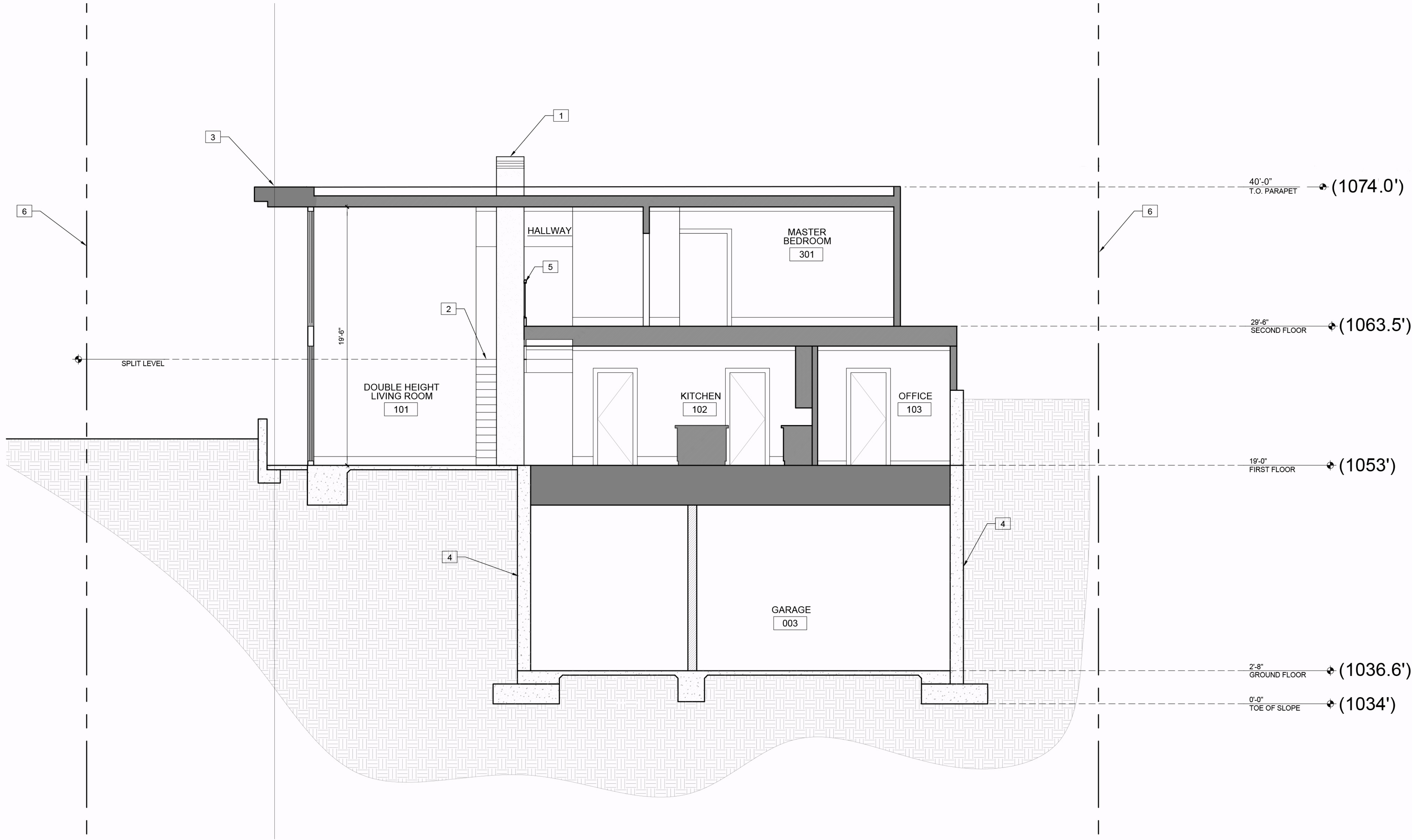
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EXTERIOR
ELEVATIONS

SHEET

A-4.3



SECTION THRU EAST ELEVATION
SCALE: 1/4" = 1'-0" 1

- 1 CHIMNEY
- 2 STAIRS BEYOND
- 3 CANOPY
- 4 RETAINING WALL
- 5 GUARDRAIL 42"
- 6 PROPERTY LINE

NOTES

KEYNOTES

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08/03/2020

SCALE

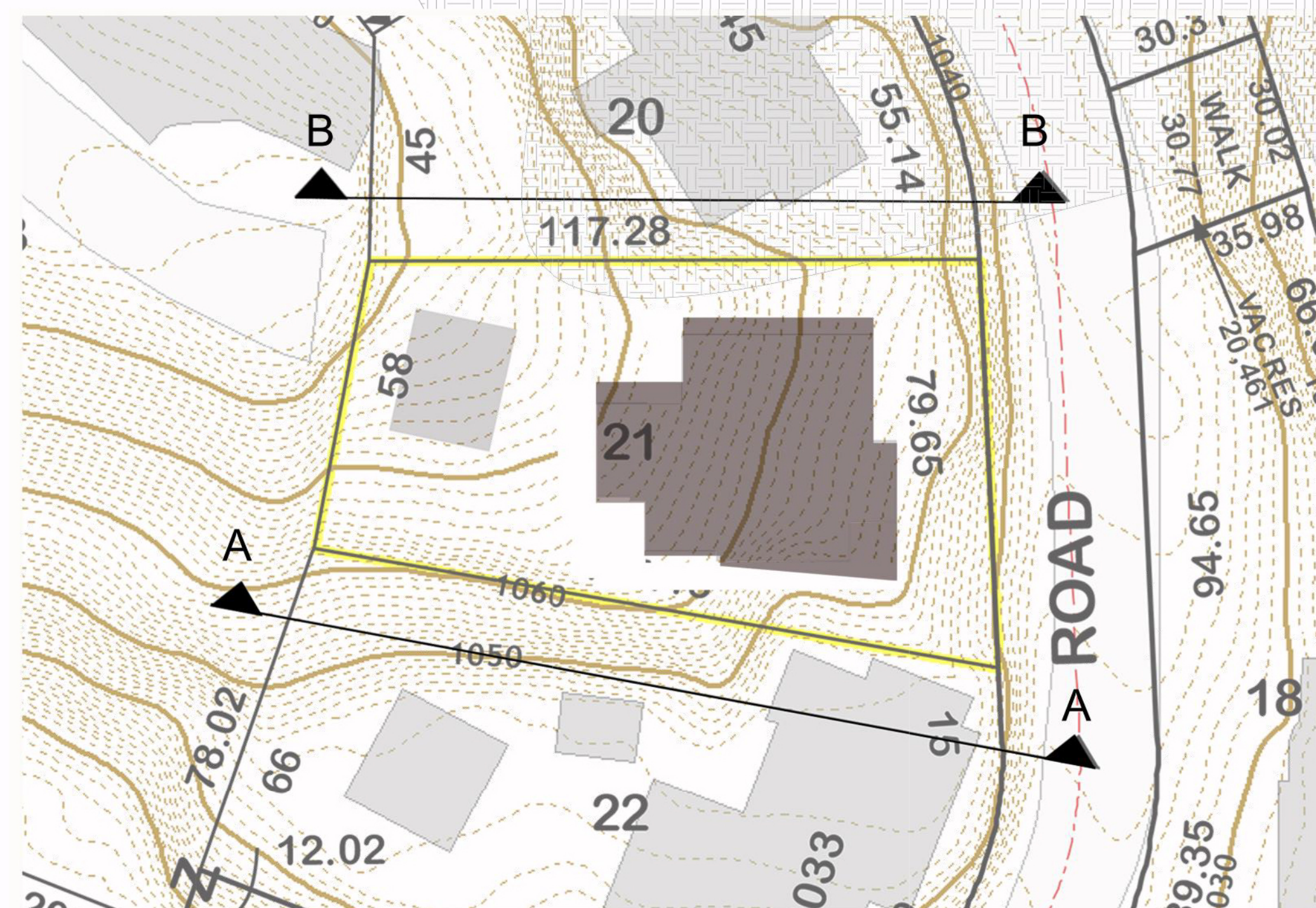
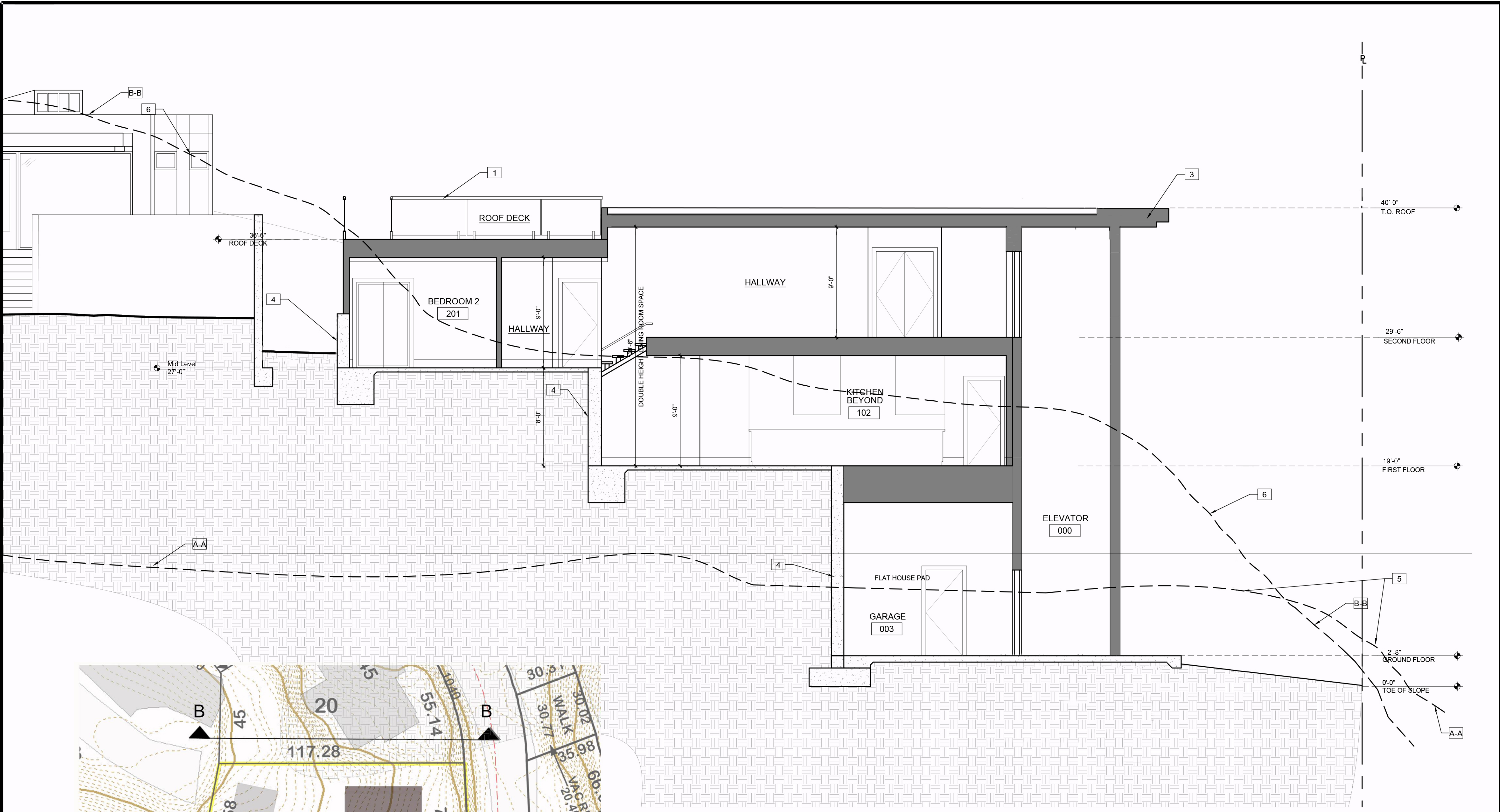
AS SHOWN

TITLE

BUILDING
SECTION

SHEET

A-5.0



SECTION THRU SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

1

- 1 ROOF DECK GUARDRAIL
- 2 ELEVATOR PIT
- 3 CANOPY
- 4 RETAINING WALL
- 5 PROFILE OF ADJACENT SITE SLOPE. SITE SECTION A.A
- 6 PROFILE OF SITE BEYOND. SITE SECTION B.B

NOTES

KEYNOTES

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

N O T E

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SUBMITTALS DATE DESCRIPTION

PRE-BID: . . .

BLD'G. DEPT.: . . .

BID SET: . . .

RELEASES:

NO. DATE DESCRIPTION

1 2-5-2020 PLANNING SUBMITTAL

2 4-22-2020 PLANNING RESUBMITTAL

ARCH/CONSULTANT:

LICENSED ARCHITECT

JOHN GILMORE
DEENHAN
C-8147
REN. 8/31/2021

STATE OF CALIFORNIA

PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS

ISSUE DATE REVISION

1 2/26/21 Adjustments

2 . . .

3 . . .

4 . . .

5 . . .

6 . . .

DRAWN CHECKED

STAFF WR/ RM

CAD FILE

JOB NO.

18523

DATE

-

SCALE

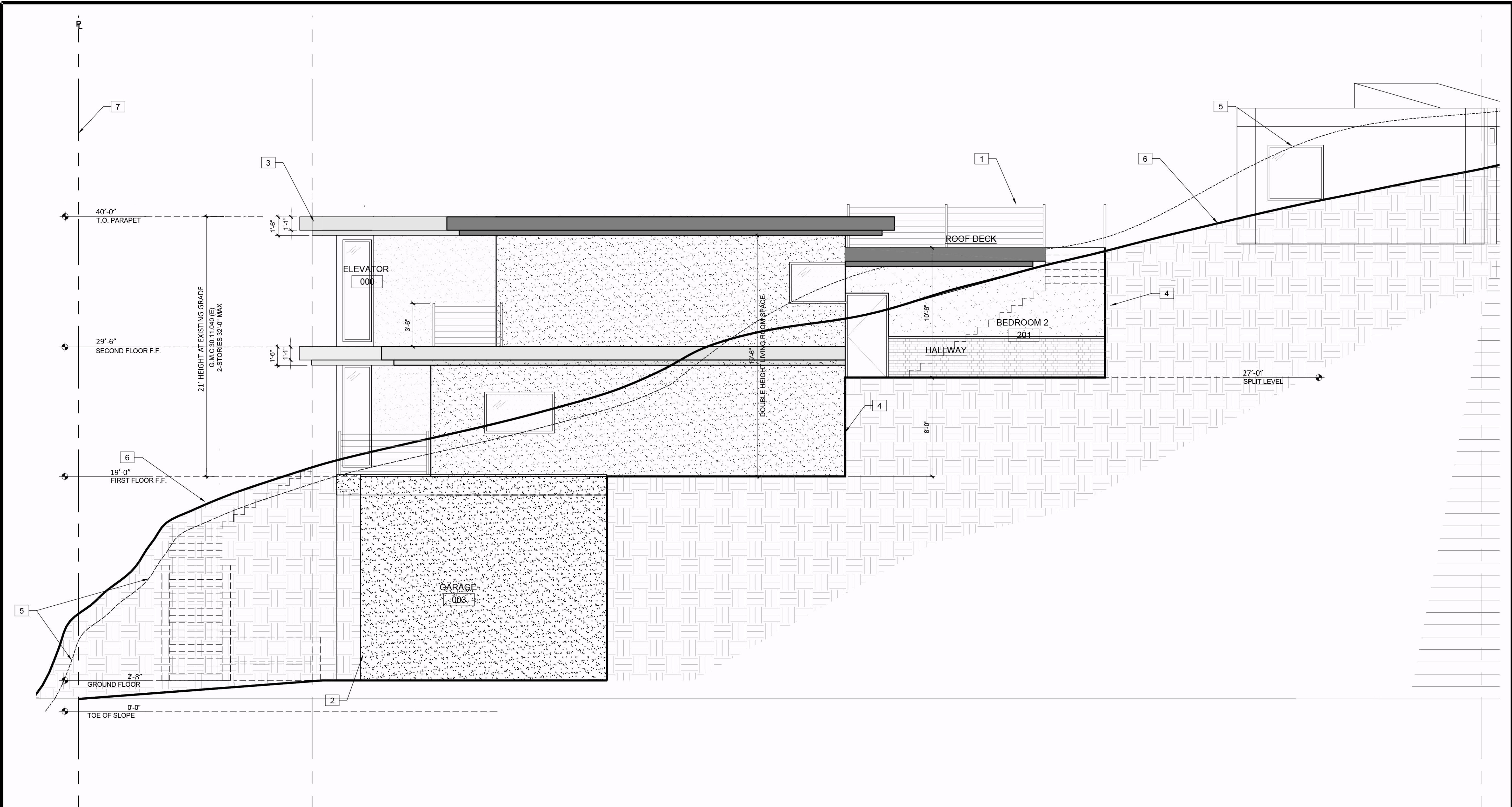
AS SHOWN

TITLE

BUILDING
SECTION

SHEET

A-5.1



SECTION THRU NORTH ELEVATION
SCALE: 1/4" = 1'-0"

1

- 1 ROOF DECK GUARDRAIL
- 2 ELEVATOR PIT BEYOND
- 3 CANOPY
- 4 RETAINING WALL
- 5 LINE OF ADJACENT SITE SLOPE
- 6 LINE OF SITE SLOPE
- 7 PROPERTY LINE

NOTES

KEYNOTES

LR/A

LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

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SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		
RELEASES:	DATE	DESCRIPTION
1	2-5-2020	PLANNING SUBMITTAL
.		
.		

ARCH/CONSULTANT:



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS

ISSUE	DATE	REVISION
1	2/26/21	Section Updates
2	.	.
3	.	.
4	.	.
5	.	.
6	.	.

DRAWN	CHECKED
STAFF	WR/ RM

CAD FILE

JOB NO.

18523

DATE

-

SCALE

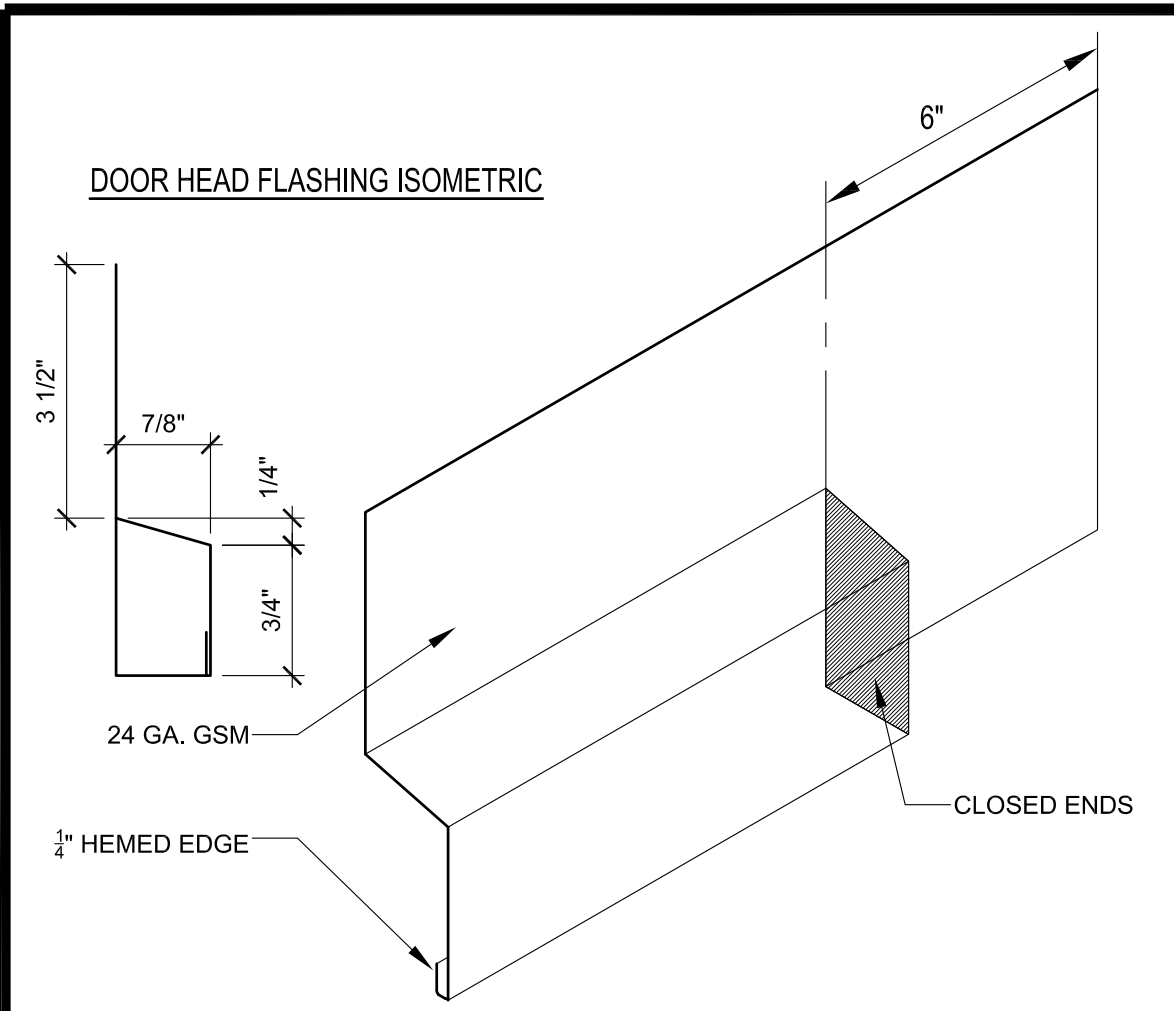
AS SHOWN

TITLE

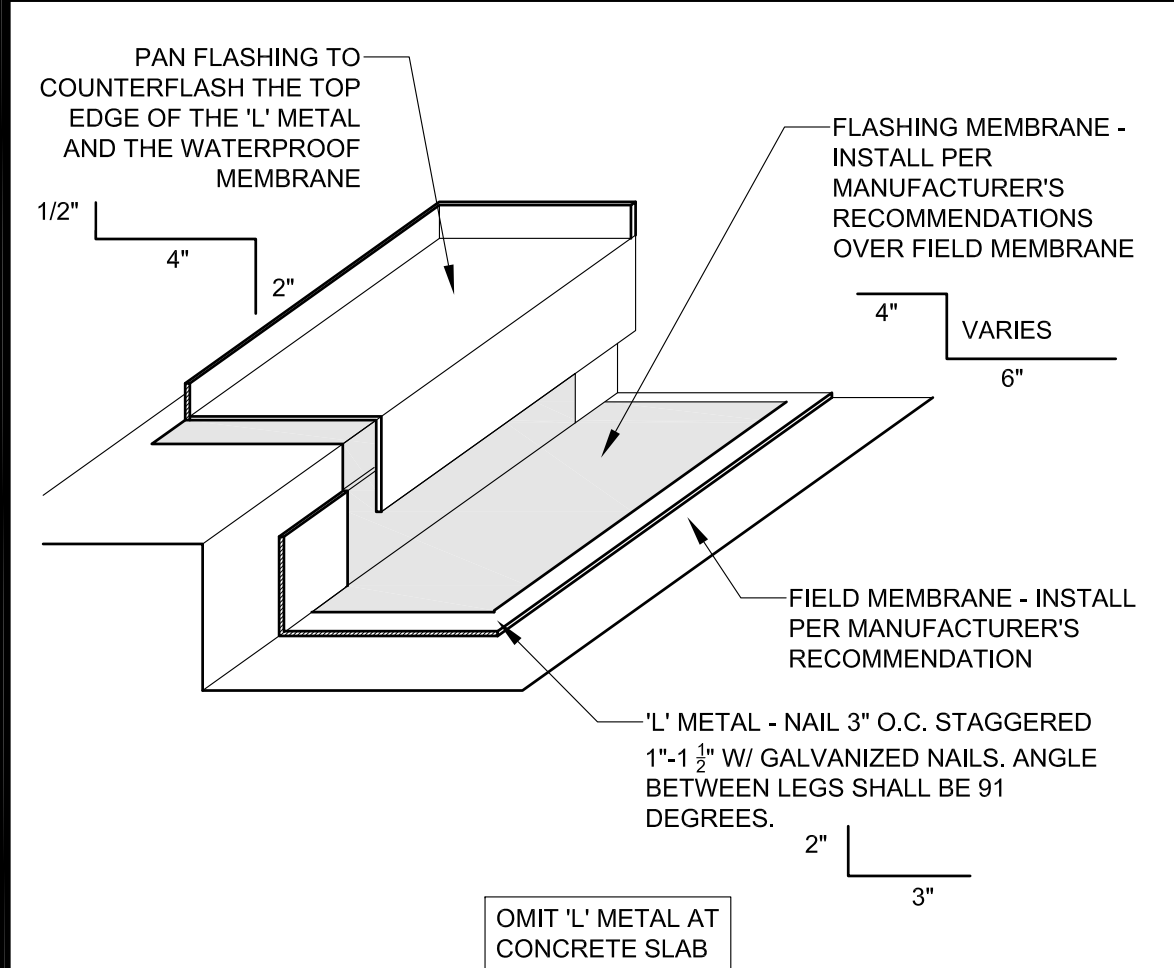
BUILDING
SECTION

SHEET

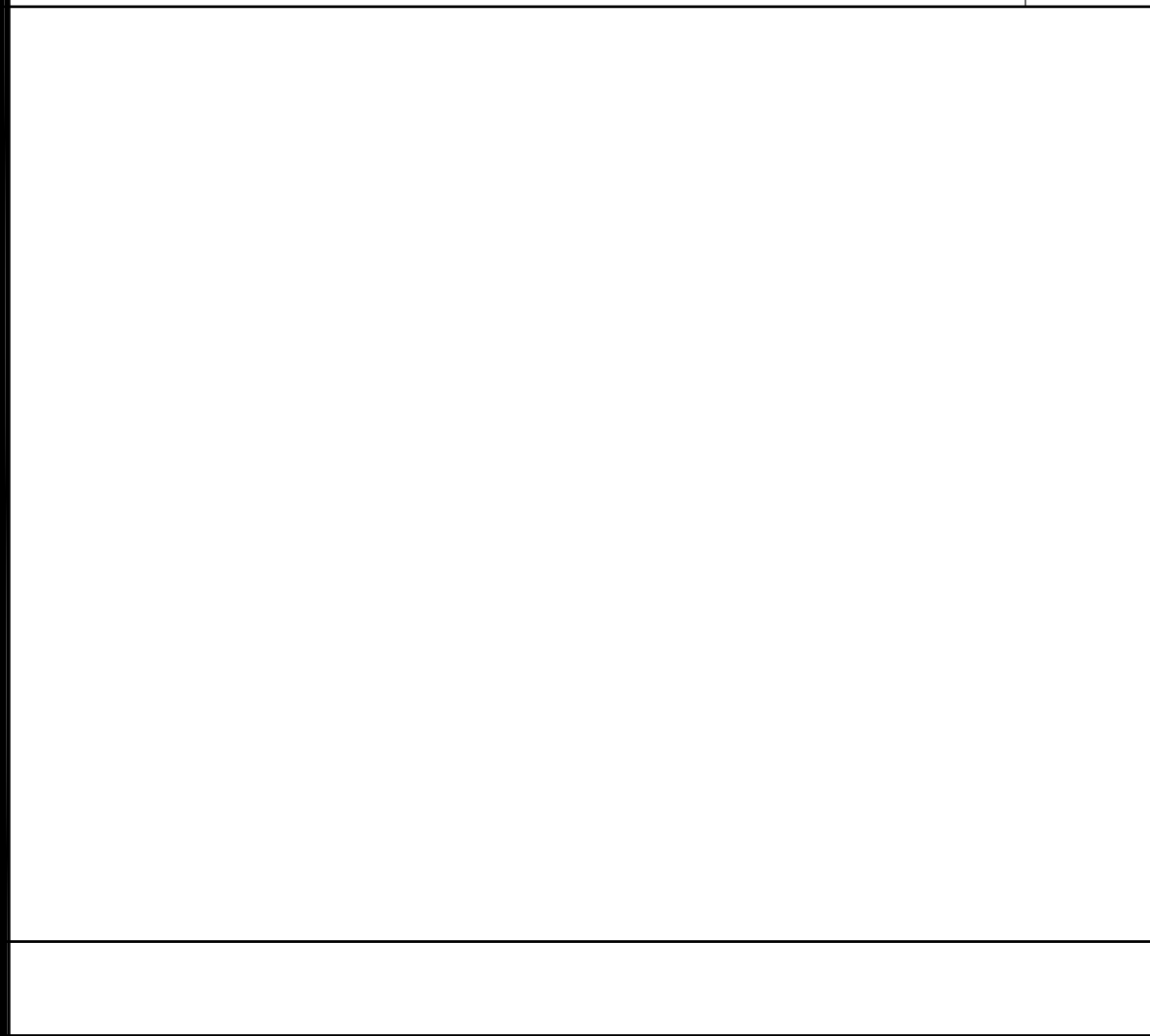
A-5.2



EXT. DOOR HEAD FLASHING DETAIL
SCALE: 3" = 1'-0" 17



PAN FLASHING INSTALLATION DETAIL
SCALE 3" = 1'-0" 18

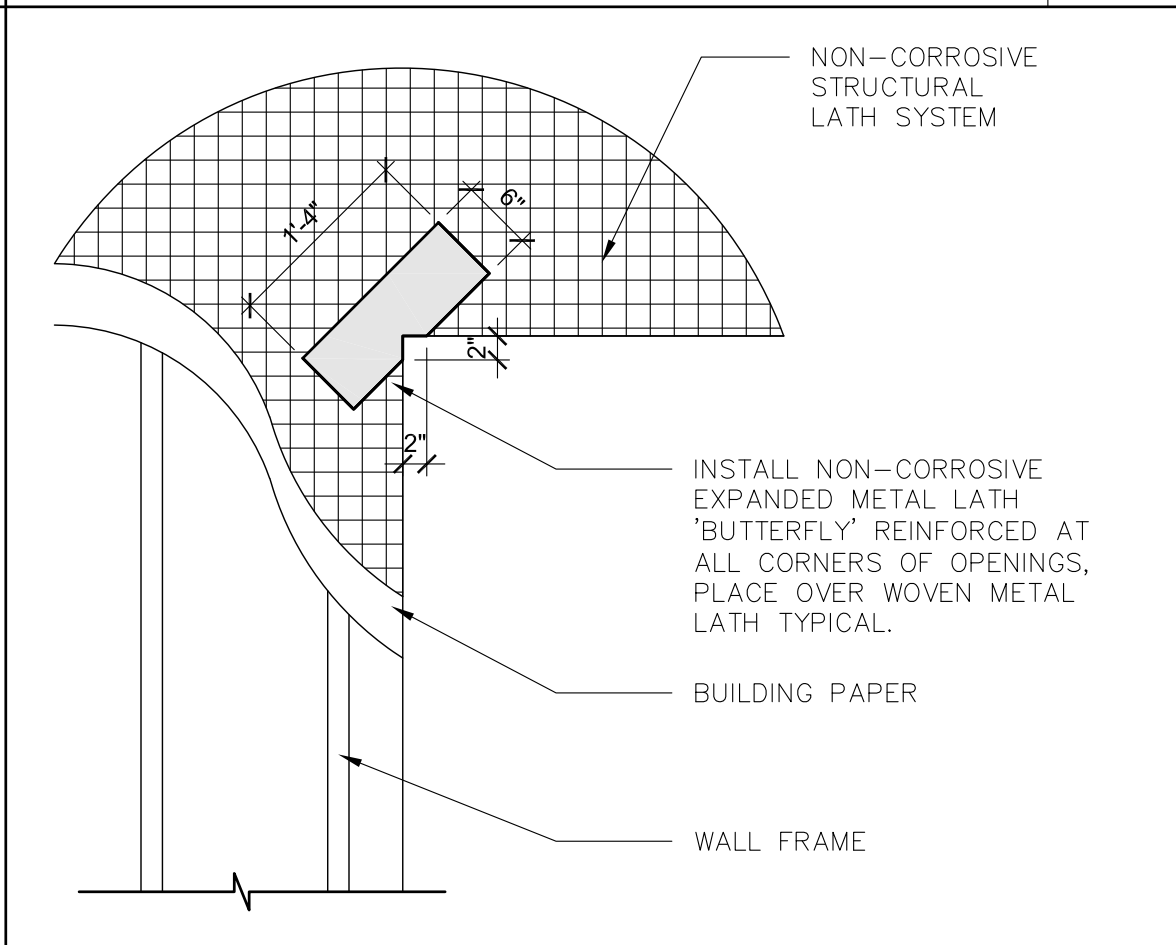
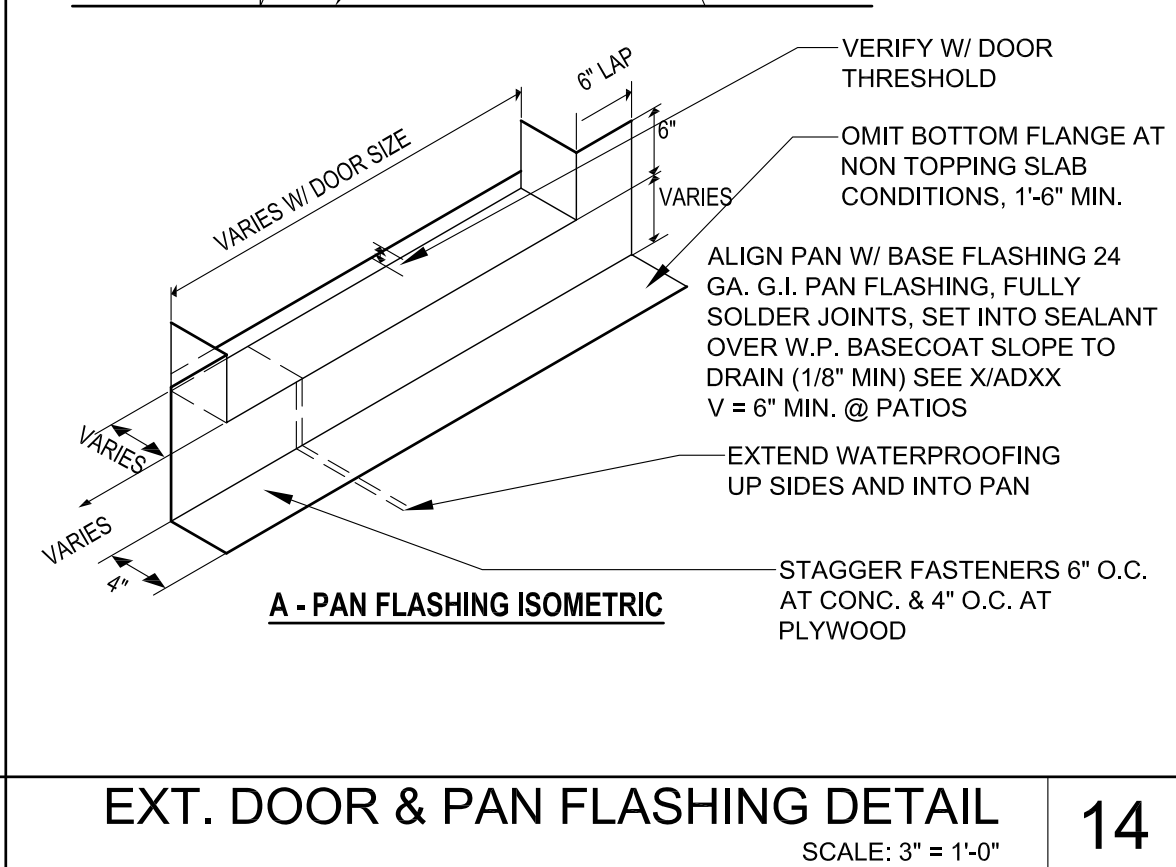
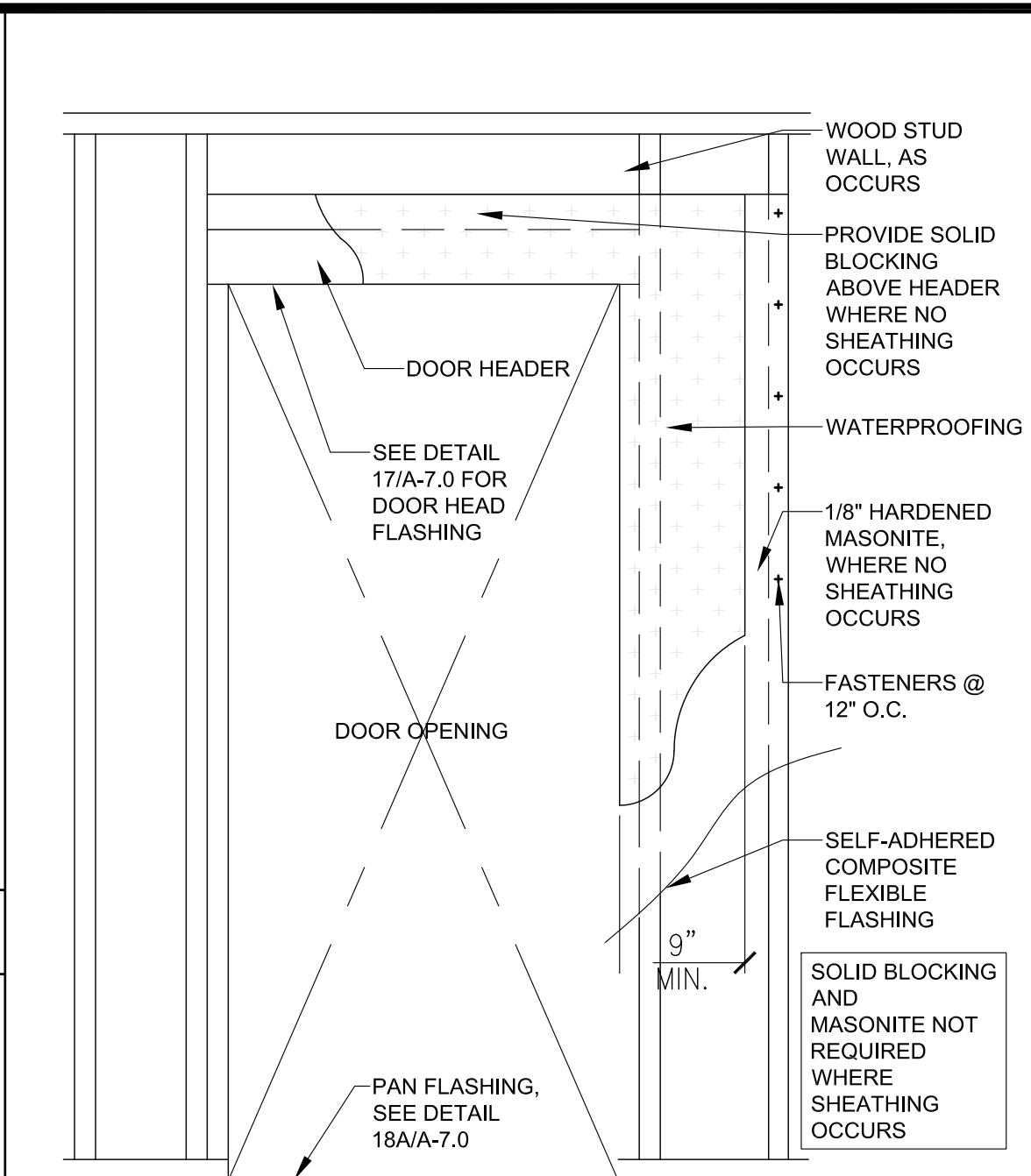


CORNER OPENING REINFORCEMENT
SCALE: 3/4" = 1'-0" 15

NOTE:
WINDOW MANUFACTURER TO MEET THE FOLLOWING SPECIFICATIONS:
U-FACTOR : <0.32
SHGC : <0.25

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

NOTE:
SEE A-7.02 FOR WINDOW FLASHING DETAIL

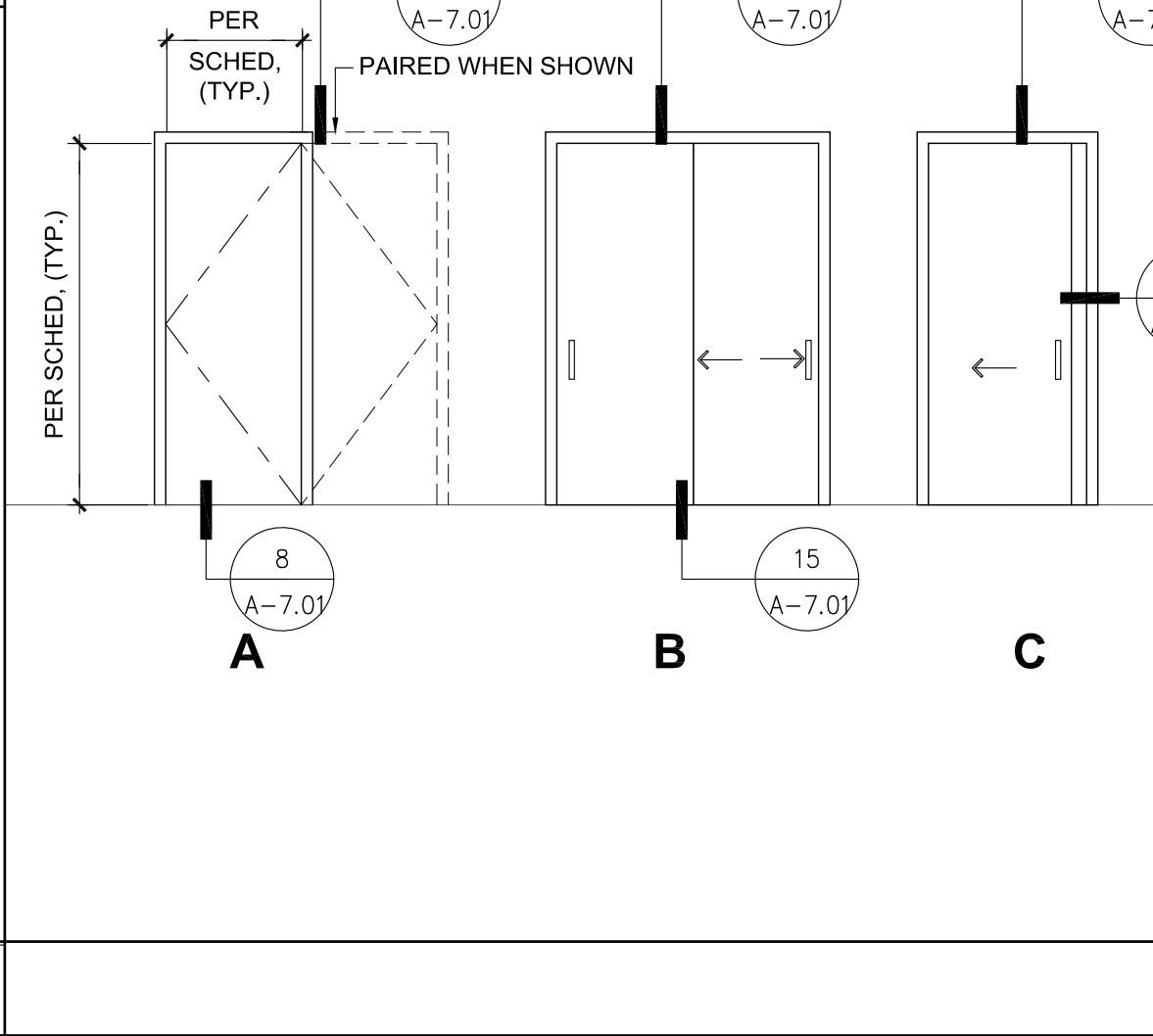
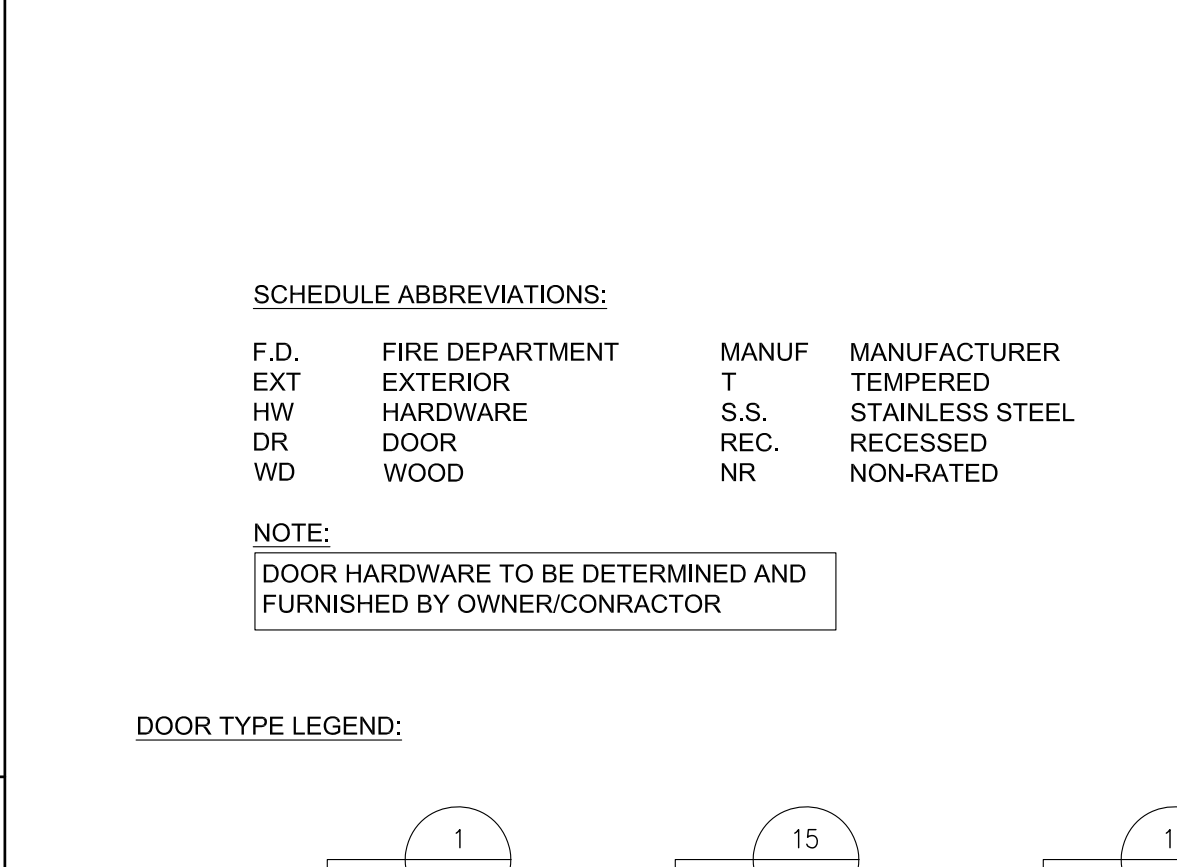


CORNER OPENING REINFORCEMENT
SCALE: 3/4" = 1'-0" 15

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NOTE:
SEE A-7.02 FOR WINDOW FLASHING DETAIL



DOOR SCHEDULE
3

NOTE:
WINDOW MANUFACTURER TO MEET THE FOLLOWING SPECIFICATIONS:
U-FACTOR : <0.32
SHGC : <0.25

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

NOTE:
SEE A-7.02 FOR WINDOW FLASHING DETAIL

DOOR SCHEDULE														
HEIGHT	THK.	TYPE	MAT'L		FIRE RATING	DETAILS								
			FRAME	DR.		HEAD	JAMB	THRESH.						
6'-8"		A	WD	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"		E	WD.	HWD.		15/A-7.01	15/A-7.01	15/A-7.01						
8'-0"		G	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"		A	WD.	HWD.		15/A-7.01	15/A-7.01	15/A-7.01						
6'-8"		-	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01						
6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"		A	WD.	HWD.		11/A-7.01	12/A-7.01	8/A-7.01						
6'-8"		A	WD.	HWD.		11/A-7.01	12/A-7.01	8/A-7.01						
6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01						
6'-8"	1-3/4"	E	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01						
6'-8"		A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01						
6'-8"	1-3/4"	E	WD	GLS		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01						
6'-8"		B	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"		B	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01						
6'-8"		B	WD.	HWD.		16/A-7.02	16/A-7.02	-						
8'-0"	1-3/4"	A	WD.	WD.		2/A-7.01	2/A-7.01	8/A-7.01						
6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01						
6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"		D	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01						
6'-8"	1-3/4"	C	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01						
6'-8"		A	WD.	HWD.		16/A-7.02	16/A-7.02	-						

NOTE:
WINDOW MANUFACTURER TO MEET THE FOLLOWING SPECIFICATIONS:
U-FACTOR : <0.32
SHGC : <0.25

NOTE:
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NOTE:
SEE A-7.02 FOR WINDOW FLASHING DETAIL

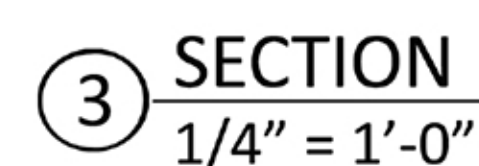
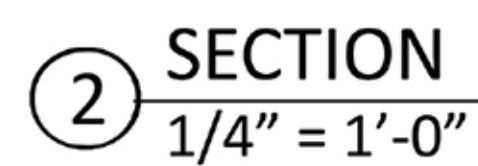
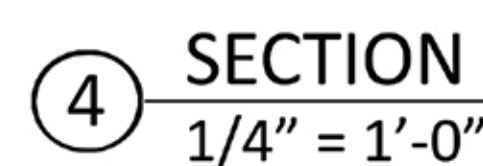
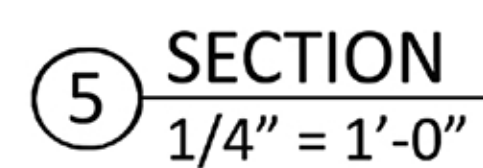
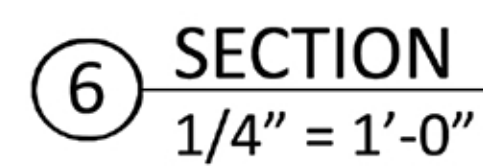
DOOR SCHEDULE																
FLOOR #	SPACE #	DOOR #	LOCATION	PR.	WIDTH	HEIGHT	THK.	TYPE	MAT'L		FIRE RATING	DETAILS			HARDWARE	REMARKS
									FRAME	DR.		HEAD	JAMB	THRESHOLD		
GARAGE	001	001A	GUEST ENTRY VESTIBULE	1	4'-0"	6'-8"		A	WD	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PRIVACY	GUEST ENTRY
		001B	GARAGE ENTRY	1	3'-0"	6'-8"		E	WD.	HWD.		15/A-7.01	15/A-7.01	15/A-7.01	PASS THRU	GARAGE ENTRY
		001C	GARAGE DOOR	1	16'-0"	8'-0"		G	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PRIVACY	GARAGE DOOR
		001D	ENTRY VESTIBULE	1	3'-0"	6'-8"		A	WD.	HWD.		15/A-7.01	15/A-7.01	15/A-7.01	PASS THRU	ENTRY ROOM
1ST	101	101A	ENTRY	1	4'-0"	6'-8"		-	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PRIVACY	ENTRY
		101B	STORAGE/GUEST CLOSET	2	3'-0"	6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	STORAGE CLOSET
		101C	PANTRY CLOSET	1	3'-0"	6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PRIVACY	PANTRY CLOSET
		101D	LAUNDRY ROOM	1	3'-2"	6'-8"		A	WD.	HWD.		11/A-7.01	12/A-7.01	8/A-7.01	PRIVACY	LAUNDRY ROOM
		101E	BATHROOM 1	1	3'-0"	6'-8"		A	WD.	HWD.		11/A-7.01	12/A-7.01	8/A-7.01	PASS THRU	BATHROOM
		101F	BATHROOM 1	2	3'-0"	6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	BATHROOM
		101G	BALCONY	2	3'-0"	6'-8"	1-3/4"	E	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	OFFICE ROOM
		101H	OFFICE	2	3'-0"	6'-8"		A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	BALCONY DOOR
		101I	BALCONY	1	3'-4"	6'-8"	1-3/4"	E	WD	GLS		1/A-7.01	1/A-7.01	8/A-7.01	LOCKSET	BALCONY DOOR
		201A	BERDOOM 1	2	3'-2"	6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	BEDROOM ENTRY
		201B	CLOSET 1	1	4'-4"	6'-8"		B	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PASS THRU	CLOSET 1
		201C	CLOSET 1	1	4'-4"	6'-8"		B	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PASS THRU	CLOSET 1
2ND	202	107D	BALCONY	1	3'-2"	6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PASS THRU	BALCONY
		202A	BEDROOM 2	2	3'-2"	6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	BEDROOM 2
	203	202B	CLOSET 2	1	4'-4"	6'-8"		B	WD.	HWD.		16/A-7.02	16/A-7.02	-	LATCH LOCK	CLOSET 2
		203A	RESTROOM	1	3'-2"	8'-0"	1-3/4"	A	WD.	WD.		2/A-7.01	2/A-7.01	8/A-7.01	LOCKSET	RESTROOM
	204	203B	TOILET ROOM	2	2'-10"	6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	TOILET ROOM
		204A	BALCONY	1	3'-2"	6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PASS THRU	BALCONY
	205	205A	MASTER BEDROOM	1	5'-0"	6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PASS THRU	MASTER ENTRY
		205B	BALCONY	1	5'-0"	6'-8"		D	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PASS THRU	BALCONY
		205C	MASTER CLOSET	2	4'-0"	6'-8"	1-3/4"	C	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	MASTER CLOSET
		205D	TOILET ROOM	1	2'-8"	6'-8"		A	WD.	HWD.		16/A-7.02	16/A-7.02	-	LATCH LOCK	TOILET ROOM

NOTE:
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U-FACTOR : <0.32
SHGC : <0.25

NOTE:
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NOTE:
SEE A-7.02 FOR WINDOW FLASHING DETAIL

DOOR SCHEDULE																
FLOOR #	SPACE #	DOOR #	LOCATION	PR.	WIDTH	HEIGHT	THK.	TYPE	MAT'L		FIRE RATING	DETAILS			HARDWARE	REMARKS
									FRAME	DR.		HEAD	JAMB	THRESHOLD		
GARAGE	001	001A	GUEST ENTRY VESTIBULE	1	4'-0"	6'-8"		A	WD	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PRIVACY	GUEST ENTRY
		001B	GARAGE ENTRY	1	3'-0"	6'-8"		E	WD.	HWD.		15/A-7.01	15/A-7.01	15/A-7.01	PASS THRU	GARAGE ENTRY
		001C	GARAGE DOOR	1	16'-0"	8'-0"		G	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PRIVACY	GARAGE DOOR
		001D	ENTRY VESTIBULE	1	3'-0"	6'-8"		A	WD.	HWD.		15/A-7.01	15/A-7.01	15/A-7.01	PASS THRU	ENTRY ROOM
1ST	101	101A	ENTRY	1	4'-0"	6'-8"		-	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PRIVACY	ENTRY
		101B	STORAGE/GUEST CLOSET	2	3'-0"	6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	STORAGE CLOSET
		101C	PANTRY CLOSET	1	3'-0"	6'-8"		A	WD.	HWD.		1/A-7.01	1/A-7.01	8/A-7.01	PRIVACY	PANTRY CLOSET
		101D	LAUNDRY ROOM	1	3'-2"	6'-8"		A	WD.	HWD.		11/A-7.01	12/A-7.01	8/A-7.01	PRIVACY	LAUNDRY ROOM
		101E	BATHROOM 1	1	3'-0"	6'-8"		A	WD.	HWD.		11/A-7.01	12/A-7.01	8/A-7.01	PASS THRU	BATHROOM
		101F	BATHROOM 1	2	3'-0"	6'-8"	1-3/4"	A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	BATHROOM
		101G	BALCONY	2	3'-0"	6'-8"	1-3/4"	E	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	OFFICE ROOM
		101H	OFFICE	2	3'-0"	6'-8"		A	WD.	GLS		2/A-7.01	2/A-7.01	4/A-7.01	LOCKSET	BALCONY DOOR
		101I	BALCONY	1	3'-4"	6'		A	WD.	HWD.		15/A-7.01	15/A-7.01	15/A-7.01	PASS THRU	BALCONY



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PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF
THIS PROJECT AT A LATER DATE. THE ARCHITECT SHALL
INDemnIFY AND DEFEND THE ARCHITECT AGAINST ALL DAMAGES, CLAIMS
OR LOSSES, INCLUDING REASONABLE ATTORNEY'S FEES, INCURRED BY
THE ARCHITECT IN DEFENSE OF THIS AGREEMENT WITHOUT THE WRITTEN
AUTHORIZATION OF THE ARCHITECT OF RECORD.

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:	.	.
ADD'L G. DEPT.:	.	.
ADD'L SET:	.	.

RELEASES:		
D.	DATE	DESCRIPTION
1	2-5-2020	PLANNING SUBMITTAL
2	4-22-2020	PLANNING RESUBMITTAL

RESEARCH/CONSULTANT:



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

JENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

[illegible]

RAWN _____ CHECKED _____

STAFF WR/ RM

AD FILE

NR NO.

8523

2-28-2020

SALE

AS SHOWN

TLE

RETAINING WALLS

PLAN

SECTIONS

MEET

RW-1.0

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLD'G. DEPT.:		
BID SET:		

RELEASES:		
NO.	DATE	DESCRIPTION
①	2-5-2020	PLANNING SUBMITTAL
②	4-22-2020	PLANNING RESUBMITTAL
•	•	•

ARCH/CONSULTANT:



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS	ISSUE	DATE	REVISION
1	3-5-21		Add BOW notes
2			
3			
4			
5			
6			

DRAWN	CHECKED
STAFF	WR/ RM

CAD FILE

JOB NO.
18523

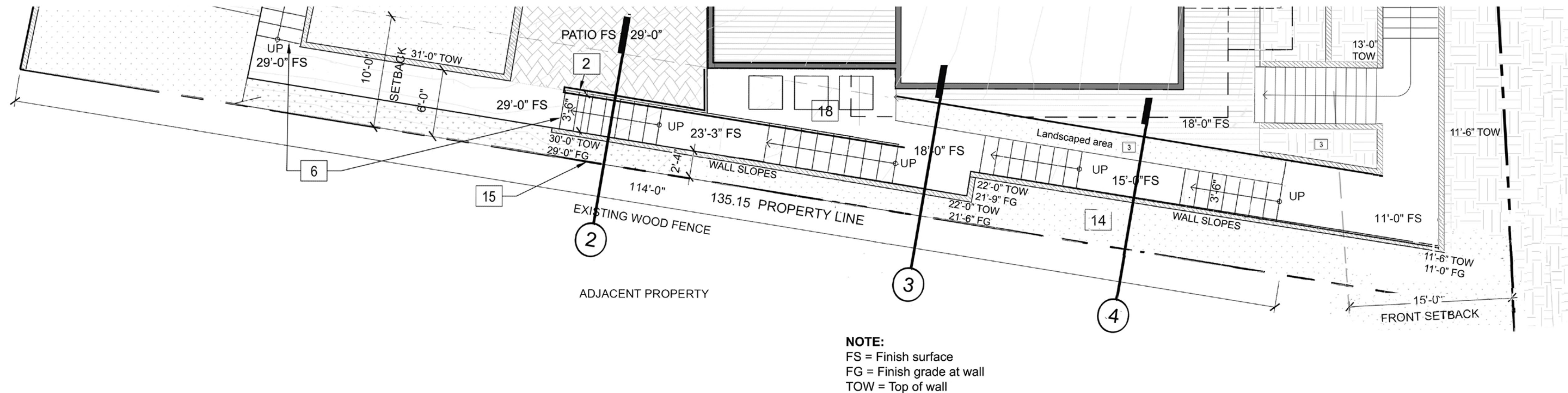
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3-9-21

SCALE
AS SHOWN

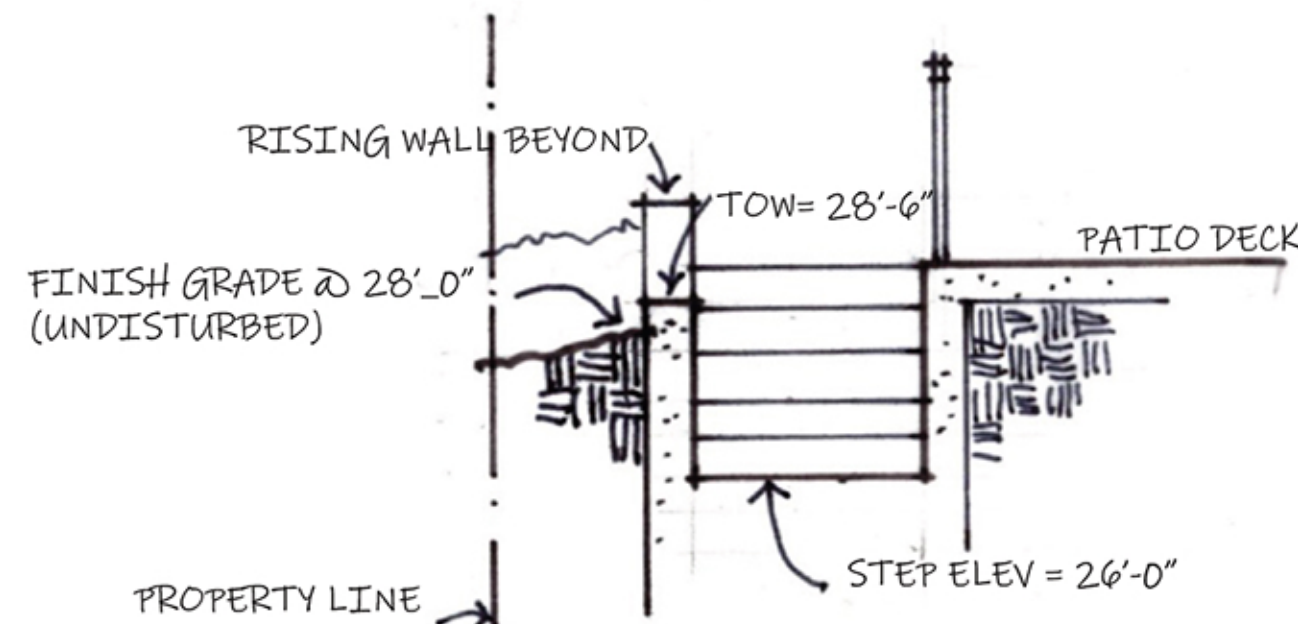
TITLE
RETAINING WALLS
PLAN
SECTIONS

SHEET

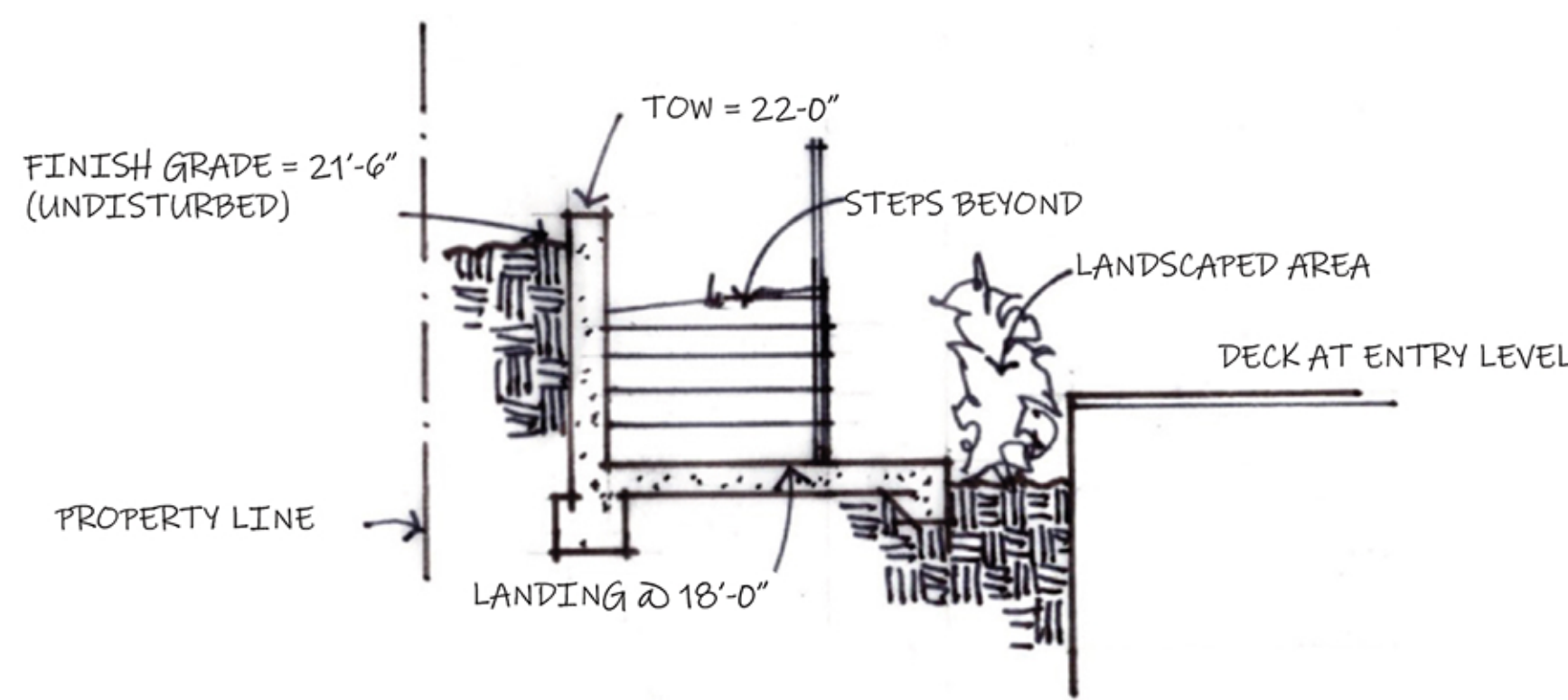
RW-2.0



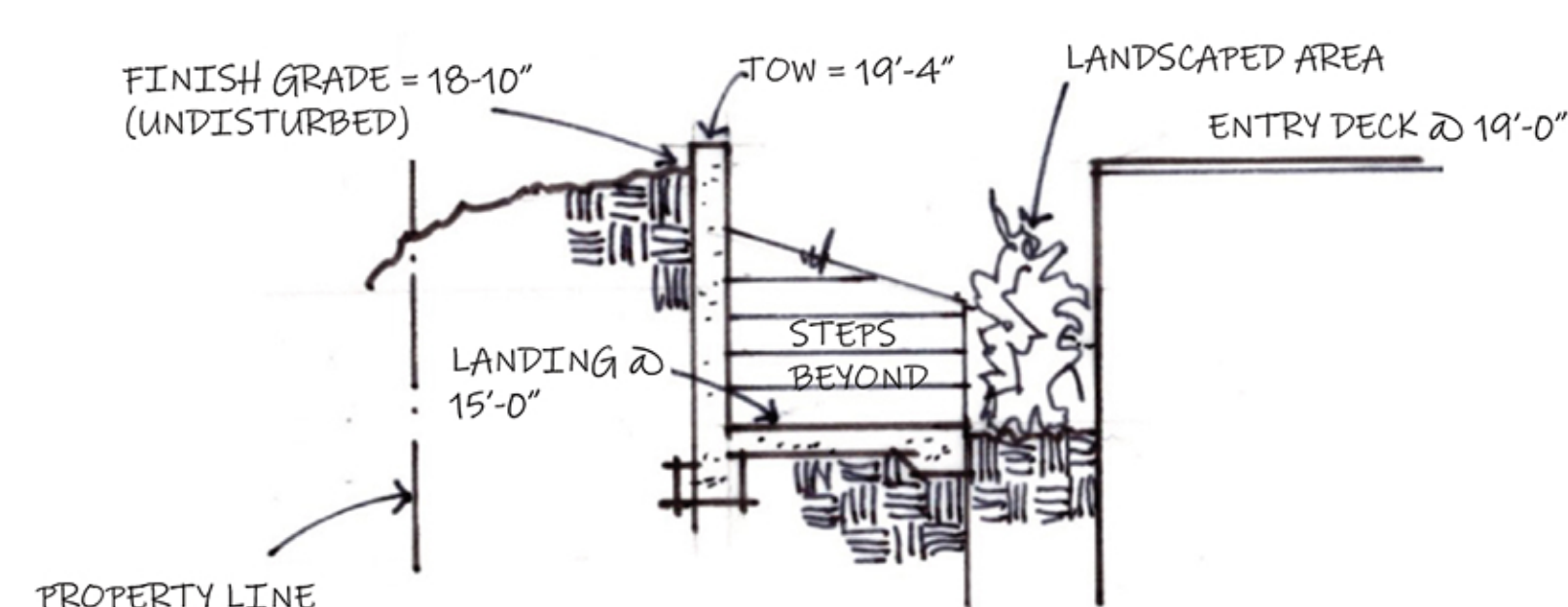
1 PARTIAL SITE PLAN - SOUTH RETAINING WALLS
1/8" = 1'-0"



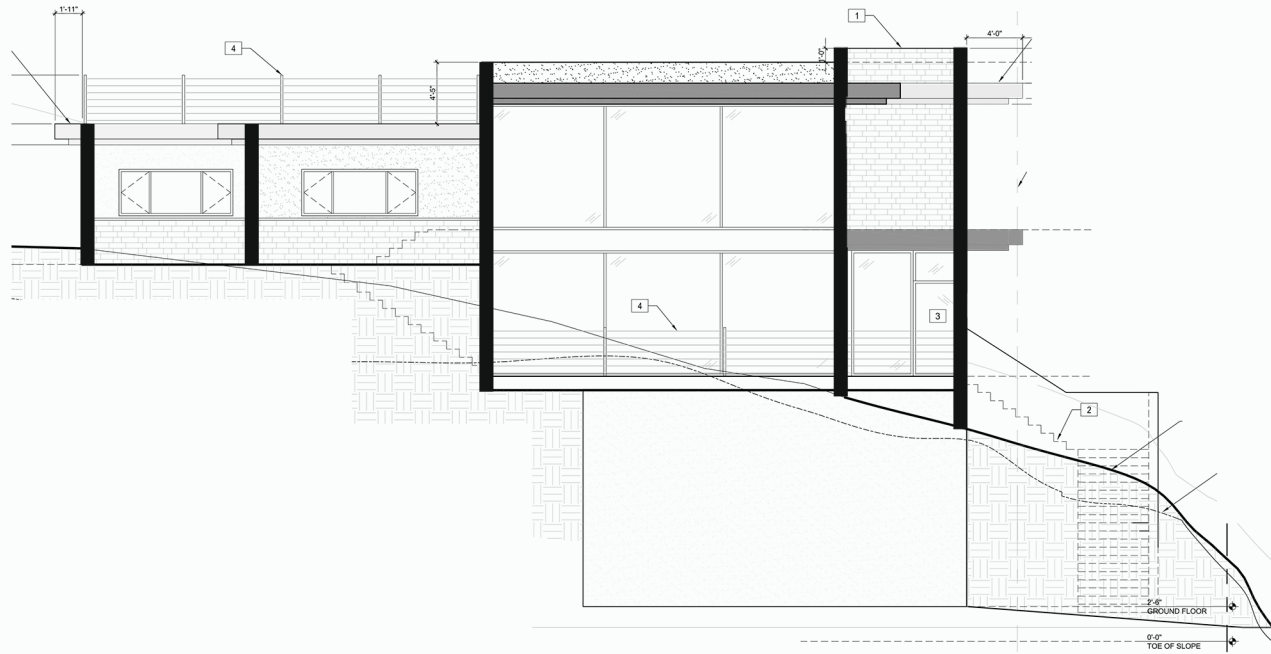
2 SECTION
1/4" = 1'-0"



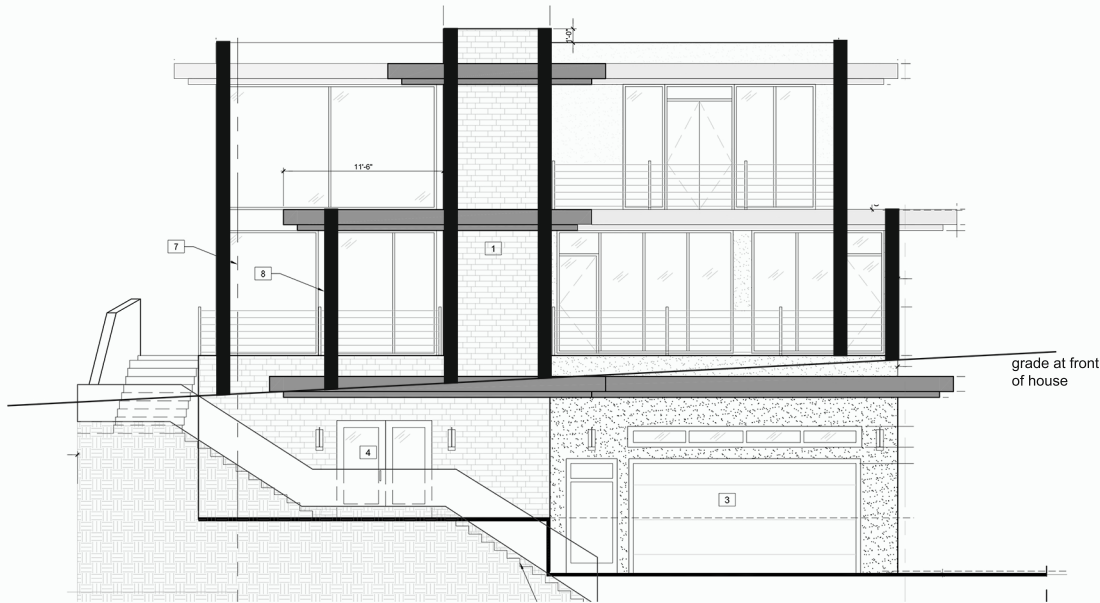
3 SECTION
1/4" = 1'-0"



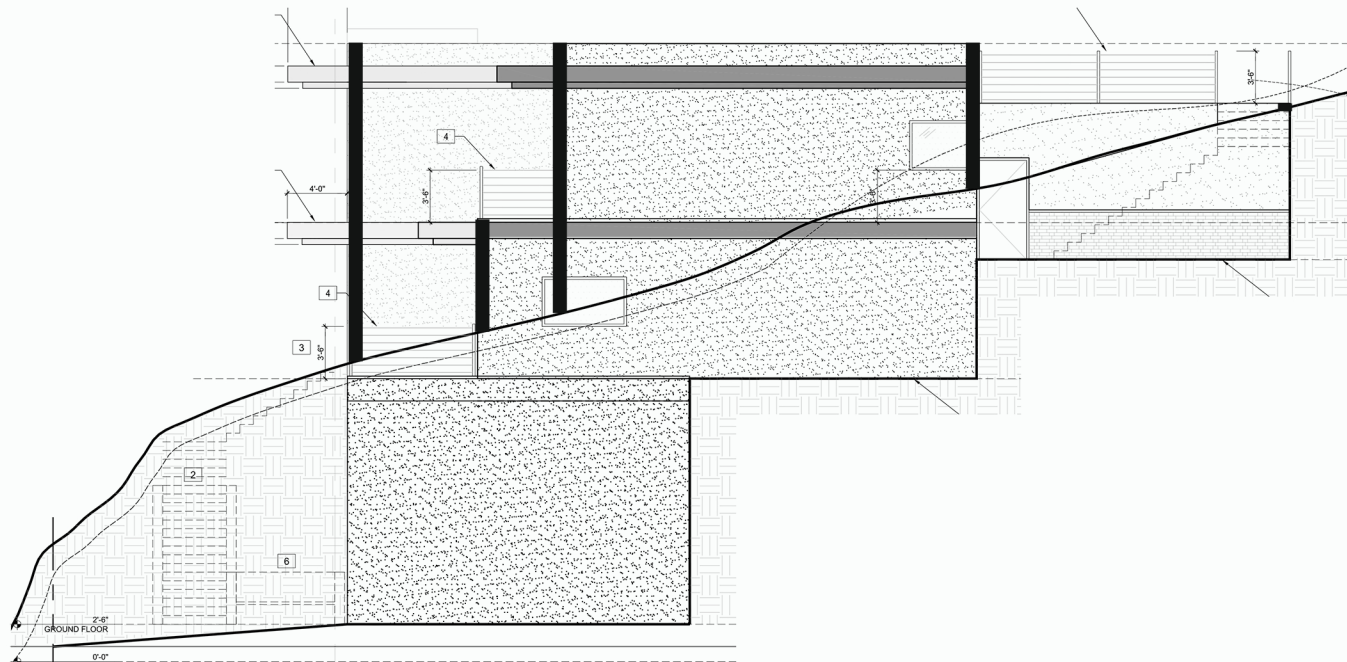
4 SECTION
1/4" = 1'-0"



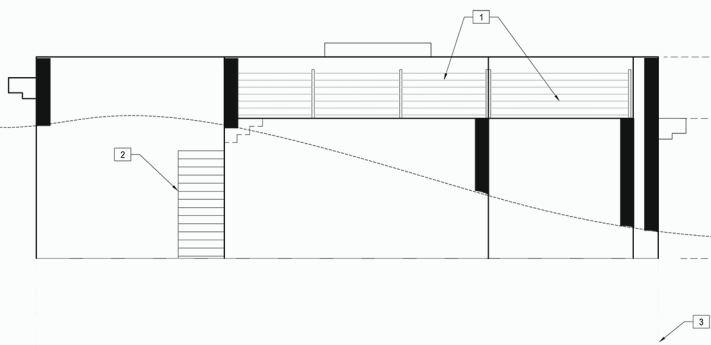
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

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LR/ARCHITECTURE
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Construction Management
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PROJECT
3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT
Raymond Sohrabian
3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS	ISSUE	DATE	REVISION
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STAFF	WR/ RM

CAD FILE
18.523.00 PLNG A-4.0 Exterior Elevations.dwg

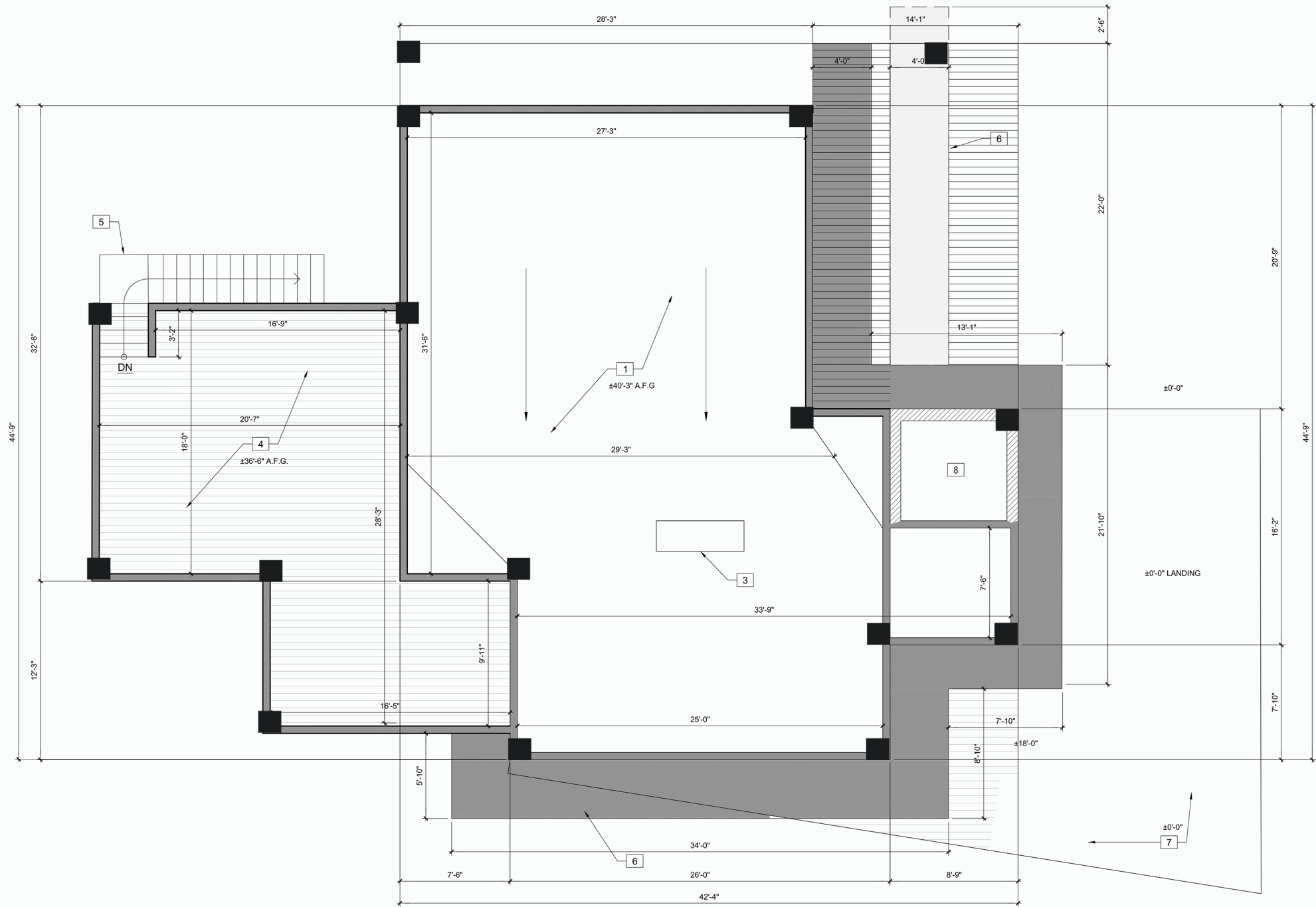
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18523

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SCALE
AS SHOWN

TITLE
EXTERIOR ELEVATIONS
WITH
TEMPORARY FRAME
LOCATIONS

SHEET
A-4.0.TF



Temporary Post locations

ROOF PLAN
SCALE: 1/4"= 1'-0"

1

- 1 SINGLE-PLY TPO ROOFING MATERIAL CLASS "A"
- 2 EXTERIOR WALL OUTLINE BELOW
- 3 CHIMNEY
- 4 ROOF DECK BELOW
- 5 STAIRS TO ROOF DECK
- 6 CANOPY
- 7 EXTERIOR STAIRS BELOW TO ENTRY
- 8 ELEVATOR SHAFT

BUILDING DEPARTMENT NOTES

GENERAL NOTES

FIRE BLOCKING NOTES

ATTIC VENT CALCULATIONS

KEYNOTES

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CA 91206

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18523

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SCALE
AS SHOWN

TITLE
ROOF PLAN WITH
TEMPORARY POSTS

SHEET
A-3.0.TP



- 1 LINE OF BUILDING STRUCTURE BELOW
- 2 EXISTING CMU WALL
- 3 NEW PAVED DRIVEWAY
- 4 CHIMNEY
- 5 RETAINING WALL
- 6 EXTERIOR STEPS
- 7 ROOF DECK
- 8 ROOF
- 9 STAIRS TO ROOF DECK
- 10 BALCONY BELOW
- 11 FUTURE SINGLE STORY ADU
- 12 DECK AT ENTRY LEVEL
- 13 CANOPY
- 14 PLANTER

KEYNOTES

- 1 FIRST FLOOR WINDOW/DOORS OPEN TO A PATIO WELL WITH RETAINING WALL ACTING AS A VISUAL SCREEN
- 2 SINGLE SECOND FLOOR WINDOW
- 3 WINDOWS AT 3033 ARE APPROXIMATELY 12 FT BELOW 1ST FLOOR FINISH ELEVATION OF NEW STRUCTURE.
- 4 WINDOWS AT 3030 ARE APPROXIMATELY 5 FT BELOW ROAD SURFACE

SITE PLAN
SCALE: 1/8" = 1'-0"

1

LEGEND

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PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

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18.523.00 PLNG wl-1.0 window location exhibit.dwg

JOB NO.

18523

DATE

SCALE

AS SHOWN

TITLE

WINDOW LOCATION
EXHIBIT

SHEET

WL-1.0







EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

- 1 Smooth finish stucco - DE6365 "Cold Morning"
- 2 Norstone natural stone - "Ochre Blend"
- 3 Paint color - DE6384 "Iron Fixture"
- 4 Paint color - DE6369 "Legendary Gray"
- 5 Vision glass - Vitro Solar Grey

All Paint colors by Dunn Edwards

KEYNOTES

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GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

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JOB NO.
18523

DATE
11/15/2018

SCALE
AS SHOWN

TITLE
EXTERIOR
ELEVATIONS

SHEET

A-4.0



SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

- 1 Smooth finish stucco - DE6365 "Cold Morning"
- 2 Norstone natural stone - "Ochre Blend"
- 3 Paint color - DE6384 "Iron Fixture"
- 4 Paint color - DE6369 "Legendary Gray"
- 5 Vision glass - Vitro Solar Grey

All Paint colors by Dunn Edwards

KEYNOTES

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3035 EDGEWICK RD GLENDALE
CA 91206

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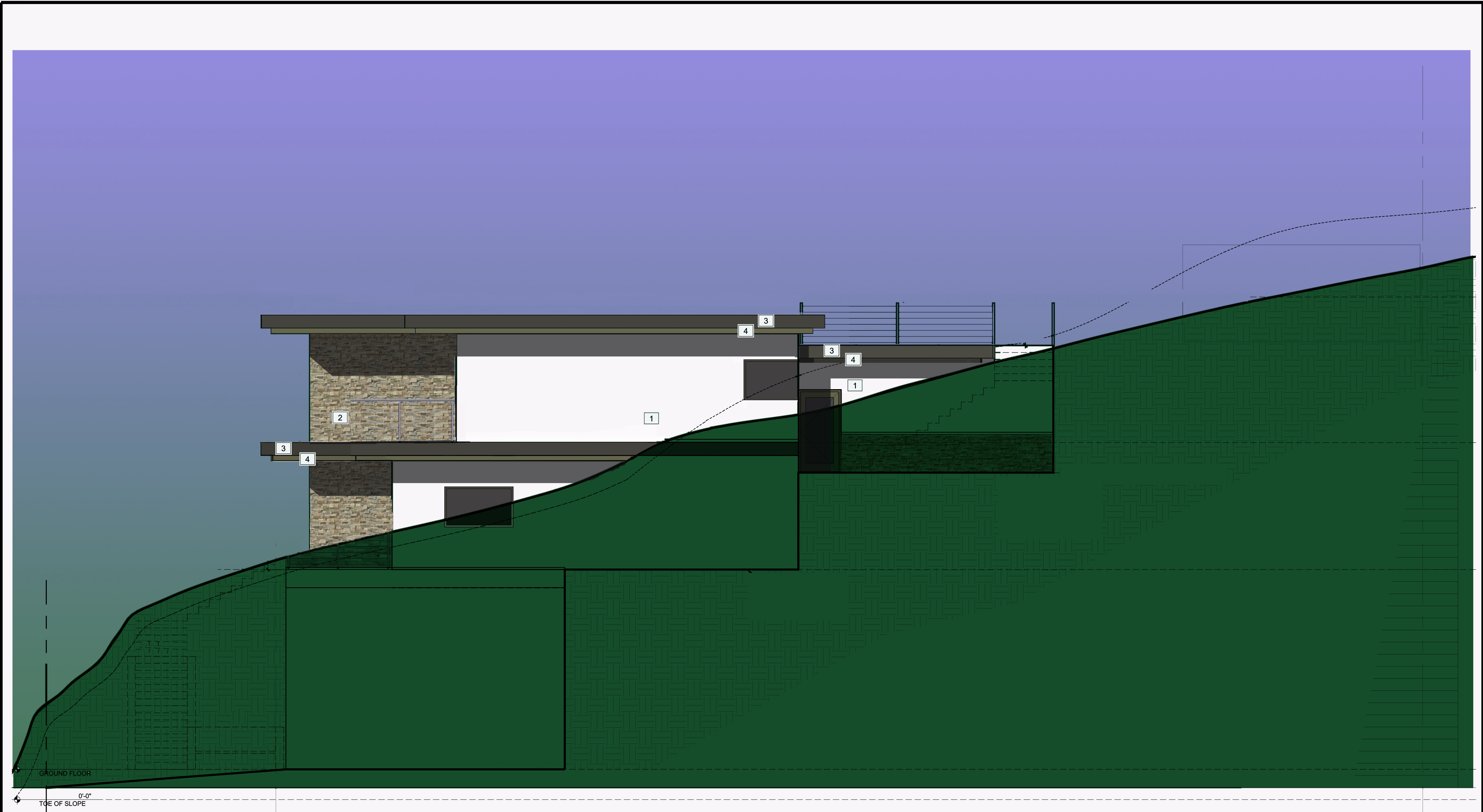
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SCALE
AS SHOWN

TITLE
EXTERIOR
ELEVATIONS

SHEET

A-4.1



NORTH EXTERIOR ELEVATION 1
SCALE: 1/4" = 1'-0"

- 1 Smooth finish stucco - DE6365 "Cold Morning"
 - 2 Norstone natural stone - "Ochre Blend"
 - 3 Paint color - DE6384 "Iron Fixture"
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 - 5 Vision glass - Vitro Solar Grey
- All Paint colors by Dunn Edwards

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SCALE

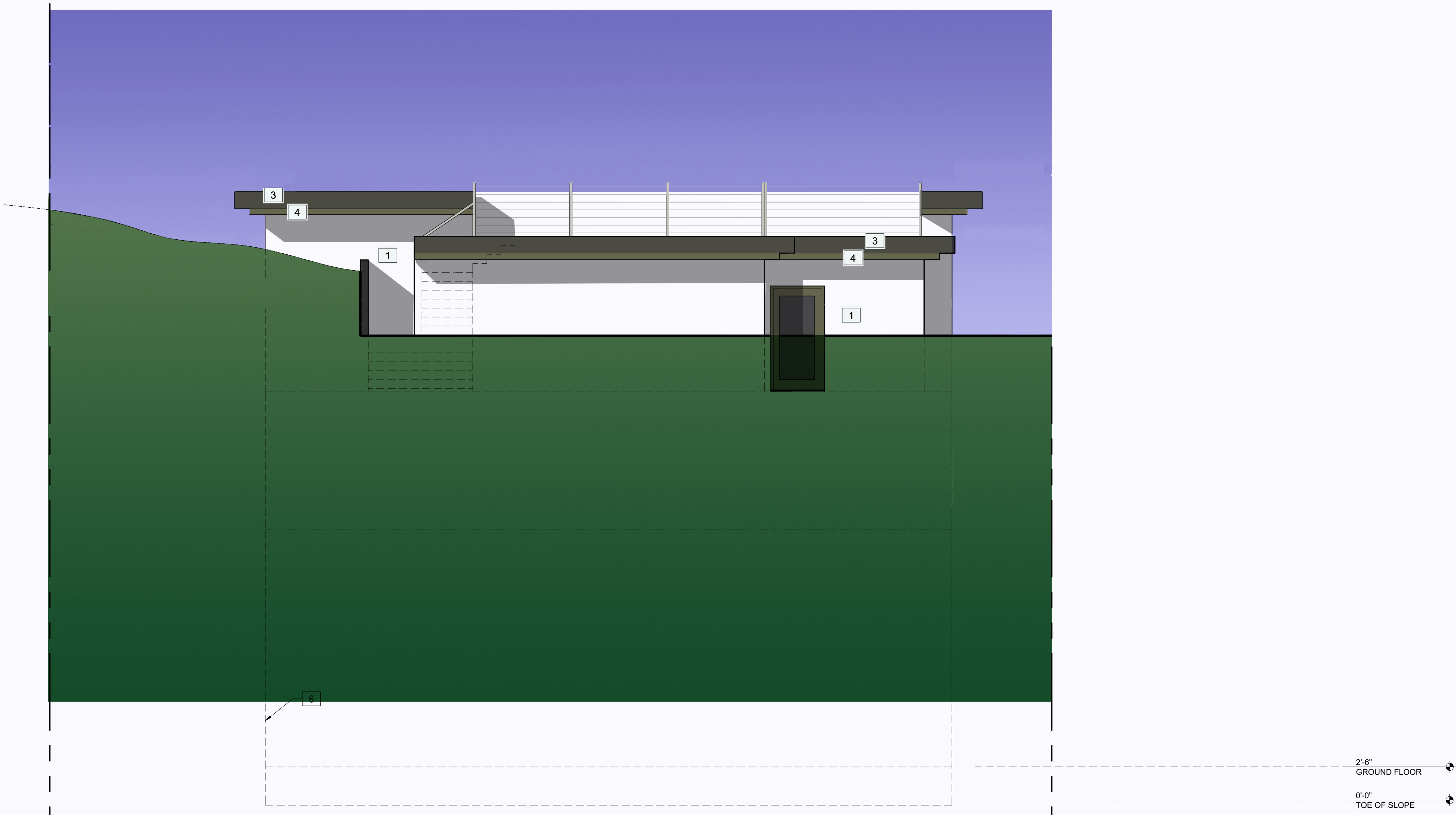
AS SHOWN

TITLE

EXTERIOR
ELEVATIONS

SHEET

A-4.2



WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

1

- 1 Smooth finish stucco - DE6365 "Cold Morning"
- 2 Norstone natural stone - "Ochre Blend"
- 3 Paint color - DE6384 "Iron Fixture"
- 4 Paint color - DE6369 "Legendary Gray"
- 5 Vision glass - Vitro Solar Grey

All Paint colors by Dunn Edwards

KEYNOTES

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GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

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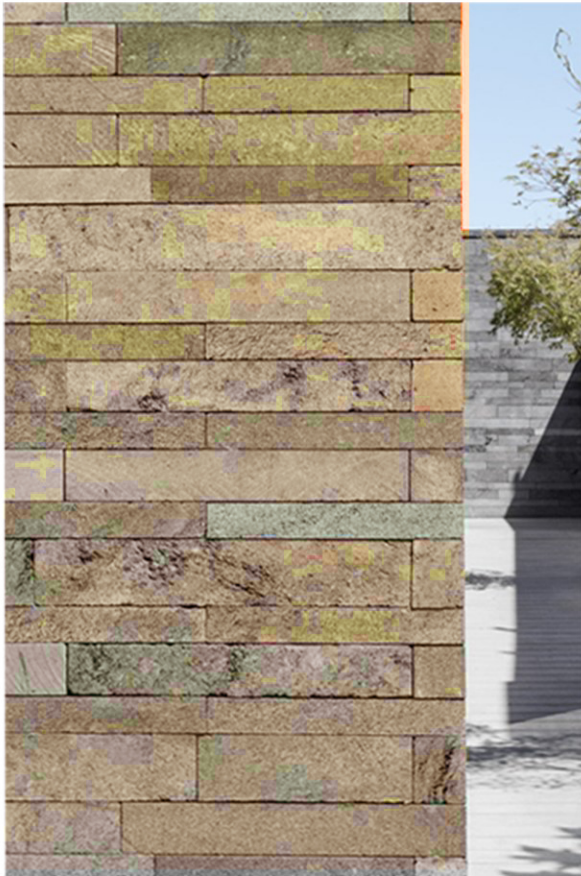
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TITLE

EXTERIOR
ELEVATIONS

SHEET

A-4.3



Cable Railing System



Image representative of window, door and garage treatments



Winchester Grey manufactured wood deck by Trex



Typical window frame
Black anodized aluminum

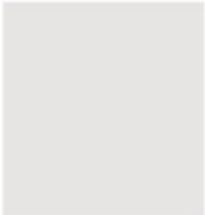


Midtown I/O Led Sconce
by Sonneman Lighting -
18' tall

Paint colors:
All colors by
Dunn Edwards

Stucco
1

DE6365
Cold Morning



Primary horizontal
overhang
3

DE6384
Iron Fixture



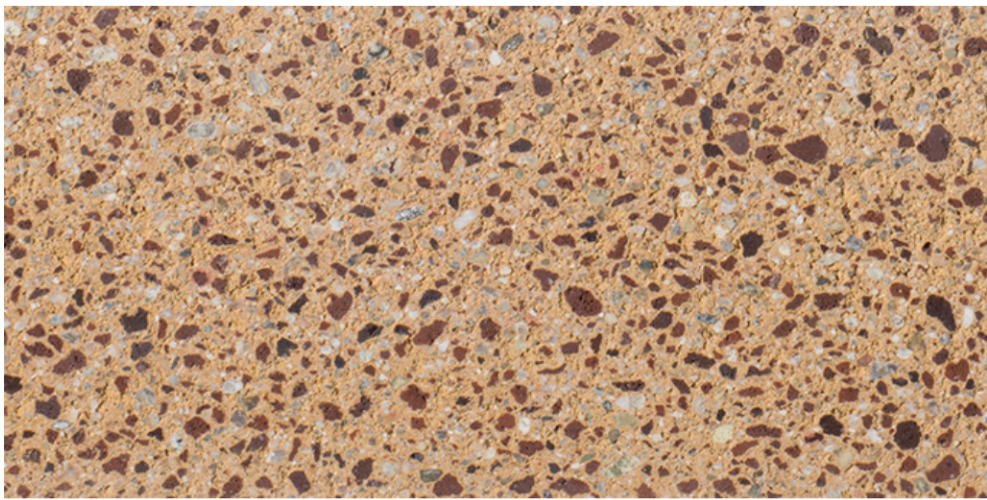
Garage door
Recessed eave
4

DE6369
Legendary Gray



3035 Edgewick Rd

CMU material for retaining walls



Angeles Block Co
Goldenrod Burnished
6x8x16



L-1

At the middle of the property is the *Picture 7* left with G,H manzanita plants & *Picture 8* below right with tree E Oak and G,H manzanita on left with oleander (I) in the center.



Prepared by:

Mary Beth MacKenzie
Board Certified Arborist WE 6121



The only protected tree in this part of the property is tree B the Coast Live Oak with DBH of 11 inches, canopy spread 20 feet, and health rated as good. At this stage it would be rated as young and not fully mature.

Above picture 4 and below picture 5.

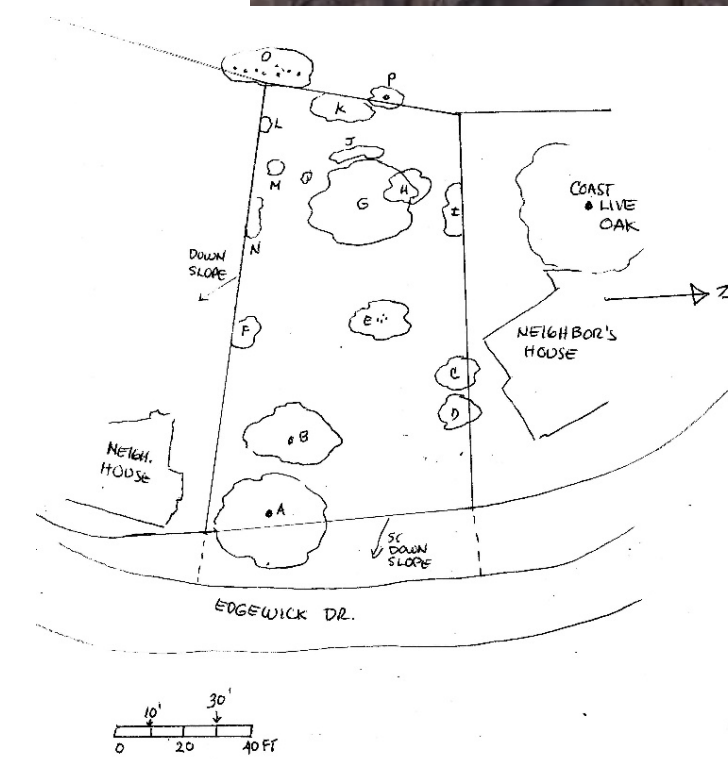


21 September 2019

Arborist report for Ray Sohrabian
SITE:
3035 Edgewick Road
Glendale



Above picture 1, bottom left picture 2, bottom right picture 3. Front view of property with diagram on left plotting the location of the trees and bushes. Bottom picture faces the more northerly portion of the property (right side).



ARBORIST'S REPORT

LR/A
LR/ARCHITECTURE

Construction Management

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Robert F. Adams, ASLA
EARTHKNOWER STUDIO
LANDSCAPE ARCHITECT STATE OF CALIFORNIA L.C.
225. W. FIGUEROA STREET NO. 4726
SANTA BARBARA, CA 93101
(805) 722-2144
robert@earthknower .com

WEB: EARTHKNOWER .COM

LANDSCAPE ARCHITECT



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

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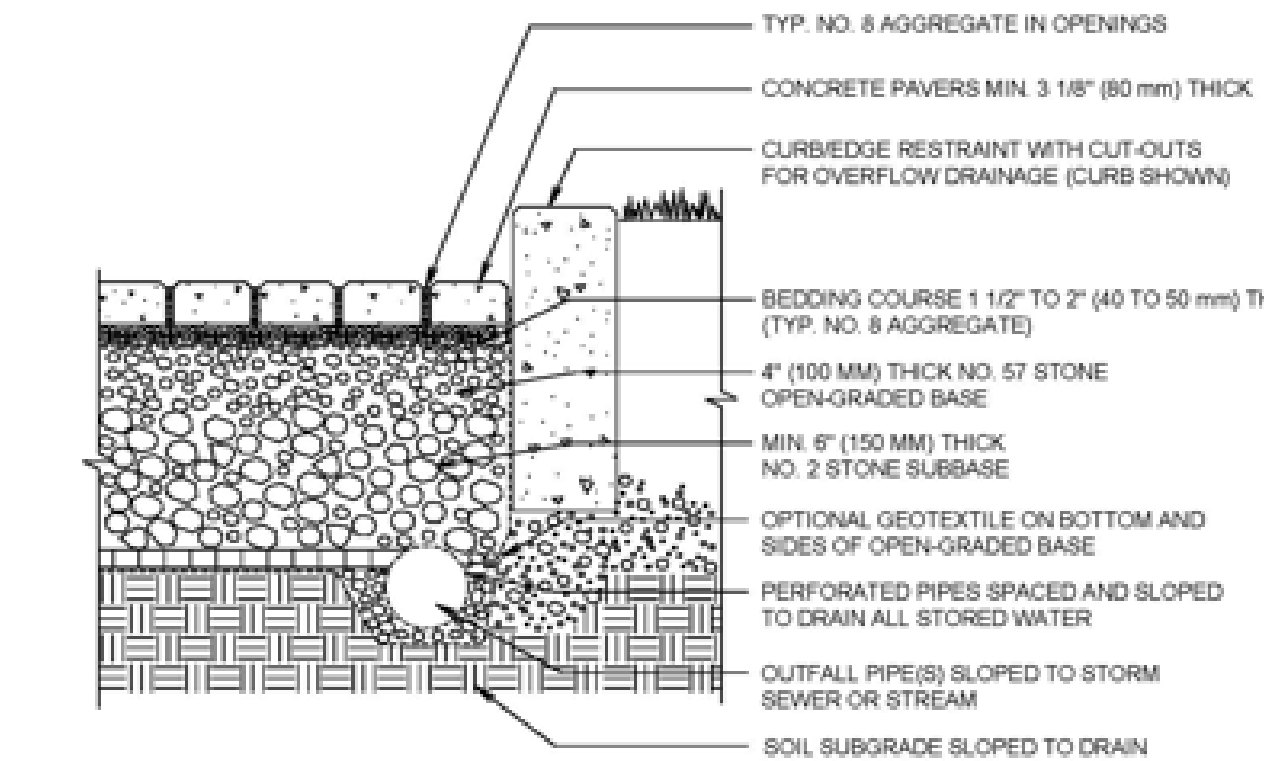
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ARBORIST'S REPORT

SHEET

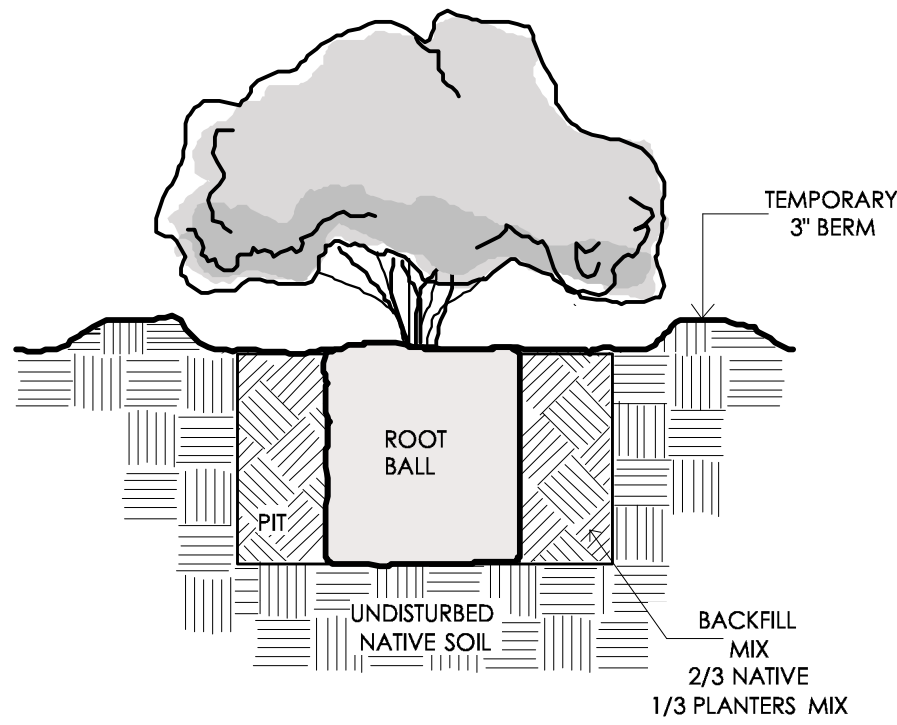
L-2



SEE PERMEABLE PAVING DETAIL ON CIVIL ENGINEER'S PLANS FOR MORE INFORMATION

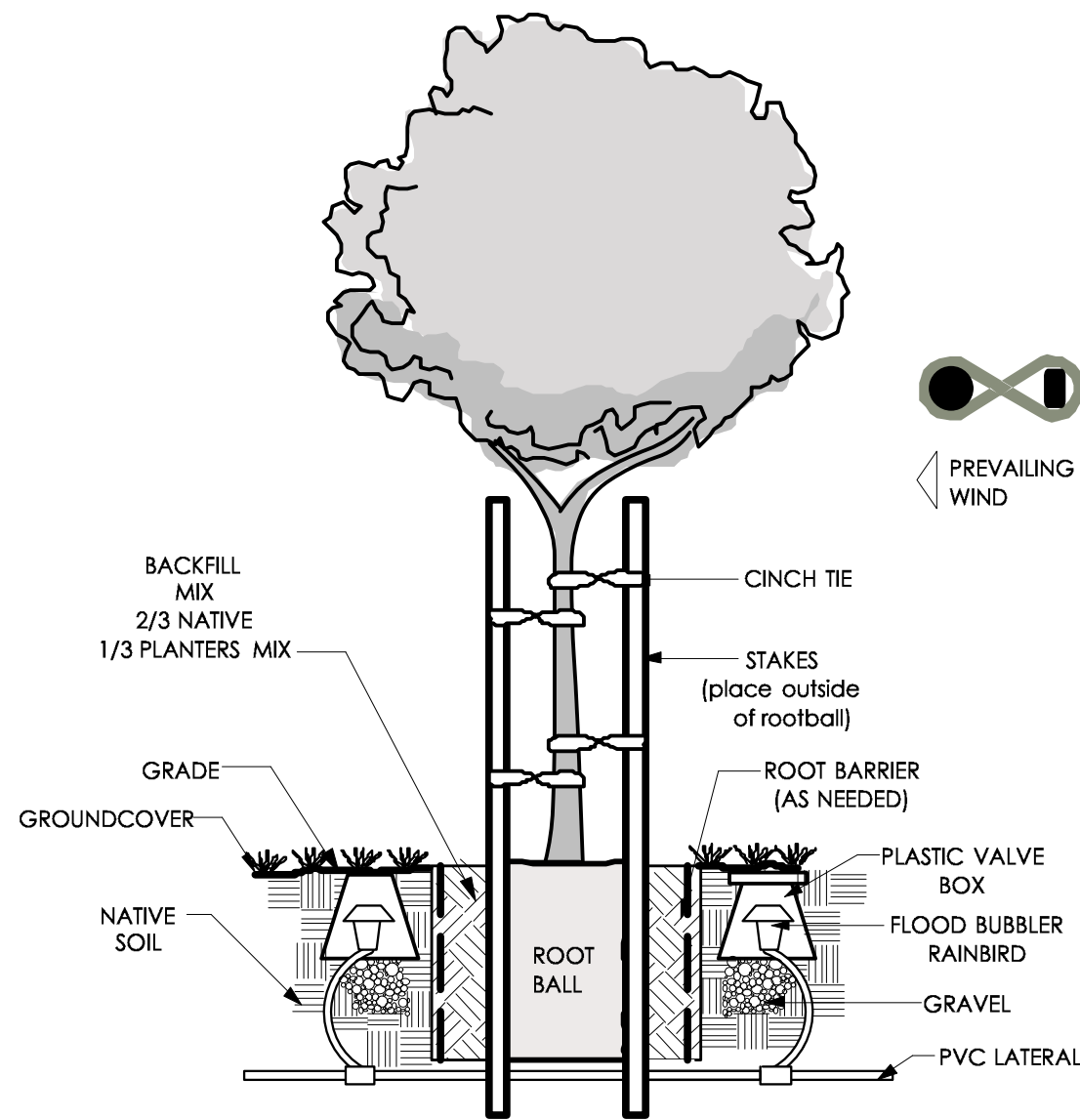
BACK AREA PAVING DETAIL

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TYPICAL PLANTING DETAIL

NOT TO SCALE



TREE STAKING DETAIL

NOT TO SCALE

WATER CONSERVATION NOTES:

(A) FOR THE EFFICIENT USE OF WATER, A LANDSCAPE SHALL BE CAREFULLY DESIGNED AND PLANNED FOR THE INTENDED FUNCTION OF THE PROJECT. A LANDSCAPE DESIGN PLAN MEETING THE FOLLOWING DESIGN CRITERIA SHALL BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

(1) PLANT MATERIAL

(A) ANY PLANT MAY BE SELECTED FOR THE LANDSCAPE, PROVIDING THE ESTIMATED TOTAL WATER USE IN THE LANDSCAPE AREA DOES NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE. TO ENCOURAGE THE EFFICIENT USE OF WATER, THE FOLLOWING IS HIGHLY RECOMMENDED:

1. PROTECTION AND PRESERVATION OF NATIVE SPECIES AND NATURAL VEGETATION;
2. SELECTION OF WATER-CONSERVING PLANT AND TURF SPECIES;
3. SELECTION OF PLANTS BASED ON DISEASE AND PEST RESISTANCE;
4. SELECTION OF TREES BASED ON APPLICABLE LOCAL TREE ORDINANCES OR TREE SHADING GUIDELINES; AND
5. SELECTION OF PLANTS FROM LOCAL AND REGIONAL LANDSCAPE PROGRAM PLANT LISTS.

(B) EACH HYDROZONE SHALL HAVE PLANT MATERIALS WITH SIMILAR WATER USE, WITH THE EXCEPTION OF HYDROZONES WITH PLANTS OF MIXED WATER USE, AS SPECIFIED IN SECTION 492.7(A)(2)(D).

(C) PLANTS SHALL BE SELECTED AND PLANTED APPROPRIATELY BASED UPON THEIR ADAPTABILITY TO THE CLIMATIC, GEOLOGIC, AND TOPOGRAPHICAL CONDITIONS OF THE PROJECT SITE, TO ENCOURAGE THE EFFICIENT USE OF WATER, THE FOLLOWING IS HIGHLY RECOMMENDED:

1. USE THE SUNSET WESTERN CLIMATE ZONE SYSTEM WHICH TAKES INTO ACCOUNT TEMPERATURE, HUMIDITY, ELEVATION, TERRAIN, LATITUDE, AND VARYING DEGREES OF CONTINENTAL AND MARINE INFLUENCE ON LOCAL CLIMATE;
2. RECOGNIZE THE HORTICULTURAL ATTRIBUTES OF PLANTS (I.E., MATURE PLANT SIZE, INVASIVE SURFACE ROOTS) TO MINIMIZE DAMAGE TO PROPERTY OR INFRASTRUCTURE (E.G., BUILDINGS, SIDEWALKS, POWER LINES); AND
3. CONSIDER THE SOLAR ORIENTATION FOR PLANT PLACEMENT TO MAXIMIZE SUMMER SHADE AND WINTER SOLAR GAIN.

(D) TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE AND WHERE 25% MEANS 1 FOOT OF VERTICAL ELEVATION CHANGE FOR EVERY 4 FEET OF HORIZONTAL LENGTH (RISE DIVIDED BY RUN X 100 = SLOPE PERCENT).

(E) A LANDSCAPE DESIGN PLAN FOR PROJECTS IN FIRE-PRONE AREAS SHALL ADDRESS FIRE SAFETY AND PREVENTION, A DEFENSIBLE SPACE OR ZONE AROUND A BUILDING OR STRUCTURE IS REQUIRED PER PUBLIC RESOURCES CODE SECTION 4291(A) AND (B). AVOID FIRE-PRONE PLANT MATERIALS AND HIGHLY FLAMMABLE MULCHES.

(F) THE USE OF INVASIVE AND/OR NOXIOUS PLANT SPECIES IS STRONGLY DISCOURAGED.

(G) THE ARCHITECTURAL GUIDELINES OF A COMMON INTEREST DEVELOPMENT, WHICH INCLUDE COMMUNITY APARTMENT PROJECTS, CONDOMINIUMS, PLANNED DEVELOPMENTS, AND STOCK COOPERATIVES, SHALL NOT PROHIBIT OR INCLUDE CONDITIONS THAT HAVE THE EFFECT OF PROHIBITING THE USE OF LOW-WATER USE PLANTS AS A GROUP.

WATER CONSERVATION NOTES continued

(3) MULCH AND AMENDMENTS

(A) A MINIMUM TWO INCH (2) LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS INDICATED.

(B) STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES.

(C) THE MULCHING PORTION OF THE SEED/MULCH SLURRY IN HYDRO-SEEDED APPLICATIONS SHALL MEET THE MULCHING REQUIREMENT.

(D) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.

(B) THE LANDSCAPE DESIGN PLAN, SHALL:

- (1) DELINEATE AND LABEL EACH HYDROZONE BY NUMBER, LETTER, OR OTHER METHOD;
- (2) IDENTIFY EACH HYDROZONE AS LOW, MODERATE, HIGH WATER, OR MIXED WATER USE. TEMPORARILY IRRIGATED AREAS OF THE LANDSCAPE SHALL BE INCLUDED IN THE LOW WATER USE HYDROZONE FOR THE WATER BUDGET CALCULATION;
- (3) IDENTIFY RECREATIONAL AREAS;
- (4) IDENTIFY AREAS PERMANENTLY AND SOLELY DEDICATED TO EDIBLE PLANTS;
- (5) IDENTIFY AREAS IRRIGATED WITH RECYCLED WATER;
- (6) IDENTIFY TYPE OF MULCH AND APPLICATION DEPTH;
- (7) IDENTIFY SOIL AMENDMENTS, TYPE, AND QUANTITY;
- (8) IDENTIFY TYPE AND SURFACE AREA OF WATER FEATURES;
- (9) IDENTIFY HARDSCAPES (PERVIOUS AND NON-PERVIOUS);

(10) IDENTIFY LOCATION AND INSTALLATION DETAILS OF ANY APPLICABLE STORMWATER BEST MANAGEMENT PRACTICES THAT ENCOURAGE ON-SITE RETENTION AND INFILTRATION OF STORMWATER. STORMWATER BEST MANAGEMENT PRACTICES ARE ENCOURAGED IN THE LANDSCAPE DESIGN PLAN AND EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO:

- (A) INFILTRATION BEDS, SWALES, AND BASINS THAT ALLOW WATER TO COLLECT AND SOAK INTO THE GROUND;
- (B) CONSTRUCTED WETLANDS AND RETENTION PONDS THAT RETAIN WATER, HANDLE EXCESS FLOW, AND FILTER POLLUTANTS; AND
- (C) PERVIOUS OR POROUS SURFACES (E.G., PERMEABLE PAVERS OR BLOCKS, PERVIOUS OR POROUS CONCRETE, ETC.) THAT MINIMIZE RUNOFF.

(11) IDENTIFY ANY APPLICABLE RAIN HARVESTING OR CATCHMENT TECHNOLOGIES (E.G., RAIN GARDENS, CISTERNS, ETC.);

(12) CONTAIN THE FOLLOWING STATEMENT: "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"; AND

(13) BEAR THE SIGNATURE OF A LICENSED LANDSCAPE ARCHITECT, LICENSED LANDSCAPE CONTRACTOR, OR ANY OTHER PERSON AUTHORIZED TO DESIGN A LANDSCAPE.

PLANTING NOTES

(1) LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR, PROJECT ARCHITECT, AND LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS. SEE PLANTING PLANS FOR EACH AREA (A, B AND C). LANDSCAPE CONTRACTOR TO LOCATE ALL WATER METERS, UTILITY EQUIPMENT AND OBSTRUCTIONS PRIOR TO LAYOUT OF TOPSOILS AND PLANT MATERIALS INCLUDING TREES. REPORT ANY OBSTRUCTIONS TO GENERAL CONTRACTOR/ OWNER'S REPRESENTATIVE.

(2) LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS. LANDSCAPE CONTRACTOR TO SCHEDULE A WALK-THROUGH WITH LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE TO REVIEW AND APPROVE FINAL LOCATIONS OF TREES, SHRUBS, VINES AND GROUNDCOVERS FOR EACH AREA OR PHASE OF WORK.

(3) IRRIGATION SYSTEM SHALL BE INSTALLED PRIOR TO PLANT MATERIALS - SEE IRRIGATION PLANS FOR EACH AREA

(4) TREES AND SHRUBS SHALL BE PLANTED AFTER PAVING, DRIVEWAYS OR PATHWAYS INSTALLED BUT NOT BEFORE IRRIGATION COVERAGE TEST.

(5) PLACE TREES BETWEEN IRRIGATION EQUIPMENT WHEREVER POSSIBLE, AND PLACE TREES IN BEDS ALONG PARKING STRIPE IN PARKING LOT IF POSSIBLE.

(6) LANDSCAPE CONTRACTOR SHALL NEW PLANTING SOILS AND MULCH HERE NEEDED. FOLLOW ANY RECOMMENDATIONS PROVIDED BY SOIL TESTS. PLANTING MIX TO BE MINIMUM 40% FIRABLE, DISEASE-FREE TOPSOIL AND 60% ORGANIC COMPOST MIN. AND MINIMUM 14 INCHES DEEP FOR ALL NEW PLANTING BEDS.

(7) PRE EMERGENT HERBICIDE SHALL BE APPLIED AT OWNER'S APPROVAL, PRIOR TO MULCH INSTALLATION.

(8) BARK MULCH INSTALLATION: INSTALL 2 INCH DEPTH FOR ALL PLANTING BEDS AS INDICATED BY THESE PLANS. MULCH SHALL BE CERTIFIED CLEAN AND FREE OF ALL PESTS AND DISEASE (INCLUDING FUNGUS THAT MAY CAUSE DAMAGE TO SURROUNDING STRUCTURES)

(9) CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND REPLACEMENTS OF ANY DAMAGED LANDSCAPE AREA BEYOND THE LIMIT OF WORK, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR(S). REPLACEMENT ITEMS SHALL BE DUPLICATES OF ORIGINAL WORK.

(10) CLEAN UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.

(11) PLANT QUALITY SHALL BE GRADE A, FREE OF DAMAGE, DISEASE, ROOTBOUND, OR INFERIOR QUALITY WILL NOT BE ACCEPTED. PLANT MATERIAL TO BE INSPECTED UPON DELIVERY OR AT THE NURSERY PRIOR TO DELIVERY. CONTRACTOR TO SCHEDULE INSPECTION MEETING WITH GENERAL CONTRACTOR WITH AN ADVANCED NOTICE OF 48 HRS. ANY UNACCEPTABLE PLANT MATERIAL WILL BE REJECTED.

(12) AT GRADING, ALL TOPSOIL SHALL BE SAVED TO BE UTILIZED ON THE PROJECT TO MINIMIZE IMPORTED MATERIAL. TOPSOIL SHALL BE STOCKPILED IN EACH AREA OF CONSTRUCTION AND SECURED WITH A TARP OR PROTECTIVE COVERING TO PROTECT AGAINST WIND OR STORM RUNOFF.

(13) ALL TREE AND SHRUB PLACEMENT WILL BE APPROVED BY THE GENERAL CONTRACTOR OR LANDSCAPE ARCHITECT PRIOR TO PLANTING. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING THE MEETING 48 HOURS IN ADVANCE FOR PLANT PLACEMENT MEETING.

(14) ALL TREES SHALL BE STAKED. SHALL BE PLANTED PER THE DETAIL SHOWN ON THIS PLAN, PROVIDING STANDARDS AND HAVE ROOT BARRIERS INSTALLED AROUND ROOTBALLS DUE TO CLOSE PROXIMITY OF PAVING, DRIVEWAYS, BIKE PARKING AREAS AND SIDEWALKS (SEE TREE PLANTING DETAIL).

(15) CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A TREE AND SHRUB COUNT AND DETERMINING THE QUANTITIES SHOWN ON PLAN, FOR ALL PLANTING INDICATED. REPORT FINAL NUMBERS TO OWNER'S REPRESENTATIVE AND GENERAL CONTRACTOR.

(16) CONTRACTOR TO PROVIDE IN WRITING TO OWNER A PLANT GUARANTEE FOR ALL PLANT MATERIAL PROVIDED. THE DURATION SHOULD BE AS FOLLOWS #24" BOX AND OVER- ONE YEAR, #15 GALLON, 5 GALLON/1 GALLON/FLATS AND SMALLER-3 MONTHS FOR EACH SPECIFIC AREA OF LANDSCAPE CONSTRUCTION.

(17) CONTRACTOR TO SCHEDULE A WALK THROUGH AT THE CONCLUSION FOR THE FOLLOWING: 1) IRRIGATION WORK 2) BED PREP, FINE GRADING AND BEFORE PLANTING IS FINISHED. CONTRACTOR TO CONTACT GENERAL CONTRACTOR AND/OR LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE EACH WALK THROUGH. CONTRACTOR SHALL BE PROVIDED A PUNCH LIST OF LANDSCAPE ITEMS TO CORRECT BEFORE LANDSCAPE IS COMPLETE. CONTRACTOR TO PROVIDE A NINETY DAY MAINTENANCE AGREEMENT FOR ALL WORK PERFORMED.

(18) SEE CIVIL ENGINEERING PLANS FOR INFORMATION ON PROPOSED HARDSCAPE, CURBS, STRUCTURES, SITE WALLS, ANY OTHER STRUCTURES AND ALL DRAINAGE FEATURES AROUND PROPOSED BUILDINGS. REPORT ANY DISCREPANCIES TO THE GENERAL CONTRACTOR, PROJECT ARCHITECT AND OWNER OF THE PROPERTY.



PLANT MATERIALS

LR/A
LR/ARCHITECTURE

Architecture
Planning
Interior Design

Construction Management

217 W. Alameda Avenue, Suite 203
Burbank, CA 91502
(818) 840-8361 Fax (818) 840-8341

N O T E

SUBMITTALS	DATE	DESCRIPTION
PRE-BID:		
BLDG. DEPT.:		
BID SET:		

Robert F. Adams, ASLA
EARTHKNOWER STUDIO
LANDSCAPE ARCHITECT STATE OF CALIFORNIA, LIC. NO. 4726
225 W. FIGUEROA STREET
SANTA BARBARA, CA 93101
(805) 722-2144
robert@earthknower.com

WEB: EARTHKNOWER.COM

LANDSCAPE ARCHITECT



PROJECT

3035 EDGEWICK RD
GLENDALE, CA 91206

CLIENT

Raymond Sohrabian

3035 EDGEWICK RD GLENDALE
CA 91206

REVISIONS	ISSUE	DATE	REVISION
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DRAWN	CHECKED
7/24/2020	RFA

CAD FILE

JOB NO.

2020-14

DATE

7/24/2020

SCALE

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TITLE

SITE DETAILS
AND NOTES

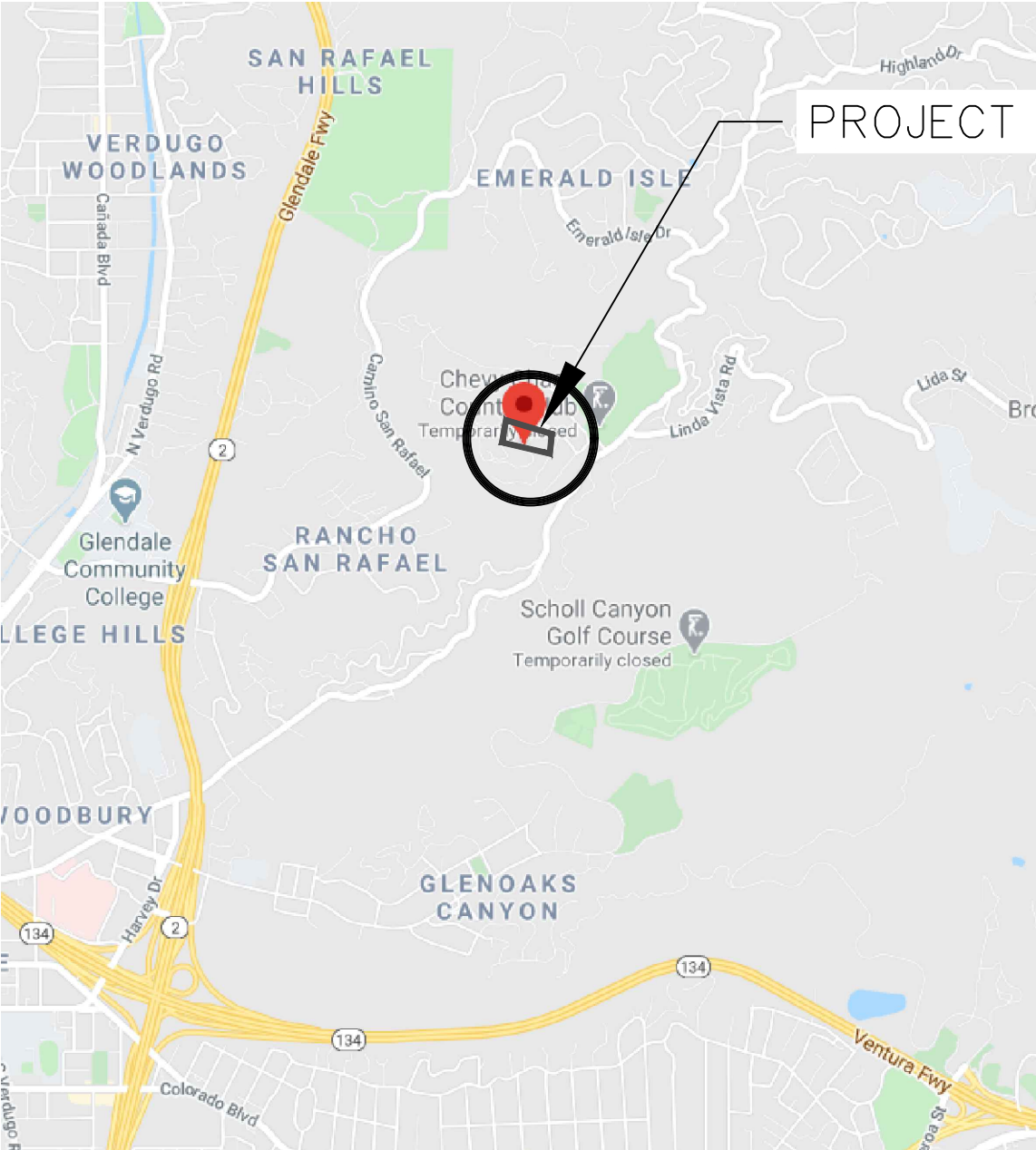
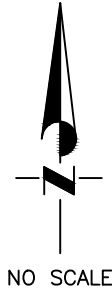
SHEET

L-3

GRADING AND DRAINAGE PLANS
SINGLE FAMILY RESIDENCE
30325 EDGEWICK ROAD, GLENDALE, CA 91206
APN: 5659-007-015

GRADING NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE GRADING ORDINANCE AND REGULATIONS OF THE COUNTY OF L.A. THE BUILDING CODE LATEST EDITION AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL.
- CUT SLOPES SHALL BE NO STEEPER THAN 1.5 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL HAVE NOT LESS THAN 90% COMPACTION OUT TO THE FINISHED SURFACE.
- ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION MAXIMUM DENSITY TO BE DETERMINED BY ASTM-D-1557-78, AND FIELD DENSITY BY ASTM-D-1556, OR APPROVED EQUIVALENT.
- AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND CLEARED OF ALL TRASH, BRUSH, TREES, CLUMPS, TIMBER, OR DEGREE AND SHALL BE SCARIFIED AND COMPACTED.
- FILLS SHALL BE BENCHED INTO RECOMMENDED COMPETENT MATERIAL AS PER DETAIL OF PLAN.
- ALL FILL SLOPES SHALL BE PROTECTED IMMEDIATELY UPON COMPLETION WITH PLANTER OR OTHER FORM OF APPROVED EROSION CONTROL DEVICE.
- THE DESIGN CIVIL ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PREVIEW.
- DUST SHALL BE CONTROLLED BY WATERING.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PLAN.
- PRIOR TO FINAL APPROVAL THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN.
- UNDERGROUND UTILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS. THE CONTRACTOR SHALL OBTAIN FROM THE RESPECTIVE OWNERS THE EXACT LOCATION OF THESE UTILITIES PRIOR TO ANY EXCAVATION WORK. LOCATION OF UTILITIES WITHIN THE PROJECT ARE ON FILE IN THE CITY ENGINEER'S OFFICE FOR REFERENCES.
- DRAINAGE FROM THE LOT AND ROOF SHALL BE CARRIED TO THE STREET BY MEANS OF A DRIVEWAY OR SIDEWALK DRAIN OR PIPE DRAIN, CONTRACTOR REQ'D TO USE NON-EROSIVE DRAINAGE DEVICES.
- THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED FOR BOTTOM INSPECTION BEFORE ANY FILL IS PLACED.
- SPECIFICATIONS: ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTIONS," LATEST EDITION.
- GEOLOGIC AND SOILS ENGINEER REPORT BY SUBSURFACE DESIGNS, INC. DATED FEBRUARY 21, 2017 SHALL BE INCORPORATED HERE WITH AND MADE PART OF THIS GRADING PLAN.
- "GENERAL SPECIFICATIONS FOR ALL GRADING PLANS"- BUILDING AND SAFETY FORM B-164 IS A PART OF THE PLANS.
- ALL GRADED SLOPES SHALL BE PLANTED AND SPRINKLED.
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. SEC.91.7013.3
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- CUBIC YARDS OF CUT 950 C.Y
CUBIC YARDS OF FILL 115 C.Y
OVER EXCAVATION
IMPORT
EXPORT 835 C.Y
- A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL SHORING WORK INCLUDING SLOT-CUT SEC. 1701.5
- CONTINUOUS INSPECTION BY THE SOILS ENGINEER/GEOLOGIST IS REQUIRED FOR REMOVAL AND RECOMPACTION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% COHESSIONLESS SOIL WITH LESS THAN 15% FINER THAN 0.005mm REQUIRE 95% COMPACTION SEC. 91.7011.3
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN NOVEMBER 1 AND APRIL 15 OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES [>200CY] SEC. 91.7007.1
- "REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE (SITE EXCEEDS 60,000 S.F.) (CUT OR FILL SLOPES EXCEEDS 2:1) (CUTS EXCEEDS 40 FT. IN HEIGHT AND WITHIN 20 FT. OF A PROPERTY LINE) (FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE) (PROJECTS INVOLVE UNUSUAL HAZARDS)." SEC. 91.17501.5
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACK FILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLED.
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES



VICINITY MAP
NOT TO SCALE

BENCH MARK:
???

BASIS OF BEARINGS:
??

SURVEYOR:
??

LEGAL DESCRIPTION:
LOT 21, BLOCK 3
TRACT NO. 9041
123-59-64
APN:5659-007-015

EXISTING CONDITIONS: UNDEVELOPED LOT

PROJECT DESCRIPTION AND PROPOSED SCOPE:
NEW 1,604 SQ FT THREE-LEVELS SINGLE FAMILY
RESIDENCE AND ADU

GEOTECHNICAL REPORT PROVIDED BY:
??

OWNER:
??

PROJECT DATA:

LOT AREA DETAILS	
DESCRIPTION	AREA (SF)
LOT SIZE	8,582
TOTAL GRADED AREA	7,020
EXISTING IMPERVIOUS AREA	0.0
PROPOSED BUILDING FOOTPRINT	3,150
PROPOSED IMPERVIOUS AREA	3,950
PROPOSED IMPERVIOUS PERCENTAGE	=46%

LEGEND

	EXISTING CONTOUR LINE
	PROPERTY LINE
	SPLASH BLOCK - 2FT LONG
	GRADE SLOPE
	FINISH GRADE ELEVATION IN FEET
	FLOW DIRECTION
	GRADE BREAK
	OPEN CURB
	FLOW LINE
	SC-8 SANDBAG BARRIER
	4"-6" COBBLE
	LANDSCAPE AREA
	NEW CONCRETE SURFACE
	EXISTING TREE
	NDS 1200BKIT DRAINAGE INLET
	SE-1 SILT FENCE
	EXISTING FENCE
	SC-8 SANDBAG BARRIER
	SD STORM DRAIN LINE
	SS SANITARY SEWER LINE
	W WATER LINE
	OHC OVER HEAD CABLE
	E ELECTRIC LINE

ABBREVIATIONS

APN	- ASSESSOR'S PARCEL NUMBER
A.C.	- ASPHALT CONCRETE
A.D.	- AREA DRAIN
BW	- BACK OF WALL
CO	- CLEAN OUT
CONC	- CONCRETE
DI	- DRAINAGE INLET
DS	- DOWNSPOUT
(E)	- EXISTING
ELEV	- ELEVATION
EST	- ESTABLISH
EP	- EDGE OF PAVEMENT
FG	- FINISH GRADE ELEVATION
FF	- FINISH FLOOR ELEVATION
FH	- FIRE HYDRANT
FL	- FLOWLINE ELEVATION
FS	- FINISH SURFACE ELEVATION
GB	- GRADE BREAK
H	- HEIGHT IN FEET
INV	- INVERT
MAX	- MAXIMUM
MB	- MAP BOOK
MIN	- MINIMUM
(N)	- NEW
OH	- OVERHANG
PL	- PROPERTY LINE
PLNTR	- PLANTER
TC	- TOP OF GRATE ELEVATION
RW	- RETAINING WALL
TC	- TOP OF CURB ELEVATION
TR	- TRACT MAP
TW	- TOP OF WALL ELEVATION
TYP	- TYPICAL

SHEET INDEX	
SHEET	DESCRIPTION
C-1	TITLE SHEET
C-2	GRADING PLAN
C-3	EROSION CONTROL PLAN
C-4	EROSION CONTROL AND DETAILS
C-5	LID PLAN AND DETAILS

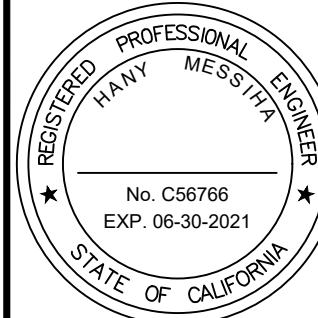
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GLENDALE, CA 912064

TITLE SHEET

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LOS ANGELES, CA. 90034
Tel. (310) 717-3020 - Hany@MessihaEng.com



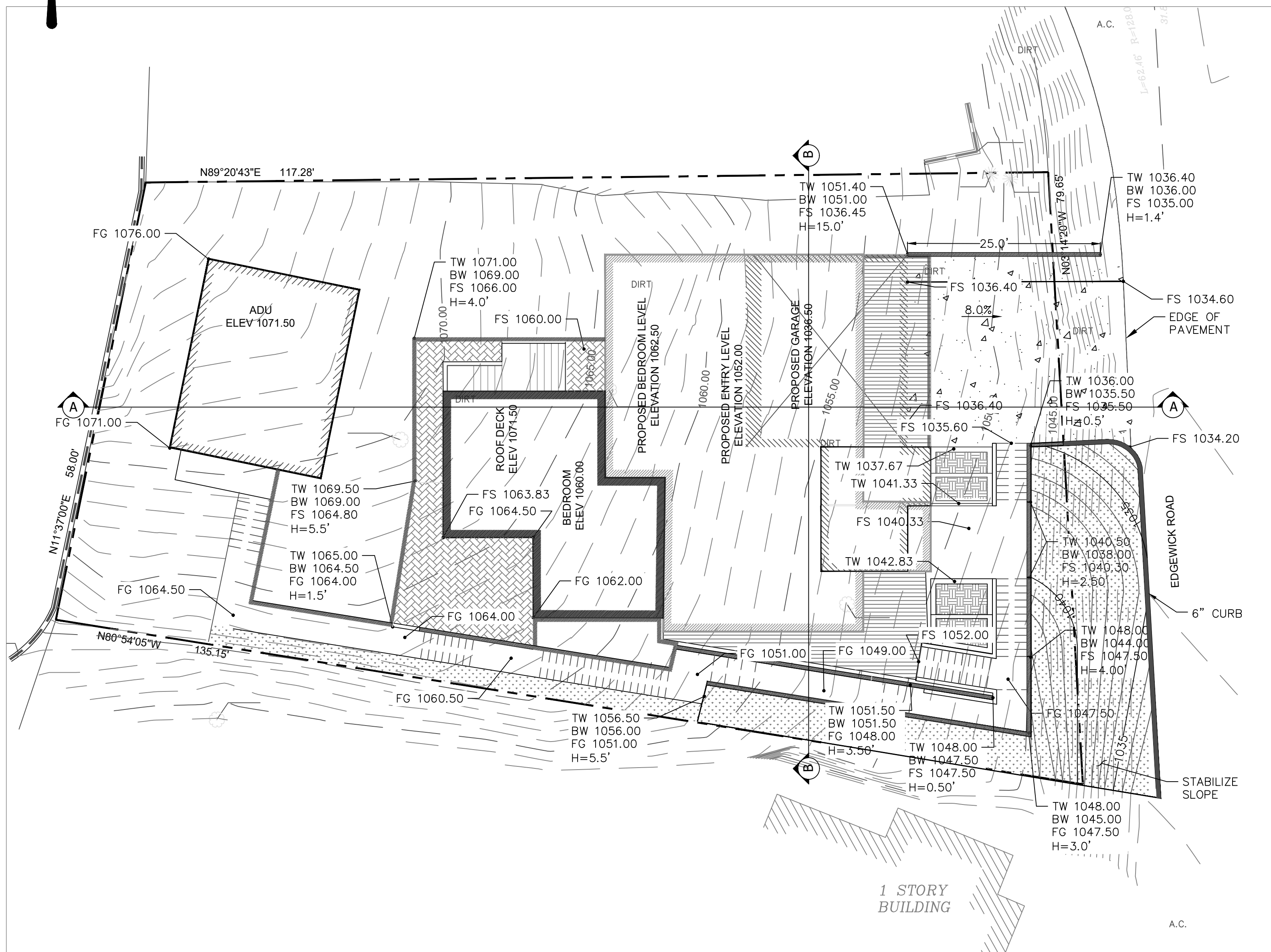
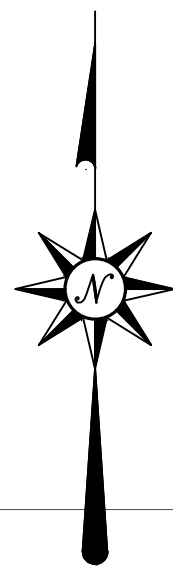
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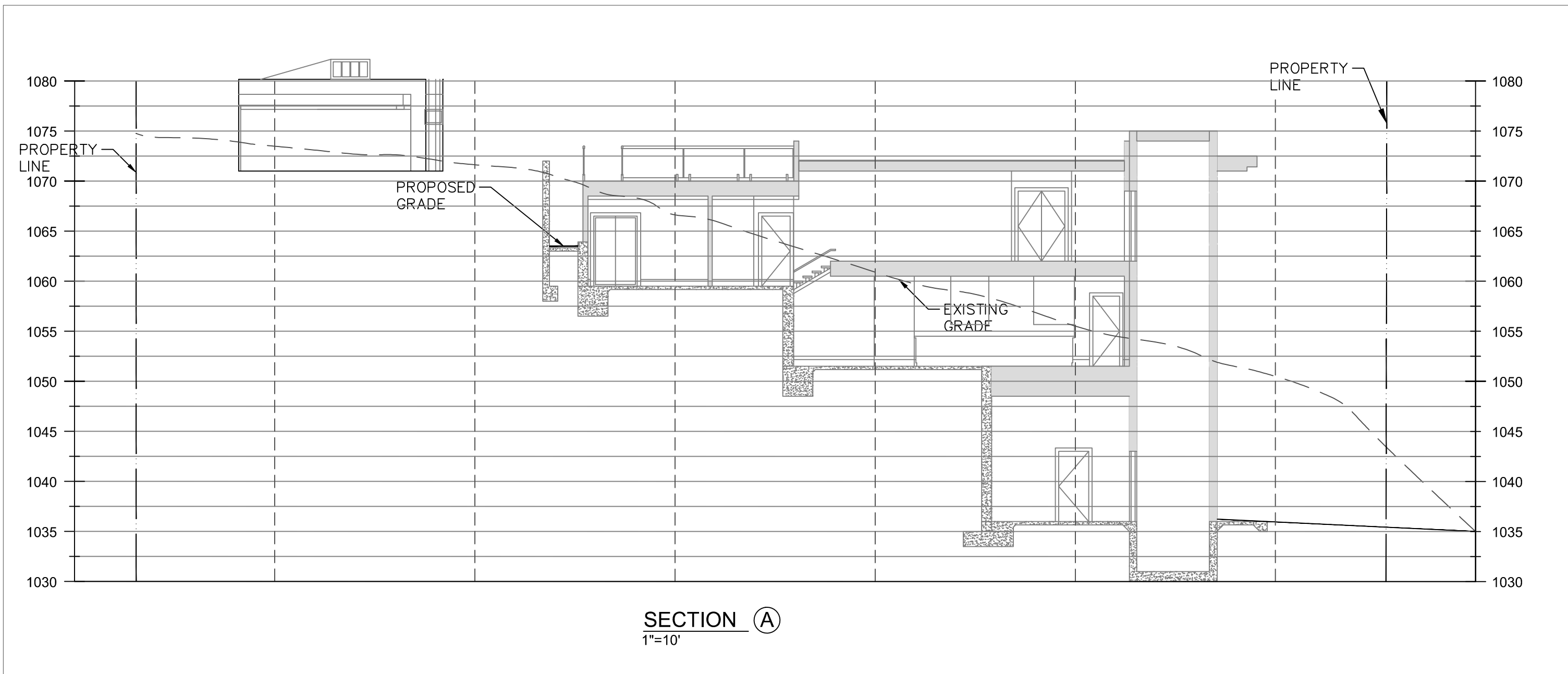
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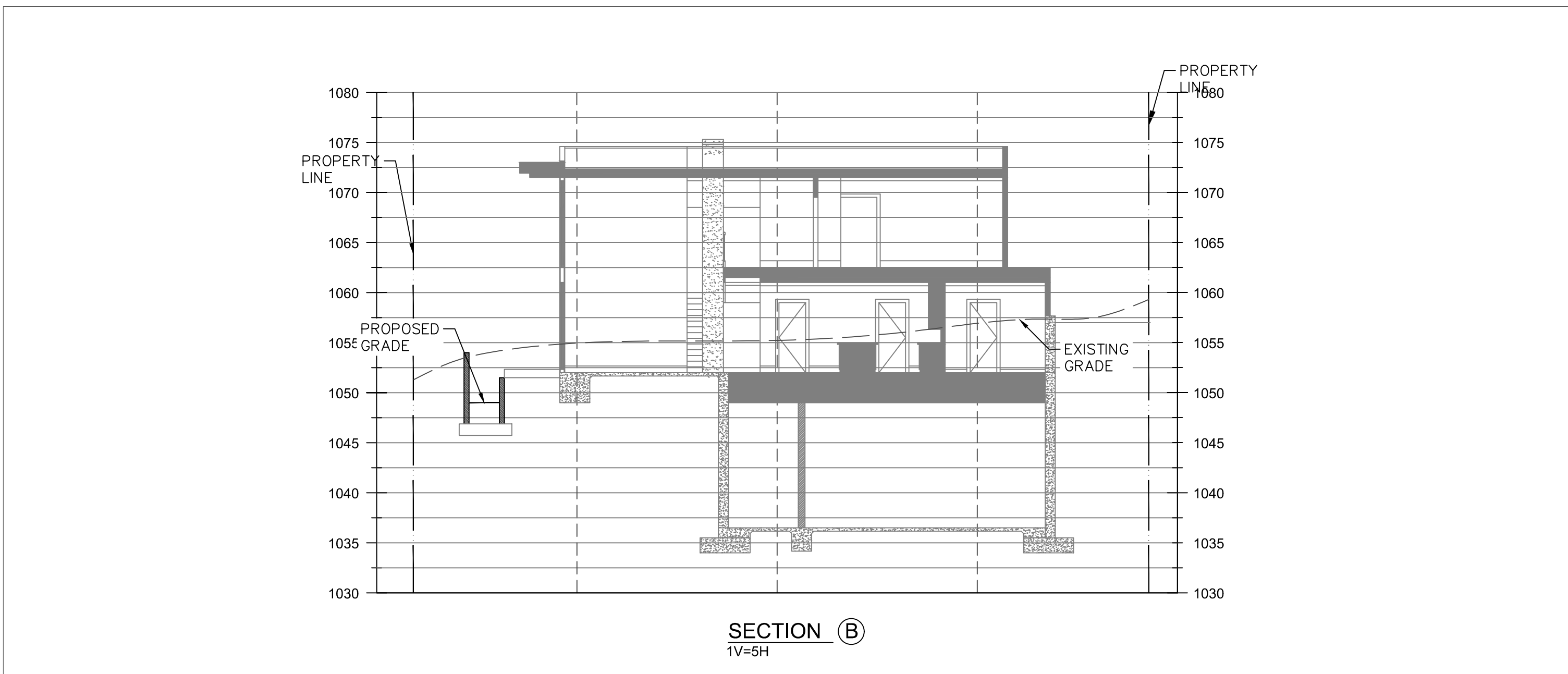
C-1



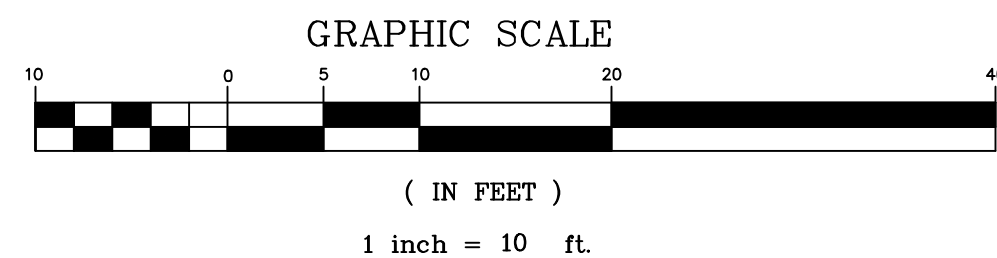
PLAN
SCALE 1"=10'



SECTION (A)
1"=10'



SECTION (B)
1V=5H



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NEW SINGLE FAMILY RESIDENCE
3035 EDGEWICK ROAD
GLENDALE, CA,

GRADING PLAN

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LOS ANGELES, CA. 90034
Tel. (310) 717-3020 - Hany@MessihaEng.com



DATE: 2019-25-11

SCALE: 1"=10'

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JOB# 19-xxx

C-2

STORMWATER POLLUTION PLAN NOTES:
(ATTACHMENTS A & B) TO BE ADDED TO ALL GRADING PLANS:

1. IN CASE OF EMERGENCY, CALL
2. A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APR 30). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAYBE REMOVED WHEN APPROVED BY THE GRADING INSPECTOR IF THE GRADING OPERATIONS HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERTY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2'. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM.
7. EXCEPT AS OTHERWISE APPROVED BY THE GRADING INSPECTOR, ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEEKENDS WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
8. ALL LOOSE SOILS AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE GRADING INSPECTOR.
9. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
10. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR, WITHOUT THE APPROVAL OF THE GRADING INSPECTOR.
11. EROSION CONTROL DEVICES ARE TO BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES AND PLANS OF THESE CHANGES MUST BE SUBMITTED FOR APPROVAL AS REQUIRED.
12. ADD THE FOLLOWING NOTES (OR SIMILAR) TO THE PLANS TO DEFINE THE CURRENT STATE OF CONSTRUCTION. CHANGES MUST BE SUBMITTED FOR APPROVAL AS REQUIRED.
- a. STORM DRAINS AND CATCH BASINS ARE (NOT) CONSTRUCTED.
- b. STREETS ARE (NOT) PAVED, EXCEPT AS NOTED ON THE EROSION CONTROL PLANS.
- c. DRAINAGE DEVICES ARE (NOT) CONSTRUCTED, EXCEPT AS NOTED ON PLANS.
13. STORMWATER POLLUTION CONTROL REQUIREMENTS MUST BE INTEGRATED INTO THE EROSION CONTROL PLANS PER TITLE 62, SECTION 7010 OF THE COUNTY CODE FOR ANY CONSTRUCTION BETWEEN OCTOBER 1 & APRIL 15 THE FOLLOWING NOTES AND BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 1993, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAYBE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS):

ATTACHMENT A NOTES

- a. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- b. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- c. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OF WATER
- d. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE W/ THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- e. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- f. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER & DISPERSAL BY WIND.
- g. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN/OTHER MEANS.
- h. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS NOT CAUSE EROSION.

NOTES:

1. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
2. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
3. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP, AND DISPOSED OF PROPERLY.
4. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY PROBABILITY FORECAST
5. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
6. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE TO BE DIRECTED TOWARD DESILTING FACILITIES.
7. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATED A HAZARDOUS CONDITION.
8. THE UNDERSIGNED CIVIL ENGINEER SHALL INSPECT THE EROSION CONTROL WORK AND ENSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
9. AT LEAST 2-LAYERS OF SANDBAGS FILLED WITH SAND AND PEA GRAVEL SHALL BE LAID ALONG THE PERIMETER OF THE PROJECT AREA AS SHOWN DURING CONSTRUCTION.

ATTACHMENT B NOTES

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 2009, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT(ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS.)

EROSION CONTROL

- EC1 - SCHEDULING
EC2 - PRESERVATION OF EXISTING VEGETATION
EC3 - HYDRAULIC MULCH
EC4 - HYDROSEEDING
EC5 - SOIL BINDERS
EC6 - STRAW MULCH
EC7 - GEOTEXTILES AND MATS
EC8 - WOOD MULCHING
EC9 - EARTH DIKES AND DRAINAGE SWALES
EC10 - VELOCITY DISSIPATION DEVICE
EC11 - SLOPE DRAINS
EC12 - STREAMBANK STABILIZATION
EC13 - POLYACRYLAMIDE

TEMPORARY SEDIMENTS CONTROL

- SE1 - SILT FENCE
SE2 - SEDIMENT BASIN
SE3 - SEDIMENT TRAP
SE4 - CHECK DAM
SE5 - FIBER ROLLS
SE6 - GRAVEL BAG BERM
SE7 - STREET SWEEPING AND VACUUMING
SE8 - GRAVEL BAG BARRIER
SE9 - STORM DRAIN INLET PROTECTION

WIND EROSION CONTROL

- WE1 - WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

- TC1 - STABILIZED CONSTRUCTION ENTRANCE
TC2 - STABILIZED CONSTRUCTION ROADWAY
TC3 - ENTRANCE/OUTLET TIRE TRASH

NON-STORMWATER MANAGEMENT

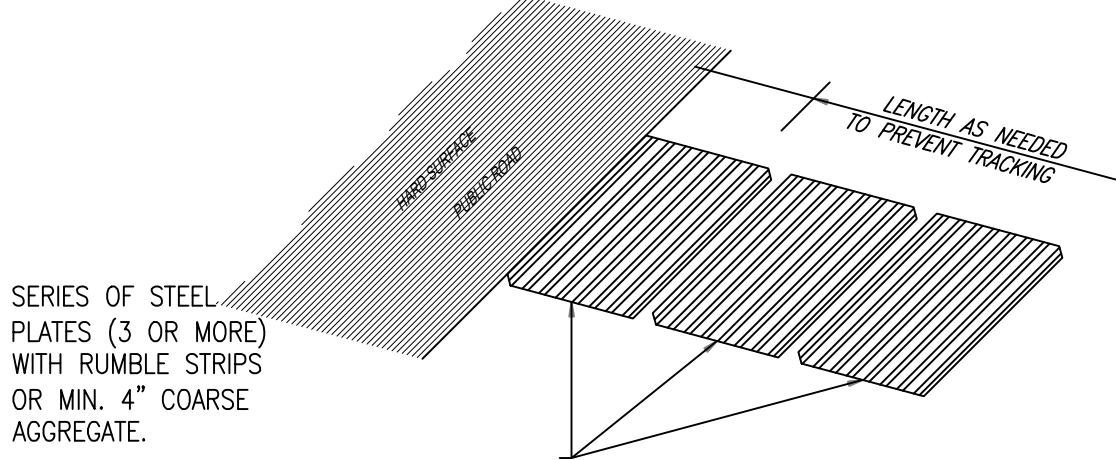
- NS1 - WATER CONSTRUCTION PRACTICE
NS2 - DEWATERING OPERATIONS
NS3 - PAVING AND GRINDING OPERATIONS
NS4 - TEMPORARY STREAM CROSSING
NS5 - CLEAR WATER DIVERSION
NS6 - ILLICIT CONNECTION/DISCHARGE
NS7 - POTABLE WATER/ IRRIGATION
NS8 - VEHICLE AND EQUIPMENT CLEANING
NS9 - VEHICLE AND EQUIPMENT FUELING
NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
NS11 - PILE DRIVING OPERATIONS
NS12 - CONCRETE CURING
NS13 - CONCRETE FINISHING
NS14 - MATERIAL AND EQUIPMENT USE
NS15 - DEMOLITION ADJACET TO WATER
NS16 - TEMPORARY BATCH PLANTS

WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL

- WM1 - MATERIAL DELIVERY AND STORAGE
WM2 - MATERIAL USE
WM3 - STOCKPILE MANAGEMENT
WM4 - SPILL PRESERVATION AND CONTROL
WM5 - SOLID WASTE MANAGEMENT
WM6 - HAZARDOUS WASTE MANAGEMENT
WM7 - CONTAMINATION SOIL MANAGEMENT
WM8 - CONCRETE WASTE MANAGEMENT
WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
WM10 - LIQUID WASTE MANAGEMENT

CONSTRUCTION NOTES:

- 41- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER CASQA BMP # TC-1.
- 42- PROTECT STOCKPILED MATERIALS FROM EROSION PER CASQA BMP # WM-3.
- 43- PROVIDE BERMED CONCRETE AND MORTAR WASHOUT CONTAINMENT AREA PER CASQA BMP # WM-8.
- 44- PLACE GRAVELBAGS TWO ROWS HIGH PER CASQA BMP # SE-6.
- 45- CONSTRUCT CONSTRUCTION FENCE WITH DUST SCREEN ALONG THE PERIMETER.

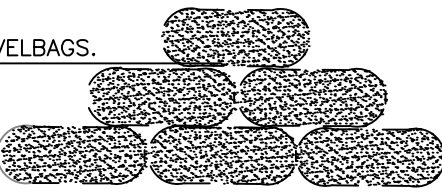


41 STABILIZED CONSTRUCTION ENTRANCE
BMP # TC-1

NOTES:

1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED ONTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM. STABILIZED CONSTRUCTION ENTRANCES SHALL BE:
2. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
- A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 4" COARSE AGGREGATE WITH LENGTH, WIDTH, AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL USE THE STABILIZED CONSTRUCTION ENTRANCE(S).
5. THE FOLLOWING STREET MAINTENANCE MEASURES SHALL BE IMPLEMENTED:
- A. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
- B. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
- C. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

3-LAYERS OF GRAVELBAGS.



44 BMP # SE-6
NOT TO SCALE



PLAN
SCALE 1"=10'

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NEW SINGLE FAMILY RESIDENCE
3035 EDGEWICK ROAD
GLENDALE, CA,

EROSION CONTROL

MESSIHA ENGINEERING SERVICES, INC.
9854 NATIONAL BLVD. SUITE 474
LOS ANGELES, CA. 90034
Tel. (310) 717-3020 - Hany@MessihaEng.com



DATE: 2020-4-10

SCALE: 1"=10'

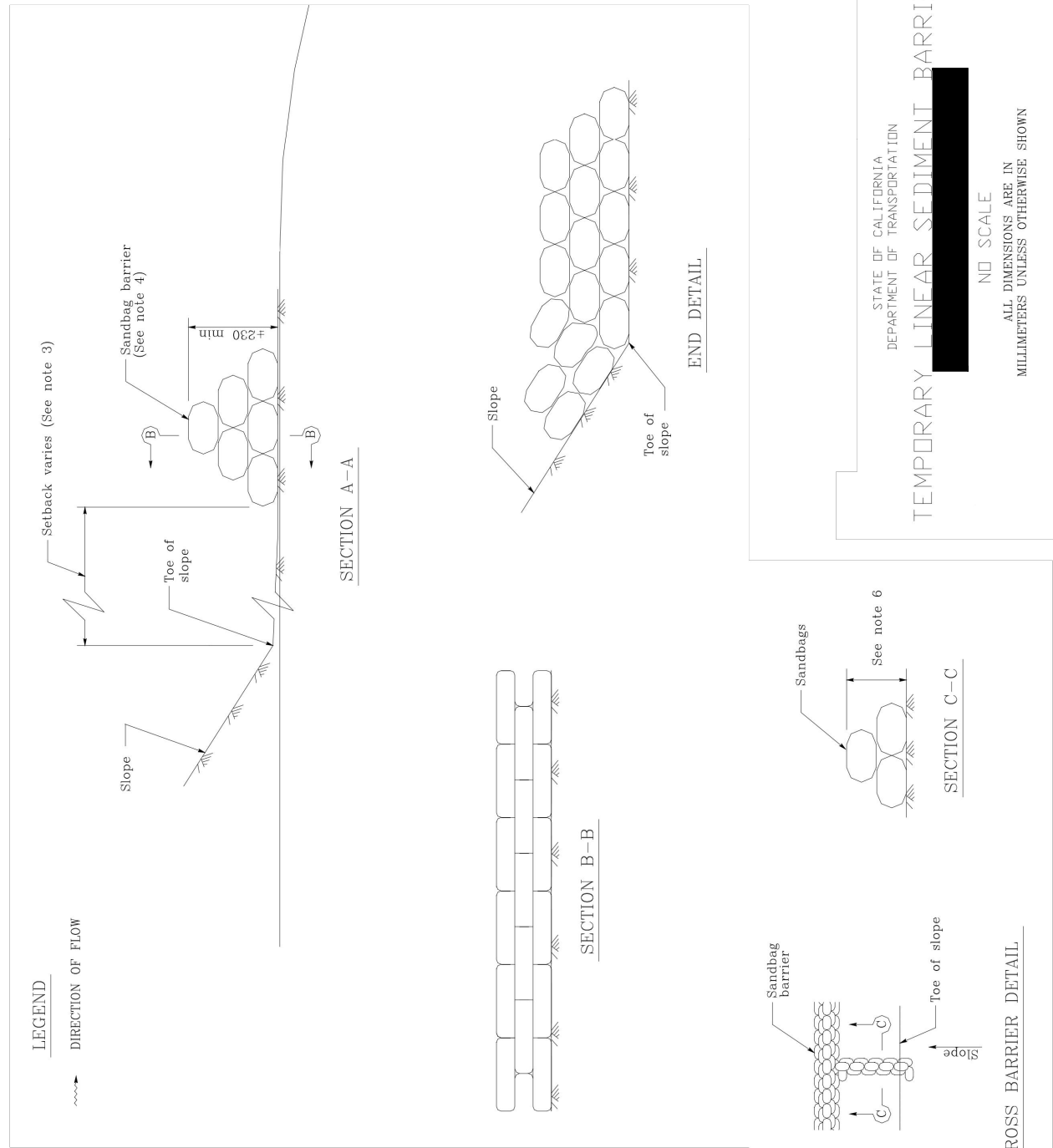
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JOB# 19-085

C-3

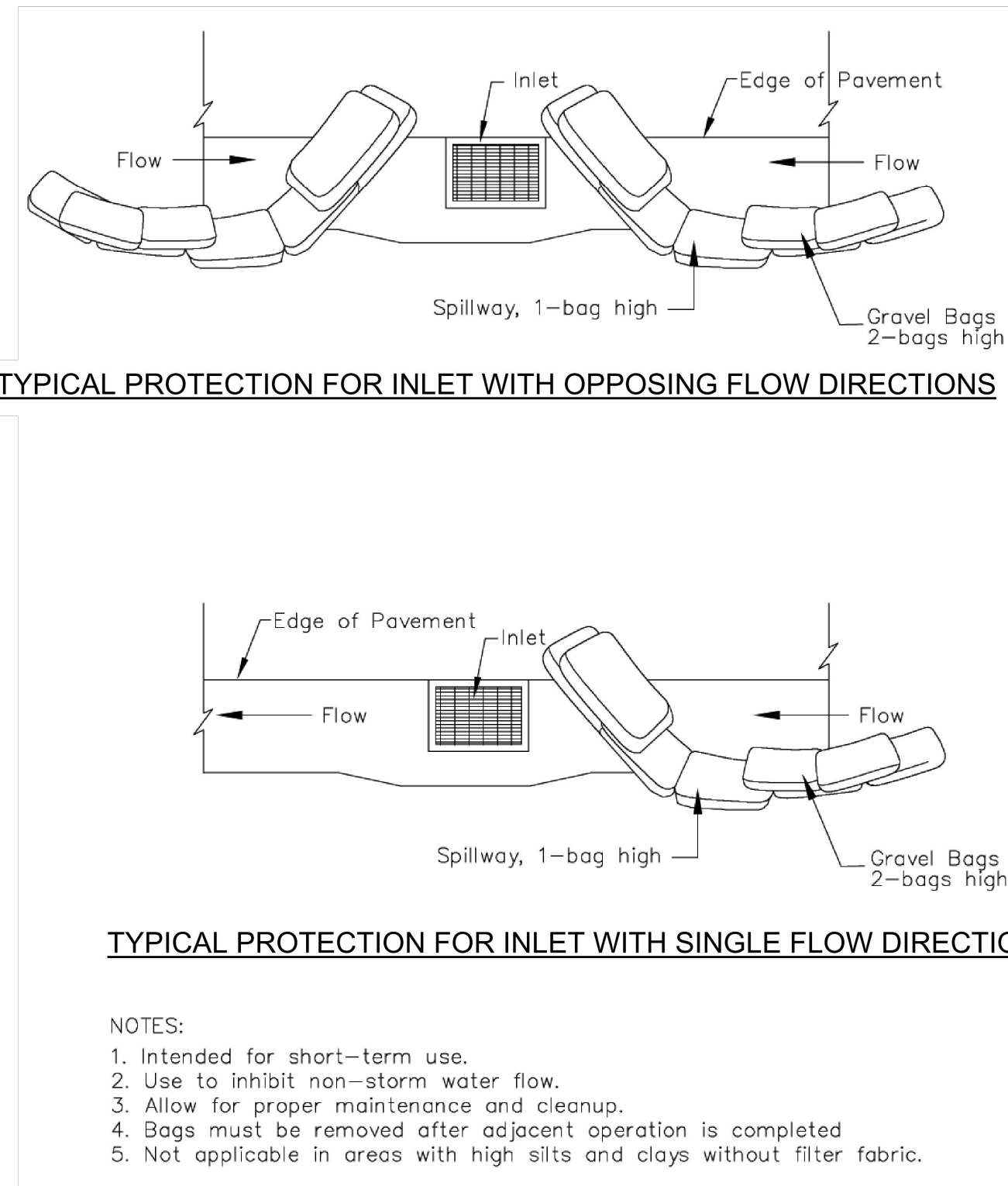
Gravel Barrier

SC-8



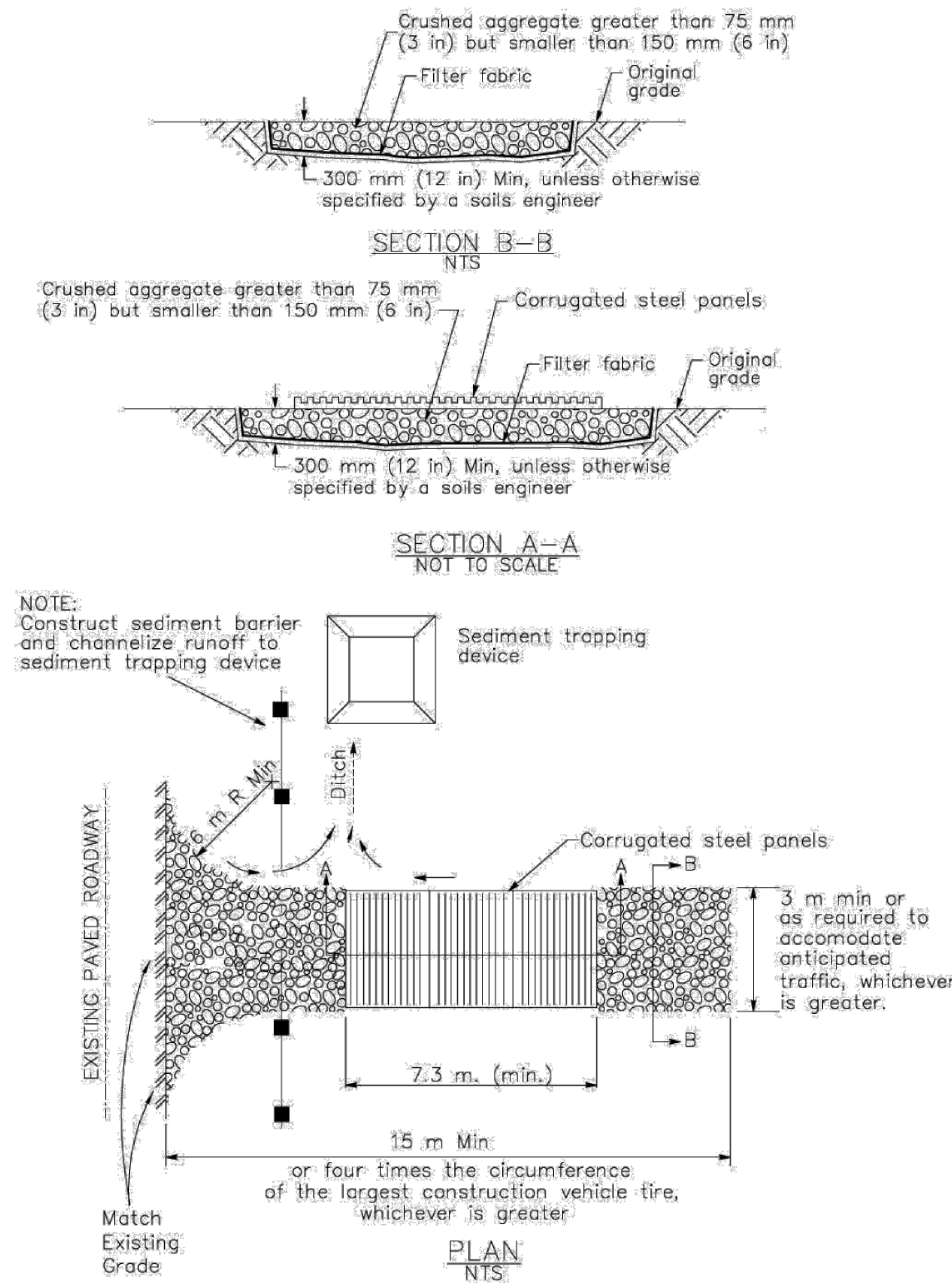
Storm Drain Inlet Protection

SC-10



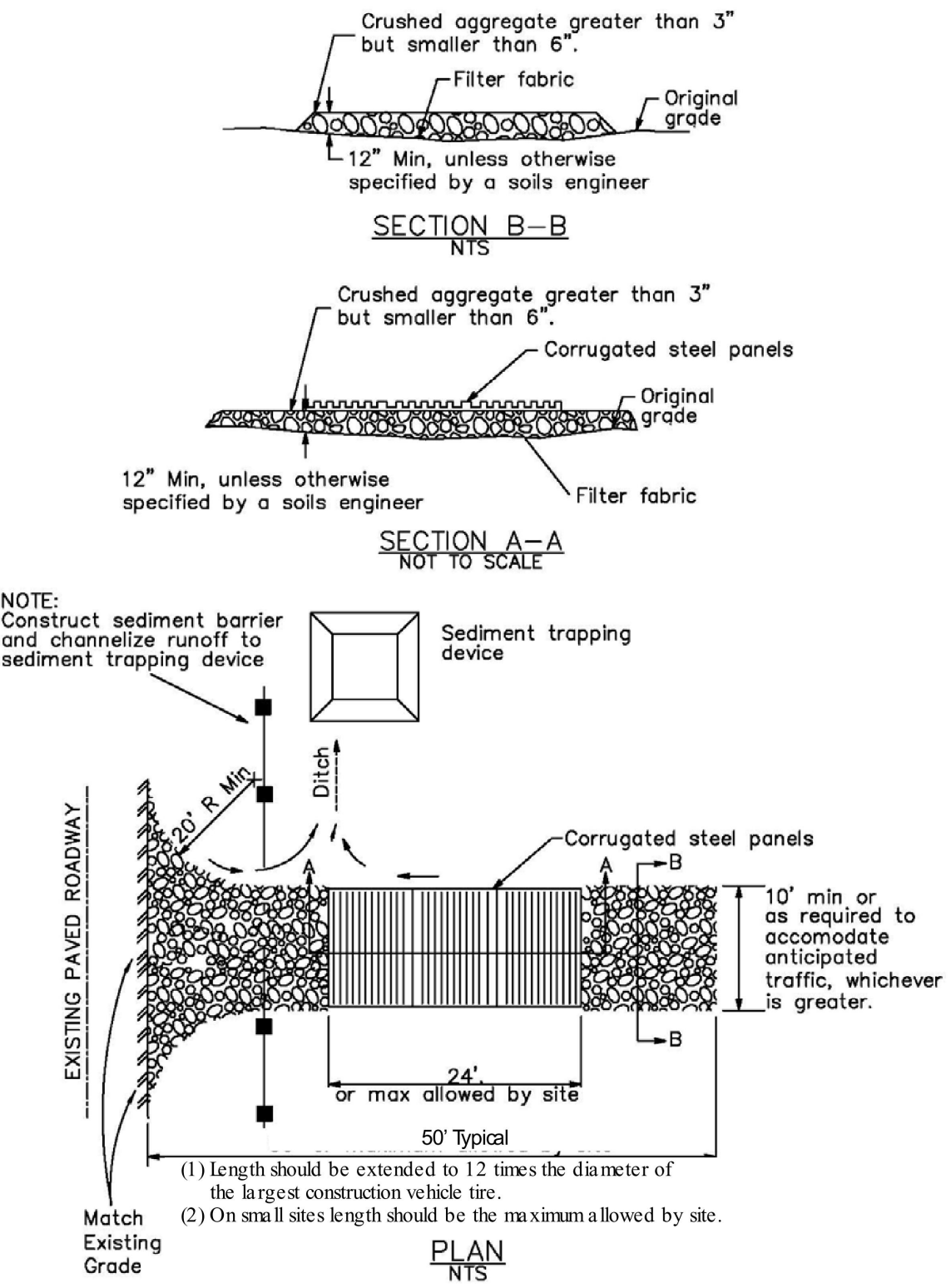
Stabilized Construction Entrance/Exit

TC-1



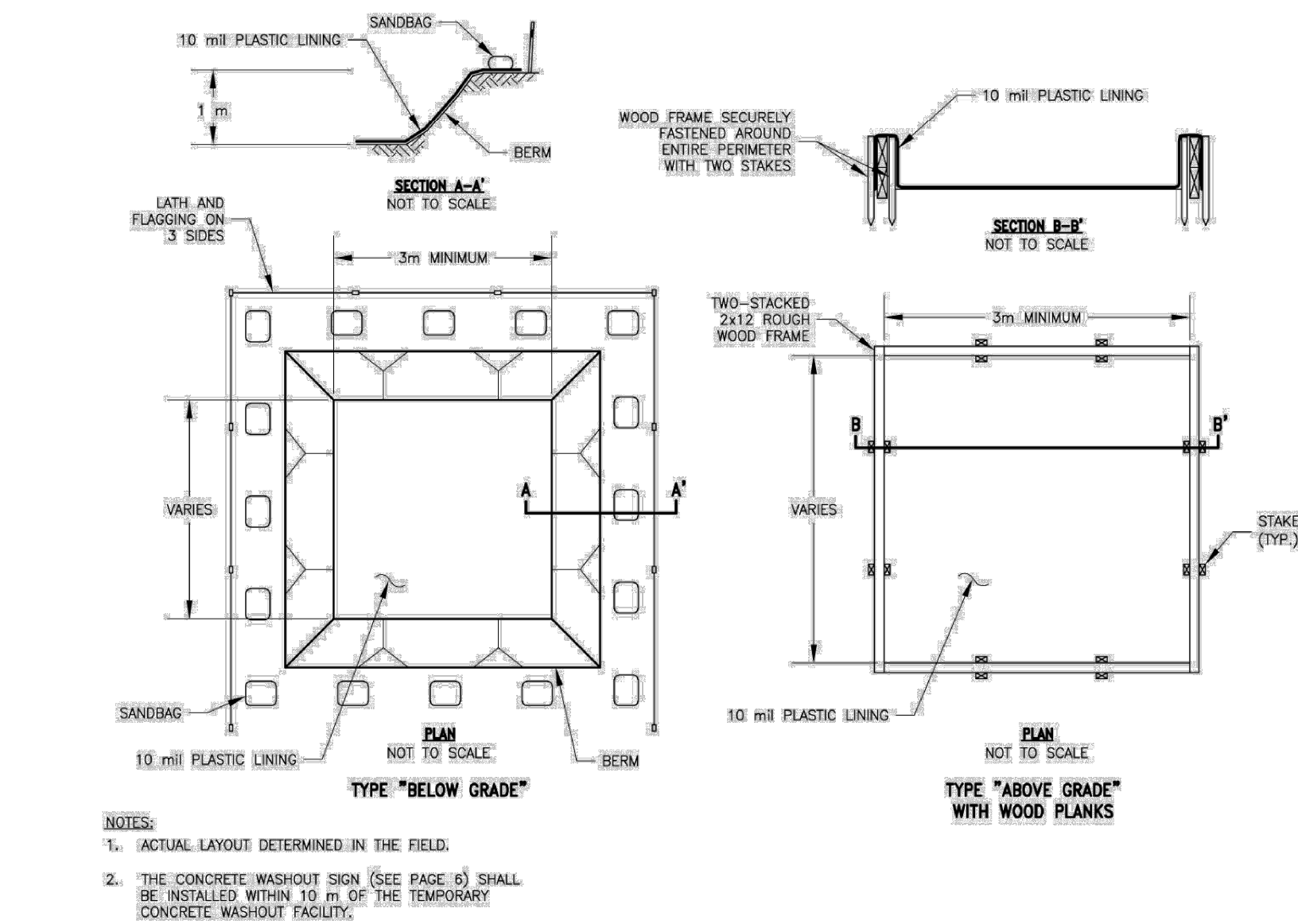
Stabilized Construction Entrance/Exit (Type 2)

Stabilized Construction Entrance/Exit TC-1



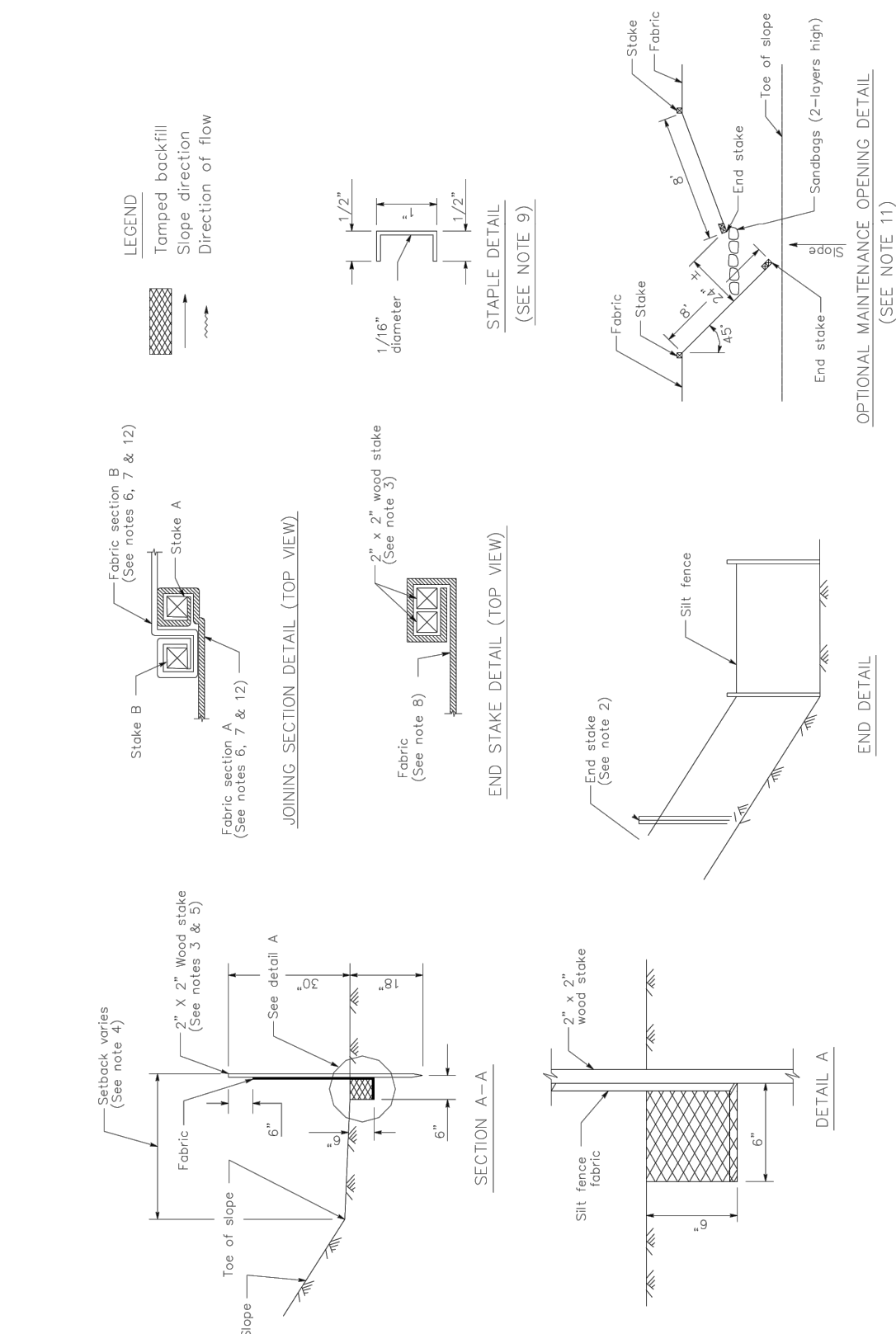
Concrete Waste Management

WM-8



Silt Fence

SE-1



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DATE: 2020-4-10

SCALE: AS NOTED

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C-4