

IDENTIFICATION

1. HISTORIC NAME OF PROPOSED RESOURCE (if any) N/A
2. STREET ADDRESS (include all addresses associated with the property)
1559 Grandview Avenue, Glendale ZIP CODE 91201
3. ASSESSOR'S PARCEL NO(s) 5622-023-001
4. COMPLETE LEGAL DESCRIPTION (attach legal description): TRACT 6165
BLOCK _____ LOT(s) 1 and 2
5. OWNER(s) Navarro Living Trust
ADDRESS (if different from above) _____ CITY _____ STATE _____ ZIPCODE _____
PHONE 310-930-0866 EMAIL slord6@yahoo.com
6. PRESENT USE Single-family residence ORIGINAL USE Single-family residence

PROPERTY DESCRIPTION

Describe as much as possible about the history of the structure. It is required that copies of any articles, information, or other supplementary documentation to support this application be attached.

7. ARCHITECTURAL STYLE, INCLUDING ARCHITECTURAL DETAILS AND CHARACTER DEFINING FEATURES.
Attach additional pages if necessary. (For residential use, please see the Glendale Design Guidelines for Adopted Historic Districts, "Sources of Information")

Please see continuation page

8. YEAR BUILT: 1926 SOURCE OF INFORMATION: Building permit
9. ORIGINAL ARCHITECT (if known) Unidentified (Information passed down from previous owners indicated Reginald Johnson was the architect, but no documentation was found)
10. ORIGINAL BUILDER (if known) Ridenour Brothers
11. DATES OF ENCLOSED PHOTOGRAPHS (see attached instructions for submitting photographs) February 17, 2021
12. SQUARE FOOTAGE (if known) 3,078

CONTINUATION PAGE

7. ARCHITECTURAL STYLE, INCLUDING ARCHITECTURAL DETAILS AND CHARACTER DEFINING FEATURES:

This one-and-two-story Spanish Colonial style dwelling sits on a triangular-shaped lot. A majority of the parcel's open space is concentrated in a triangular unfenced side garden area at the intersection of Grandview and Sonora Avenues, creating a park-like landscape.

The house has irregular massing—the two-story section sits southerly of a one-story wing. The plaster walls of the house are topped by a low-pitched cross-gabled tiled roof. Windows are mostly multi-paned casement. Outdoor lighting fixtures, arrow-like awning supports, gates, and window grilles are of wrought-iron.

The main entry is located on the northerly end of the two-story southerly wing. The wood-paneled door, connected to the street by a brick walkway, is recessed behind an arch and is fronted by a pair of metal gates. The floor of the recess is made of pavers. A lantern light fixture is located next to the recess. The outside of the arch is bordered by bright tiles (which may be a later addition). To the north of the front door in the one-story section is a single narrow arched window and a wide attached rectangular chimney on which a wrought-iron compass figure has been affixed. There are two projections on the southerly end of the front façade—the one on the second story contains a single casement window centered under a pattern of square ventilation holes; the first story projection extends even further out and contains a centered casement window.

A front-gabled double garage at the southerly end of the parcel has a pull-down door and gable venting in a cross pattern. The garage is connected to the house by a breezeway that has arched openings on both ends, with metal gates on the easterly side. Within the brick-floored breezeway are two steps that connect down to a door to the garage.

The rear façade of the house features French doors leading out to a patio, flanked by narrow sidelights. The positions of the windows on the second floor directly above match this pattern. To the north on the first floor is an arched stained-glass window with a lantern light fixture adjacent to it. Further north in the one-story wing is a trio of arched windows, the two on each side being shorter and narrower than the one in the middle.

Also on the property behind the garage is a trellis-covered lanai.

13. ALTERATIONS AND DATES OF ALTERATIONS (based on building permits, physical analysis, oral information, see attached "Sources of Information" for obtaining City building permit records, attach additional pages in necessary):

October 1976 - a ceiling dropped and interior wall moved

September 1996 - kitchen remodeled

November 2011 - garage doors replaced with pair of carriage doors

November 2018 - chimney rebuilt

November 2018 - kitchen remodeled

14. IS THE STRUCTURE (check one): ☒ ON ITS ORIGINAL SITE ☐ MOVED ☐ UNKNOWN

15. LIST NAMES, OCCUPATIONS, AND TENURE OF ALL PREVIOUS OWNERS AND OCCUPANTS, IF KNOWN (see attached "Sources of Information" for obtaining prior ownership information):

Ridenour Brothers - owners and contractors (1926)

Bessie P. Cronenweth (1927-1934)

Louise M. Dement and Donald E. Dement, a physician (1934 - 1935)

Mordica O. Johnston, owner of the Johnston Formation Testing Company, and his wife
Lillian E. Johnston (1935 - 1943)

Virginia G. Lloyd and her husband F. Seymour Lloyd, an auditor (1943 - 1945)

Amy M. Potter, widow of Wilbur Potter (1945 - 1973)

Peter J. and Patricia Garcia (1973-1989)

Karl A. Schulzman and Richard A. Neri (1989-1993)

Steven B. and Kathleen (Kate) Fosselman (1993- 2011)

Alexandra Loew and Bob Swensen (2011 - ca. 2018)

Suzanne G. LeMay (ca. 2018 - 2020)

Navarro Living Trust (2020)

18. CRITERIA FOR INCLUSION IN THE GLENDALE REGISTER

In order to qualify for inclusion on the Glendale Register, the proposed resource must meet at least one of the following criteria. Please explain how the proposed resource meets one or more of the following criteria. A proposed resource does not need to meet all criteria in order to qualify for the Glendale Register. However, if the proposed resource meets more than one criterion, please include all information in this application. If a criterion is inapplicable, indicate "Not Applicable". Attach additional pages, if necessary. Identify the source from where the information was obtained and provide copies of any supporting information and documentation with this application.

CRITERION 1

IS THE PROPOSED HISTORIC RESOURCE IDENTIFIED WITH IMPORTANT EVENTS IN NATIONAL, STATE, OR CITY HISTORY, OR DOES IT EXEMPLIFY SIGNIFICANT CONTRIBUTIONS TO THE BROAD CULTURAL, POLITICAL, ECONOMIC, SOCIAL, OR HISTORIC HERITAGE OF THE NATION, STATE, OR CITY? IF SO, PLEASE DESCRIBE:

N/A

CRITERION 2

IS THE PROPOSED HISTORIC RESOURCE ASSOCIATED WITH A PERSON, PERSONS, OR GROUPS WHO SIGNIFICANTLY CONTRIBUTED TO THE HISTORY OF THE NATION, STATE, REGION, OR CITY? IF SO, PLEASE DESCRIBE:

N/A

CRITERION 3

DOES THE PROPOSED HISTORIC RESOURCE EMBODY THE DISTINCTIVE AND EXEMPLARY CHARACTERISTICS OF AN ARCHITECTURAL STYLE, ARCHITECTURAL TYPE, PERIOD, OR METHOD OF CONSTRUCTION; OR REPRESENT A NOTABLE WORK OF A MASTER DESIGNER, BUILDER OR ARCHITECT WHOSE GENIUS INFLUENCED HIS OR HER PROFESSION; OR POSSESS HIGH ARTISTIC VALUES? IF SO, PLEASE DESCRIBE:

This residence exemplifies the Spanish Colonial Revival style with its uses of diversity of massing, multiplicity of tiled roofs, arches and wrought-iron, casement windows, plaster walls, and tilework. It sits prominently at the intersection of Grandview and Sonora Avenues, its side yard forming a park-like setting at the intersection.

CRITERION 4

HAS THE PROPOSED HISTORIC RESOURCE YIELDED, OR HAVE THE POTENTIAL TO YIELD, INFORMATION IMPORTANT TO ARCHAEOLOGICAL PRE-HISTORY OR HISTORY OF THE NATION, STATE, REGION, OR CITY? IF SO, PLEASE DESCRIBE:

N/A

CRITERION 5

DOES THE PROPOSED HISTORIC RESOURCE EXEMPLIFY THE EARLY HERITAGE OF THE CITY? IF SO, PLEASE DESCRIBE:

N/A

19. PLEASE STATE ANY ADDITIONAL FACTS PERTAINING TO THE PROPERTY THAT WAS NOT ADDRESSED ABOVE.

Palm trees previously seen on both sides of the front of the house were recently removed
due to disease.

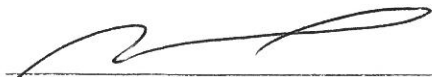
20. OWNER CONSENT FORM

I Certify That I Am The Current Property Owner Of Record (Include All Owners):

Navarro Living Trust

Robert Navarro, Co-Trustee

Print Name



Signature

4/12/21

Date

Ilda Navarro, Co-Trustee

Print Name



Signature

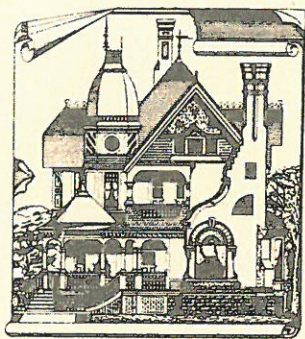
4/12/21

Date

Print Name

Signature

Date



THE BUILDING BIOGRAPHER TIM GREGORY

- ❖ Building Histories
- ❖ Archival Consulting
- ❖ Cultural Resource Studies
- ❖ Historic Resources Surveys
- ❖ Local, State and National Landmarking

1559 GRANDVIEW AVENUE

GLENDALE

Style: Spanish Colonial Revival

Year of Completion: 1926

Original Building Permit: #16717, issued by the City of Glendale on June 11, 1926 for a two-story, nine-room residence and garage. The house, to measure approximately 65 by 42 feet, would have a concrete foundation, wood-frame walls covered in plaster, a tiled roof, and one chimney.

A copy of this permit is attached on pages 8 through 10.

Cost to Build: \$15,000—a typical cost for a house of this size at the time.

Builder and First Owner: Ridenour Brothers, Inc., Glendale. This general contracting firm, located at 230 North Brand Blvd., built the house on speculation, selling it within a year of its completion. The brothers were Ernest J. Ridenour (1883-1962), the president of the company; Lawrence (born 1889); Robert (born 1896); and Alvin (born 1900). Ernest was a native of Michigan but appears to have grown up in Missouri, where his brothers were born. They had arrived in California by 1910, and by 1920 were living in Turlock. The census identified Ernest as a “building designer” and two of his brothers as “building contractors.” The firm’s stay in Glendale appears to have been fairly short-lived: by 1930, Ernest had moved to Whittier. He later worked as a traveling “brick salesman” and architect for his brother Lawrence who had become a brick manufacturer in Phoenix, Arizona.

400 E. California Blvd. #3 ❖ Pasadena, CA 91106-3763
(626) 792-7465 ❖ timgregory@sbcglobal.net
www.buildingbiographer.com

Two other Glendale houses known to have been built by the Ridenour brothers were 1210 and 1220 Cortez (1927 and 1928, respectively), the latter as a home for Ernest. Neither of them had identified architects, indicating Ernest may have designed the houses himself or found inspiration from house-plan books or magazines. The house at 1220 Cortez is now on Glendale's Register of Historic Resources.

Ernest Ridenour was probably not a trained architect, but learned the design trade through his experience in the construction business. He is not listed in professional directories or in the *Avery Index to Architectural Periodicals*. The only work for which Ernest was given documented design credit was a commercial structure and restaurant, built opposite the pier in Huntington Beach in 1929, which later became the Golden Bear nightclub, a rock-and-roll landmark of the 1970s and 1980s. It was demolished in 1986. Ernest Ridenour died in Orange County at the age of 78.

The Ridenours purchased the vacant parcel on Grandview from Sam and Bernardo Roselli.

Architect: Information had been passed down from owner to owner that the designer of this house was actually Reginald Johnson, the well-known Pasadena architect. No documentation could be found to corroborate it. Unfortunately, the building permit does not identify the architect. A search through issues of the *Southwest Builder and Contractor* (a weekly journal of the construction trade that reported on many building projects in Southern California) between January 1 and June 27, 1926 did not turn up any additional information.

Most of Johnson's records disappeared long ago. The best job list can be found in *Johnson, Kaufmann, Coate: Partners in the California Style*, a 1992 publication of the Capra Press, although the author cautioned that it was far from complete. This house is not included in that list nor among the compilation of citations in the archives of the City of Pasadena's historic preservation office that was used to create the book's list.

There is usually a kernel of truth in "neighborhood lore" that is passed down orally. It could be that the builders, the Ridenour Brothers, who designed many of their own projects, were great admirers of Johnson's work and based their plans on his work. (Johnson's famed Santa Barbara Biltmore was designed in 1926, the same year as this house.) Or perhaps the brothers had worked for Johnson in the past and he agreed to offer suggestions to them without being credited. Unfortunately, we may never know.

Other Building Permits: An electric range was installed in August 1937.

Repair of termite damage and dry rot occurred in June 1945 at a cost of \$900.

Sewer work was done in June 1948.

A permit was issued in October 1976 to drop a ceiling and move an interior wall. Benoit Gagne was the contractor for this work, valued at \$1,500. The following month, the installation of a new sink, dishwasher, and clothes washer was permitted.

Electrical service was upgraded to 200 amps in November 1982.

The City granted an after-the-fact permit for the construction of a six-to-seven-foot fence along the rear property line in June 1994.

In August 1994, a permit was issued for the repair of a block wall for \$1,100.

Kitchen remodeling costing \$15,000 was permitted in September 1996. The owner was to act as his own contractor. Four fixtures and 31 electrical outlets were added.

In November 2011, a permit was issued to replace the garage doors with a pair of carriage doors, add French doors, and provide five new branch electrical circuits. The owner was to act as her own contractor for these projects, valued at \$6,000.

The chimney was to be rebuilt from the throat up, matching the existing chimney, at a cost of \$9,500, according to a permit issued in November 2018. Parkerstone Construction, Inc., of Montrose was the contractor.

Also that month, a permit was issued to remodel the kitchen, including new fixtures. No structural changes were to be made. Los Angeles Restoration & Design, Inc., was the contractor for this \$25,000 job.

Copies of some of these permits are attached on pages 11 through 20.

Assessor's Records: The Los Angeles County Assessor first visited the property on October 28, 1926 and recorded a single two-story residence with a concrete foundation, stucco walls, a tiled roof with six gables, and ornamental trim. Heat was provided by a fireplace and a gas furnace with twelve openings. There were thirteen "good"-quality plumbing fixtures. Lighting fixtures were rated of "special" quality. The primary interior finish was plaster with a "jazz" finish.

Bookcases were built-in. The overall construction quality of the house was rated "special"—the highest category available on the Assessor's form.

The Assessor estimated the square footage at 3,013. On the first floor were an entry hall, three living rooms (one was probably a dining room and one had an open-beamed ceiling), one bedroom, one bathroom, a kitchen with a tile drainboard, and a breakfast room. The second floor contained four bedrooms and one bathroom. The house had a total of eight hardwood floors. The twenty-foot-square garage had a concrete floor, stucco walls, and a gabled tiled roof.

The Assessor currently estimates the current square footage of the house at 3,078 with five bedrooms and two bathrooms. Copies of the Assessor's building records as of 2010 are attached on pages 21 through 23.

Other Owners and Residents: After its completion, the house was sold to Bessie P. Cronenweth. She apparently did not live in the house, but rented it out to William A. Oates, a

manufacturer, and his wife Edna M. Oates. Later tenants were H. Reeve Darling, a florist, and his wife Clara Darling.

In May 1934, Louise M. Dement purchased the property. She shared the house with her husband Donald E. Dement, a physician.

Within a year, the property was again sold. The new owner was Mordica O. Johnston, the owner of the Johnston Formation Testing Company. Living with him were his wife Lillian E. Johnston and their son Mordica, Jr., who worked as a machinist.

Virginia G. Lloyd gained title in October 1943. Also living in the house was her husband F. Seymour Lloyd who was employed as an auditor.

In January 1945, James A. and Helen M. Carlin purchased the property. Title passed just five months later to Mrs. Amy M. Potter, the widow of Wilbur Potter, and her son Frank S. Potter who was in the manufacturing business. Mrs. Potter became sole owner of the property around 1953. She was active in Zonta International, hosting meetings and teas at her home.

After 28 years of ownership, the Potter family sold to Peter J. and Patricia Garcia in October 1973.

Kurt A. Schulzman and Richard A. Neri became the owners in February 1989.

Steven B. Jarvis and Kathleen (Kate) Fosselman gained title in November 1993.

By November 2011, Alexandra Loew and Bob Swensen had become the owners.

By November 2018, Suzanne G. LeMay had been recorded as the owner.

The Navarro Living Trust has been the owner since December 2020.

Note: The property was advertised for sale by the *Los Angeles Times* on August 22, 1943 and again on August 13, 1944. It was described as a “fine two-story home” and “artistically designed, expensive to build.” Copies of these ads are attached on pages 6 and 7.

Significance: This property is potentially eligible for listing on the Glendale Register of Historic Resources.

Sources:

City of Glendale, Building & Safety Department
 Los Angeles County Assessor (Sylmar district office and Los Angeles archives)
 Los Angeles Public Library

Gebhard, David and Robert Winter. *An Architectural Guidebook to Los Angeles*.
 Salt Lake City, Gibbs-Smith, 2003.
 McAlester, Virginia and Lee. *A Field Guide to American Houses*.
 New York, Knopf, 1984.

City Directories: 1926-

Los Angeles Times: August 22, 1943; August 13, 1944

Internet Resources, including California Index, California Death Index,
 Gale Biography Master Index, Ancestry.com, and Historic *Los Angeles Times*
 Database.

Tim Gregory
 The Building Biographer
 400 East California Blvd., #3
 Pasadena, CA 91106-3763
 626-792-7465
timgregory@sbcglobal.net
www.buildingbiographer.com

Copyright October 2010; revised February 2021
 by Tim Gregory

1559 GRANDVIEW AVE.
Above Kenneth Rd. on large corner
lot. Fine 2-sty. home. 5 bedrooms.
3 1/2 bath. sunroom. Only \$12,500.
EDDY D. FIELD. REALTOR
CI-31168. 517 N. Brand. CH-5-1142.

Los Angeles Times
August 22, 1943. p. B11

Glendale Property 191

1359 Grandview Ave.

Above Kenneth Rd., artistically designed, expensive to build, this fine home has 5 bdrms. & den. 3½ ba. Quick poss. \$15,500.

Eddy D. Field, Realtor

CH-3-1142, 517 N. Brand. Cl. 3-1168

Los Angeles Times
August 13, 1944; p. C13

CITY OF GLENDALE

DEPARTMENT OF PUBLIC WORKS
DIVISION OF BUILDINGAPPLICATION FOR
BUILDING PERMIT

CLASS D

GLENDALE, CALIF.

192

No. 16717
6/11/26

APPLICATION IS HEREBY MADE TO THE SUPERINTENDENT OF BUILDINGS TO ERECT
BUILDING IN ACCORDANCE WITH PROVISIONS OF CITY ORDINANCES AND STATE LAWS
APPLICABLE THERETO.

OWNER'S NAME Rideman Bros Inc
 Owner's Address 230 No Brand Glendale
 PURPOSE OF BUILDING Residence & Bar
 Number of Rooms 9 Entire Cost of Building, \$ 15000.00
 JOB ADDRESS: No. 1559 Grand View in District
 CONTRACTOR'S NAME Rideman Bros Inc
 Contractor's Address 230 No Brand
 Lot No. 1-2 Block 6165
 Tract
 Size of Lot 1.50 X 110 X 120 X 5 Size of Building 65 x 42
 Will Building be erected on front or rear of lot? Front
 NUMBER OF STORIES IN HEIGHT 2
 Of what material will FOUNDATION and cellar walls be built? Cement
 GIVE depth of FOUNDATION below surface of ground 12"
 GIVE dimensions of FOUNDATION and cellar wall FOOTINGS 6" x 18"
 GIVE width of FOUNDATION and cellar wall at top 8"
 NUMBER and KIND of chimneys 1 Number of flues 1
 Number of inlets to each flue 1 Interior size of flues 8 X 16
 Give sizes of following materials: MUDSILLS 2 x 6 Girders and stringers 4 x 6
 EXTERIOR STUDS 2 x 6 BEARING STUDS 2 x 6 Interior Studs 2 x 4
 Ceiling joist 2 x 4 Roof rafters 2 x 6 FIRST FLOOR JOIST 2 x 8
 SECOND FLOOR JOIST 2 x 10 Third floor joist — Fourth floor joist —
 Specify material of roofing Tile What means of access to attic? Scuttle
 What is the least area of any sleeping or living room? 132
 (Rooms used for sleeping purposes shall contain not less than 90 square feet of floor space.)
 What is the minimum ceiling height? 8'6"
 Will windows in each room be equal to one-eighth (1/8) of floor area? yes
 What is the minimum height of floor above ground? 24"
 Will entire space underneath building be enclosed and be provided with ventilating screens? yes
 Will a water closet be provided for each family? yes
 Give area of water closet compartment or room, when finished —
 Give size of windows for toilet and bath rooms 3' x 3'
 Specify size of vent shafts to water closet compartments —
 What is least size of window-courts? —

Will all provisions of State Dwelling House Act be complied with? yes

I have carefully examined and read the above application and know the same to be true and correct. All provisions
of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

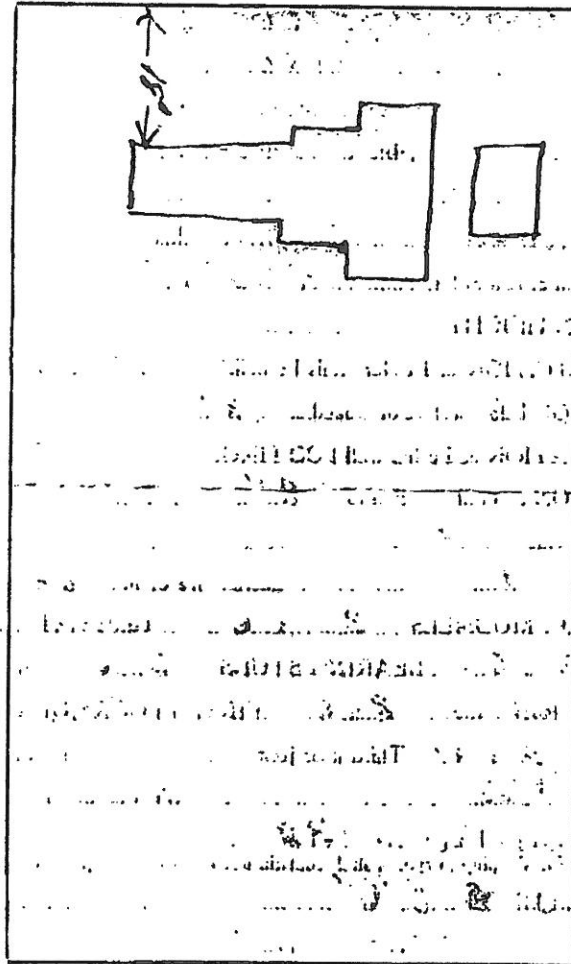
(Sign here)

Rideman Bros Inc
 by Arthur C. [Signature]
 (Owner's Authorized Agent)

Date issued 6/11/26 192

Indicate by sketch in space below exact location of proposed building and dimensions, distance from lot line and same data for existing buildings, if any. If none, so state. Show dimensions of lot. Enter street, house number, tract and lot numbers:

No. _____ Street _____



Lot No. _____ Tract _____

B-2

Owner Pidenor Bros Address of Job 1559 Grandview
 Purpose of Bldg. Garage Fire Dist. No. 2

BUILDING		PLUMBING		WIRING	
Date Issued	<u>6-11-26</u>	Date Issued	<u>6-23-26</u>	Date Issued	<u>7-5-26</u>
Permit No.	<u>1671</u>	Permit No.	<u>27501</u>	Permit No.	<u>23825</u>
Contractor	<u>James</u>	Contractor	<u>Thos. Staverly</u>	Contractor	<u>Brady & Coe</u>

	Ready for Inspection	Inspection O. K.		Ready for Inspection	Inspection O. K.
Foundation	<u>6-11-26</u>	<u>9d</u>	Rough	<u>8-0-1926</u>	<u>24</u>
1st Floor	<u>7-8-26</u>	<u>9d</u>	Gas	<u>1-9-1927</u>	<u>24</u>
2d, 3d Floor			Sewer	<u>2-4-1926</u>	<u>24</u>
Chimney			Cesspool	<u>1-6-1927</u>	<u>24</u>
			Finish	<u>1-9-1927</u>	<u>24</u>

PLUMBING		WIRING	
Date Issued	<u>9-16-26</u>	Date Issued	<u>10-1-26</u>
Cesspool Permit No.	<u>28873</u>	Permit No.	<u>24767</u>
Contractor	<u>Harry Thomas</u>	Contractor	<u>G. Newton</u>

	Ready for Inspection	Inspection O. K.		Ready for Inspection	Inspection O. K.
Temporary Wiring			Rough		
Rough			Finish		
Finish			Fixtures		
Fixtures			Motors		
Motors					

CITY OF GLENDALE

DEPARTMENT OF PUBLIC WORKS
DIVISION OF BUILDINGApplication to Alter ☐ Repair ☐ Demolish ☐ or Move ☐

PLANS AND SPECIFICATIONS AND OTHER DATA MUST ALSO BE FILED

Application is hereby made to the Superintendent of Buildings of the City of Glendale for the approval of this detailed statement of specifications herewith submitted for the alteration, repair, demolition or moving of the building herein described. All provisions of the building ordinances and state laws shall be complied with in the alteration of said building, whether herein specified or not. It is also understood that the granting of a permit on this application does not grant any right or privilege for the alteration, repair or demolition of the building herein described, on any public street or alley or on any land or portion thereof, the title or right of possession of which is in litigation by, or is disputed by the City, County or State; or as giving or granting any right or privilege to use the said structure or building for any purpose which is or may hereafter be prohibited by ordinance of the City of Glendale.

A DOUBLE FEE WILL BE CHARGED IF JOB IS STARTED BEFORE PERMIT IS ISSUED

(SIGN HERE)

P. B. Friedman

Owner or Authorized Agent.

Lot No. _____ Block _____ Tract _____

Job Address 1559 Grand View Fire District _____Owner's Name Mrs. Amy PotterOwner's Address 2016 6th St. San Fernando

Architect's Name _____ Address _____

Contractor's Name Bob Tennant Service State License Number 71384Contractor's Address 1203 N. Niagara BurbankEntire cost of the Proposed Improvements, \$ 900⁰⁰ Class of Building _____Purpose of the Building Dwelling No. of Stories in height 2

Size of New Addition _____ x _____ Material of Foundation _____

Depth Of Foundation _____ Size Footing _____ Size of Wall _____

Size of Exterior Studs _____ x _____ Interior Studs _____ x _____

Size of Mud Sills _____ x _____ Bearing Studs _____ x _____

Size of First Floor Joist _____ x _____ Second Floor Joist _____ x _____

Ceiling Joists _____ x _____ Roof Rafters _____ x _____

What is minimum height of Floor Joist above ground? _____

Specify Material of Roofing _____

Number and Kind of Chimneys _____ Size of Flues _____

Are there any Poles, Trees, Hydrants affecting driveway? _____

STATE ON THE FOLLOWING LINES JUST WHAT YOU WANT TO DO:

Tennant and Dry Rot RepairPERMIT NO. 23200 Date Issued 6-27- 1945Make Diagram on
Back of this Sheet

OWNER <i>J. H. Connerwith</i>		ADDRESS <i>1559 Grandview</i>		FIRE DISTRICT NO.	
PURPOSE OF BUILDING		BUILDING		PLUMBING	
DATE <i>6-27-45</i>		DATE <i>3-11-36</i>		DATE <i>8-5-37</i>	
NO. <i>23200</i>		NO. <i>39084</i>		NO. <i>20797</i>	
AMT. <i>900</i>		AMT. <i>heater</i>		AMT. <i>range</i>	
CON. <i>Hermite repairs</i>		CON. <i>Perley & Sons</i>		CON. <i>P. S. Dept.</i>	
INSP'D		INSP'D		INSP'D	
INSP.		INSP.		INSP.	
FOUNDATION		ROUGH		ROUGH	
1ST FLOOR		GAS		FINISH	
2 & 3 FLOOR		SEWER <i>DEC 10 1931</i>		FIXTURES	
CHIMNEY		CESSPOOL <i>Trout</i>		MOTOR	
		FURNACE <i>9-29-34</i>		FURNACE	
		FINISH <i>3-14-36</i>			
SEWER		CESSPOOL		FURNACE	
DATE <i>12-17-31</i>		DATE		DATE	
NO. <i>14988</i>		NO. <i>1 Head.</i>		NO.	
AMT. <i>27 (3795)</i>		AMT.		AMT.	
CON. <i>W. I. Van Patten</i>		CON.		CON.	

Flbg. 5-2-40

55362

1 hts.

C. C. Flbg.

Denver 6-28-48

83092

Denver # ~~83092~~ 484

Mac.

JOB ADDRESS	
1559 GRANDVIEW AVE	
NUMBER	STREET
APPLICATION FOR A BUILDING PERMIT BUILDING SECTION, PUBLIC WORKS DIVISION CITY OF GLENDALE, CALIFORNIA	
CONTRACTOR BENOIT GAGNE	CITY LIC. NO. 14472
MAILING ADDRESS 1422 WESTERN AVE	TEL. NO. 2455483
<input type="checkbox"/> ARCH. <input type="checkbox"/> ENGR.	STATE LIC. NO.
MAILING ADDRESS	TEL. NO.
OWNER MR PETE GARCIA	TEL. NO. 242-3939
MAILING ADDRESS 1559 GRANDVIEW AVE	
CONSTRUCTION LENDER & BRANCH	
MAILING ADDRESS	
DESCRIPTION OF WORK	
NEW <input type="checkbox"/> ADD'N <input type="checkbox"/> ALTER. <input checked="" type="checkbox"/> REPAIR <input type="checkbox"/> DEMOLISH <input type="checkbox"/>	
FLOOR AREA INCR. OR DECR. (SQ. FT.)	NO. OF DWELLING UNITS
PRESENT BLDG. USE HOME	PROPOSED BLDG. USE
DESCRIBE WORK TO BE DONE DROP CEILING AND MOVE INTERIOR WALL	
LOT WIDTH	LOT DEPTH
NO. OF EXISTING BLDGS. ON LOT	
NOTE: PROVIDE PLOT PLAN ON BACK SIDE OF ORIGINAL COPY ONLY	
VALUATION	NOTE: Include Labor, Mat., Wiring, Plumb., Heat, Etc. \$1500.00
MAP BK. 5622 PAGE 23 PARCEL # 1 SEC. SH. 53	
LOT 182 BLOCK NO. 6165	
USE ZONE R1 FIRE ZONE 3 OCCU. PANCY I TYPE OF CONSTR. IN	
REQ'D SET BACKS	SPECIAL CASE
CITY ENGINEER Approval & Information by Others	
EASEMENT	SEWER
DIST. FACE OF CURB TO P.I.	FT. YES NO GRADING
PUBLIC SERVICE	
WATER	ELECTRIC
P.C. FEE 10.73	PERM. PLAN <input type="checkbox"/> CHECKER'S APPROVAL
PERMIT FEE 16.50	W/SP PLAN <input type="checkbox"/> OK
I have carefully read and examined the above application and find the same to be true and correct. All provisions of the laws and Ordinances governing building construction will be complied with whether specified herein or not. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received. I certify that in the performance of the work for which this permit is issued I shall not employ any person in any manner so as to become subject to the workmen's compensation laws of California.	
Benoit Gagne SIGNATURE OF OWNER OR CONTRACTOR	

FORM B-51 (REV. 7/74) © L

PERMANENT

CK. CASH. M.O. PLAN CHECK VALIDATION

NOTE: WHEN PROPERLY VALIDATED IN THIS SPACE THIS FORM CONSTITUTES A BUILDING PERMIT TO DO THE WORK PRESCRIBED HEREIN.

10.73

28376 OCT 25 76PC

17.00

28377 OCT 25 76AL

CITY OF

Glendale CALIFORNIA

MARS
L-72
JUN 15 1994

633 East Broadway, Room 309, Glendale, CA 91206-4390

(818) 548-4836
FAX (818) 548-4362Public Works
Division
BUILDING
SECTION

June 10, 1994

Kathleen Fosselman
1559 Grandview Avenue
Glendale, CA 91201

RE: 1559 Grandview Avenue

Dear Owner:

As a result of a referral, an inspection of the single family building at 1559 Grandview Avenue was made by a representative of the Building Inspection Section on June 6, 1994. The inspection revealed that certain conditions exist which are in violation of Section 301(a) of Volume I of the Glendale Building Code as adopted by Ordinance 4992 as evidenced by:

The fence built in the south west side of Sonora Street exceeds 6'0" in height and requires a permit.

Correction requires that you stop all work. Obtain a building permit and request inspection by the Building Inspection Section.

In order to obtain a building permit, it will be necessary for you to submit an application with two sets of plans and specifications to the Permit Services Center. The plans shall show clearly and in detail the nature and extent of the proposed work for review and approval by the Permit Services Center.

Return the structure to its original condition if permits are unobtainable.

In accordance with the provisions of Chapter 3 of Volume I of the Glendale Building Code, you are required to obtain the necessary permits and commence corrective action within thirty (30) days of this notice.

If you have any questions, please contact Fred Gallegos at 548-4834 between 7:00-8:00 a.m. Monday through Thursday, or 7:30-8:30 a.m. Friday.

Sincerely,

*Fred Gallegos*Fred Gallegos
Building Inspector

FG:cb



PRINTED ON RECYCLED PAPER

PLOT PLAN INSTRUCTIONS

City of Glendale
Permit Services Center

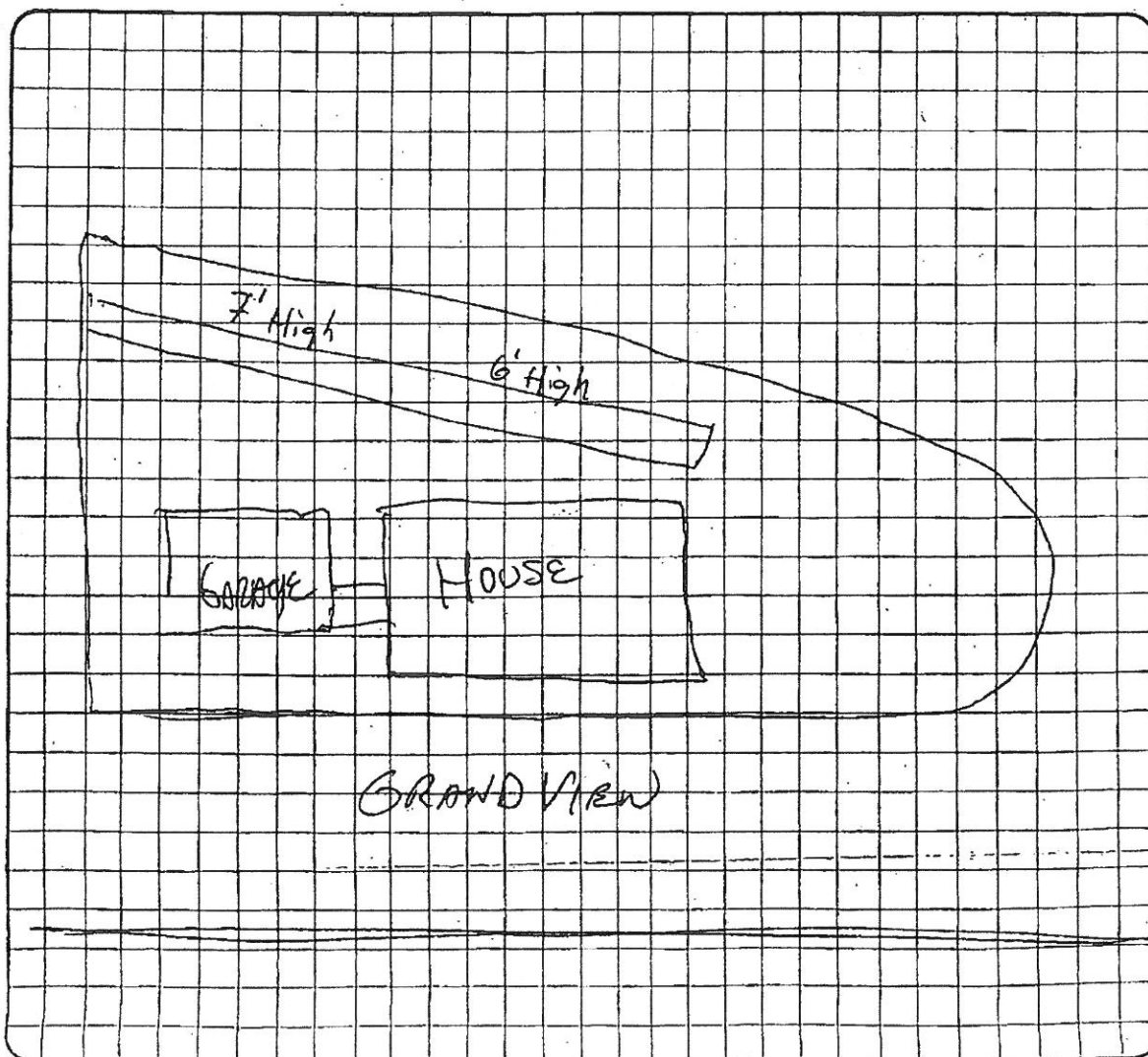
309

PLEASE SHOW ON PLOT PLANS FOR BUILDING PERMIT THE FOLLOWING INFORMATION:

1. Make the bottom of the page the street frontage.
2. Draw the shape of the lot only if it is irregular.
3. Put the dimensions of the lot in the brackets provided on the sheet for right, left, front and rear; or if it is irregular, on the outside of the lot lines.
4. Draw where existing structures sit on the property and show length/width size. Locate all structures on the lot and their distance from one another.
5. Draw where the new construction will be located; ie. onto an existing building or on the property and its size.
6. Show how far from the property lines existing buildings and new construction will be.

STREET NAMES

1. Give the names of the road or street your property is located on. Mark an X where the building is located.
2. Show the nearest intersecting streets or roadways.
3. Check the appropriate box if the property is a corner or hillside lot.



18

1559 GRANDVIEW AVE


Permit No: BB1827977

Printed On: 11/8/2018

APPLICANT Copy

Page 1 of 5

Permit No: BB1827977



BUILDING AND SAFETY
 633 E. Broadway, Rm 101
 Glendale, California, 91206
 (818)548-3200 • (818)548-4830(INSIP)

Building Permit
 Alteration; Dwelling/Duplex; Alteration; Dwelling/Duplex

Parcel Number: 5622023001

Valuation: \$9,500.00

Applied: 11/08/2018

Issued: 11/08/2018

Expiration: 05/07/2019

Scope of Work: REBUILD CHIMNEY FROM THROAT UP PER CASE 2 OF LA STANDARD PLAN TO MATCH EXISTING

PEOPLE/MANAGER

Ind./Comp.	Name	Full Address	Phone Number	City / State Lic.
Contractor	PARKERSTONE CONSTRUCTION INC	4130 RINCON AVENUE MONTROSE, CA 91020	818-957-6266	774747
Owner	LEMAY, SUZANNE G	3671 TILDEN AVE LOS ANGELES, CA 90034		

SITE DATA

Legal Description: TRACT NO 6165 LOTS 1 AND LOT 2	High Fire Hazard Zone: NO	Zone Use 1: R11
NAICS/Structure Use 1: 8141	Structure Occupancy 1: R-3	Occupancy 1 Floor Area (sq. ft.): 0
Design Occupant Load 1: 0	No. of Floor Levels Above Grade: 2	No. of Floor Levels Below Grade: 0
No. of Mezzanines: 0	Type of Construction 1: VB	GUSD Floor Area Commercial (sq. ft.): 0
GUSD Floor Area Residential (sq. ft.): 0	Building Floor Area Above Grade: 0	Building Floor Area Below Grade: 0
Zoning Building Height: 0	Fire Sprinkler: NO	Glendale Building & Safety Code Edition: 2017

CLEARANCE AGENCIES

Plan Check Status	Completion Date	Reviewed By	Department
PC Approved	11/08/2018	Danny Manasserian	CDD - Planning
PC Approved	11/08/2018	Tony Chriss	CDD - Building and Safety

1559 GRANDVIEW AVE

Permit No: BCB1828952

APPLICANT Copy

Page 1 of 5

Permit No: BCB1828952

Printed On: 11/27/2018



Permit Status: Issued
Expiration Date: 06/26/2019

BUILDING AND SAFETY

633 E. Broadway, Rm 101
Glendale, California 91206
(818)548-3200 • (818)548-4830(INSPI)

Combination Building Permit

Dwelling/Duplex; Dwelling/Duplex

Parcel Number: 5622023001

Valuation: \$25,000.00

Applied: 11/27/2018

Issued: 11/27/2018

Expiration: 05/26/2019

Scope of Work: KITCHEN REMODEL REPLACE FIXTURES IN SAME LOCATION. NO MOVEMENT OF WALLS. NO STRUCTURAL CHANGES. PARTIAL DRYWALL IN KITCHEN. NO EXTERIOR CHANGES. SM/CM DETECTORS REQUIRED. LOW FLOW PLUMBING FIXTURES REQUIRED. INCLUDES TRADES

WARNINGS

- NEW OR RELOCATED HVAC OR ELECTRICAL SERVICE REQUIRES SEPARATE PERMITS

PEOPLE MANAGER

Ind./Comp.	Name	Full Address	Phone Number	City / State Lic.
Contractor	LOS ANGELES RESTORATION & DESIGN INC	13636 VENTURA BLVD STE 168 SHERMAN OAKS, CA 91423	213-300-4202	912321
Owner	LEMAY, SUZANNE G	3671 TILDEN AVE LOS ANGELES, CA 90034		

SITE DATA

APN: 6622023001

Legal Description: TRACT NO 6165 LOTS 1

High Fire Hazard Zone: NO

AND LOT 2

Zone Use 1: R11

NAICS/Structure Use 1: 8141

Structure Occupancy 1: R-3

Occupancy 1 Floor Area (sq. ft.): 0

Design Occupant Load 1: 0

No. of Floor Levels Above Grade: 1

No. of Floor Levels Below Grade: 0

No. of Mezzanines: 0

Type of Construction 1: VB

GUSD Floor Area Residential (sq. ft.): 0

Building Floor Area Above Grade: 0

Building Floor Area Below Grade: 0

Zoning Building Height: 0

Fire Sprinkler: NO

Glendale Building & Safety Code Edition: 2017

CLEARANCE AGENCIES

Plan Check Status	Completion Date	Reviewed By	Department
PC Approved	11/27/2018	Vera Cholokian	CDD - Building and Safety

Form 6—E. W. H. PARCEL 1

BUILDING DESCRIPTION BLANK Index Book 5622
Page 23

Street No. 1559 Grand Ave

Tract 6165

Lot No. 1-2 Block No. 1926

Examined by T. J. [Signature] Date 10/28

CLASS	EXTERIOR	HEATING	TRIM	
Single	1 Story	Fireplace	Tile	
Double	1 1/2 "	False Mantel	Cobblestone	
Maverick	2 "	Gas Furnace	Brick	
California	3 "	Wood "	Stone	
Bungalow	Stucco	Coal "	Plain	
Residence	Shakes, Rustic	No. Openings <u>17</u>	Plaster	
Cottage	Siding, B & B	Steam	Wood	
Dwelling	Brick	Gas Radiators	Ornamental	
Flat	Brick Veneer			
Apartment	Corrugated Iron	PLUMBING	INSIDE FINISH	
Factory	Frame, Steel	Number of	Plaster	
Church	Frame, Wood	Fixtures	Plaster-Board	
School	Adobe	<u>13</u>	Jag	
Store	Plaster on Adobe		Tiffany	
Garage	Plaster on Tile		Canvas or Sanitas	
Barn		Cheap	Paper	
Shed	ROOF	Medium	Unfinished	
Poultry House	Shed	Good	Woodwork, Plain	
	Flat	Special <u>4 1/2</u>	" Ornamental	
FOUNDATION	Hip	Bath <u>1</u> Tile Walls	BUILT-IN FEATURES	
Stone	Gables <u>6</u>	Tile Floor	Refrigerator	
Concrete	Dormers		Buffet	
Brick	Cut-up	LIGHTING	Patent Bds	
Wood	Shingle		Bookcases	
	Gravel	Gas	BUILT	
BASEMENT	Tile	Electricity	<u>1926</u>	
10 feet x	Tile-Trim	Cheap	CONSTRUCTION	
16 feet x	Corrugated Iron	Medium	Cheap	
5 feet deep	Composition	Good	Medium	
@ cu. ft.	Slate	Special	Good	
			Special	2 1/2

No. of	Building Values	CHANGES ONLY
Cubic Ft.		
No. of Square Ft.	<u>3013</u>	
At \$ <u>2.75</u>		
Building Value	<u>8285.13</u>	
Basement Cost	<u>1257</u>	
Heating Cost	<u>729.00</u>	
Garage Cost	<u>240.00</u>	
Outbuildings Cost	<u>326.00</u>	
Total Cost	<u>10685.13</u>	
Physical Depreciation	<u>16.52</u>	
Utility Depreciation	<u>116.15</u>	
Depreciated Value	<u>10412.46</u>	
Assessed Value	<u>3210.00</u>	

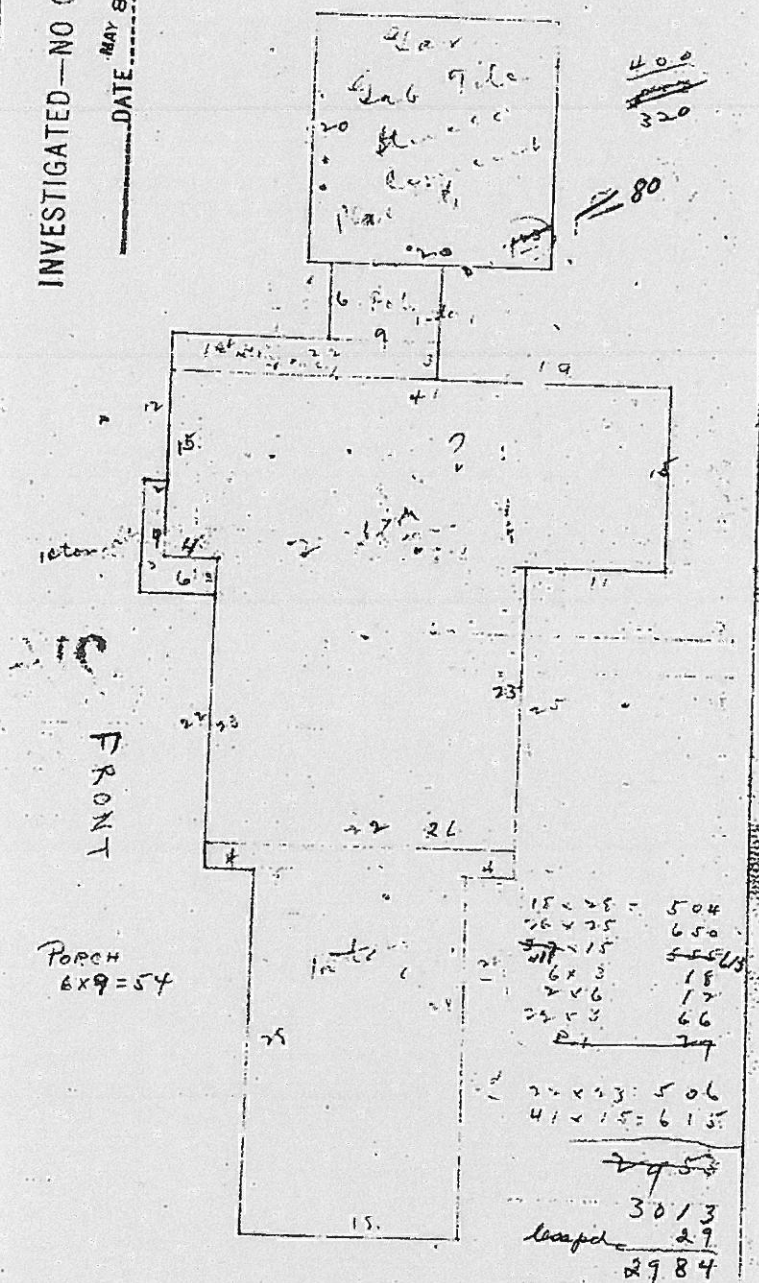
No. of Permit	Date	Estimated Cost of Bldg.	No. of Permit	Date	Estimated Cost of Bldg.
16717	6/11/26	15000	496	4/4/26	4420
Owner's Name <u>Wideman Bros Inc</u>					
C. F. Checked <u>[Signature]</u>					
Compt. Checked <u>[Signature]</u>					
E. on M. B. <u>FXN</u>					
Compared <u>[Signature]</u>					
P.C. by	Date	%	P.C. Value		

581 724 3660

Entered on Lot 2
(1 + 2 diff owners 12/15/26)

INVESTIGATED—NO CHANGE

DATE MAY 8 33



134

[illegible]