

**IDENTIFICATION**

- 1. HISTORIC NAME OF PROPOSED RESOURCE (if any) N/A
- 2. STREET ADDRESS (include all addresses associated with the property)  
1559 Grandview Avenue, Glendale ZIP CODE 91201
- 3. ASSESSOR'S PARCEL NO(s) 5622-023-001
- 4. COMPLETE LEGAL DESCRIPTION (attach legal description): TRACT 6165  
BLOCK \_\_\_\_\_ LOT(s) 1 and 2
- 5. OWNER(s) Navarro Living Trust  
ADDRESS (if different from above) \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIPCODE \_\_\_\_\_  
PHONE 310-930-0866 EMAIL slord6@yahoo.com
- 6. PRESENT USE Single-family residence ORIGINAL USE Single-family residence

**PROPERTY DESCRIPTION**

**Describe as much as possible about the history of the structure. It is required that copies of any articles, information, or other supplementary documentation to support this application be attached.**

7. ARCHITECTURAL STYLE, INCLUDING ARCHITECTURAL DETAILS AND CHARACTER DEFINING FEATURES. Attach additional pages if necessary. (For residential use, please see the Glendale Design Guidelines for Adopted Historic Districts, "Sources of Information")

Please see continuation page  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 8. YEAR BUILT: 1926 SOURCE OF INFORMATION: Building permit
- 9. ORIGINAL ARCHITECT (if known) Unidentified (Information passed down from previous owners indicated Reginald Johnson was the architect, but no documentation was found)
- 10. ORIGINAL BUILDER (if known) Ridenour Brothers
- 11. DATES OF ENCLOSED PHOTOGRAPHS (see attached instructions for submitting photographs) February 17, 2021
- 12. SQUARE FOOTAGE (if known) 3,078

## CONTINUATION PAGE

### 7. ARCHITECTURAL STYLE, INCLUDING ARCHITECTURAL DETAILS AND CHARACTER DEFINING FEATURES:

This one-and-two-story Spanish Colonial style dwelling sits on a triangular-shaped lot. A majority of the parcel's open space is concentrated in a triangular unfenced side garden area at the intersection of Grandview and Sonora Avenues, creating a park-like landscape.

The house has irregular massing—the two-story section sits southerly of a one-story wing. The plaster walls of the house are topped by a low-pitched cross-gabled tiled roof. Windows are mostly multi-paned casement. Outdoor lighting fixtures, arrow-like awning supports, gates, and window grilles are of wrought-iron.

The main entry is located on the northerly end of the two-story southerly wing. The wood-paneled door, connected to the street by a brick walkway, is recessed behind an arch and is fronted by a pair of metal gates. The floor of the recess is made of pavers. A lantern light fixture is located next to the recess. The outside of the arch is bordered by bright tiles (which may be a later addition). To the north of the front door in the one-story section is a single narrow arched window and a wide attached rectangular chimney on which a wrought-iron compass figure has been affixed. There are two projections on the southerly end of the front façade—the one on the second story contains a single casement window centered under a pattern of square ventilation holes; the first story projection extends even further out and contains a centered casement window.

A front-gabled double garage at the southerly end of the parcel has a pull-down door and gable venting in a cross pattern. The garage is connected to the house by a breezeway that has arched openings on both ends, with metal gates on the easterly side. Within the brick-floored breezeway are two steps that connect down to a door to the garage.

The rear façade of the house features French doors leading out to a patio, flanked by narrow sidelights. The positions of the windows on the second floor directly above match this pattern. To the north on the first floor is an arched stained-glass window with a lantern light fixture adjacent to it. Further north in the one-story wing is a trio of arched windows, the two on each side being shorter and narrower than the one in the middle.

Also on the property behind the garage is a trellis-covered lanai.

13. ALTERATIONS AND DATES OF ALTERATIONS (based on building permits, physical analysis, oral information, see attached "Sources of Information" for obtaining City building permit records, attach additional pages in necessary):

October 1976 - a ceiling dropped and interior wall moved

---

September 1996 - kitchen remodeled

---

November 2011 - garage doors replaced with pair of carriage doors

---

November 2018 - chimney rebuilt

---

November 2018 - kitchen remodeled

---

14. IS THE STRUCTURE (check one):     ON ITS ORIGINAL SITE     MOVED     UNKNOWN

15. LIST NAMES, OCCUPATIONS, AND TENURE OF ALL PREVIOUS OWNERS AND OCCUPANTS, IF KNOWN (see attached "Sources of Information" for obtaining prior ownership information):

Ridenour Brothers - owners and contractors (1926)

---

Bessie P. Cronenweth (1927-1934)

---

Louise M. Dement and Donald E. Dement, a physician (1934 - 1935)

---

Mordica O. Johnston, owner of the Johnston Formation Testing Company, and his wife  
Lillian E. Johnston (1935 - 1943)

---

Virginia G. Lloyd and her husband F. Seymour Lloyd, an auditor (1943 - 1945)

---

Amy M. Potter, widow of Wilbur Potter (1945 - 1973)

Peter J. and Patricia Garcia (1973-1989)

Karl A. Schulzman and Richard A. Neri (1989-1993)

Steven B. and Kathleen (Kate) Fosselman (1993- 2011)

Alexandra Loew and Bob Swensen (2011 - ca. 2018)

Suzanne G. LeMay (ca. 2018 - 2020)

Navarro Living Trust (2020)

**18. CRITERIA FOR INCLUSION IN THE GLENDALE REGISTER**

In order to qualify for inclusion on the Glendale Register, the proposed resource must meet at least one of the following criteria. Please explain how the proposed resource meets one or more of the following criteria. A proposed resource does not need to meet all criteria in order to qualify for the Glendale Register. However, if the proposed resource meets more than one criterion, please include all information in this application. If a criterion is inapplicable, indicate "Not Applicable". Attach additional pages, if necessary. Identify the source from where the information was obtained and provide copies of any supporting information and documentation with this application.

**CRITERION 1**

**IS THE PROPOSED HISTORIC RESOURCE IDENTIFIED WITH IMPORTANT EVENTS IN NATIONAL, STATE, OR CITY HISTORY, OR DOES IT EXEMPLIFY SIGNIFICANT CONTRIBUTIONS TO THE BROAD CULTURAL, POLITICAL, ECONOMIC, SOCIAL, OR HISTORIC HERITAGE OF THE NATION, STATE, OR CITY? IF SO, PLEASE DESCRIBE:**

N/A

---

---

---

---

**CRITERION 2**

**IS THE PROPOSED HISTORIC RESOURCE ASSOCIATED WITH A PERSON, PERSONS, OR GROUPS WHO SIGNIFICANTLY CONTRIBUTED TO THE HISTORY OF THE NATION, STATE, REGION, OR CITY? IF SO, PLEASE DESCRIBE:**

N/A

---

---

---

---

**CRITERION 3**

**DOES THE PROPOSED HISTORIC RESOURCE EMBODY THE DISTINCTIVE AND EXEMPLARY CHARACTERISTICS OF AN ARCHITECTURAL STYLE, ARCHITECTURAL TYPE, PERIOD, OR METHOD OF CONSTRUCTION; OR REPRESENT A NOTABLE WORK OF A MASTER DESIGNER, BUILDER OR ARCHITECT WHOSE GENIUS INFLUENCED HIS OR HER PROFESSION; OR POSSESS HIGH ARTISTIC VALUES? IF SO, PLEASE DESCRIBE:**

This residence exemplifies the Spanish Colonial Revival style with its uses of diversity of massing, multiplicity of tiled roofs, arches and wrought-iron, casement windows, plaster walls, and tilework. It sits prominently at the intersection of Grandview and Sonora Avenues, its side yard forming a park-like setting at the intersection.

---

---

---

---

**CRITERION 4**

**HAS THE PROPOSED HISTORIC RESOURCE YIELDED, OR HAVE THE POTENTIAL TO YIELD, INFORMATION IMPORTANT TO ARCHAEOLOGICAL PRE-HISTORY OR HISTORY OF THE NATION, STATE, REGION, OR CITY? IF SO, PLEASE DESCRIBE:**

N/A

---

---

---

---

**CRITERION 5**

**DOES THE PROPOSED HISTORIC RESOURCE EXEMPLIFY THE EARLY HERITAGE OF THE CITY? IF SO, PLEASE DESCRIBE:**

N/A

---

---

---

---

**19. PLEASE STATE ANY ADDITIONAL FACTS PERTAINING TO THE PROPERTY THAT WAS NOT ADDRESSED ABOVE.**

Palm trees previously seen on both sides of the front of the house were recently removed

---

due to disease.

---

---

---

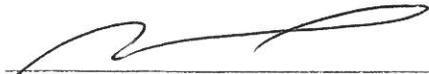
**20. OWNER CONSENT FORM**

**I Certify That I Am The Current Property Owner Of Record (Include All Owners):**

Navarro Living Trust

Robert Navarro, Co-Trustee

Print Name

  
Signature

4/12/21  
Date

Ilda Navarro, Co-Trustee

Print Name

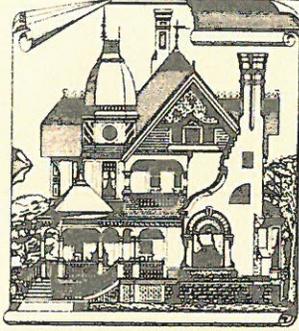
  
Signature

4/12/21  
Date

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



**THE BUILDING  
BIOGRAPHER  
TIM GREGORY**

- ❖ Building Histories
- ❖ Archival Consulting
- ❖ Cultural Resource Studies
- ❖ Historic Resources Surveys
- ❖ Local, State and National Landmarking

**1559 GRANDVIEW AVENUE**

**GLENDALE**

**Style:** Spanish Colonial Revival

**Year of Completion:** 1926

**Original Building Permit:** #16717, issued by the City of Glendale on June 11, 1926 for a two-story, nine-room residence and garage. The house, to measure approximately 65 by 42 feet, would have a concrete foundation, wood-frame walls covered in plaster, a tiled roof, and one chimney.

A copy of this permit is attached on pages 8 through 10.

**Cost to Build:** \$15,000—a typical cost for a house of this size at the time.

**Builder and First Owner:** Ridenour Brothers, Inc., Glendale. This general contracting firm, located at 230 North Brand Blvd., built the house on speculation, selling it within a year of its completion. The brothers were Ernest J. Ridenour (1883-1962), the president of the company; Lawrence (born 1889); Robert (born 1896); and Alvin (born 1900). Ernest was a native of Michigan but appears to have grown up in Missouri, where his brothers were born. They had arrived in California by 1910, and by 1920 were living in Turlock. The census identified Ernest as a “building designer” and two of his brothers as “building contractors.” The firm’s stay in Glendale appears to have been fairly short-lived: by 1930, Ernest had moved to Whittier. He later worked as a traveling “brick salesman” and architect for his brother Lawrence who had become a brick manufacturer in Phoenix, Arizona.

400 E. California Blvd. #3 ❖ Pasadena, CA 91106-3763  
(626) 792-7465 ❖ [timgregory@sbcglobal.net](mailto:timgregory@sbcglobal.net)  
[www.buildingbiographer.com](http://www.buildingbiographer.com)

Two other Glendale houses known to have been built by the Ridenour brothers were 1210 and 1220 Cortez (1927 and 1928, respectively), the latter as a home for Ernest. Neither of them had identified architects, indicating Ernest may have designed the houses himself or found inspiration from house-plan books or magazines. The house at 1220 Cortez is now on Glendale's Register of Historic Resources.

Ernest Ridenour was probably not a trained architect, but learned the design trade through his experience in the construction business. He is not listed in professional directories or in the *Avery Index to Architectural Periodicals*. The only work for which Ernest was given documented design credit was a commercial structure and restaurant, built opposite the pier in Huntington Beach in 1929, which later became the Golden Bear nightclub, a rock-and-roll landmark of the 1970s and 1980s. It was demolished in 1986. Ernest Ridenour died in Orange County at the age of 78.

The Ridenours purchased the vacant parcel on Grandview from Sam and Bernardo Roselli.

**Architect:** Information had been passed down from owner to owner that the designer of this house was actually Reginald Johnson, the well-known Pasadena architect. No documentation could be found to corroborate it. Unfortunately, the building permit does not identify the architect. A search through issues of the *Southwest Builder and Contractor* (a weekly journal of the construction trade that reported on many building projects in Southern California) between January 1 and June 27, 1926 did not turn up any additional information.

Most of Johnson's records disappeared long ago. The best job list can be found in *Johnson, Kaufmann, Coate: Partners in the California Style*, a 1992 publication of the Capra Press, although the author cautioned that it was far from complete. This house is not included in that list nor among the compilation of citations in the archives of the City of Pasadena's historic preservation office that was used to create the book's list.

There is usually a kernel of truth in "neighborhood lore" that is passed down orally. It could be that the builders, the Ridenour Brothers, who designed many of their own projects, were great admirers of Johnson's work and based their plans on his work. (Johnson's famed Santa Barbara Biltmore was designed in 1926, the same year as this house.) Or perhaps the brothers had worked for Johnson in the past and he agreed to offer suggestions to them without being credited. Unfortunately, we may never know.

**Other Building Permits:** An electric range was installed in August 1937.

Repair of termite damage and dry rot occurred in June 1945 at a cost of \$900.

Sewer work was done in June 1948.

A permit was issued in October 1976 to drop a ceiling and move an interior wall. Benoit Gagne was the contractor for this work, valued at \$1,500. The following month, the installation of a new sink, dishwasher, and clothes washer was permitted.

Electrical service was upgraded to 200 amps in November 1982.

The City granted an after-the-fact permit for the construction of a six-to-seven-foot fence along the rear property line in June 1994.

In August 1994, a permit was issued for the repair of a block wall for \$1,100.

Kitchen remodeling costing \$15,000 was permitted in September 1996. The owner was to act as his own contractor. Four fixtures and 31 electrical outlets were added.

In November 2011, a permit was issued to replace the garage doors with a pair of carriage doors, add French doors, and provide five new branch electrical circuits. The owner was to act as her own contractor for these projects, valued at \$6,000.

The chimney was to be rebuilt from the throat up, matching the existing chimney, at a cost of \$9,500, according to a permit issued in November 2018. Parkerstone Construction, Inc., of Montrose was the contractor.

Also that month, a permit was issued to remodel the kitchen, including new fixtures. No structural changes were to be made. Los Angeles Restoration & Design, Inc., was the contractor for this \$25,000 job.

Copies of some of these permits are attached on pages 11 through 20.

**Assessor's Records:** The Los Angeles County Assessor first visited the property on October 28, 1926 and recorded a single two-story residence with a concrete foundation, stucco walls, a tiled roof with six gables, and ornamental trim. Heat was provided by a fireplace and a gas furnace with twelve openings. There were thirteen "good"-quality plumbing fixtures. Lighting fixtures were rated of "special" quality. The primary interior finish was plaster with a "jazz" finish.

Bookcases were built-in. The overall construction quality of the house was rated "special"—the highest category available on the Assessor's form.

The Assessor estimated the square footage at 3,013. On the first floor were an entry hall, three living rooms (one was probably a dining room and one had an open-beamed ceiling), one bedroom, one bathroom, a kitchen with a tile drainboard, and a breakfast room. The second floor contained four bedrooms and one bathroom. The house had a total of eight hardwood floors. The twenty-foot-square garage had a concrete floor, stucco walls, and a gabled tiled roof.

The Assessor currently estimates the current square footage of the house at 3,078 with five bedrooms and two bathrooms. Copies of the Assessor's building records as of 2010 are attached on pages 21 through 23.

**Other Owners and Residents:** After its completion, the house was sold to Bessie P. Cronenweth. She apparently did not live in the house, but rented it out to William A. Oates, a

manufacturer, and his wife Edna M. Oates. Later tenants were H. Reeve Darling, a florist, and his wife Clara Darling.

In May 1934, Louise M. Dement purchased the property. She shared the house with her husband Donald E. Dement, a physician.

Within a year, the property was again sold. The new owner was Mordica O. Johnston, the owner of the Johnston Formation Testing Company. Living with him were his wife Lillian E. Johnston and their son Mordica, Jr., who worked as a machinist.

Virginia G. Lloyd gained title in October 1943. Also living in the house was her husband F. Seymour Lloyd who was employed as an auditor.

In January 1945, James A. and Helen M. Carlin purchased the property. Title passed just five months later to Mrs. Amy M. Potter, the widow of Wilbur Potter, and her son Frank S. Potter who was in the manufacturing business. Mrs. Potter became sole owner of the property around 1953. She was active in Zonta International, hosting meetings and teas at her home.

After 28 years of ownership, the Potter family sold to Peter J. and Patricia Garcia in October 1973.

Kurt A. Schulzman and Richard A. Neri became the owners in February 1989.

Steven B. Jarvis and Kathleen (Kate) Fosselman gained title in November 1993.

By November 2011, Alexandra Loew and Bob Swensen had become the owners.

By November 2018, Suzanne G. LeMay had been recorded as the owner.

The Navarro Living Trust has been the owner since December 2020.

**Note:** The property was advertised for sale by the *Los Angeles Times* on August 22, 1943 and again on August 13, 1944. It was described as a “fine two-story home” and “artistically designed, expensive to build.” Copies of these ads are attached on pages 6 and 7.

**Significance:** This property is potentially eligible for listing on the Glendale Register of Historic Resources.

**Sources:**

City of Glendale, Building & Safety Department  
Los Angeles County Assessor (Sylmar district office and Los Angeles archives)  
Los Angeles Public Library

Gebhard, David and Robert Winter. *An Architectural Guidebook to Los Angeles*.  
Salt Lake City, Gibbs-Smith, 2003.

McAlester, Virginia and Lee. *A Field Guide to American Houses*.  
New York, Knopf, 1984.

City Directories: 1926-

*Los Angeles Times*: August 22, 1943; August 13, 1944

Internet Resources, including California Index, California Death Index,  
Gale Biography Master Index, Ancestry.com, and Historic *Los Angeles Times*  
Database.

Tim Gregory  
The Building Biographer  
400 East California Blvd., #3  
Pasadena, CA 91106-3763  
626-792-7465  
[timgregory@sbcglobal.net](mailto:timgregory@sbcglobal.net)  
[www.buildingbiographer.com](http://www.buildingbiographer.com)

*Copyright* October 2010; revised February 2021  
by Tim Gregory

**1559 GRANDVIEW AVE.  
Above Kenneth Rd. on large corner  
lot. Fine 2-sty. home. 5 bedrooms,  
3 1/2 baths, sunroom. Only \$12,500.  
EDDY D. FIELD, REALTOR  
CI-31168. 517 N. Brand. CH-5-1142.**

Los Angeles Times  
August 22, 1943. p. B11

**Glendale Property 191**

**1559 Grandview Ave.**

Above Kenneth Rd., artistically designed, expensive to build, this fine home has 5 bdrms. & den. 3½ BA. Quick poss. \$15,500.

**Eddy D. Field, Realtor**

**CE-5-1142, 517 N. Brand. Cl. 3-1168**

Los Angeles Times  
August 13, 1944; p. C13

CITY OF GLENDALE  
DEPARTMENT OF PUBLIC WORKS  
DIVISION OF BUILDING

APPLICATION FOR  
BUILDING PERMIT

CLASS D

No. 16717

GLENDALE, CALIF. 192

APPLICATION IS HEREBY MADE TO THE SUPERINTENDENT OF BUILDINGS TO ERECT BUILDING IN ACCORDANCE WITH PROVISIONS OF CITY ORDINANCES AND STATE LAWS APPLICABLE THERETO.

OWNER'S NAME Ridman Bros Inc

Owner's Address 230 No Grand Glendale

PURPOSE OF BUILDING Residence & Bar

Number of Rooms 9 Entire Cost of Building, \$ 15000.00

JOB ADDRESS: No. 1559 Grand View in District

CONTRACTOR'S NAME Ridman Bros Inc

Contractor's Address 230 No Grand

Lot No. 1-2 Tract 6165

Tract

Size of Lot 1.50 x 110 x 120 x 5 Size of Building 65 x 42

Will Building be erected on front or rear of lot? Front

NUMBER OF STORIES IN HEIGHT 2

Of what material will FOUNDATION and cellar walls be built? Cement

GIVE depth of FOUNDATION below surface of ground 12"

GIVE dimensions of FOUNDATION and cellar wall FOOTINGS 6" x 18"

GIVE width of FOUNDATION and cellar wall at top 8"

NUMBER and KIND of chimneys 1 Number of flues 1

Number of inlets to each flue 1 Interior size of flues 8 x 16

Give sizes of following materials: MUDSILLS 2 x 6 Girders and stringers 4 x 6

EXTERIOR STUDS 2 x 6 BEARING STUDS 2 x 6 Interior Studs 2 x 4

Ceiling joist 2 x 4 Roof rafters 2 x 6 FIRST FLOOR JOIST 2 x 8

SECOND FLOOR JOIST 2 x 10 Third floor joist — Fourth floor joist —

Specify material of roofing Tile What means of access to attic? SCUTTLE

What is the least area of any sleeping or living room? 132  
(Rooms used for sleeping purposes shall contain not less than 90 square feet of floor space.)

What is the minimum ceiling height? 8'6"

Will windows in each room be equal to one-eighth (1/8) of floor area? yes

What is the minimum height of floor above ground? 24"

Will entire space underneath building be enclosed and be provided with ventilating screens? yes

Will a water closet be provided for each family? yes

Give area of water closet compartment or room, when finished —

Give size of windows for toilet and bath rooms 3' x 3'

Specify size of vent shafts to water closet compartments —

What is least size of window-courts? —

Will all provisions of State Dwelling House Act be complied with? yes

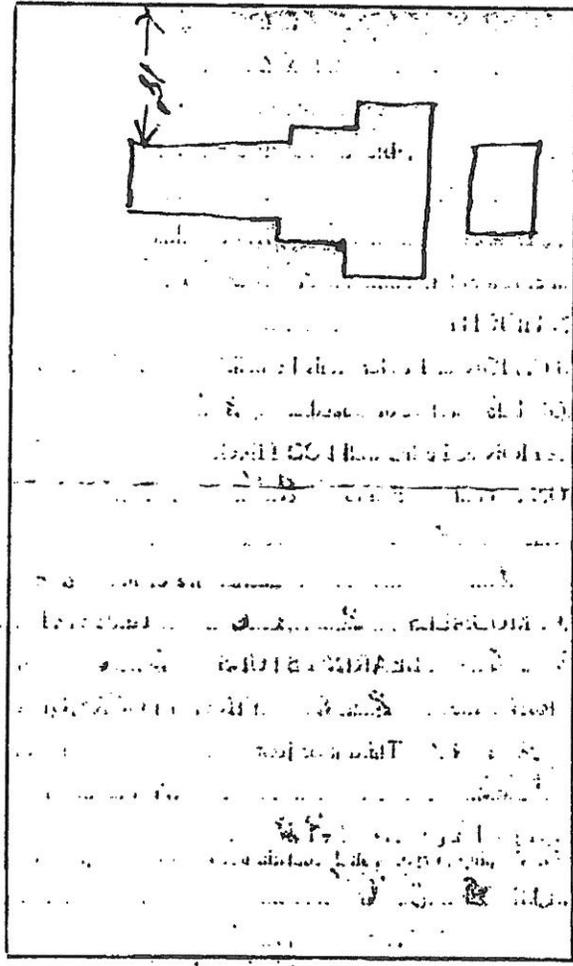
I have carefully examined and read the above application and know the same to be true and correct. All provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here) Ridman Bros Inc  
by W. J. Thurcott (Authorized Agent)

Date issued 6/11/26 192

Indicate by sketch in space below exact location of proposed building and dimensions, distance from lot line and same data for existing buildings, if any. If none, so state. Show dimensions of lot. Enter street, house number, tract and lot numbers.

No. \_\_\_\_\_ Street \_\_\_\_\_



Lot No. \_\_\_\_\_ Tract \_\_\_\_\_

B-2  
 Owner Richardson Bros Address of Job 1559 Grandview  
 Purpose of Bldg. Garage Fire Dist. No. \_\_\_\_\_

BUILDING		PLUMBING		WIRING	
Date Issued	<u>6-11-26</u>	Date Issued	<u>6-23-26</u>	Date Issued	<u>7-5-26</u>
Permit No.	<u>1671 AM 1500</u>	Permit No.	<u>27501 Amt. 1300</u>	Permit No.	<u>23825 Sw 29</u>
Contractor	<u>James</u>	Contractor	<u>Thos. Staverly</u>	Contractor	<u>Broadyway Elec</u>

	Ready for Inspection	Inspection O. K.	Ready for Inspection	Inspection O. K.	Ready for Inspection	Inspection O. K.
Foundation	<u>6-11-26</u>	<u>OK</u>			<u>7-5</u>	<u>OK</u>
1st Floor	<u>7-8-26</u>	<u>OK</u>			<u>9-17</u>	<u>OK</u>
2d, 3d Floor					<u>10-1</u>	<u>OK</u>
Chimney						

	Ready for Inspection	Inspection O. K.	Ready for Inspection	Inspection O. K.	Date Issued	Permit No.	Contractor
Temporary Wiring							
Rough					<u>9-16-26</u>	<u>24767</u>	<u>G. Newton</u>
Finish							
Fixtures							
Motors							

PLUMBING  
 Rough JUN 8-0 1926  
 Gas MAY 1-9 1927  
 Sewer SEP 24 1926  
 Cesspool SEP 16 1926  
 Finish MAY 19 1927

WIRING  
 Rough 7-5  
 Finish 9-17  
 Fixtures 10-1  
 Motors

PLUMBING  
 Date Issued 9-16-26  
 Cesspool Permit No. 28873  
 Contractor Harry Plummer

WIRING  
 Date Issued 10-1-26  
 Permit No. 24767  
 Contractor G. Newton

CITY OF GLENDALE  
DEPARTMENT OF PUBLIC WORKS  
DIVISION OF BUILDING

Application to Alter  Repair  Demolish  or Move

PLANS AND SPECIFICATIONS AND OTHER DATA MUST ALSO BE FILED

Application is hereby made to the Superintendent of Buildings of the City of Glendale for the approval of this detailed statement of specifications herewith submitted for the alteration, repair, demolition or moving of the building herein described. All provisions of the building ordinances and state laws shall be complied with in the alteration of said building, whether herein specified or not. It is also understood that the granting of a permit on this application does not grant any right or privilege for the alteration, repair or demolition of the building herein described, on any public street or alley or on any land or portion thereof, the title or right of possession of which is in litigation by, or is disputed by the City, County or State; or as giving or granting any right or privilege to use the said structure or building for any purpose which is or may hereafter be prohibited by ordinance of the City of Glendale.

**A DOUBLE FEE WILL BE CHARGED IF JOB IS STARTED BEFORE PERMIT IS ISSUED**  
(SIGN HERE) P. B. [Signature]  
Owner or Authorized Agent.

Lot No. \_\_\_\_\_ Block \_\_\_\_\_ Tract \_\_\_\_\_

Job Address 1559 Grand View Fire District \_\_\_\_\_

Owner's Name Mrs. Amy Potter

Owner's Address 7016 6th St. San Fernando

Architect's Name \_\_\_\_\_ Address \_\_\_\_\_

Contractor's Name Bob's Termite Service State License Number 71384

Contractor's Address 1203 N. Niagara Burbank

Entire cost of the Proposed Improvements, \$ 900<sup>00</sup> Class of Building \_\_\_\_\_

Purpose of the Building Dwelling No. of Stories in height 2

Size of New Addition \_\_\_\_\_ x \_\_\_\_\_ Material of Foundation \_\_\_\_\_

Depth Of Foundation \_\_\_\_\_ Size Footing \_\_\_\_\_ Size of Wall \_\_\_\_\_

Size of Exterior Studs \_\_\_\_\_ x \_\_\_\_\_ Interior Studs \_\_\_\_\_ x \_\_\_\_\_

Size of Mud Sills \_\_\_\_\_ x \_\_\_\_\_ Bearing Studs \_\_\_\_\_ x \_\_\_\_\_

Size of First Floor Joist \_\_\_\_\_ x \_\_\_\_\_ Second Floor Joist \_\_\_\_\_ x \_\_\_\_\_

Ceiling Joists \_\_\_\_\_ x \_\_\_\_\_ Roof Rafters \_\_\_\_\_ x \_\_\_\_\_

What is minimum height of Floor Joist above ground? \_\_\_\_\_

Specify Material of Roofing \_\_\_\_\_

Number and Kind of Chimneys \_\_\_\_\_ Size of Flues \_\_\_\_\_

Are there any Poles, Trees, Hydrants affecting driveway? \_\_\_\_\_

STATE ON THE FOLLOWING LINES JUST WHAT YOU WANT TO DO:

Termite and Dry Rot Repair

PERMIT NO. 23200 Date Issued 6-27- 1945

Make Diagram on Back of this Sheet



Flbg. 5-2-40

# 55362

1 hts.

C + C. Flbg.

Denver 6-28-48

# 83092

Denver # ~~911~~ 484

Maer.

---

JOB ADDRESS  
**1559 GRANDVIEW AVE**  
NUMBER STREET

APPLICATION FOR A  
**BUILDING PERMIT**  
BUILDING SECTION, PUBLIC WORKS DIVISION  
CITY OF GLENDALE, CALIFORNIA

CONTRACTOR  
**BENOIT GAGNE** CITY LIC. NO. **14472**  
MAILING ADDRESS  
**1428 WESTERN AVE** TEL. NO. **2455483**  
 ARCH. STATE LIC. NO.  
 ENGR. TEL. NO.

OWNER  
**MR PETE GARCIA** TEL. NO. **242-3939**  
MAILING ADDRESS  
**1559 GRANDVIEW AVE**  
CONSTRUCTION LENDER & BRANCH  
MAILING ADDRESS

**DESCRIPTION OF WORK**

NEW  ADD'N  ALTER  REPAIR  DEMOLISH

FLOOR AREA INCR. OR DECR. (SQ. FT.) NO. OF STORIES **2** NO. OF DWELLING UNITS

PRESENT BLDG. USE PROPOSED BLDG. USE  
**HOME**

DESCRIBE WORK TO BE DONE  
**DROP CEILING AND MOVE INTERIOR WALL**

LOT WIDTH LOT DEPTH NO. OF EXISTING BLDGS. ON LOT

NOTE: PROVIDE PLOT PLAN ON BACK SIDE OF ORIGINAL COPY ONLY

VALUATION NOTE: Include Labor, Mat., Wiring, Plumb., Heat, Etc. **\$1,500.00**

MAP BK. **5622** PAGE **23** PARCEL # **1** SEC. SH. **53**

LOT **18-2** BLOCK NO. TRACT **6165**

USE ZONE **R1** FIRE ZONE **3** OCCU. PANCY **I** TYPE OF CONSTR. **IN**

REQ'D SET BACKS FRONT RIGHT SIDE LEFT SIDE REAR SPECIAL CASE

CITY ENGINEER Approval & Information by Others

EASEMENT DIST. FACE OF CURB TO P.I. SEWER FT. YES NO GRADING

PUBLIC SERVICE PLANNING

WATER ELECTRIC

P.C. FEE **10.73** PERM. PLAN  CHECKER'S APPROVAL  
PERMIT FEE **16.50** W/COMP PLAN  **OK**

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the laws and Ordinances governing building construction will be complied with whether specified herein or not. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received. I certify that in the performance of the work for which this permit is issued I shall not employ any person in any manner so as to become subject to the workmen's compensation laws of California.

*Benoit Gagne*  
SIGNATURE OF OWNER OR CONTRACTOR

CK. CASH. M.O. PLAN CHECK VALIDATION  
28376 OCT 25 76PC 10.73  
28377 OCT 25 76AL 17.00  
NOTE: WHEN PROPERLY VALIDATED IN THIS SPACE THIS FORM CONSTITUTES A BUILDING PERMIT TO DO THE WORK PRESCRIBED HEREIN.

CITY OF

## Glendale CALIFORNIA

MARS  
L-72  
JUN 15 1994

633 East Broadway, Room 309, Glendale, CA 91206-4390

(818) 548-4836  
FAX (818) 548-4362Public Works  
Division  
BUILDING  
SECTION

June 10, 1994

Kathleen Fosselman  
1559 Grandview Avenue  
Glendale, CA 91201

RE: 1559 Grandview Avenue

Dear Owner:

As a result of a referral, an inspection of the single family building at 1559 Grandview Avenue was made by a representative of the Building Inspection Section on June 6, 1994. The inspection revealed that certain conditions exist which are in violation of Section 301(a) of Volume I of the Glendale Building Code as adopted by Ordinance 4992 as evidenced by:

**The fence built in the south west side of Sonora Street exceeds 6'0" in height and requires a permit.**

Correction requires that you stop all work. Obtain a building permit and request inspection by the Building Inspection Section.

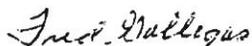
In order to obtain a building permit, it will be necessary for you to submit an application with two sets of plans and specifications to the Permit Services Center. The plans shall show clearly and in detail the nature and extent of the proposed work for review and approval by the Permit Services Center.

Return the structure to its original condition if permits are unobtainable.

In accordance with the provisions of Chapter 3 of Volume I of the Glendale Building Code, you are required to obtain the necessary permits and commence corrective action within thirty (30) days of this notice.

If you have any questions, please contact Fred Gallegos at 548-4834 between 7:00-8:00 a.m. Monday through Thursday, or 7:30-8:30 a.m. Friday.

Sincerely,


Fred Gallegos  
Building Inspector

FG:cb



PRINTED ON RECYCLED PAPER

# PLOT PLAN INSTRUCTIONS

City of Glendale  
Permit Services Center

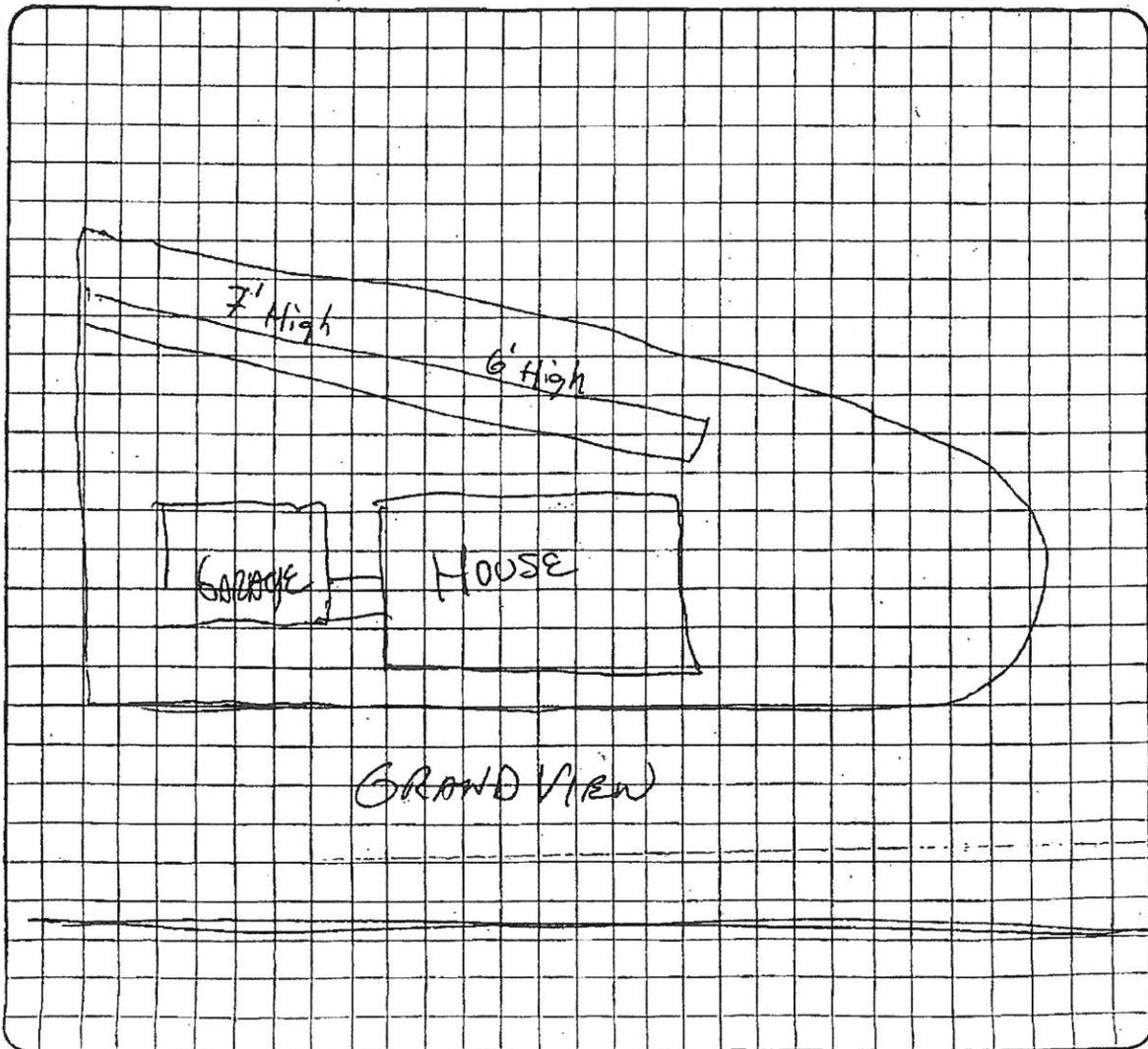
309

PLEASE SHOW ON PLOT PLANS FOR BUILDING PERMIT THE FOLLOWING INFORMATION:

1. Make the bottom of the page the street frontage.
2. Draw the shape of the lot only if it is irregular.
3. Put the dimensions of the lot in the brackets provided on the sheet for right, left, front and rear; or if it is irregular, on the outside of the lot lines.
4. Draw where existing structures sit on the property and show length/width size. Locate all structures on the lot and their distance from one another.
5. Draw where the new construction will be located; ie. onto an existing building or on the property and its size.
6. Show how far from the property lines existing buildings and new construction will be.

## STREET NAMES

1. Give the names of the road or street your property is located on. Mark an X where the building is located.
2. Show the nearest intersecting streets or roadways.
3. Check the appropriate box if the property is a corner or hillside lot.



18

1559 GRANDVIEW AVE  
Permit No: BB1827977

Page 1 of 5

APPLICANT Copy

Permit No: BB1827977

1559 GRANDVIEW AVE

Printed On: 11/8/2018



Permit Status: Issued  
Expiration Date: 05/07/2019

**BUILDING AND SAFETY**

633 E. Broadway, Rm 101  
Glendale, California, 91206  
(818)548-3200 • (818)548-4830(INSIP)



**Building Permit**

Alteration; Dwelling/Duplex; Alteration; Dwelling/Duplex

Parcel Number: 5622023001  
Valuation: \$9,500.00

Applied: 11/08/2018  
Issued: 11/08/2018  
Expiration: 05/07/2019

Scope of Work: REBUILD CHIMNEY FROM THROAT UP PER CASE Z OF LA STANDARD PLAN TO MATCH EXISTING

**PEOPLE MANAGER**

Ind./Comp.	Name	Full Address	Phone Number	City / State Lic.
Contractor	PARKERSTONE CONSTRUCTION INC	4130 RINCON AVENUE MONTROSE, CA 91020	618-957-6266	774747
Owner	LEMAY,SUZANNE G	3671 TILDEN AVE LOS ANGELES, CA 90034		

**SITE DATA**

Legal Description: TRACT NO 6165 LOTS 1 ANDLOT 2	High Fire Hazard Zone: NO	Zone Use 1: R11
NAICS/Structure Use 1: 8141	Structure Occupancy 1: R-3	Occupancy 1 Floor Area (sq. ft.): 0
Design Occupant Load 1: 0	No. of Floor Levels Above Grade: 2	No. of Floor Levels Below Grade: 0
No. of Mezzanines: 0	Type of Construction 1: VB	GUSD Floor Area Commercial (sq. ft.): 0
GUSD Floor Area Residential (sq. ft.): 0	Building Floor Area Above Grade: 0	Building Floor Area Below Grade: 0
Zoning Building Height: 0	Fire Sprinkler: NO	Glendale Building & Safety Code Edition: 2017

**CLEARANCE AGENCIES**

Plan Check Status	Completion Date	Reviewed By	Department
PC Approved	11/08/2018	Danny Manasserian	CDD - Planning
PC Approved	11/08/2018	Tony Chriss	CDD - Building and Safety

glendale

1559 GRANDVIEW AVE  
Permit No: BCB1828952

18

APPLICANT Copy

F

Page 1 of 5  
Permit No: BCB1828952

1559 GRANDVIEW AVE

Printed On: 11/27/2018



Permit Status: Issued  
Expiration Date: 06/26/2019

**BUILDING AND SAFETY**  
633 E. Broadway, Rm 101  
Glendale, California. 91206  
(818)548-3200 • (818)548-4830(INSP)

**Combination Building Permit**  
Dwelling/Duplex; Dwelling/Duplex

Parcel Number: 5622023001  
Valuation: \$25,000.00

Applied: 11/27/2018  
Issued: 11/27/2018  
Expiration: 05/26/2019

Scope of Work: KITCHEN REMODEL REPLACE FIXTURES IN SAME LOCATION. NO MOVEMENT OF WALLS. NO STRUCTURAL CHANGES. PARTIAL DRYWALL IN KITCHEN. NO EXTERIRO CHANGES. SM/CM DETECTORS REQUIRED. LOW FLOW PLUMBING FIXTURES REQUIRED. INCLUDES TRADES

**WARNINGS**

- NEW OR RELOCATED HVAC OR ELECTRICAL SERVICE REQUIRES SEPARATE PERMITS

**PEOPLE MANAGER**

Ind./Comp.	Name	Full Address	Phone Number	City / State Lic.
Contractor	LOS ANGELES RESTORATION & DESIGN INC	13636 VENTURA BLVD STE 168 SHERMAN OAKS, CA 91423	213-300-4202	912321
Owner	LEMAY,SUZANNE G	3671 TILDEN AVE LOS ANGELES, CA 90034		

**SITE DATA**

APN: 6622023001	Legal Description: TRACT NO 6165 LOTS 1 ANDLOT 2	High Fire Hazard Zone: NO
Zone Use 1: R1 I	NAICS/Structure Use 1: 8141	Structure Occupancy 1: R-3
Occupancy 1 Floor Area (sq. ft.): 0	Design Occupant Load 1: 0	No. of Floor Levels Above Grade: 1
No. of Floor Levels Below Grade: 0	No. of Mozzanines: 0	Type of Construction 1: VB
GUSD Floor Area Residential (sq. ft.): 0	Building Floor Area Above Grade: 0	Building Floor Area Below Grade: 0
Zoning Building Height: 0	Fire Sprinkler: NO	Glendale Building & Safety Code Edition: 2017

**CLEARANCE AGENCIES**

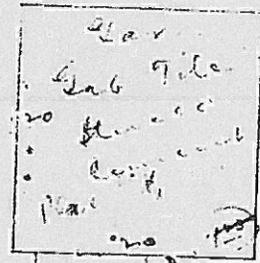
Plan Check Status	Completion Date	Reviewed By	Department
PC Approved	11/27/2018	Vera Cholakian	CDD - Building and Safety



Entered on Lot 2  
(1 + 2 dif owners 12/15/26)

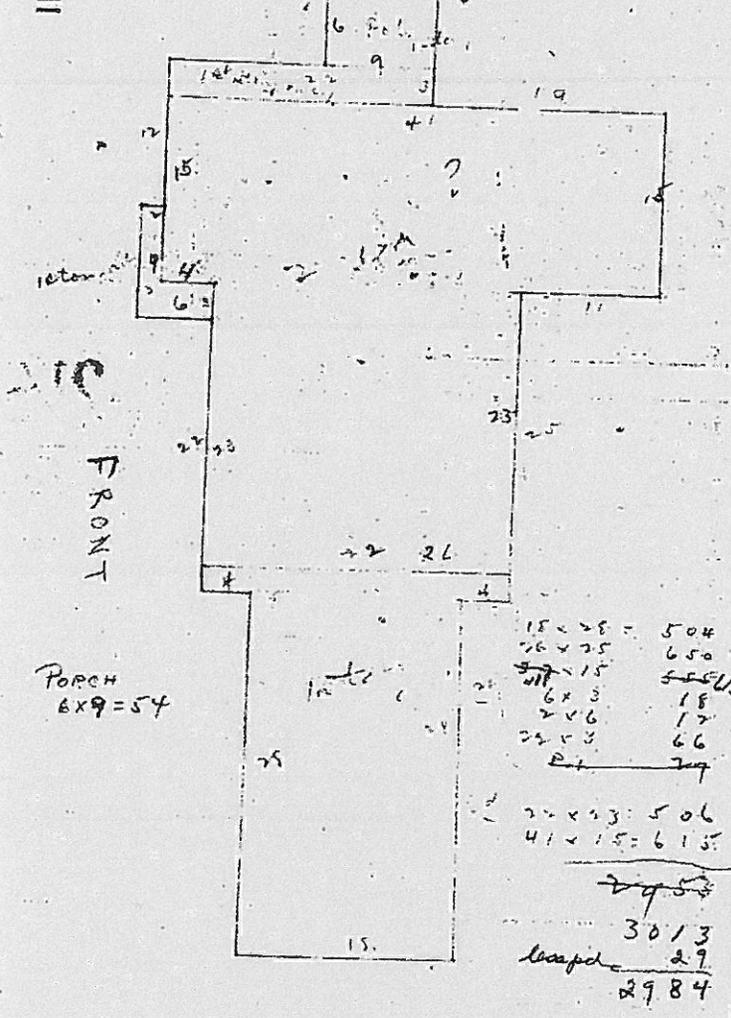
INVESTIGATED—NO CHANGE

DATE MAY 8 33



~~400~~  
320

80



210

FRONT

PORCH  
6x9=54

$15 \times 28 = 504$   
 $26 \times 25 = 650$   
 $41 \times 15 = 615$   
 $6 \times 9 = 54$   
 $2 \times 6 = 12$   
 $29 \times 3 = 87$   


---

 $2954$

$20 \times 23 = 460$   
 $41 \times 15 = 615$

~~2954~~  
 3013  
 less 29  
 2984

134

