

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

NEW HOUSE
AIVAZIAN RESIDENCE
924 OLD PHILLIPS RD. GLENDALE, CA 91207

PROJECT INFORMATION


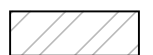


PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207

PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE STREET, STE. E
GLENDALE, 91203
OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM

SITE PLAN KEYED NOTES

1. PROPERTY LINE
2. NEW SFD FLOOR LINE
3. GARAGE LINE
4. EXT'G DRIVEWAY TO REMAIN
5. EXT'G LANDSCAPING TO REMAIN
6. NEW CONC. PATIO (NOT COVERED)
7. DIRECTION OF SHEET FLOW 2%
8. NEW CONC. LANDING WITH STEPS
9. EXT'G PLANTER WALL TO REMAIN
10. EXT'G BLOCK WALL TO REMAIN
11. EXT'G DRIVEWAY LINE
12. NEW LANDSCAPE

-  PROPOSED FIRST FLOOR AREA
-  PROPOSED SECOND FLOOR AREA
-  EXT'G LANDSCAPING
-  NEW 2 CAR GARAGE

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY
OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE
SEPARATE PERMIT.

APRON & CURB SHALL BE
CONSTRUCTED PER PUBLIC
WORKS ENG. REQUEST.
SEPARATE PERMIT
REQUIRED.

SITE MAP



SHEET INDEX

ARCHITECTURAL SHEETS:

- A0.1 COVER SHEET & SITE PLAN
A0.2 SECURITY & GREEN NOTES
A1.1 EXT'G SITE PLAN
A1.2 NEIGHBORING PROPERTIES
A2.1 PROPOSED FIRST FLOOR PLAN
A2.2 PROPOSED SECOND ROOF PLAN
DOOR / WINDOW SCHEDULE
A2.3 PROPOSED ROOF PLAN
A2.4 EXT'G ROOF PLAN
A3.0 EXT'G ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A4.1 BUILDING SECTIONS

TITLE 24:

- T1 ENERGY CALCULATIONS
T2 ENERGY CALCULATIONS

ENGINEERING SHEETS:

- S-1.0 GENERAL NOTES
S-1.1 GENERAL NOTES
S-1.2 DETAILS
S-2.1 FOUNDATION PLAN
S-2.2 ROOF FRAMING PLAN
S-3.1 DETAILS
S-3.2 DETAILS

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	9,250± SQ. FT.
NEW SINGLE FAMILY RESIDENCE	3,363 SQ. FT.
FIRST FLOOR	2,665 SQ. FT.
SECOND FLOOR	698 SQ. FT.
NEW 3 CAR GARAGE	440 SQ. FT.
TOTAL LIVING AREA	3,363 SQ. FT.

FLOOR AREA RATIO	TOTAL LIVING AREA : 3,363 SQ. FT.	
MAX. 40%	LOT AREA (9,250 SQ. FT.)	36 %
TOTAL MAX. - 3,710 SQ. FT.		

LOT COVERAGE RATIO	LOT COVERAGE (3,105 SQ. FT.)	
MAX. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	34 %

LANDSCAPE RATIO	LANDSCAPED AREA (4,880 SQ. FT.)	
MIN. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	53 %

ZONING	R1R II
APN	5649-002-039
OCCUPANCY	RESIDENCE R-3 GARAGE U
CONSTRUCTION TYPE	V-8
YEAR BUILT	1967
NUMBER OF STORIES	1
FIRE ZONE	YES
CA CLIMATE ZONE	9
FIRE SPRINKLERS	NO

PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD &
CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING &
SAFETY CODE. CBC SECTION 106.1.1

Attachment 1

SCOPE OF WORK

- NEW SINGLE FAMILY DWELLING (3,363 SQ. FT.) WITH 4
BEDROOMS AND 4.5 BATHROOMS
- NEW ATTACHED 2-CAR GARAGE (440 SQ. FT.)

NOTES

A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLWING :

1. RETAINING WALL OF BLOCK FENCE WALL
2. GRADING WORK
3. SWIMMING POOL
4. A SEPARATE STRUCTURE
5. SHORING
6. DEMOLITION

B. NO CHANGE IN GRADES ALLOWED

FIRE DEPT. NOTES

1. **ADDRESS NUMBERS:** APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR
APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS
PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS
GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL
CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC
NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4)
INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND
SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE
EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS
NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

2. **FIRE SPRINKLERS:** PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM
THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE
RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS OF THE GLENDALE
FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS
OF ISSUANCE OF THE BUILDING PERMIT.

3. **SMOKE DETECTORS:** SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING
ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL
WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO
THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE
DETECTORS.

4. **CARBON MONOXIDE DETECTORS:** SHALL BE INSTALLED OUTSIDE OF EACH
SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE
BEDROOM (2) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND
EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND IOR
NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC.
R315

5. **EGRESS:** ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE
WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.

6. **REQUIRED FIRE DEPARTMENT INSPECTIONS** FOR THIS PROJECT ARE LISTED
BELOW. FOR ALL INSPECTIONS, CALL 818-548-4810

7. **FIRE PERMITS:** THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE
DEPARTMENT:

8. **FUEL MODIFICATION / LANDSCAPING FOR HIGH FIRE HAZARD AREAS
(HFHA) :**
MAINTAIN EXISTING / PROVIDE FUEL MODIFICAITON ONLY - NO FIRE
DEPARTMENT REVIEW OR PERMITTING OF LANDSCAPE PLANS.
ALL FUEL MODIFICATION / LANDSCAPING SHALL COMPLY WITH FIRE
DEPARTMENT APPROVAL / PERMITTED LANDSCAPE PLANS.

- ☒ FIRE SPRINKLER OVERHEAD/UNDERGROUND ROUGH AND FLUSH
(BEFORE COVERING ANY PIPING)
- ☒ FIRE SPRINKLER FINAL
- ☒ FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE
DEPARTMENT ACCESS, SMOKE DETECTORS, FUEL MODIFICATION, ETC.)

9. **ADDITIONAL REQUIRED GFD INSPECTIONS:** FOR INSPECTIONS, CALL
818-548-4810. FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE: FIRE
PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS FIRE DEPARTMENT
ACCESS, SMOKE DETECTORS.

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING
STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.
HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS
ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/
OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES,
SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE
BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE
WORK SO INVOLVED.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH
INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF
EGRESS.

REVISIONS:

Δ	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

COVER SHEET & SITE PLAN

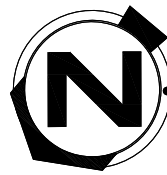
AIVAZIAN RESIDENCE

924 OLD PHILLIPS DR., GLENDALE 91207

DATE: 05/2020
DRAWN BY: NRK
JOB NO. 20028

SHEET NO.

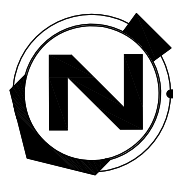
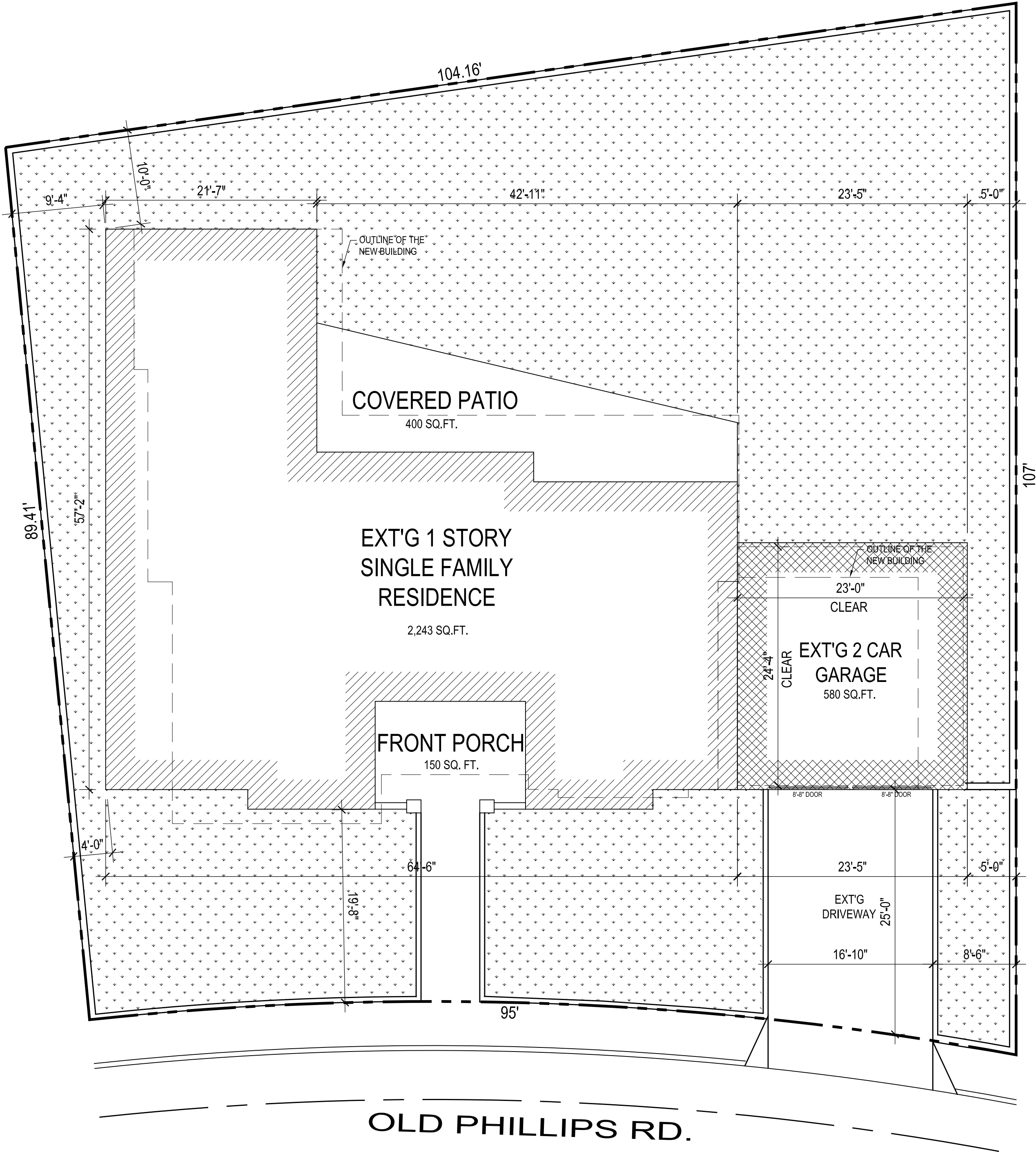
A0.1



PROPOSED SITE PLAN AND ROOF PLAN

SCALE : 1/8" = 1'-0"

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



EXT'G SITE PLAN
SCALE : 1/8" = 1'-0"

SITE PLAN LEGEND	
	EXT'G RESIDENCE
	EXT'G GARAGE
	EXT'G LANDSCAPING

PROJECT FLOOR PLAN AREA & DATA		
LOT AREA	9,250± SQ. FT.	
EXT'G RESIDENCE	2,243 SQ. FT.	
EXT'G 2 CAR GARAGE	580 SQ. FT.	
EXT'G FRONT PORCH	150 SQ. FT.	
EXT'G COVERED PATIO	400 SQ. FT.	
TOTAL LIVING AREA	2,243 SQ. FT.	
FLOOR AREA RATIO	TOTAL LIVING AREA : 2,243 SQ. FT.	24 %
MAX. 40%	LOT AREA (9,250 SQ. FT.)	
TOTAL MAX. - 3,710 SQ. FT.		
LOT COVERAGE RATIO	LOT COVERAGE (3,373 SQ. FT.)	37 %
MAX. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	
LANDSCAPE RATIO	LANDSCAPED AREA (4,980 SQ. FT.)	54 %
MIN. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	

REVISIONS:	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

EXT'G SITE PLAN

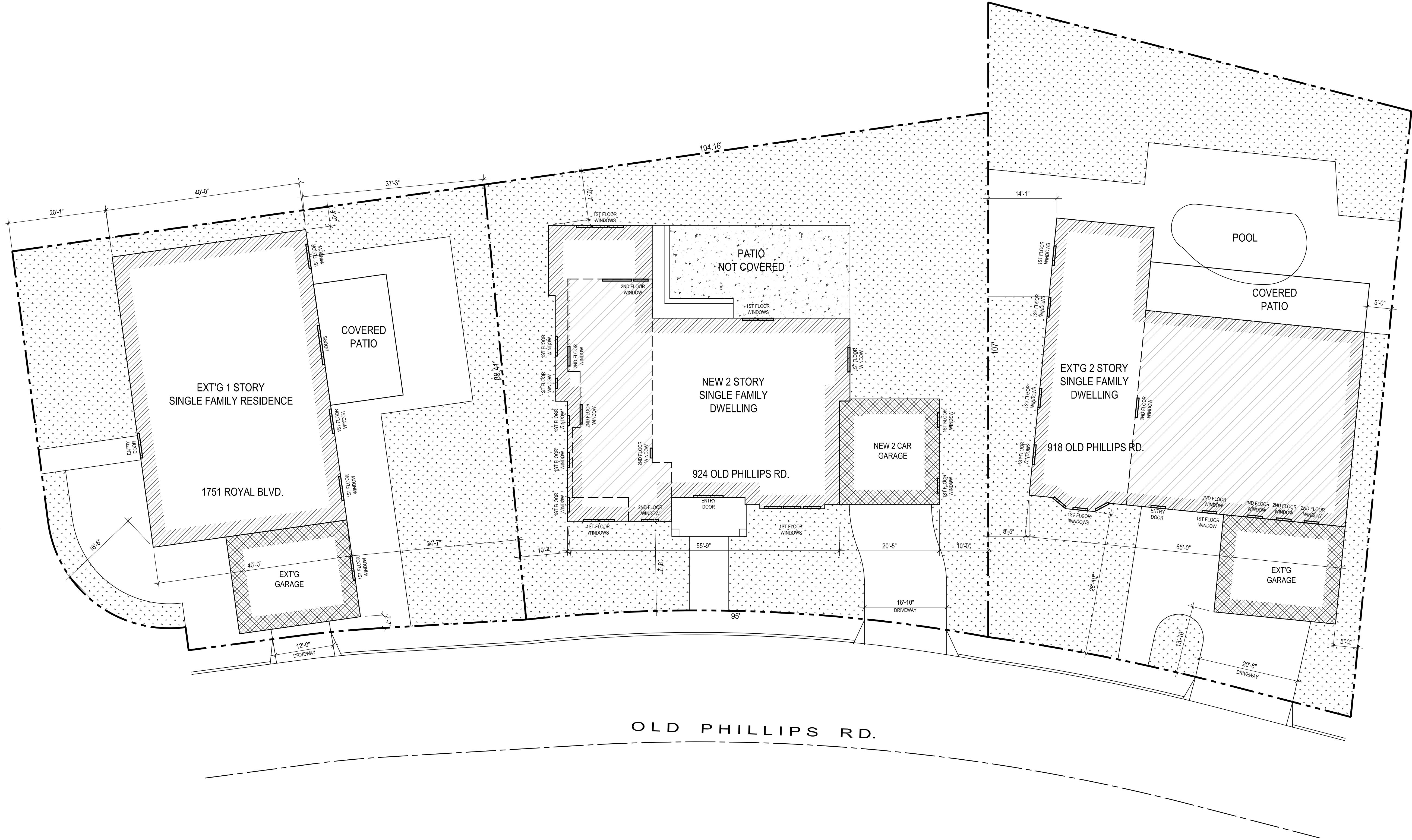
AIVAZIAN RESIDENCE
924 OLD PHILLIPS DR., GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.
A1.1

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

ROYAL BLVD.



- SINGLE FAMILY RESIDENCE (1ST FLOOR)
- SINGLE FAMILY RESIDENCE (2ND FLOOR)
- EXT'G LANDSCAPING
- GARAGE

REVISIONS:	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

NEIGHBORING PROPERTIES

AIVAZIAN RESIDENCE

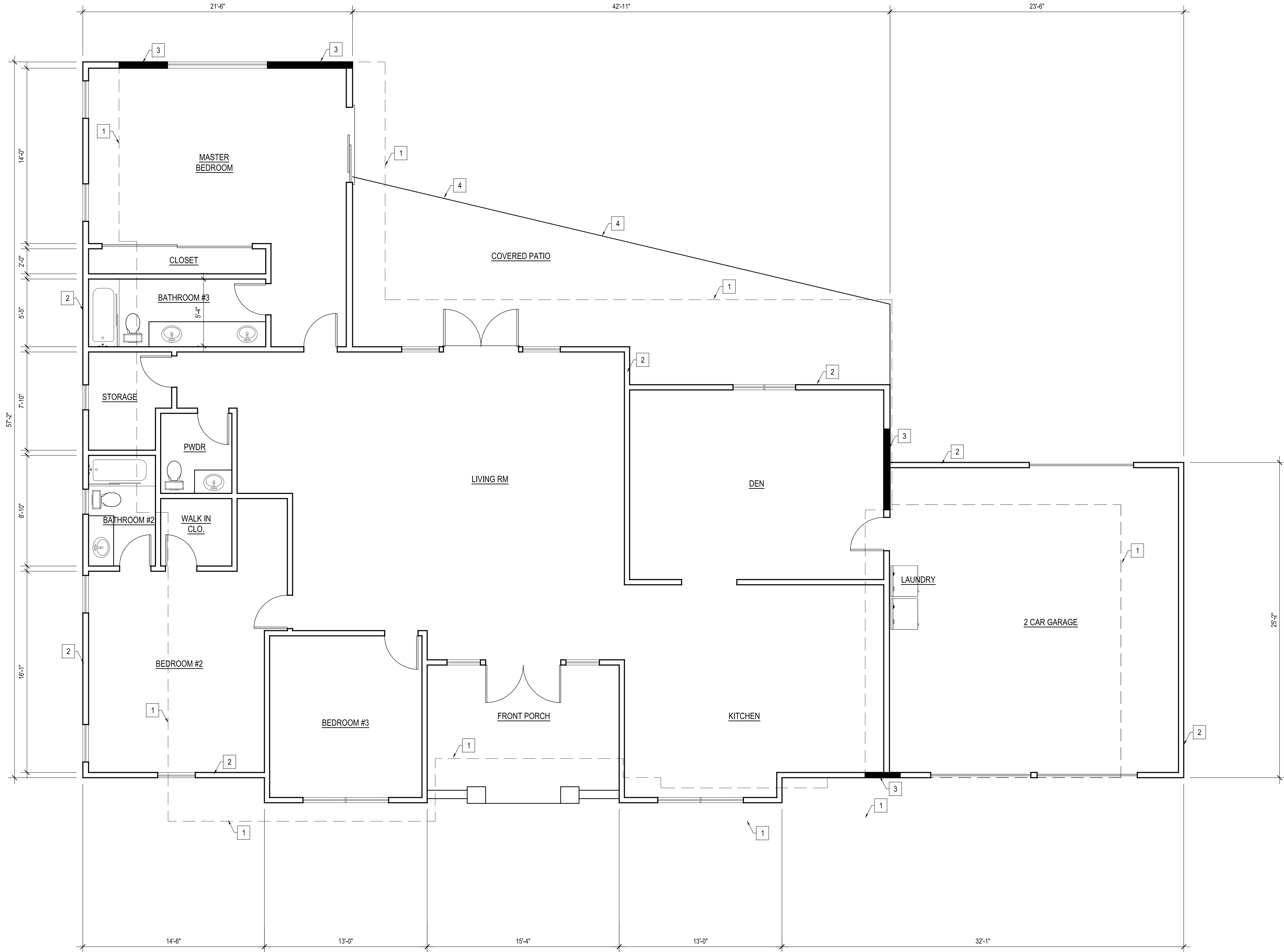
924 OLD PHILLIPS DR., GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A1.2

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



EXT'G RESIDENCE FLOOR PLAN

SCALE : 1/4" = 1'-0"

REVISIONS:	
1	
2	
3	
4	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

EXT'G FLOOR PLAN

AIVAZIAN RESIDENCE

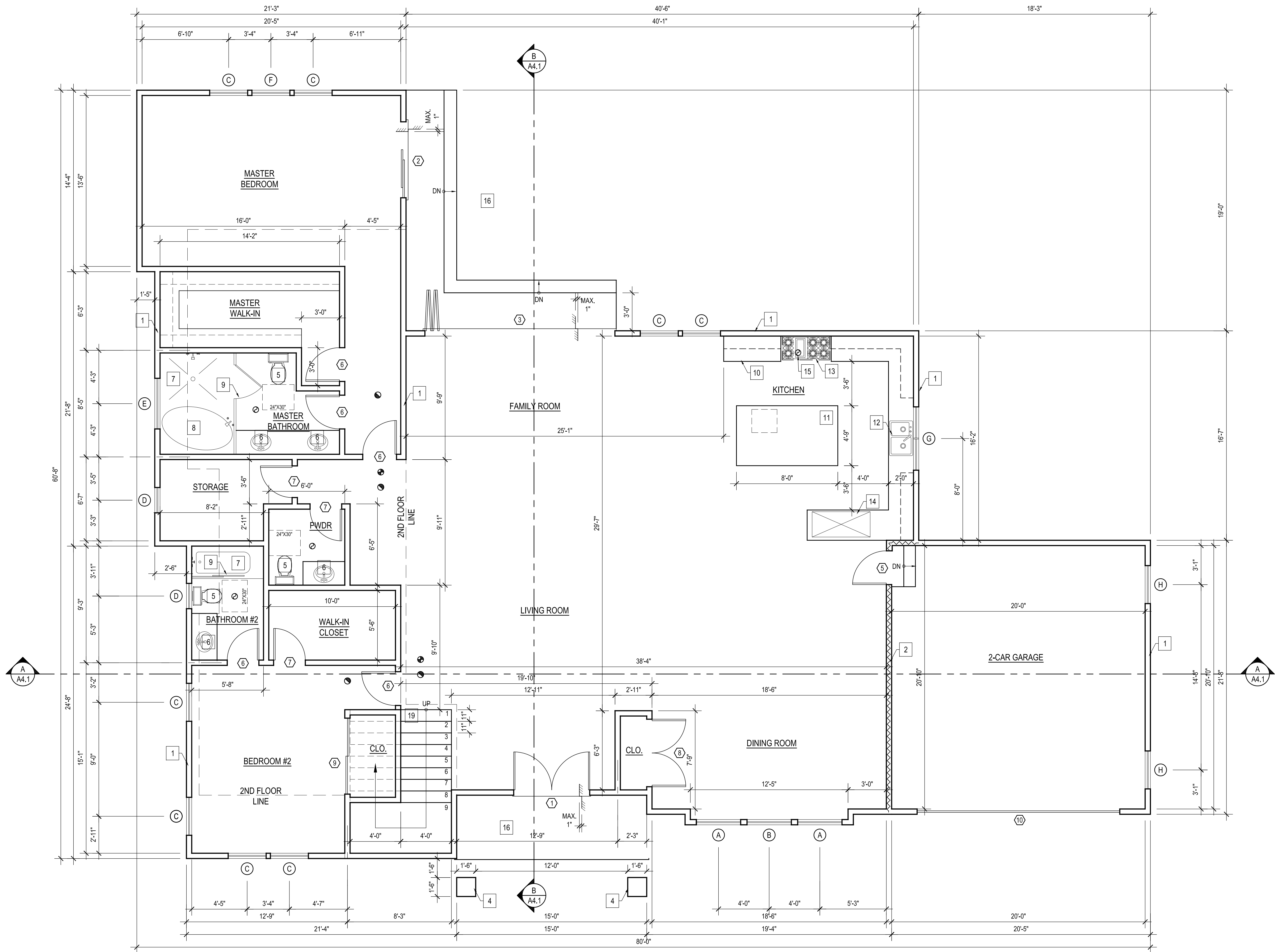
924 OLD PHILLIPS RD. GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A2.0

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



FLOOR PLAN KEYED NOTES :
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

- NEW WALLS
- 1-HOUR FIRE RATED WALL
- LOW WALL - 42" MIN. HT.
- NEW COLUMN
- NEW TOILET (S.B.O.)
- NEW SINK (S.B.O.)
- NEW TUB OR SHOWER (TILE TO CEILING)
- NEW FREESTANDING TUB
- CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCL.FRAMELESS & SLIDER
- NEW BASE AND UPPER CABINETS
- NEW ISLAND-STONE TILE COUNTERTOP (S.B.O.)
- NEW DOUBLE SINK
- NEW RANGE
- NEW REFRIGERATOR
- RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
- NEW CONC. LANDING MIN. WITH STEPS
- NEW GUARDRAIL - 42" MIN. HT.
- NEW WASHER AND DRYER
- NEW STAIRCASE

WALL / SYMBOL LEGEND

- NEW WALL
- FIRE-RATED WALL - WITH 5/8" TYPE 'X' GYP BOARD ON THE GARAGE SIDE
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- GFCI - GROUND FAULT CIRCUIT INTERRUPTER
- CEILING HEIGHTS
- WATER CLOSET CLEARANCE

WATER FIXTURE

ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANCE PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION BY BUILDING DEPARTMENT. SEE CIVIL CODE SECTION 1101.1

NON-COMPLIANT PLUMBING FIXTURES ARE DEFINED AS:

- A) ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GALLONS PER FLUSH.
 - B) ANY SHOWER HEAD MANUFACTURED TO FLOW MORE THAN 2.5 GALLONS / MIN.
 - C) ANY INTERIOR FAUCET MANUFACTURED TO FLOW MORE THAN 2.2 GALLONS / MIN.
- ALL WATER FIXTURES TO BE LOW FLOW

REVISIONS:	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED FIRST FLOOR PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A2.1

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

WINDOW SCHEDULE																									
MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE ALL WINDOWS TO BE RECESSED. SEE DETAIL 1
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	2	—	—	3'-6"	6'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(B)	1	—	—	3'-6"	6'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(C)	8	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	YES	BLACK	YES / NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(D)	2	—	—	2'-0"	3'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	OBSCURED GLASS IN BATHROOM
(E)	3	—	—	4'-0"	1'-6"	—	FIBERGLASS	—	AWNING	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(F)	1	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	YES	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(G)	1	—	—	5'-0"	3'-0"	—	FIBERGLASS	—	SLIDER	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(H)	3	—	—	3'-0"	4'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	YES/NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(J)	2	—	—	3'-6"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(K)	1	—	—	2'-0"	2'-6"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(L)	1	—	—	5'-0"	4'-0"	—	FIBERGLASS	—	FIXD	NAIL ON	●	●	YES	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	

DOOR SCHEDULE									
MARK	NO. OF UNIT	DOOR						NOTES	
		SIZE			GLAZE		FINISH		
		WD	HGT	THK	DUAL	TEMP			
(1)	1	6'-0"	9'-0"	1 3/4"		●	PAINTED	ENTRY DOOR - DOUBLE WOOD DOORS	
(2)	1	6'-0"	8'-0"	1 3/4"		●	PAINTED	EXTERIOR SLIDING DOOR	
(3)	1	15'-0"	8'-0"	1 3/4"		●	PAINTED	EXTERIOR FOLDING DOOR	
(4)	2	6'-0"	6'-8"	1 3/4"		●	PAINTED	FRENCH DOORS	
(5)	1	2'-8"	6'-8"	1 3/8"			PAINTED	20-MIN FIRE RATED, SELF LATCHING, SELF CLOSING	
(6)	10	2'-8"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR	
(7)	3	2'-6"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR	
(8)	1	5'-4"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR	
(9)	1	6'-0"	6'-8"	1 3/8"			PAINTED	SLIDING CLOSET DOOR	
(10)	1	16'-0"	8'-0"	1 3/4"		●	PAINTED	GARAGE DOOR	

WINDOW NOTES :

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES. PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.

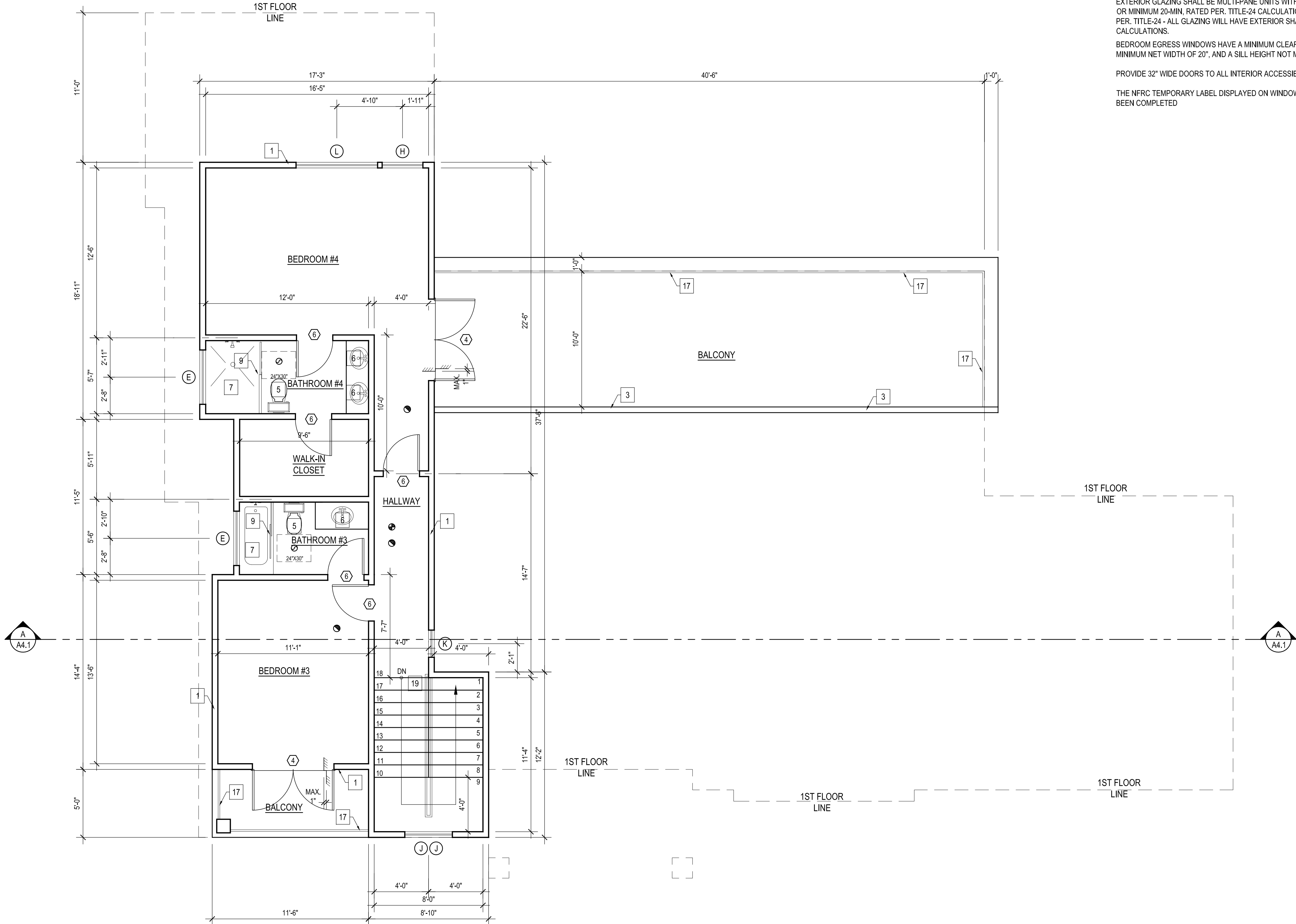
BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

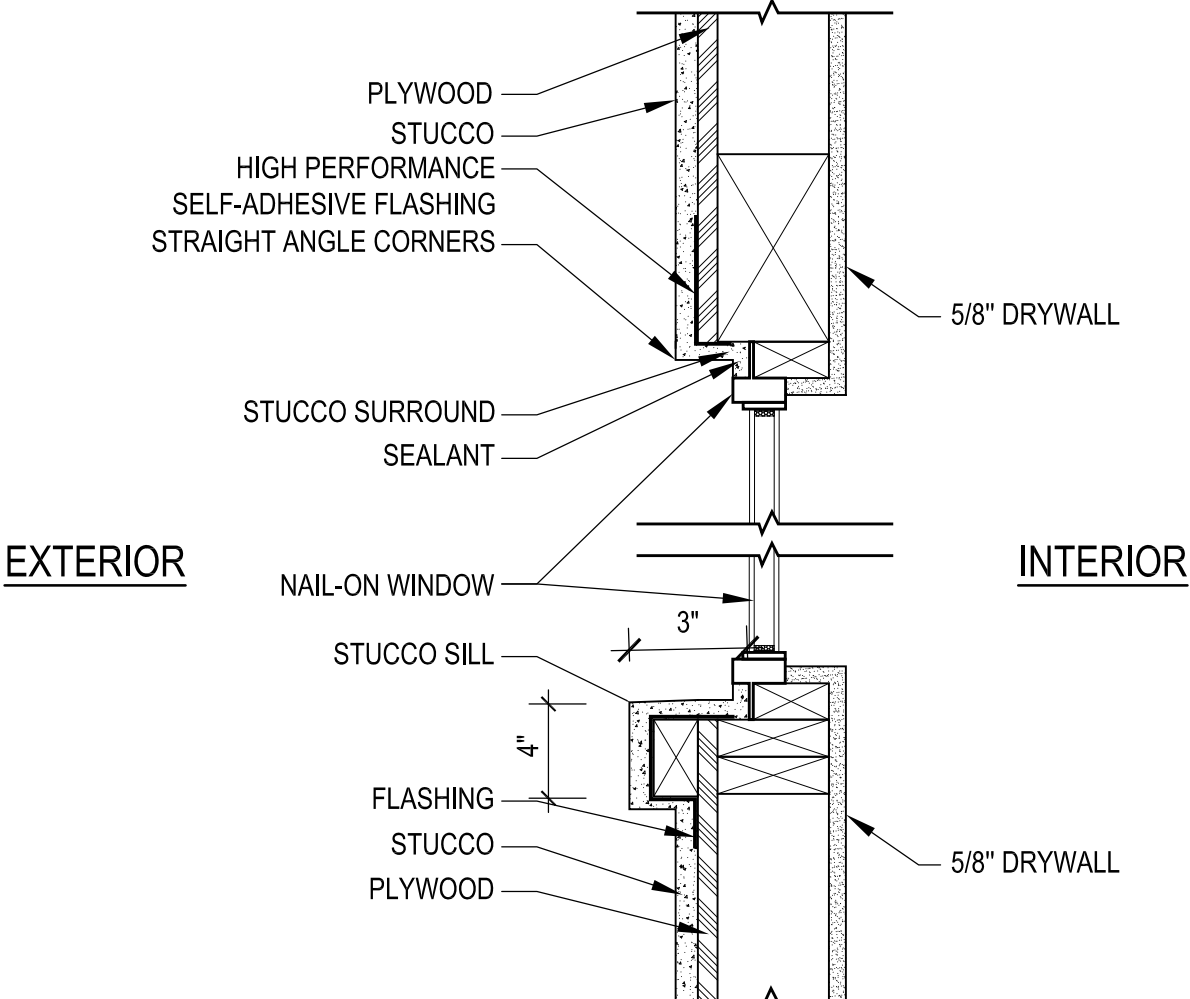
FLOOR PLAN KEYED NOTES :
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

- NEW WALLS
- 1-HOUR FIRE RATED WALL
- LOW WALL - 42" MIN. HT.
- NEW COLUMN
- NEW TOILET (S.B.O.)
- NEW SINK (S.B.O.)
- NEW TUB OR SHOWER (TILE TO CEILING)
- NEW FREESTANDING TUB
- CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCL.FRAMELESS & SLIDER
- NEW BASE AND UPPER CABINETS
- NEW ISLAND-STONE TILE COUNTERTOP (S.B.O.)
- NEW DOUBLE SINK
- NEW RANGE
- NEW REFRIGERATOR
- RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
- NEW CONC. LANDING MIN. WITH STEPS
- NEW GUARDRAIL - 42" MIN. HT.
- NEW WASHER AND DRYER
- NEW STAIRCASE



PROPOSED SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



WINDOW DETAIL - 1

SCALE : NTS

REVISIONS:

213 n. orange st. ste. e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED SECOND FLOOR PLAN

AIVAZIAN RESIDENCE

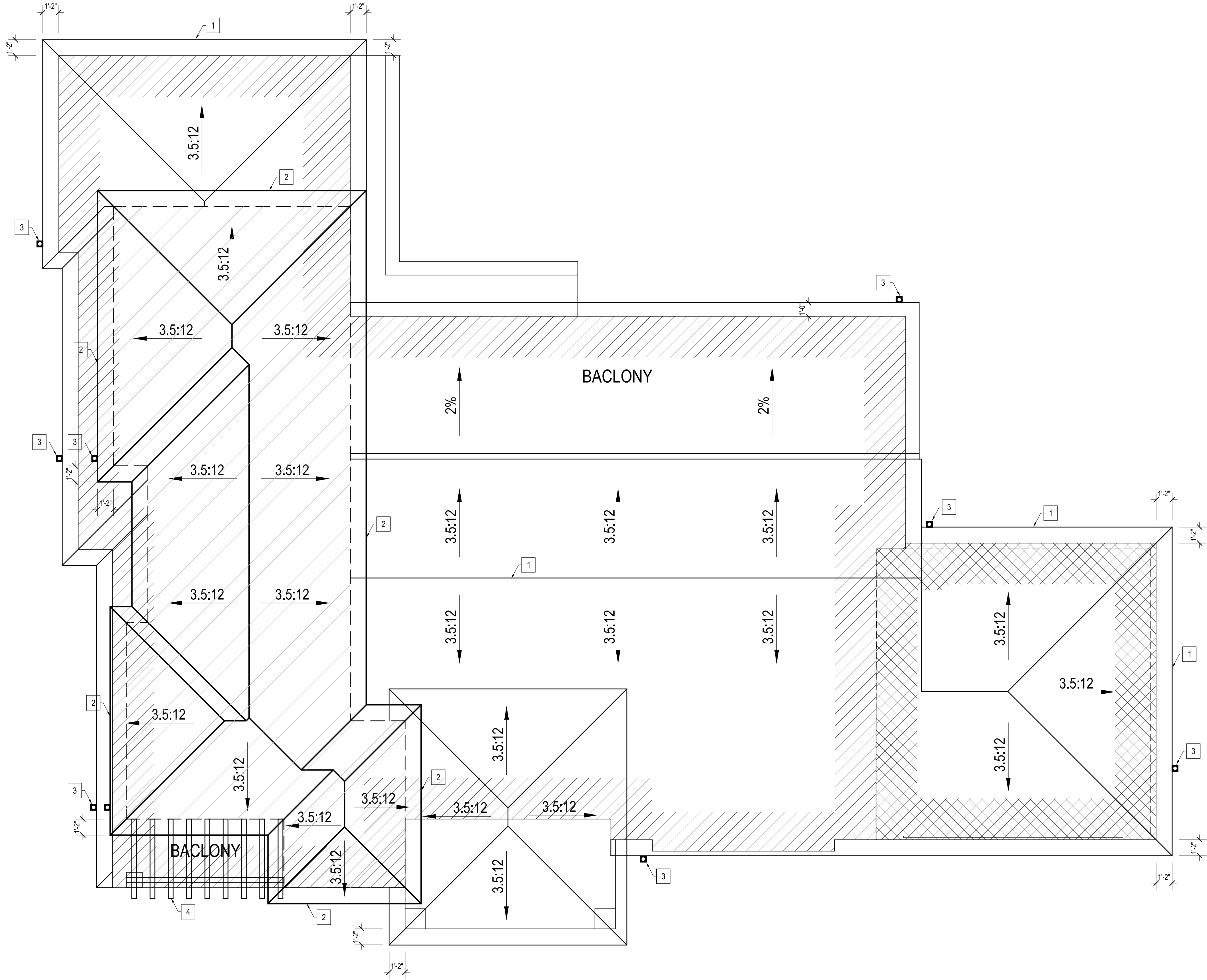
924 OLD PHILLIPS RD. GLENDALE 91207

DATE: 05/2020
DRAWN BY: NRK
JOB NO. 20028

SHEET NO.

A2.2

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



FLOOR PLAN KEYED NOTES :

- 1. FIRST FLOOR ROOF
- 2. SECOND FLOOR ROOF
- 3. DOWNSPOUT
- 4. TRELLIS

REVISIONS:	
△	
—	
—	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

PROPOSED ROOF PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

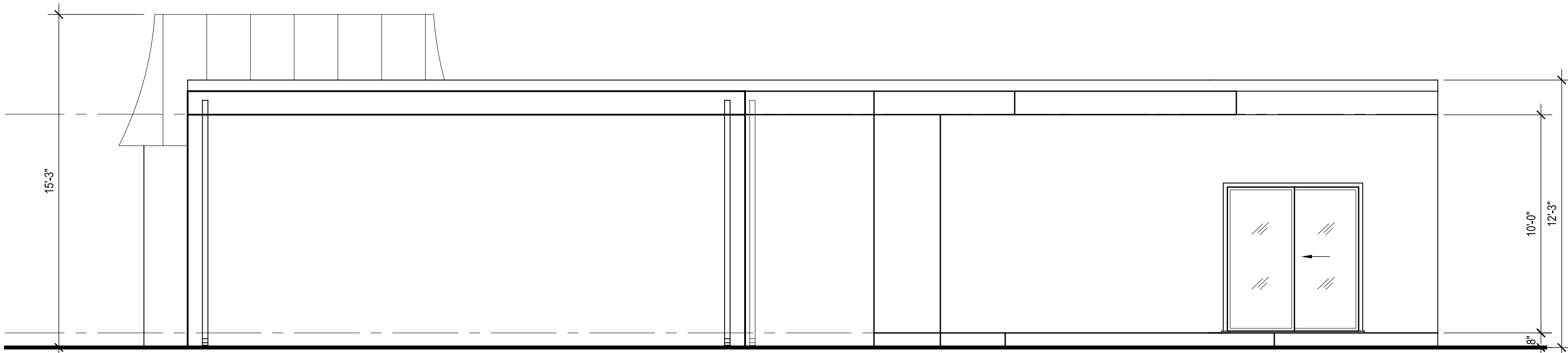
SHEET NO.
A2.3

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



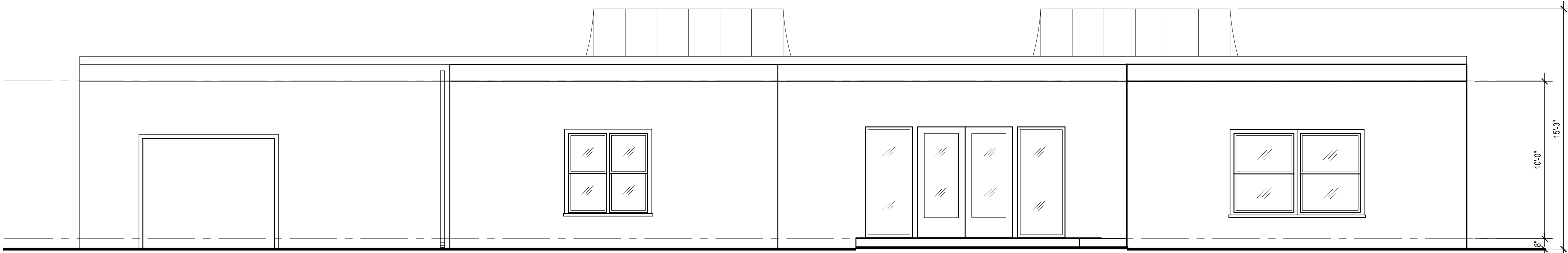
NORTH ELEVATION

SCALE : 1/4" = 1'-0"



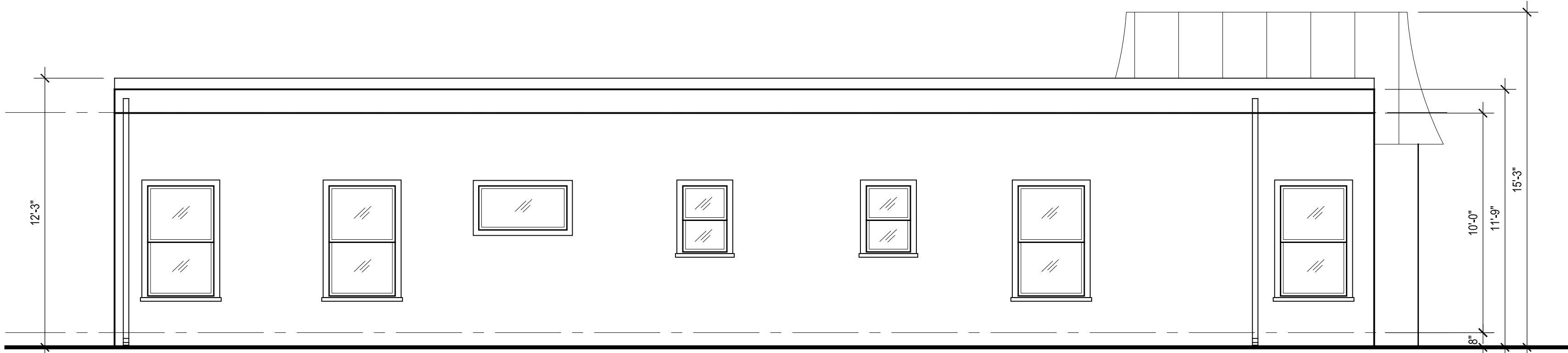
WEST ELEVATION

SCALE : 1/4" = 1'-0"



SOUTH ELEVATION

SCALE : 1/4" = 1'-0"



EAST ELEVATION

SCALE : 1/4" = 1'-0"

REVISIONS:	
1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

EXT'G ELEVATIONS

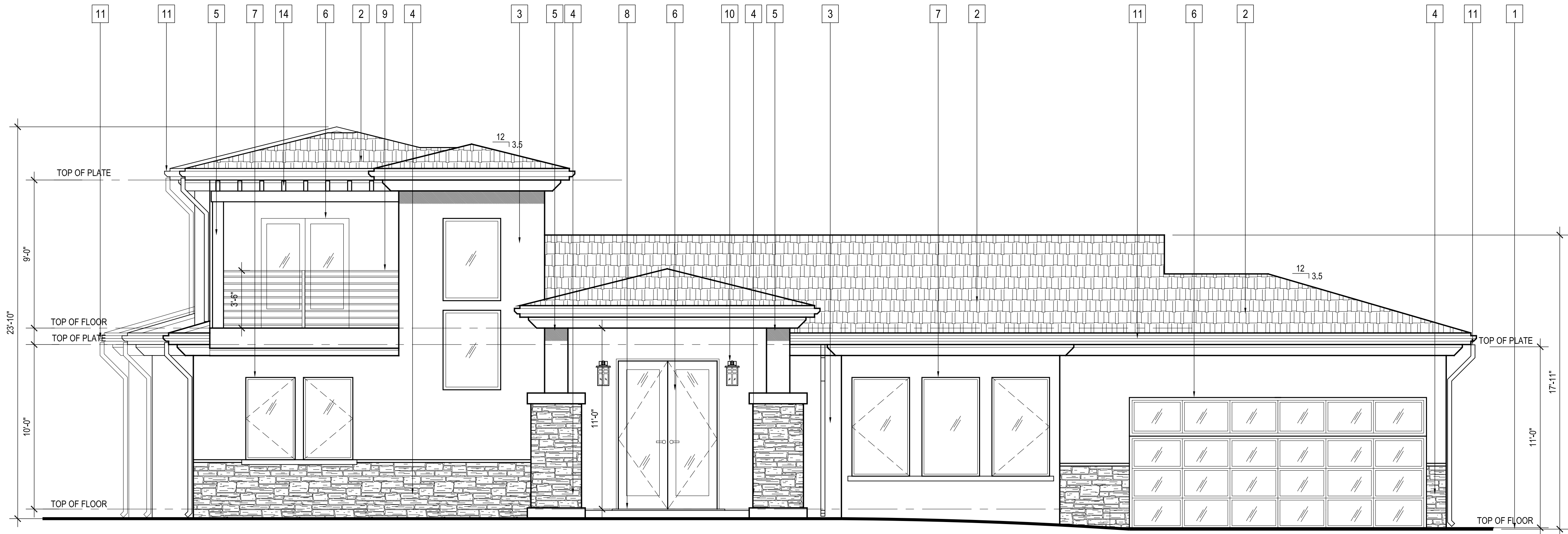
AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

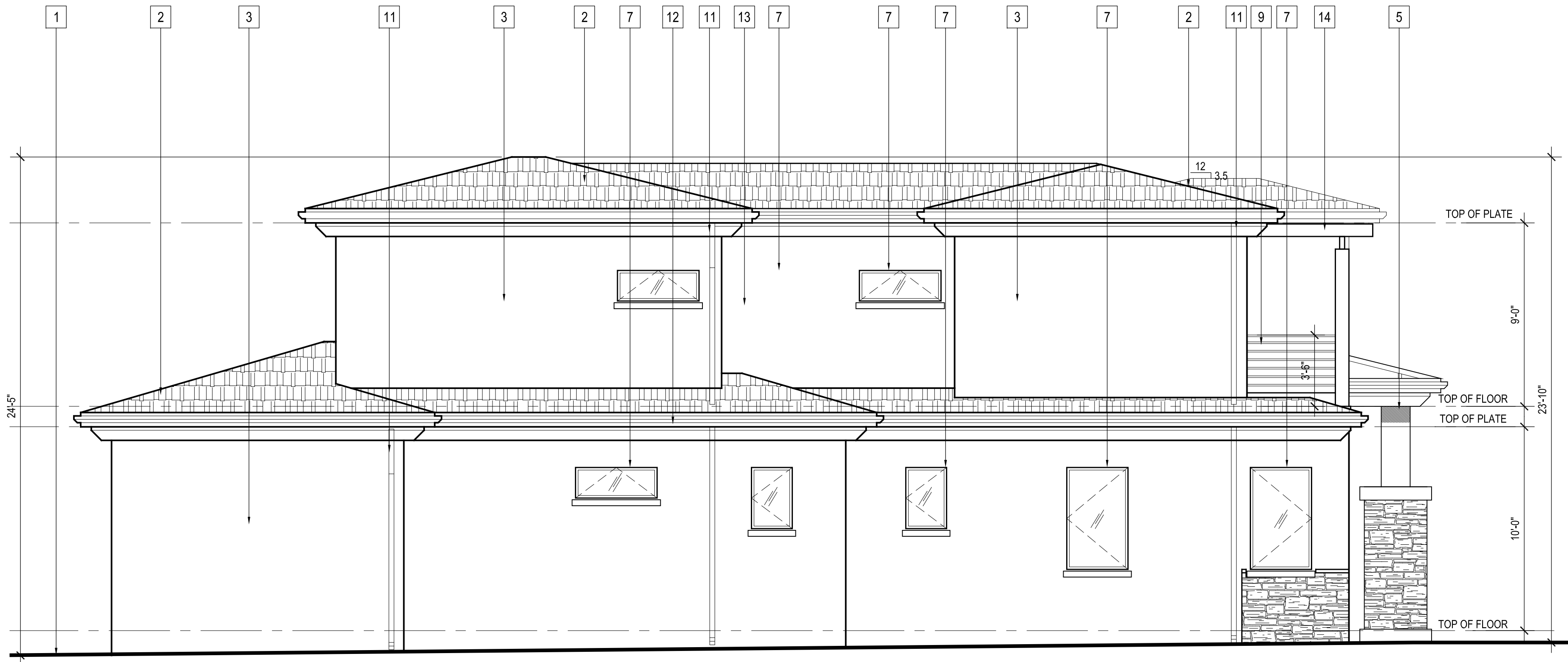
SHEET NO.
A3.0

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



FRONT (NORTH) ELEVATION

SCALE : 1/4" = 1'-0"



EAST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

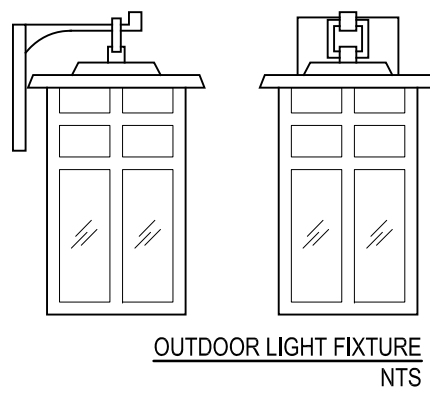
1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING
LIGHT WEIGHT CONCRETE
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. LIGHT FIXTURE
11. DOWNSPOUT
12. STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW TRELLIS

REVISIONS:	
1	
2	
3	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

LIGHT FIXTURE SCHEDULE		
ITEM NUMBER	DESCRIPTION	QUANTITY
1	THOMAS LIGHTING SL91047	9



- . ONE-LIGHT OUTDOOR WALL FIXTURE
- . BLACK WITH CREAM COLORED GLASS
- . PAINTED BRONZE WITH CLEAR SEEDY GLASS
- . EXTENDS: 7-1/2", HEIGHT FROM CENTER OF OUTLET BOX: 3-1/2"
- . FEATURES THOMAS LIGHTINGS EXCLUSIVE "EASY HANGER" SYSTEM
- . 1 100w MAX MEDIUM BASE
- . BACK PLATE MEASURE 4 1/4" W x 5 5/8" H

ELEVATIONS

AIVAZIAN RESIDENCE

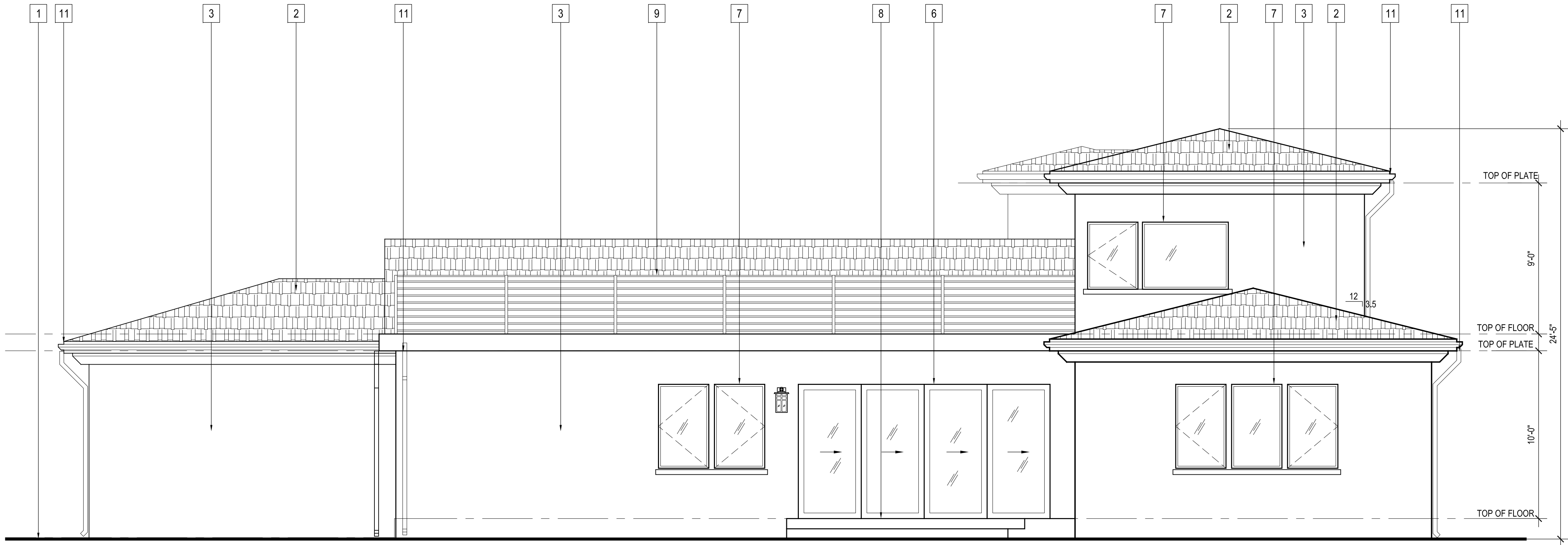
924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A3.1

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.

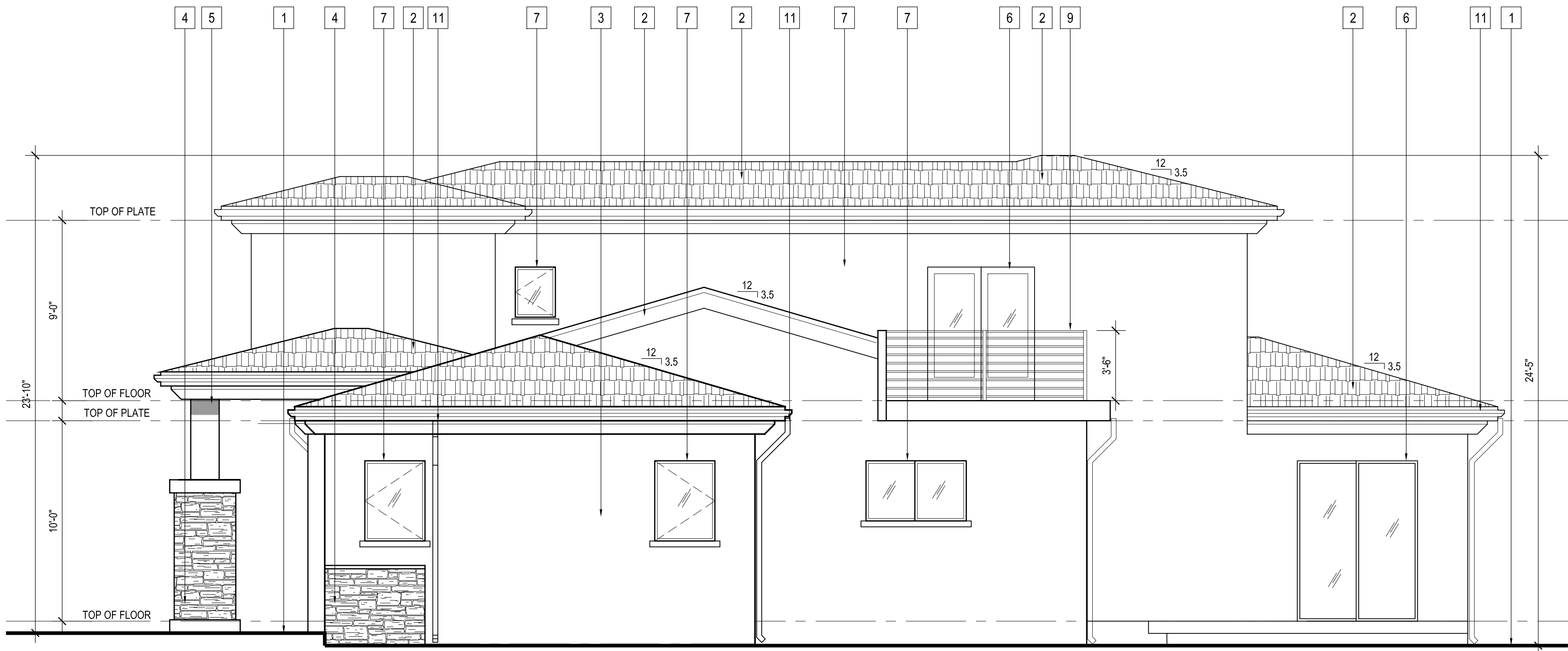


REAR (SOUTH) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING
LIGHT WEIGHT CONCRETE
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. LIGHT FIXTURE
11. DOWNSPOUT
12. STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW TRELLIS



WEST ELEVATION

SCALE : 1/4" = 1'-0"

REVISIONS:

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

ELEVATIONS

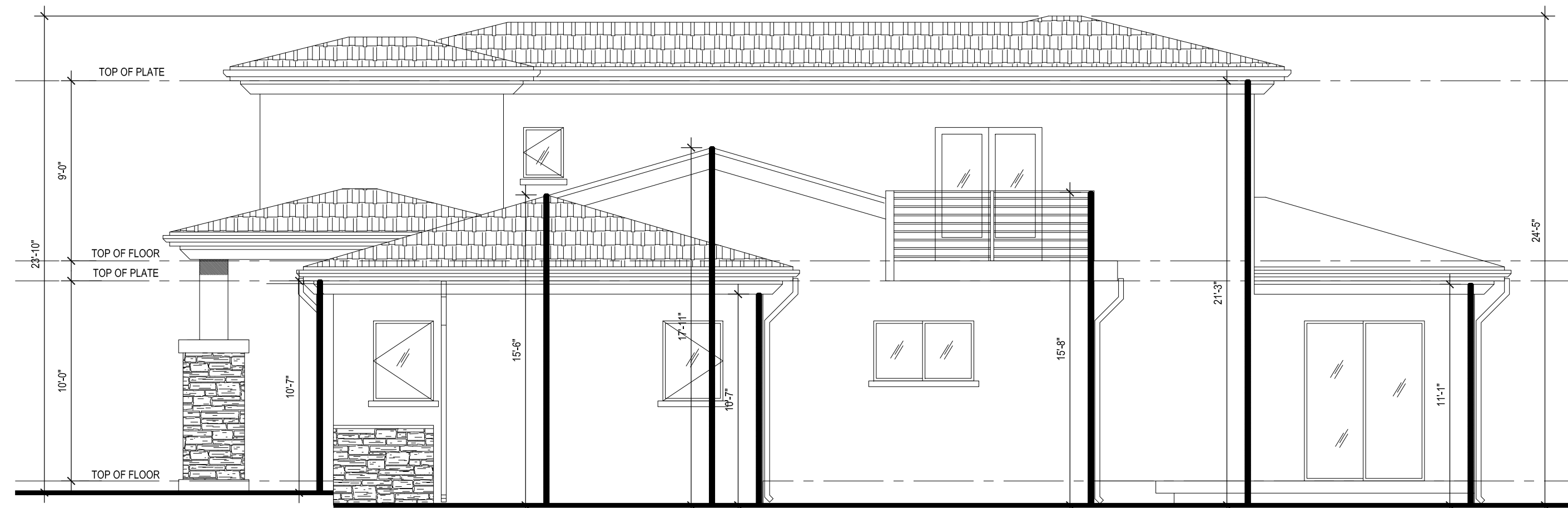
AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

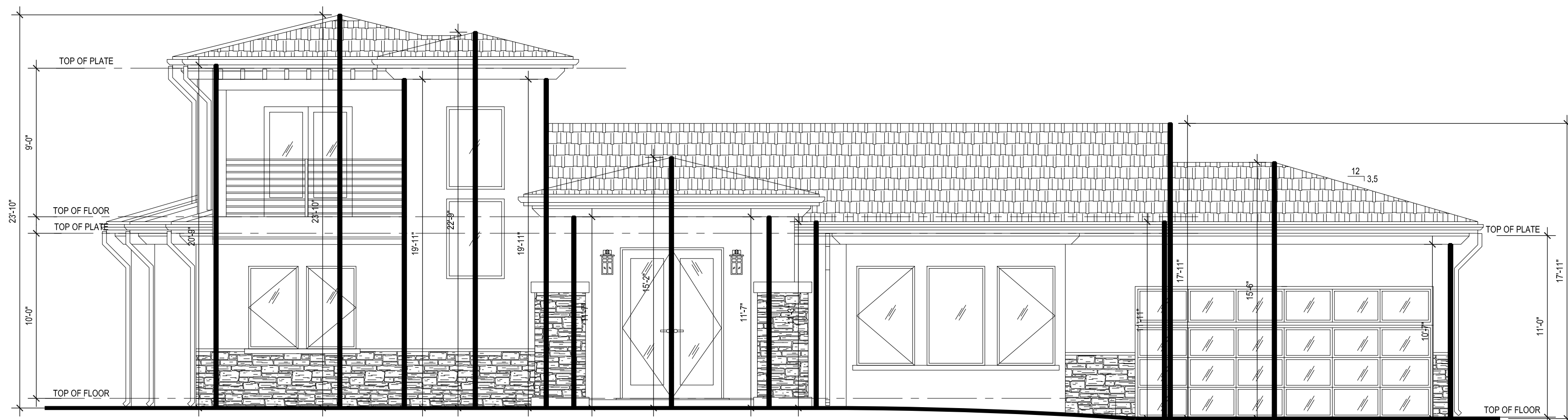
SHEET NO.

A3.2



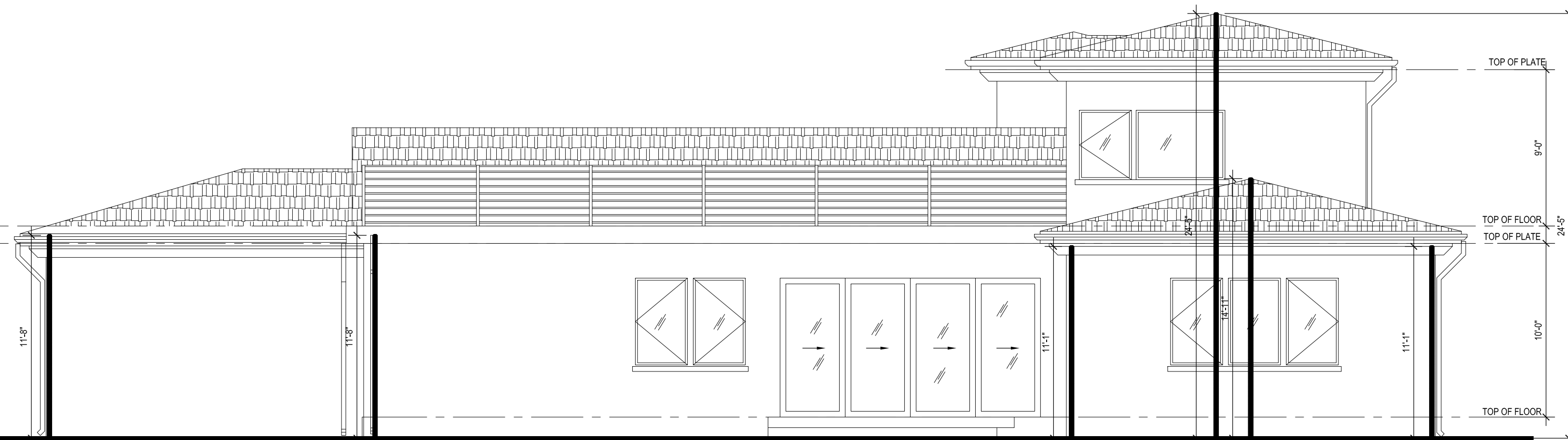
WEST ELEVATION

SCALE : 1/4" = 1'-0"

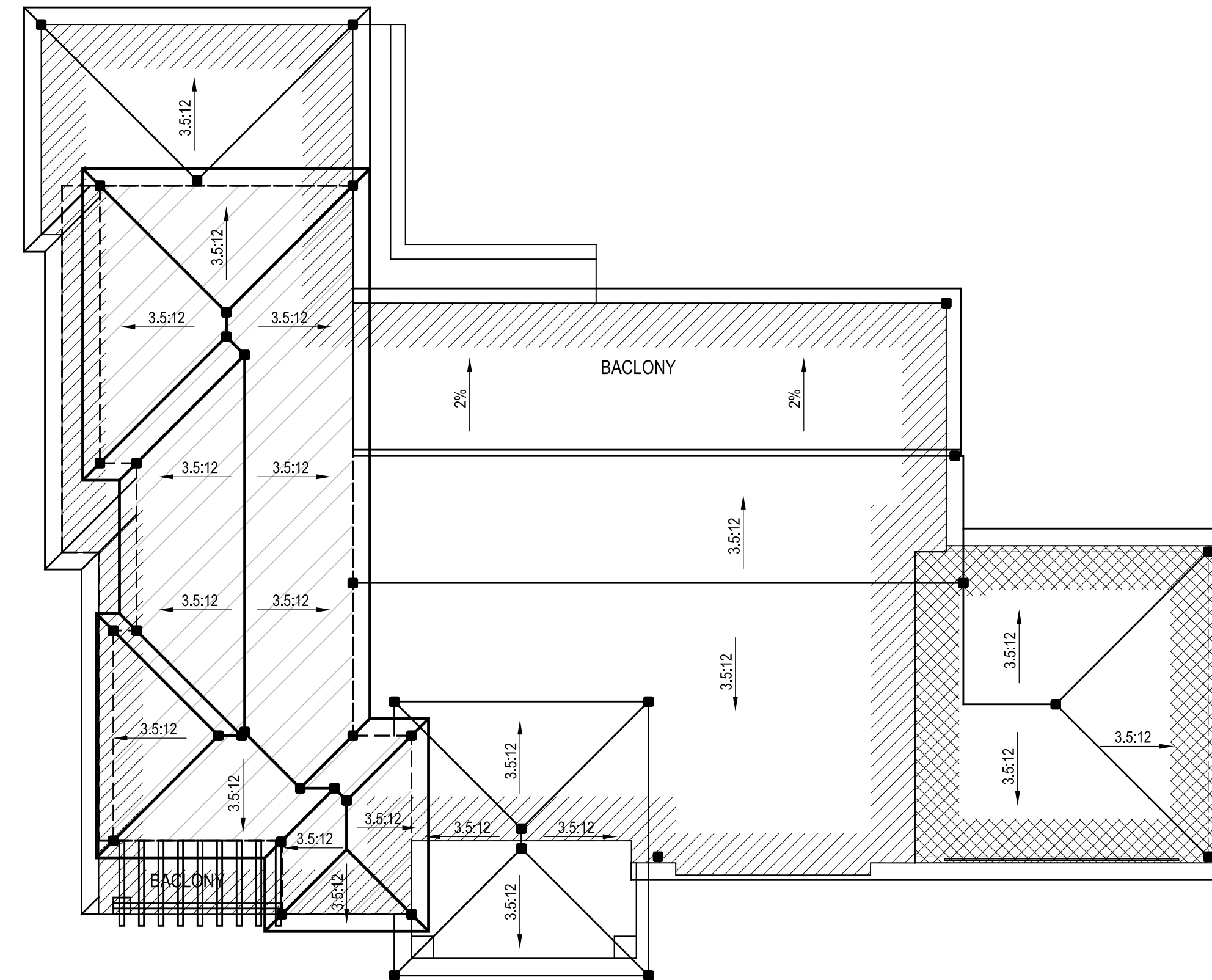


FRONT (NORTH) ELEVATION

SCALE : 3/16" = 1'-0"

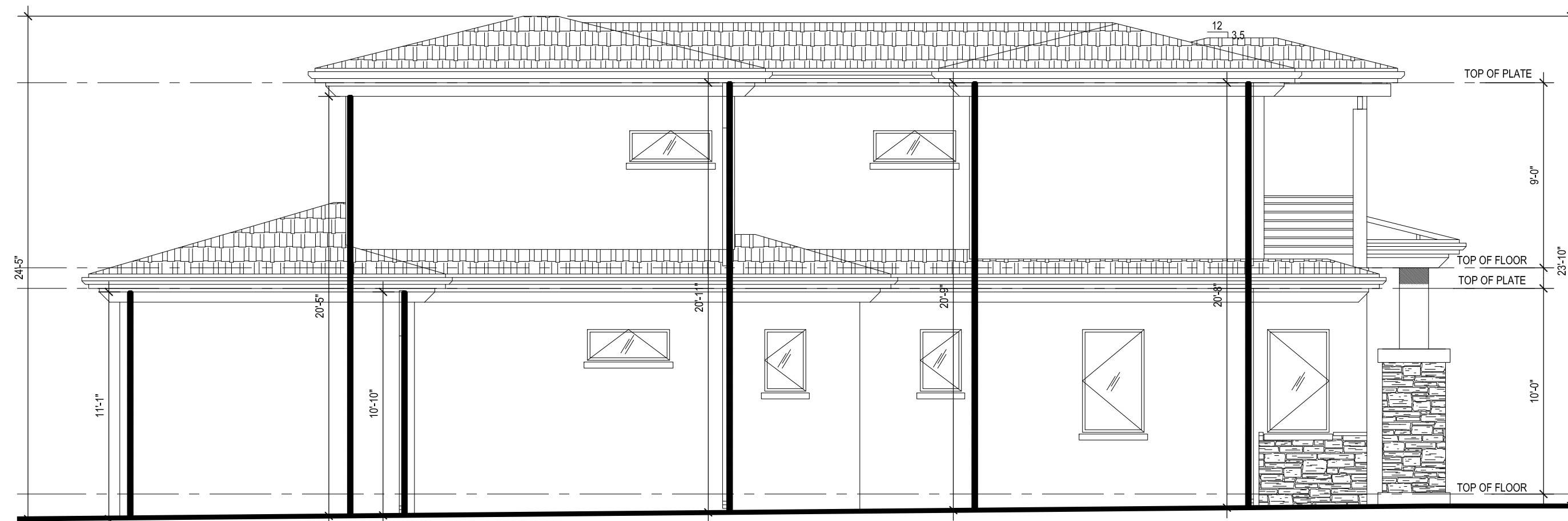


REAR (SOUTH) ELEVATION



ROOF PLAN


SCALE : 1/8" = 1'-0"



EAST ELEVATION

SCALE : 1/4" = 1'-0"

REVISIONS:



213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888.424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

STOTY POLE PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A3.3

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



RENDERING

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE: 04/2020
DRAWN BY: NRK
JOB NO. 20028

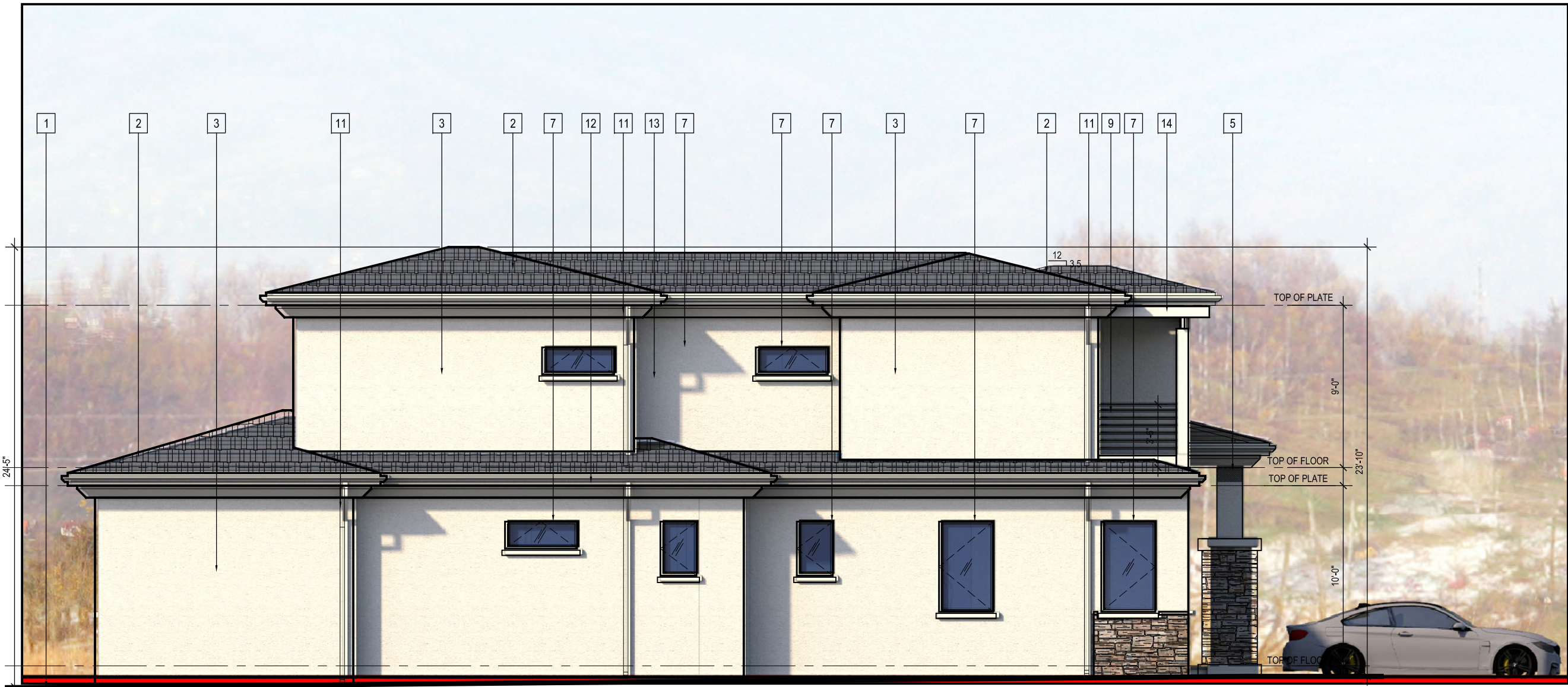
SHEET NO.
A3.4

designNRK
residential +
commercial
design

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 co.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

REVISIONS:
1
2
3

THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



EAST ELEVATION



WEST ELEVATION



REAR (SOUTH) ELEVATION



FRONT (NORTH) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING
LIGHT WEIGHT CONCRETE
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. LIGHT FIXTURE
11. DOWNSPOUT
12. STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW TRELLIS

REVISIONS:

Δ	

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

COLORED ELEVATIONS

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

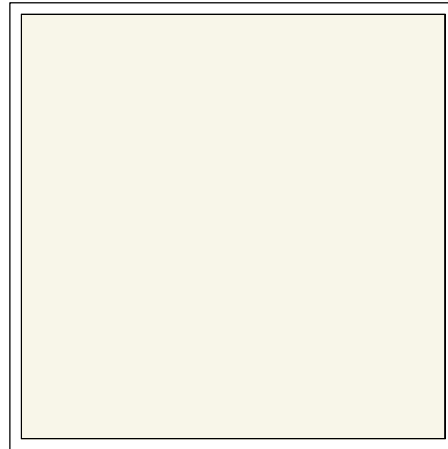
DATE: 04/2020
DRAWN BY: NRK
JOB NO. 20028

SHEET NO.

A3.5



ROOF:
BORAL ROOF CO.
SAXONY 900 SLATE - EBONY



STUCCO:
DUNN EDWARDS
COLOR: SWISS COFFEE



WINDOWS:
MILGARD FIBERGLASS
COLOR: BRONZE



EXTERIOR STONE:
TETON GREY MANUFACTURED STONE
VENEER



RAILING:
WROUGHT IRON
COLOR: PAINTED BLACK



LIGHTING:
MODERN OUTDOOR LIGHTING
DESTINATION LIGHTING
COLOR: PAINTED BLACK

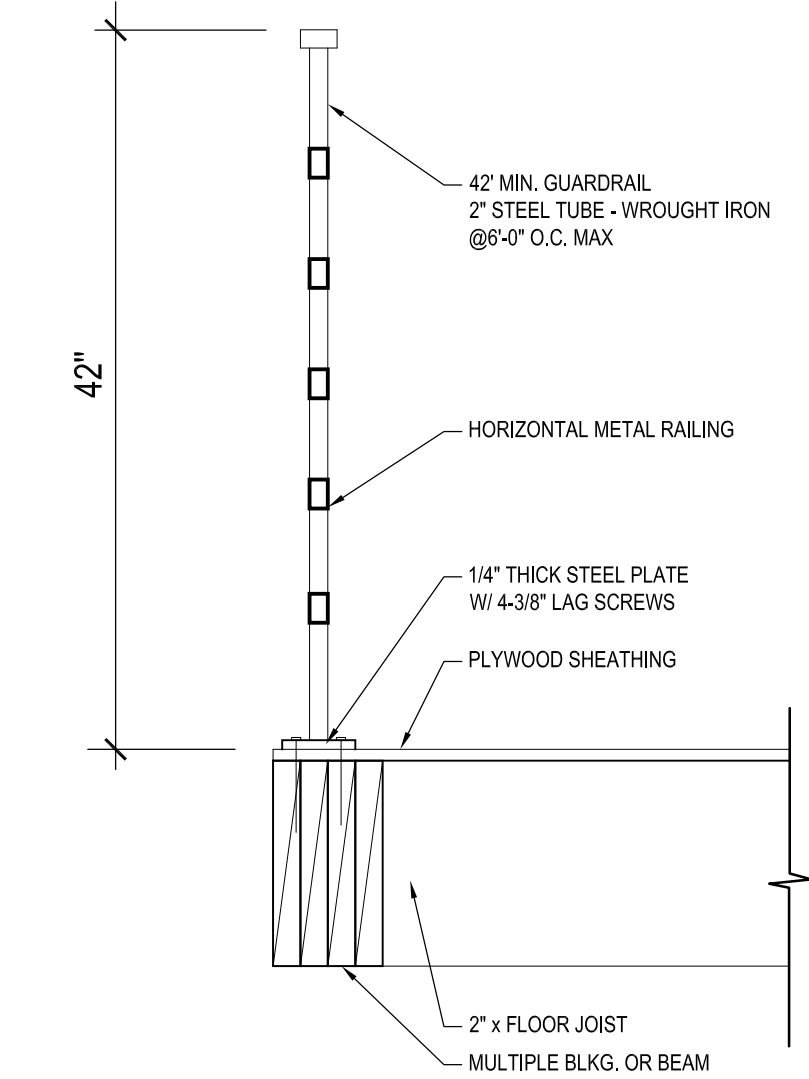


ENTRY DOOR:
STEEL DOOR W/ FROSTED GLASS
COLOR: PAINTED BLACK

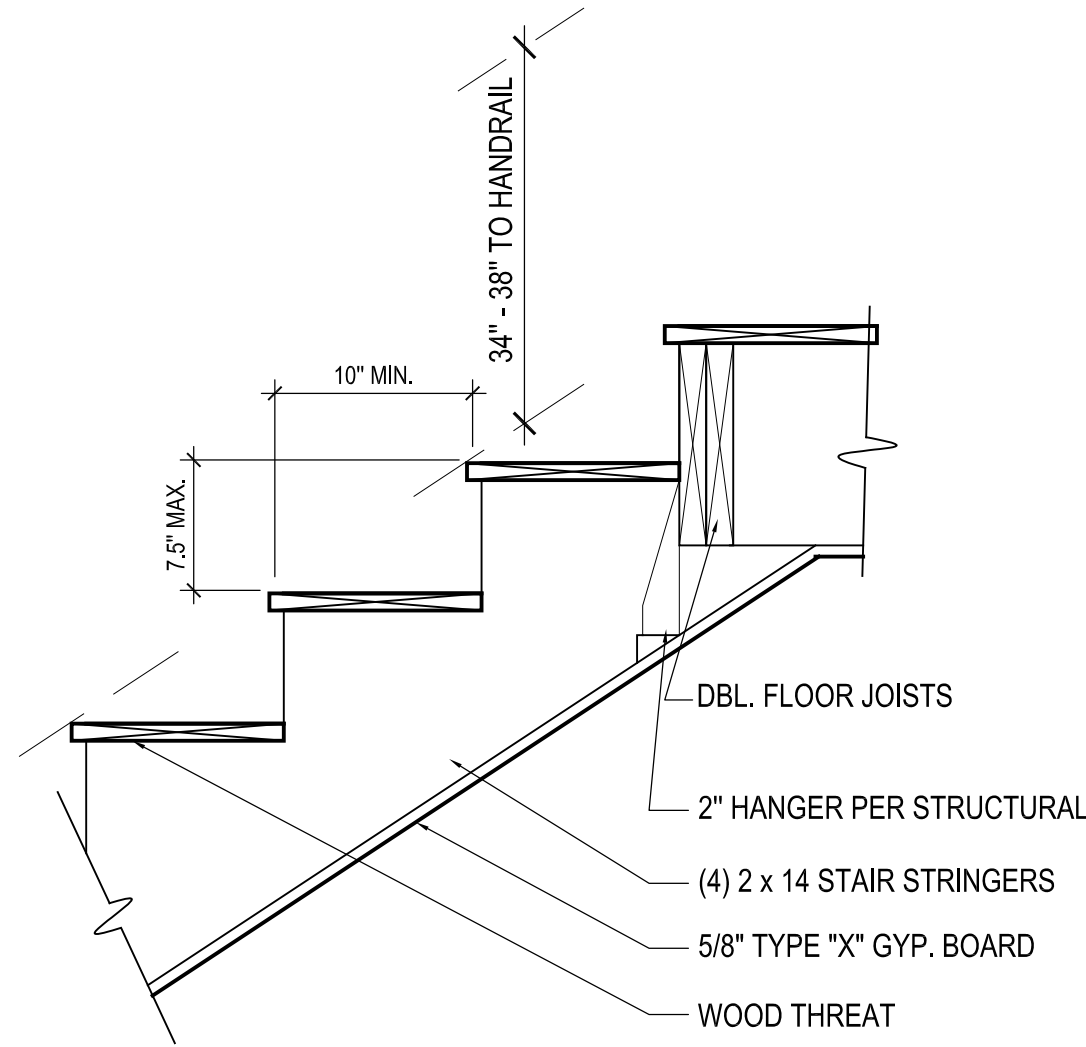
924 OLD PHILLIPS RD.
GLENDALE, CA 91207

DESIGNNRK
213 N. ORANGE ST. STE: E GLENDALE, CA 91203

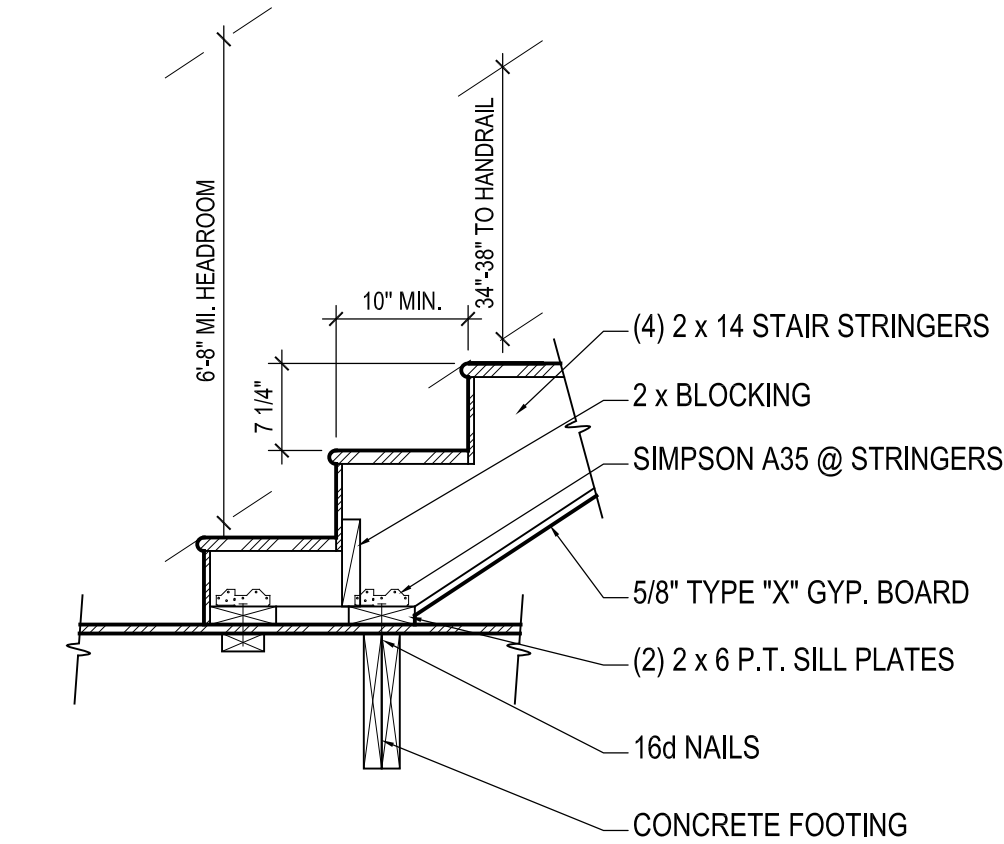
THIS DOCUMENT IS PROPERTY OF designNRK. IT SHALL NOT BE USED IN REGARD TO ANY PROJECT OTHER THAN THAT DESIGNATED HEREIN WITHOUT THE WRITTEN PERMISSION OF designNRK. — NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS OF BUILDING BEFORE ANY CONSTRUCTION WORK.



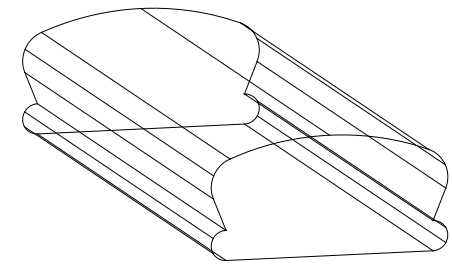
GUARDRAIL DETAIL - 3
SCALE : NTS



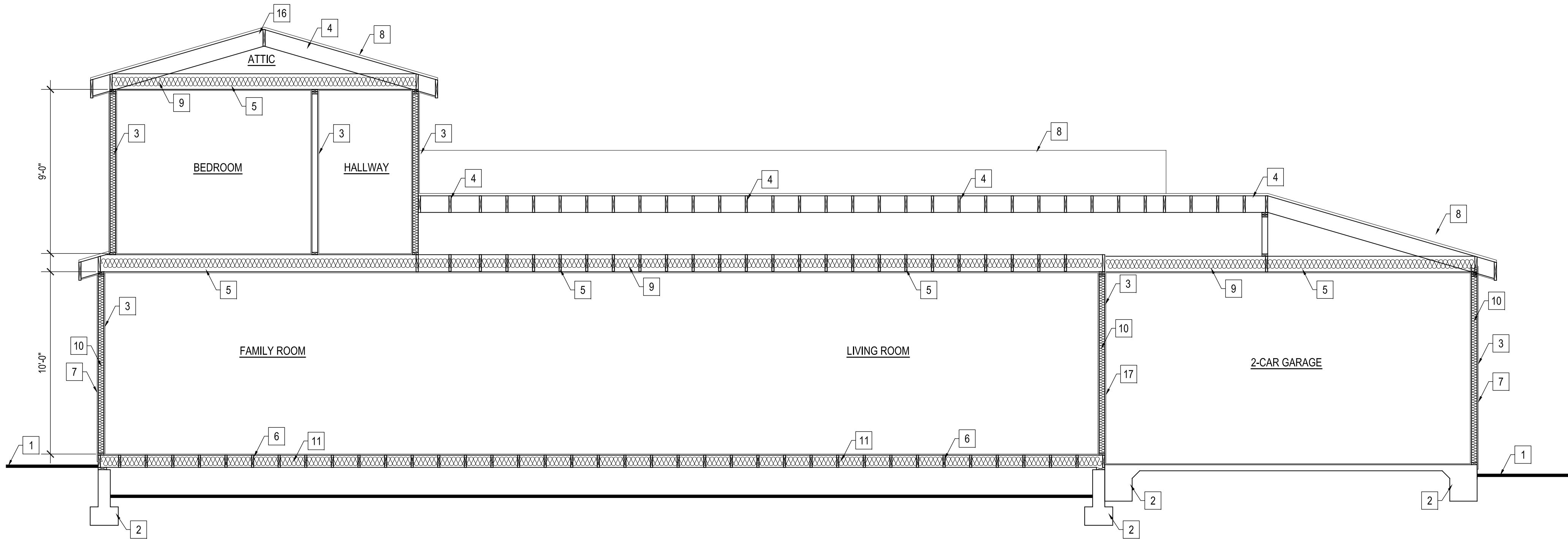
STAIR DETAIL - 1
SCALE : NTS



STAIR DETAIL - 2
SCALE : NTS

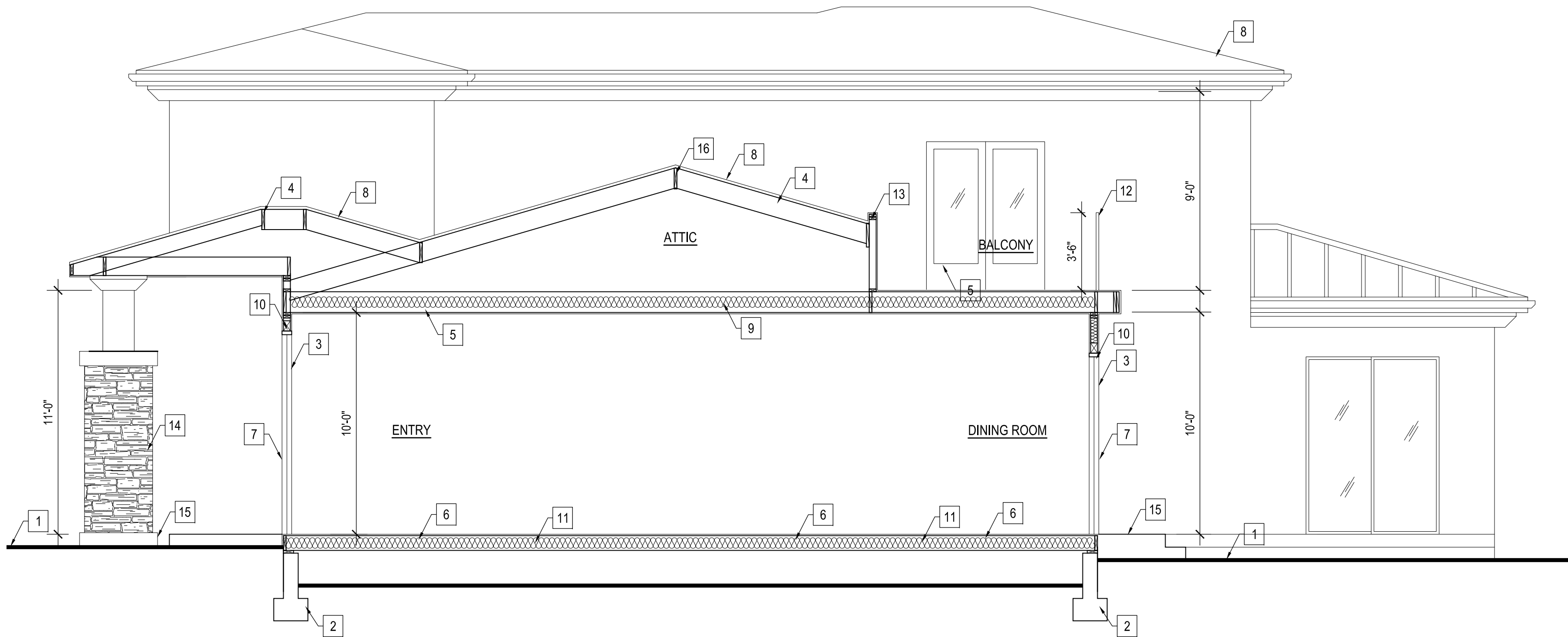


- PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH OR MORE RISERS AND AT ALL OPEN SIDES.
- RETURN HANDRAILS TO NEWEL POST OF WALL.
- HANDRAIL GRIPS SHALL BE EITHER TYPE I OR TYPE II.
- HANDRAILS (TYPE I) SHALL BE AT LEAST 1.25" AND 2" OUTSIDE DIAMETER. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" AND A MAXIMUM CROSS-SECTIONAL DIMENSION OF 2.25".
- HANDRAILS (TYPE II) WITH A PERIMETER GREATER THAN 6.25" SHALL HAVE GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. RECESSES SHALL BEGIN WITHIN 3/4" FROM THE TALLEST PORTION OF THE PROFILE AND BE AT LEAST 5/16" DEEP WITHIN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO LEVEL THAT IS NOT LESS THAN 1.75" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH ABOVE THE RECESS SHALL BE 1.25" TO 2.75".



SECTION A-A

SCALE : 1/4" = 1'-0"



SECTION B-B

SCALE : 1/4" = 1'-0"

CROSS SECTION KEY NOTES

- EXT'G GRADE
- NEW CONC. FOUNDATION PER STRUCTURAL
- NEW 2" x STUD WALL
- NEW 2" x ROOF RAFTERS
- NEW 2" x CEILING JOISTS
- NEW 2" x FLOOR JOISTS
- NEW 7/8" SMOOTH STUCCO
- NEW CLASS 'A' ROOF LIGHTWEIGHT CONCRETE
- NEW R- -- INSULATION
- NEW R- -- INSULATION
- NEW R- -- INSULATION
- NEW GUARDRAIL 42" MIN. HT.
- NEW LOW WALL 42" HT. MIN.
- NEW COLUMN
- NEW CONC. LANDING
- NEW RIDGE BOARD
- NEW 5/8" TYPE 'X' GYP BOARD

REVISIONS:

213 n. orange st. ste: e
glendale, ca 91203
818.823.7286 o.
888-424.8125 f.
www.designNRK.com
info@designNRK.com

designNRK
residential +
commercial
design

SECTIONS

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	04/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.

A4.1

RESIDENTIAL REMODEL / ADDITION

924 OLD PHILLIPS RD. GLENDALE, CA 91207

PROJECT INFORMATION

PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

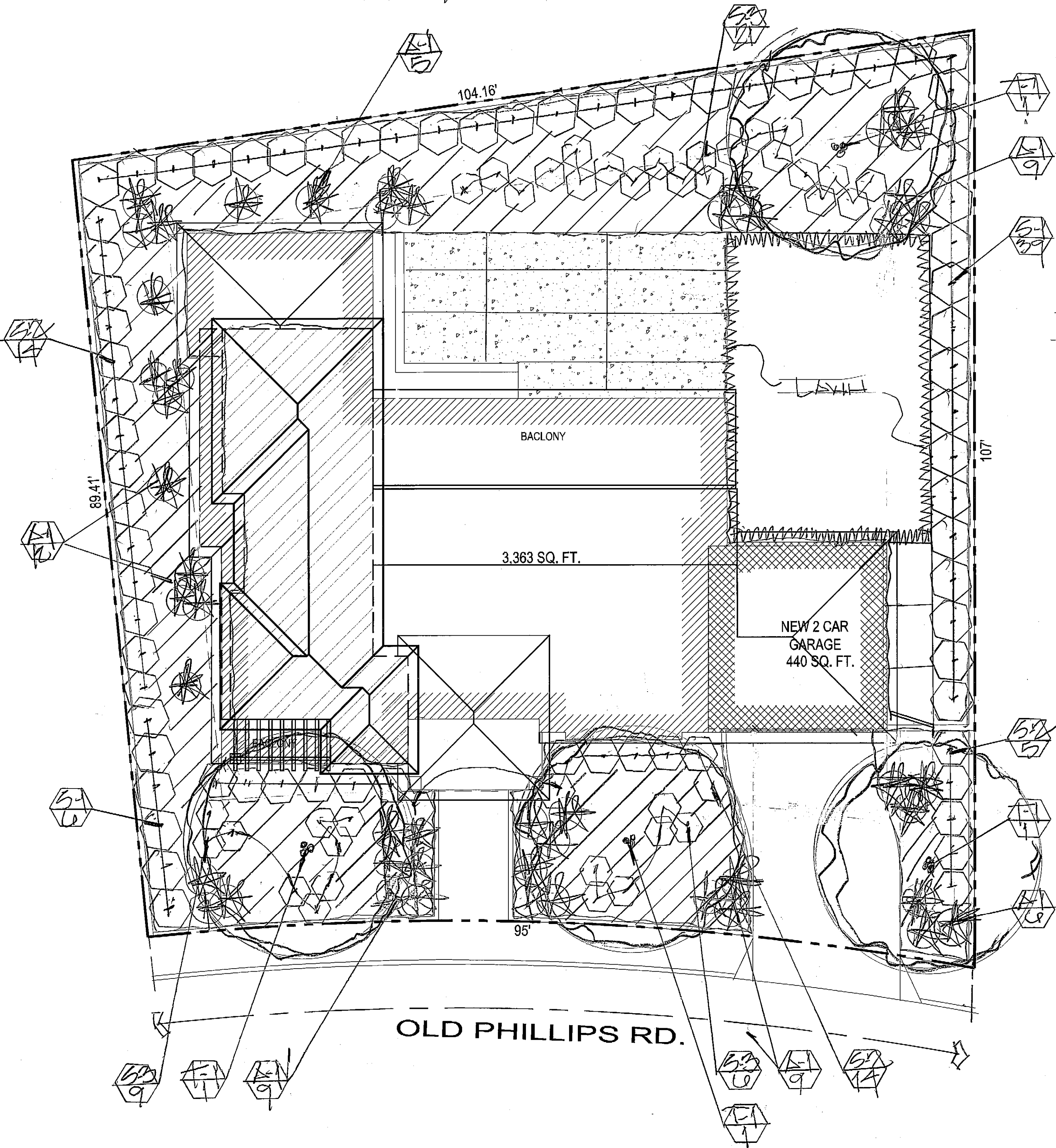
OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207

PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE STREET, STE. E
GLENDALE, 91203

OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM



SCALE: 1/8" = 1'-0"



WATER USAGE (LINCOLN)

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPECING
LX	T-1	OLEA EUROPAEANA	FRUITLESS OLIVE	30"BX	4
LX	S-1	YUCCA VISCOSA	HOPSEY BUSH	50N	45 5'D.O.
LX	S-2	ALSTERS HIBISCUS	BLUE HIBISCUS	50N	35 4'D.O.
LX	S-3	ACACIA 'BLUE FLAME'	BLUE FLAME ACACIA	50N	30 3'D.O.
LX	A-1	DIETES BICOLOR	FORTNIGHT LILY	50N	50 RANDOM
LX	LXN	BACCHARIS VICTORIOSA	BUFFALO GRASS	50N	-
LX	GROUND COVER	SENECIO SERPENS	BLUE SENECIO	PLATS	AS NEEDED 12'D.O.

LX = LOW WATER USAGE / P.F. = 3
LANDSCAPE AREA = 4,501 SQ. FT.

LEGEND

- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED ACCENT
- PROPOSED GROUND COVER
- PLANT SYMBOL QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRAINDICATED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.

PLANTING PLAN

IRRIGATION COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
818-241-9169

REVISIONS:
1

213 N. ORANGE ST. STE. E
GLENDALE, CA 91203
818.823.7286 O.
888.424.8125 F.
WWW.DESIGNNRK.COM
INFO@DESIGNNRK.COM

designNRK
residential +
commercial
design

COVER SHEET & SITE PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS DR., GLENDALE 91207

DATE: 8-24-21
DRAWN BY: LAT
JOB NO. 20028

1-1

RESIDENTIAL REMODEL / ADDITION

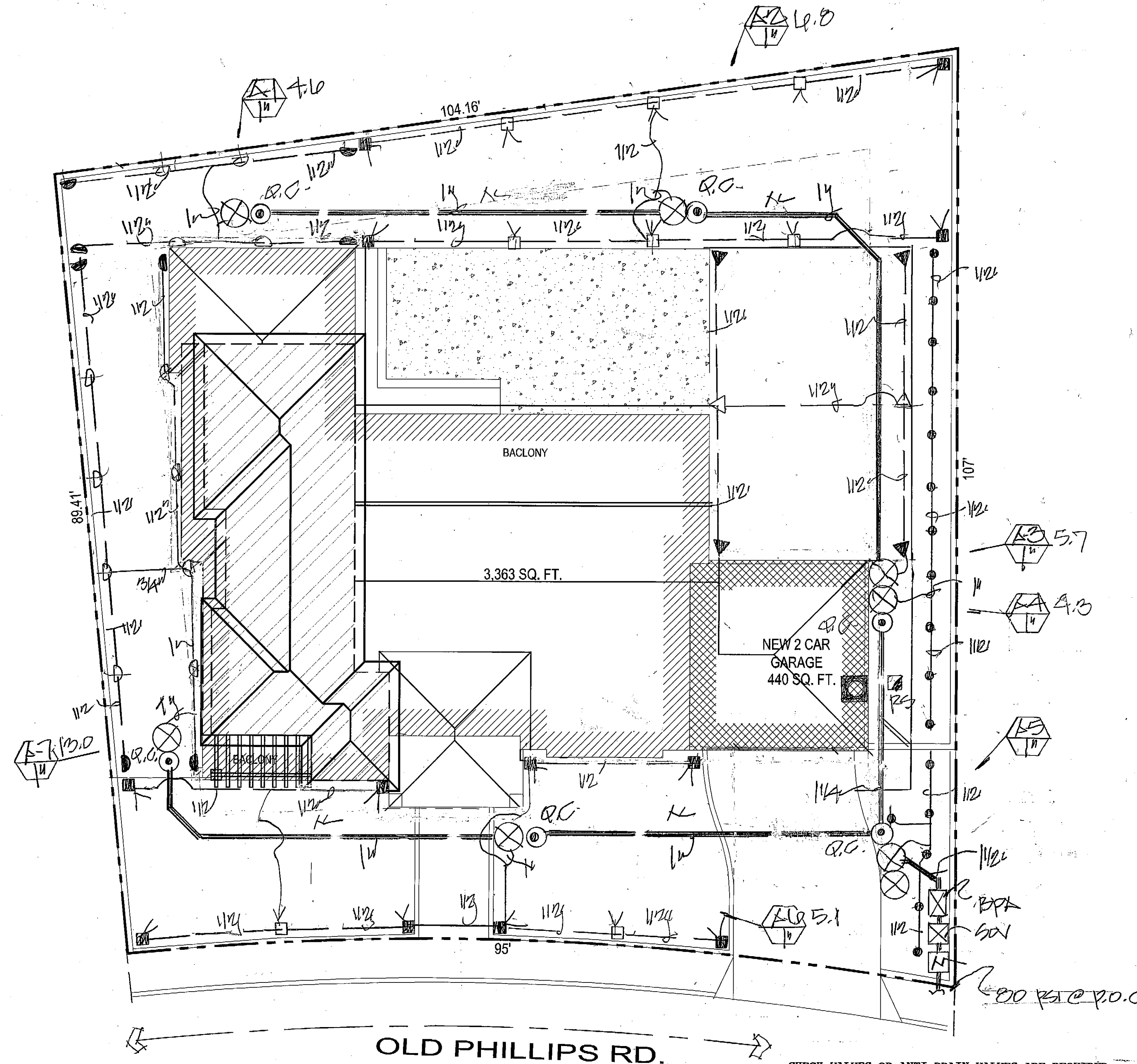
924 OLD PHILLIPS RD. GLENDALE, CA 91207

PROJECT INFORMATION

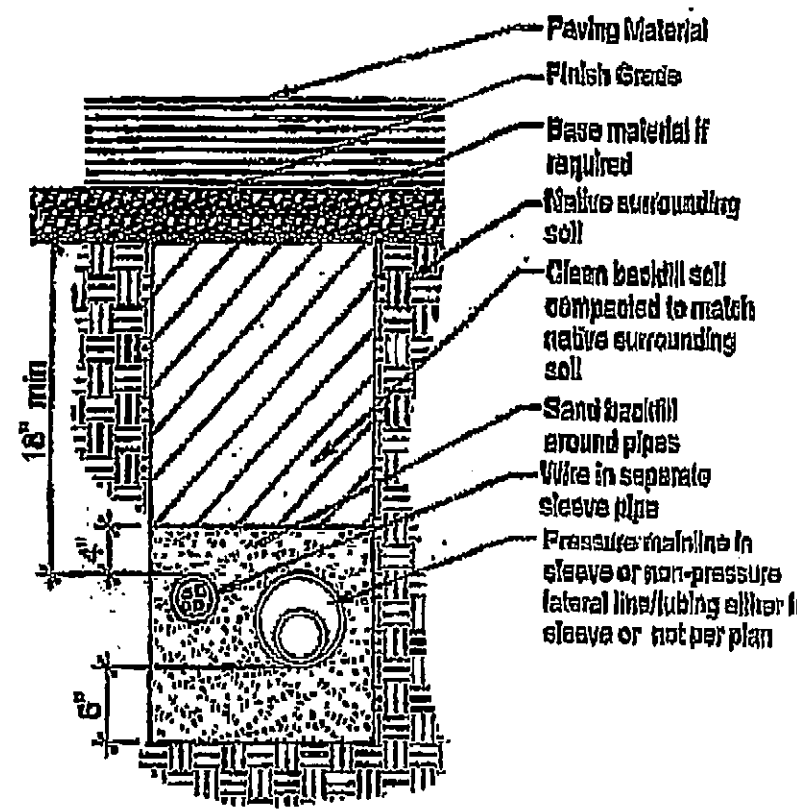
PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207

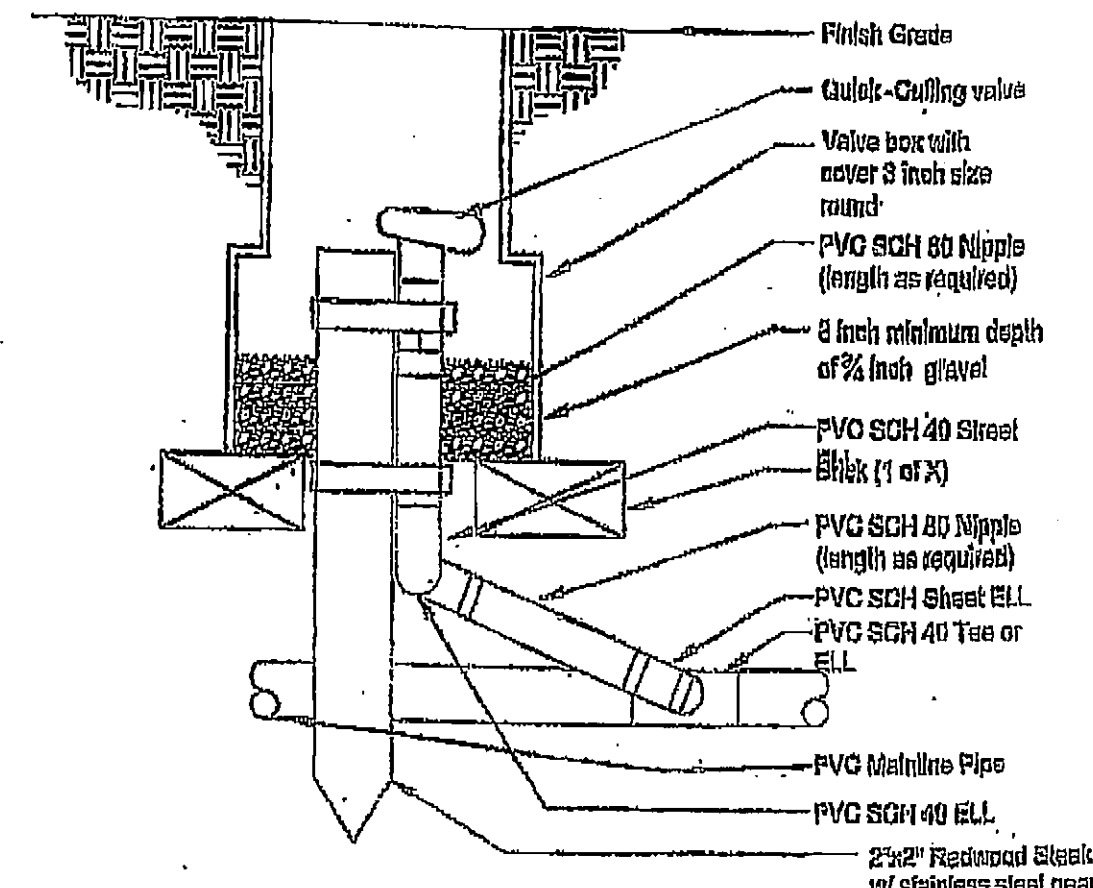
PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE STREET, STE. E
GLENDALE, 91203
OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM



Reference Evapotranspiration (ET _o) / 43.7									
Hydrozone # Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (%)	ET _o x (PF x IE)	Landscape Area (sq. ft.)	ET _o x Area	ET _o x Area	ET _o x Area	Estimated Total Water Use (ET _o x Area)
Regular Landscape Areas									
A-1/12	.3	S	.75	.4	240	120	120	120	120
A-2/12	.3	S	.75	.4	120	60	60	60	60
A-3/12	.3	S	.75	.4	120	60	60	60	60
A-4/12	.3	S	.75	.4	120	60	60	60	60
A-5/12	.3	S	.75	.4	120	60	60	60	60
A-6/12	.3	S	.75	.4	120	60	60	60	60
A-7/12	.3	S	.75	.4	120	60	60	60	60
Totals					450	1809	1809	1809	43985
Special Landscape Areas									
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	43985
Totals					(A)	(B)	(C)	(D)	



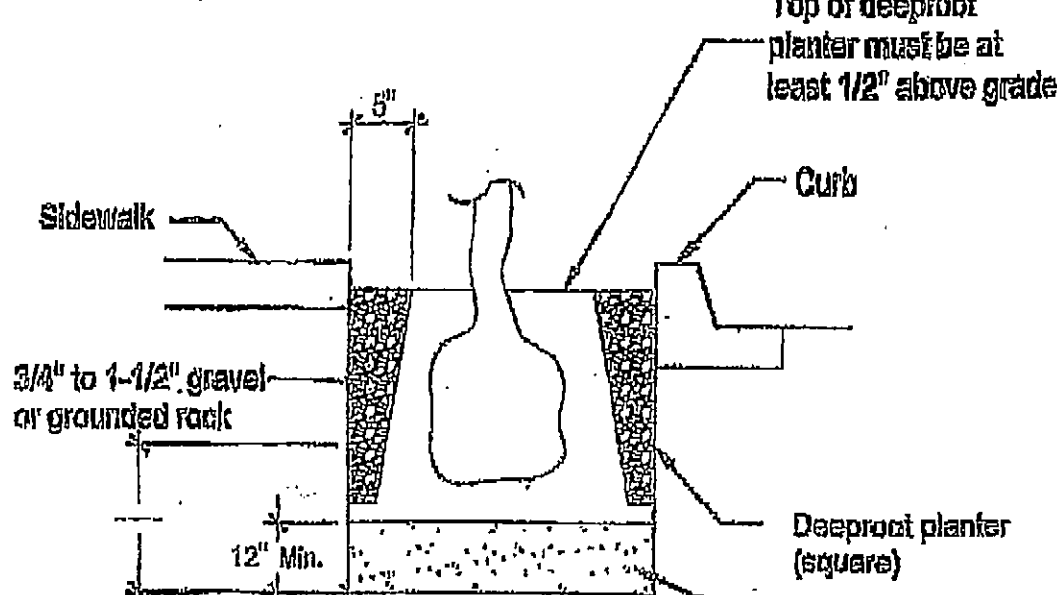
Pipe & wire trenching



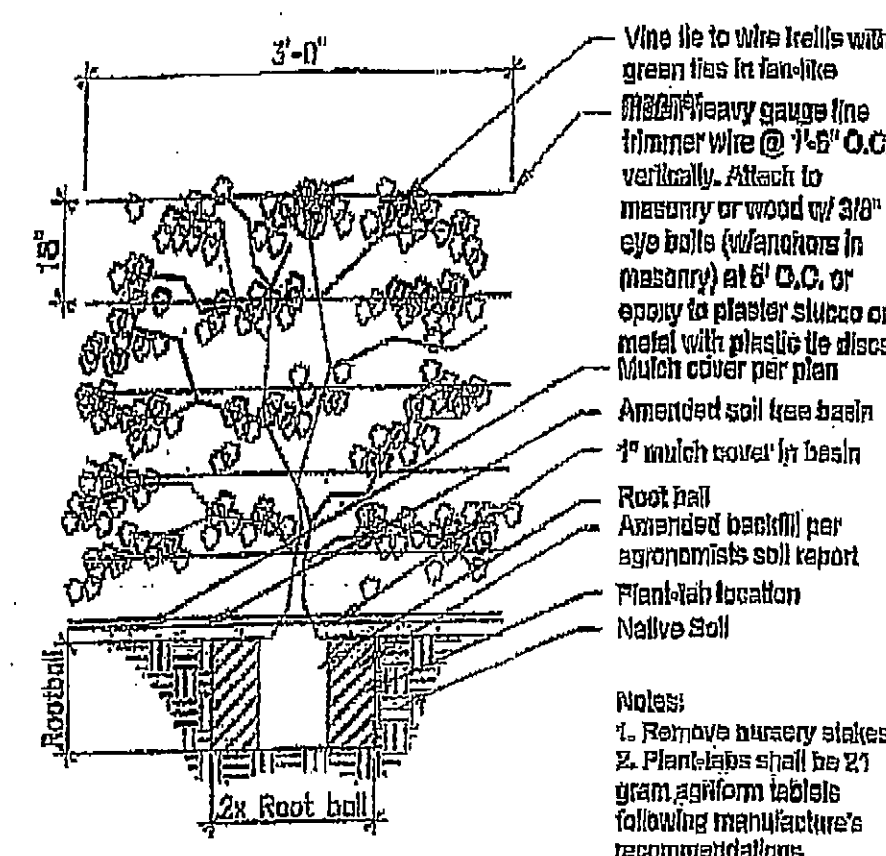
Quick coupling valve

Note:

A typical surround planting using the deeproot preformed planter



Tree Root barriers



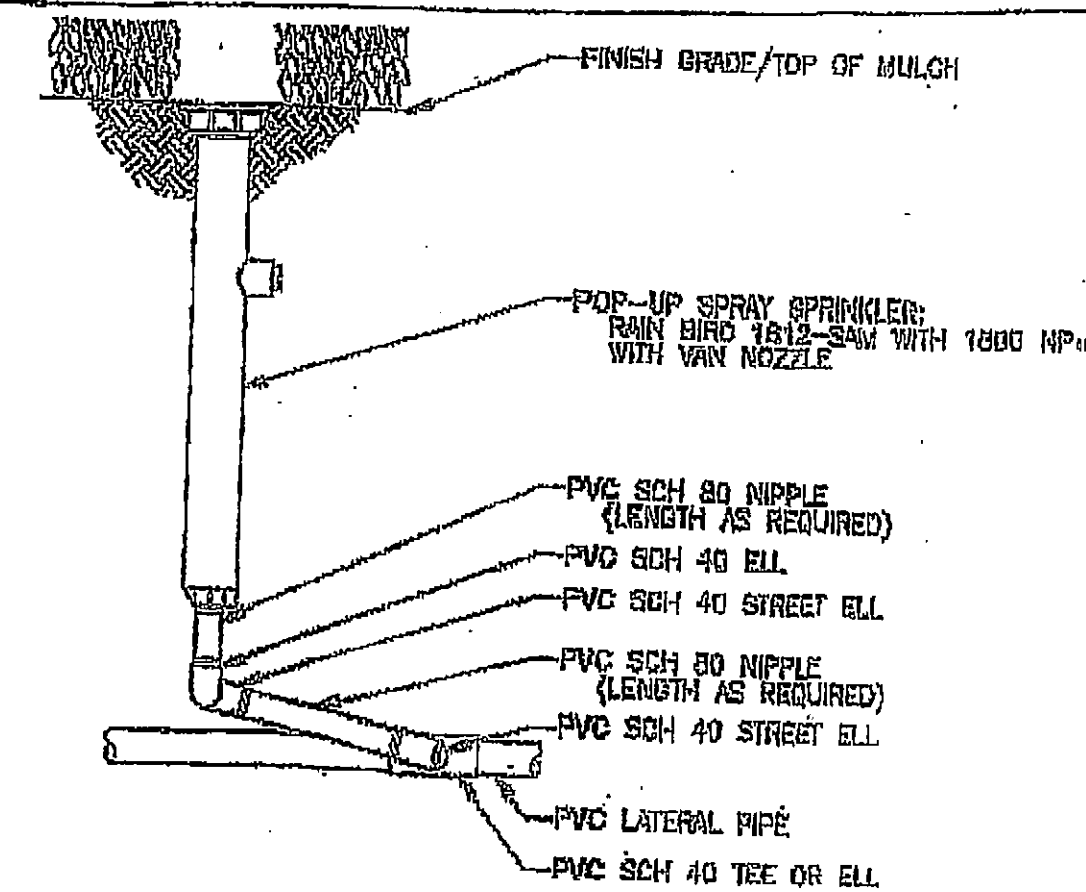
Vine Planting detail

- Contractor shall verify plant count for bidding purposes.
 - Ground cover indicated by shall be continuous under shrub.
 - Planting areas which have no cover indicated shall receive 3" min. fine redwood bark as a ground cover.
 - Contractor shall guarantee plant material for 90 days after installation and replace any diseased or damaged materials during that one year period.
 - The following amendments shall be uniformly broadcast and thoroughly incorporate to a depth of 12" min. by rototiller equal amount per. 1,000 sq.ft.
 - Cu. yd. (2") nitrogen stabilized organic amendment from redwood sawdust, fir dust, or finely ground bark 5 lbs. ammonium sulfate.
- Note: This formula is a Std. mix and will change if there are any unusual soil conditions at the site. Compacted backfill shall be 100% on site soil.

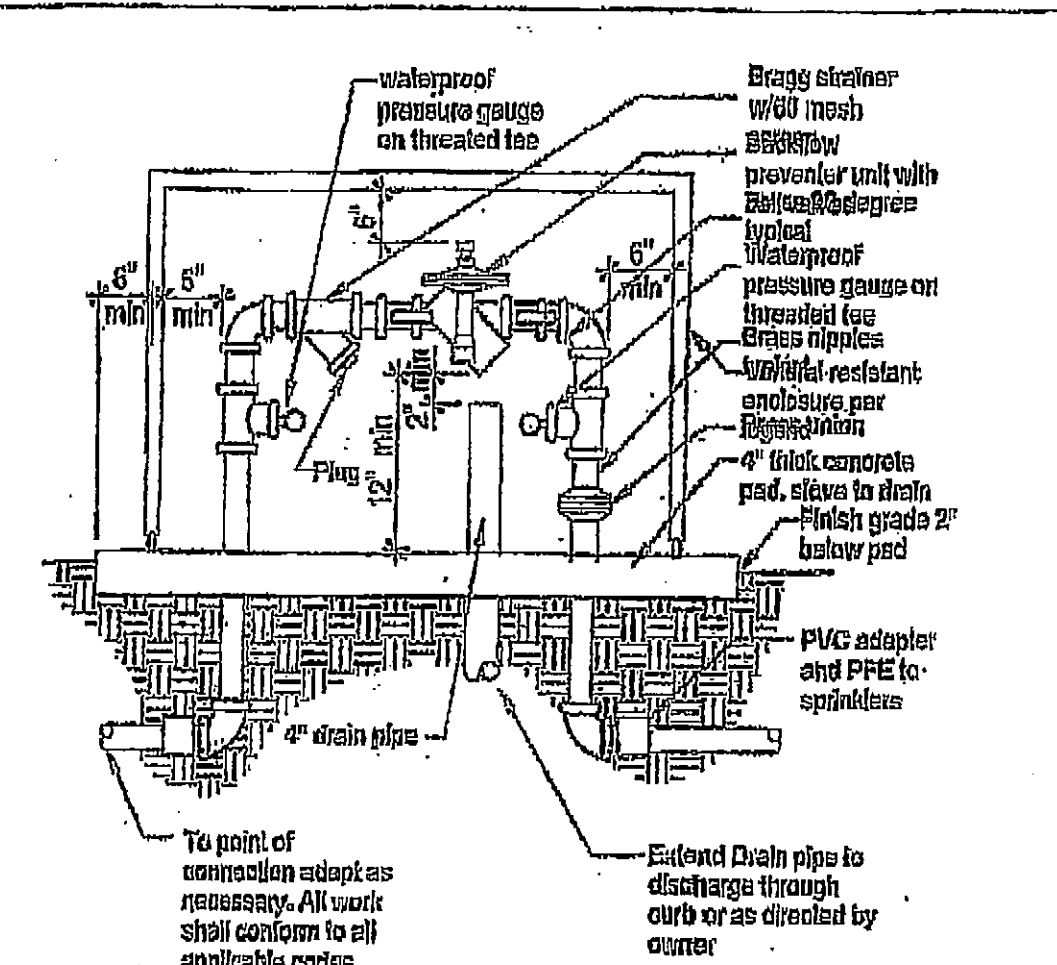
Landscape Notes

Soil Texture	Minimum rate (gals per hour)							
	Cover	Base	Cover	Base	Cover	Base	Cover	Base
Course Sandy Soil	2.00	2.00	2.00	1.50	1.50	1.00	1.00	0.50
Course sandy soil over compact loam	1.75	1.50	1.25	1.50	1.00	0.75	0.75	0.40
Light Sandy	1.75	1.00	1.25	0.80	1.00	0.80	0.75	0.40
Light Sandy compacted subsoil	1.25	0.75	1.00	0.50	0.75	0.40	0.50	0.30
Uniform Soil	1.00	0.50	0.80	0.40	0.50	0.30	0.40	0.20
Light over compact soil	0.80	0.30	0.50	0.25	0.40	0.25	0.30	0.10
Light clay over	0.20	0.15	0.15	0.10	0.12	0.05	0.10	0.05

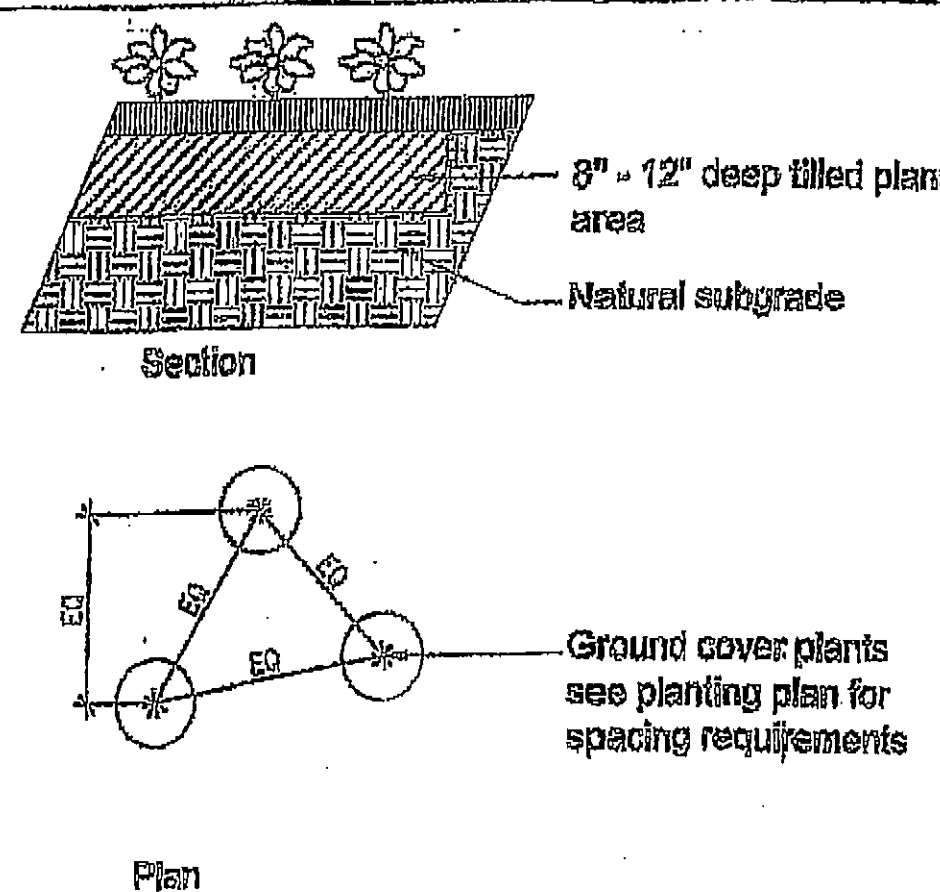
Soil characteristics



POP-UP SPRAY SPRINKLER



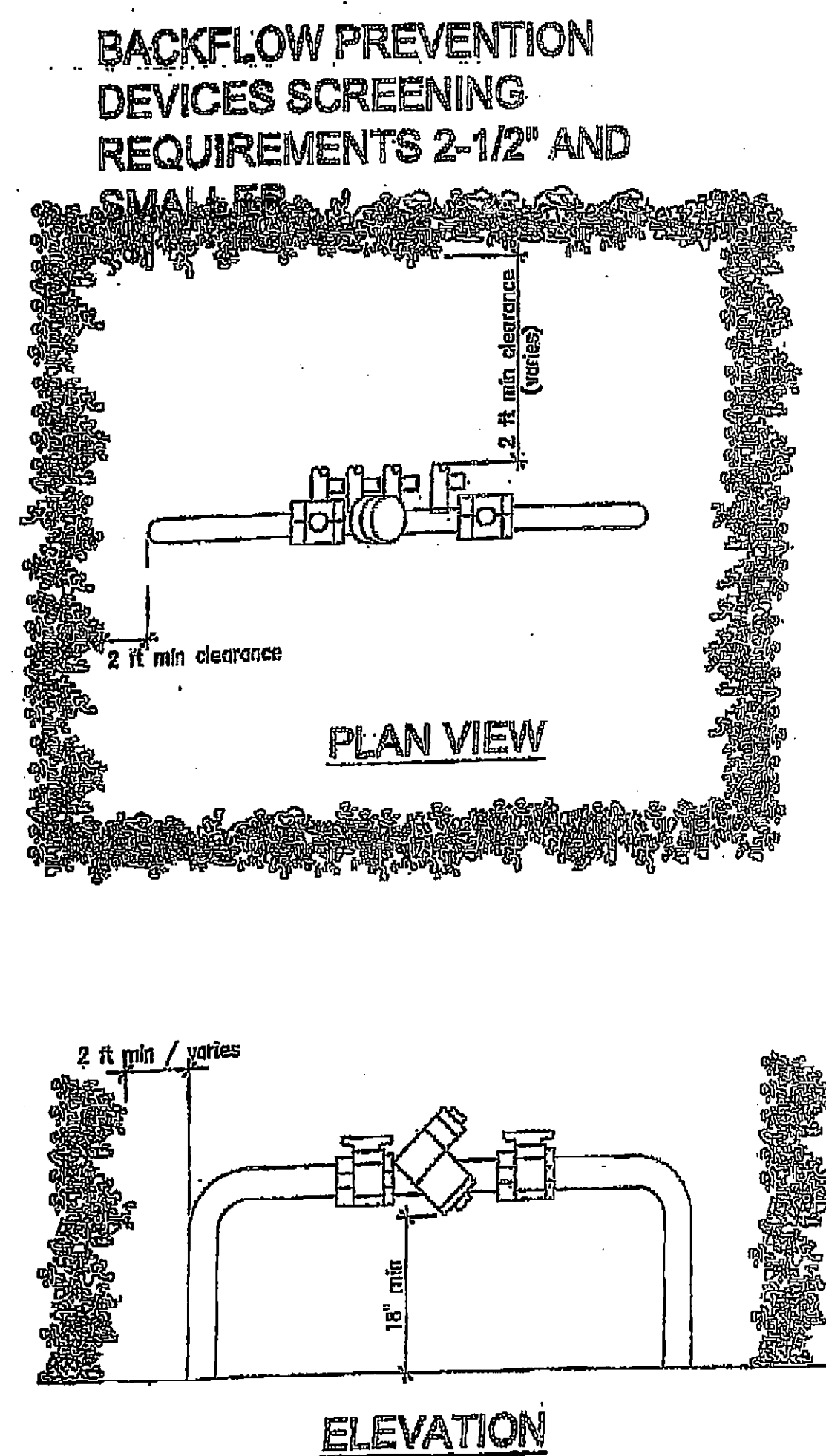
Backflow preventer



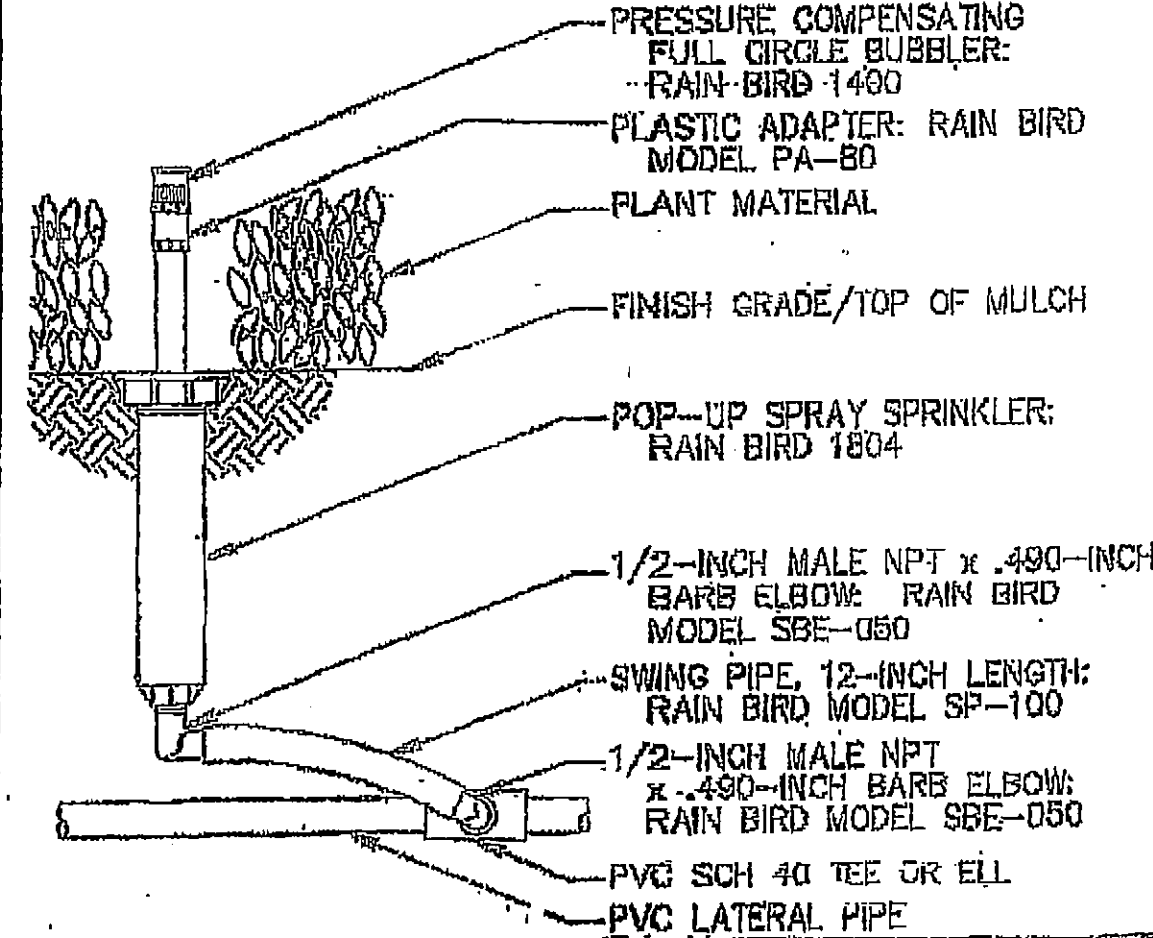
Ground Cover planting detail

- All irrigation lines under drives to be installed in pvc sleeve @ 18" depth min.
 - Locate all RCV's and HB's in planting areas. (typ.)
 - Jet all lines and trenches under paving 90% min.
 - Install remote control valve in ametek 12" box or equal (one valve per box) & marked "irrigation", located boxes in ground cover areas whenever possible and a min. 12" from paving or curbs.
 - The contractor shall provide owner with a completely operation system and clean set of marked prints as "as-built" drawing. Reference all trenches with dimensions to nearest building or paving.
 - The contractor shall warrant that the system will be a free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
- Note: All other requirements to be per city standards and specifications.

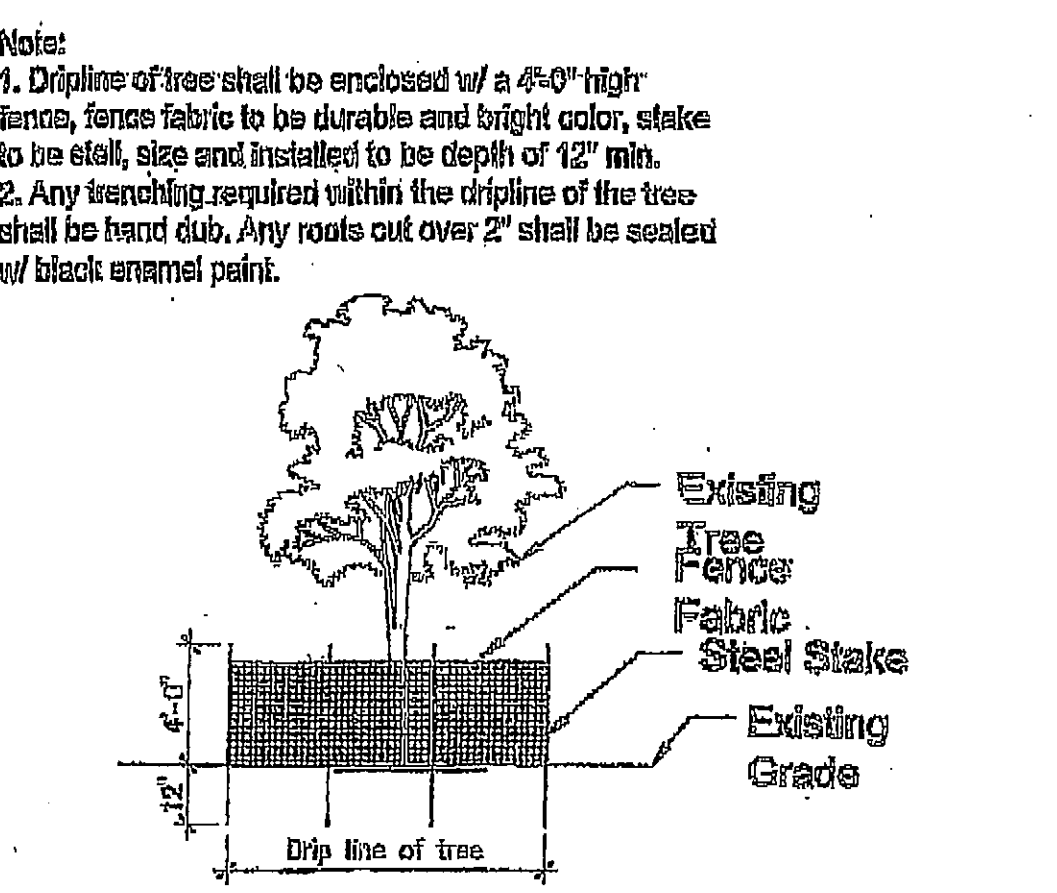
Irrigation notes



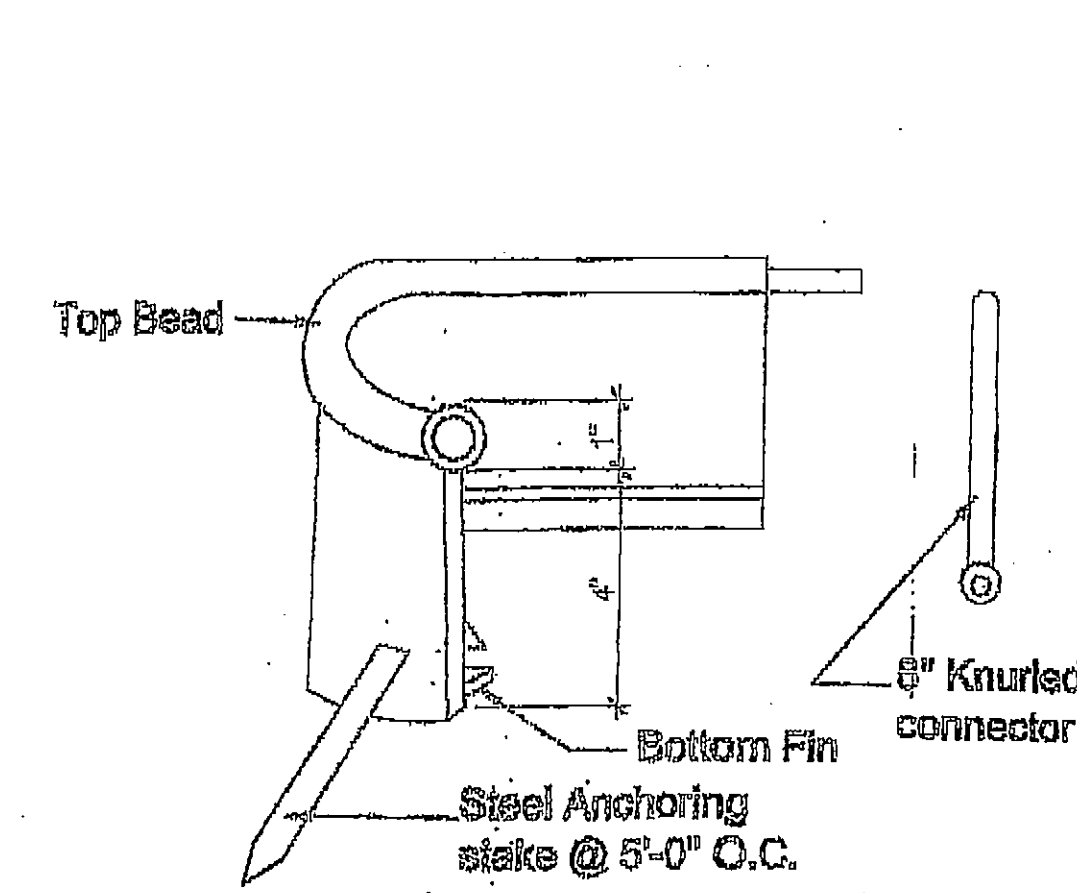
BACKFLOW DEVICE SCREENING DETAIL



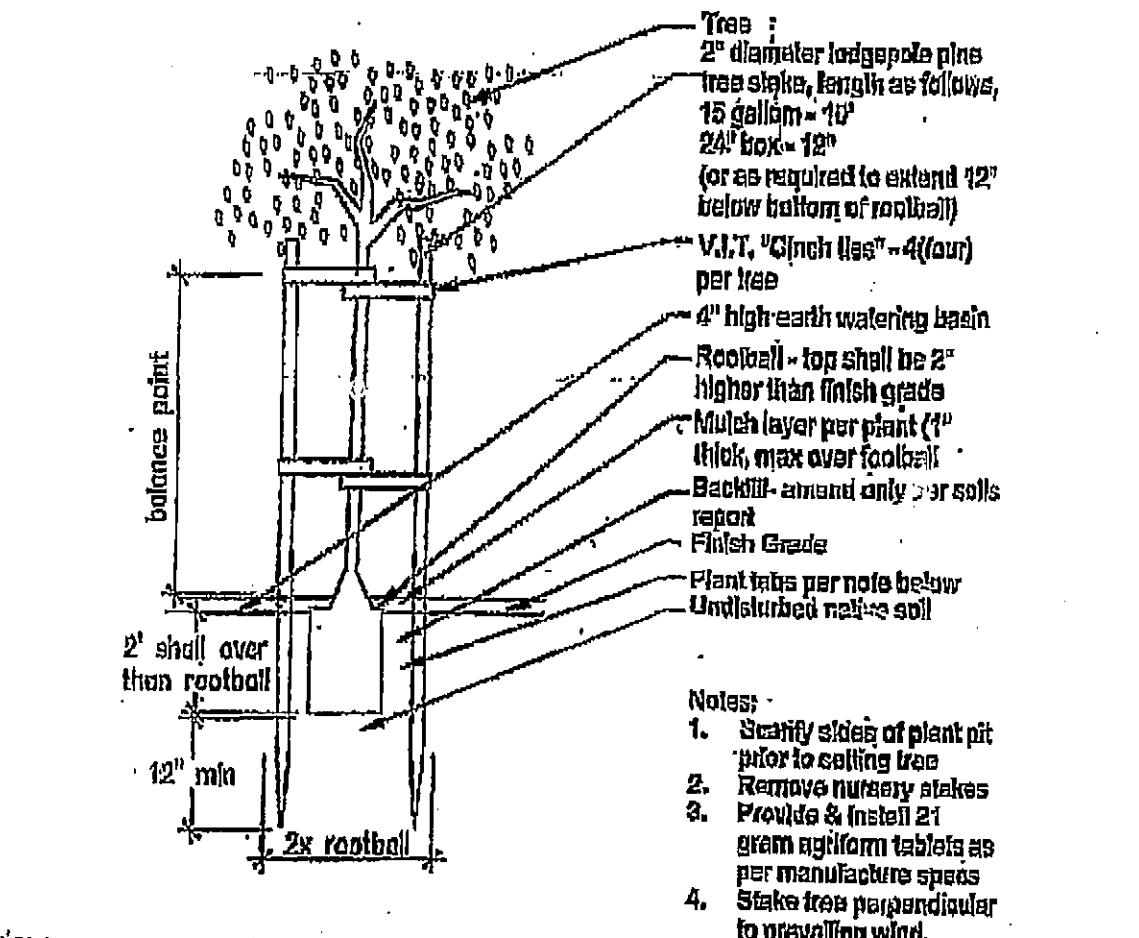
PRESSURE COMPENSATING FULL-CIRCLE BUBBLER



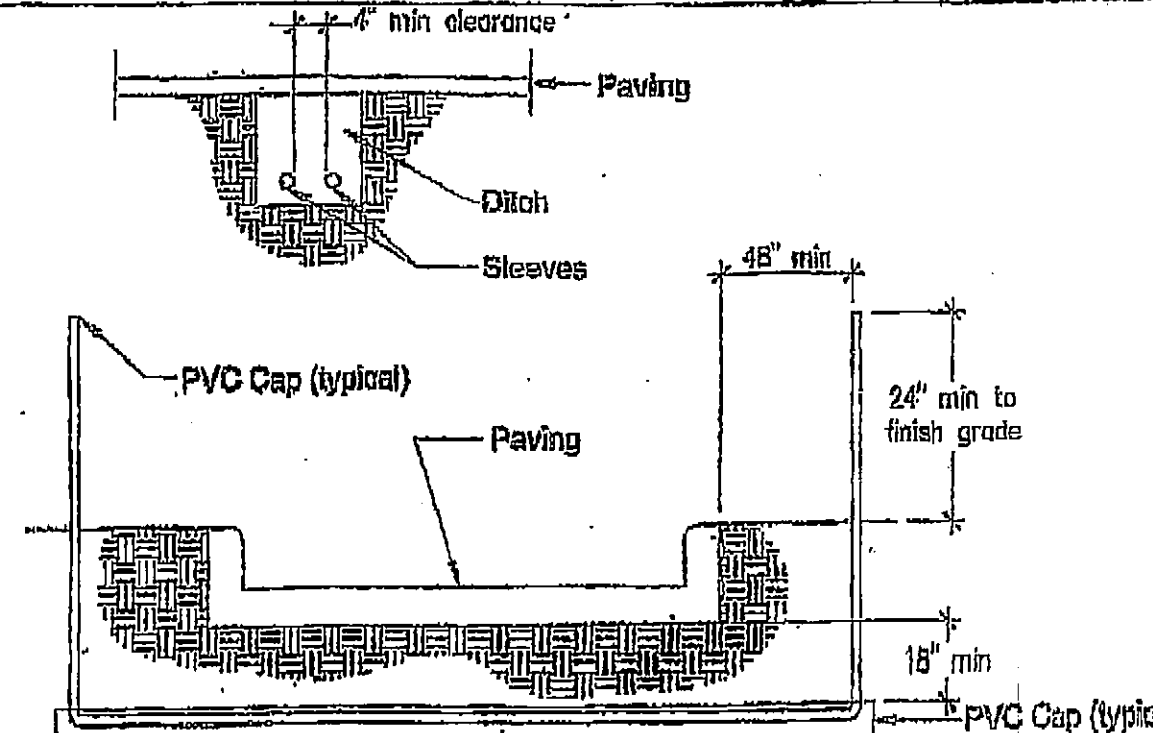
Projection of Existing Tree



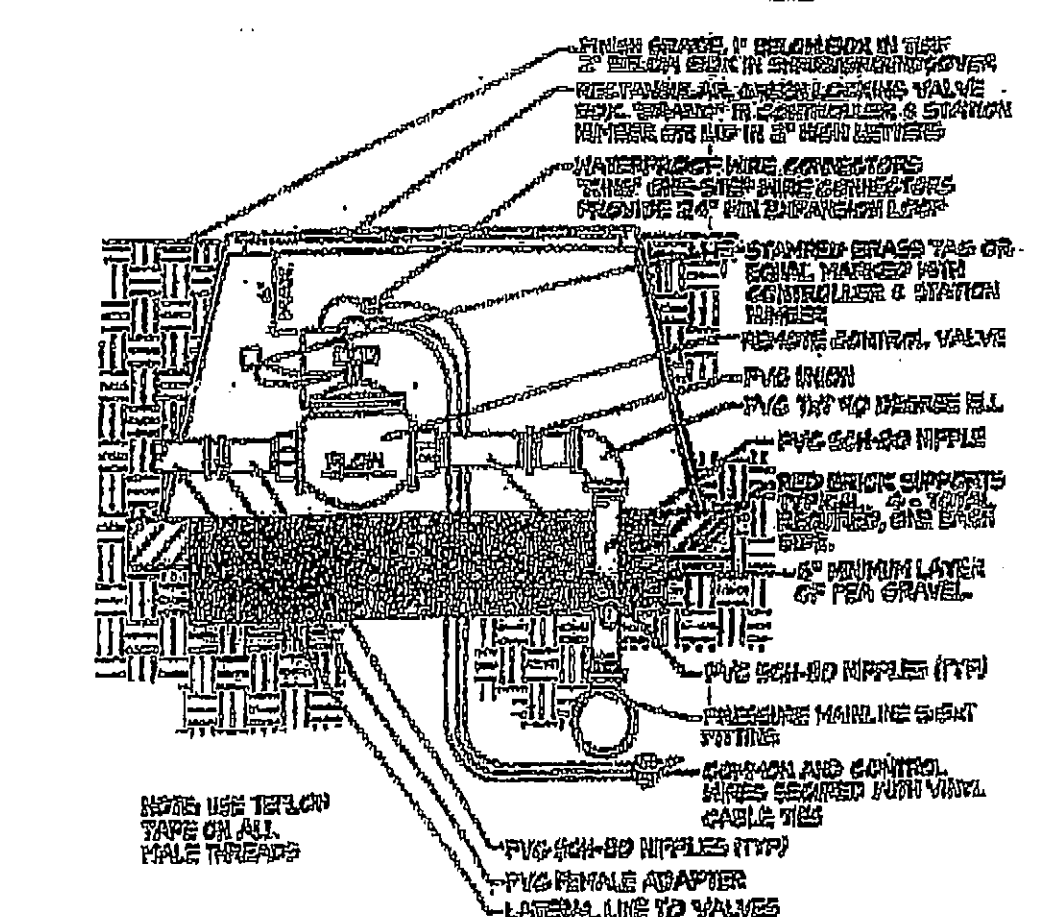
Polyethylene edging



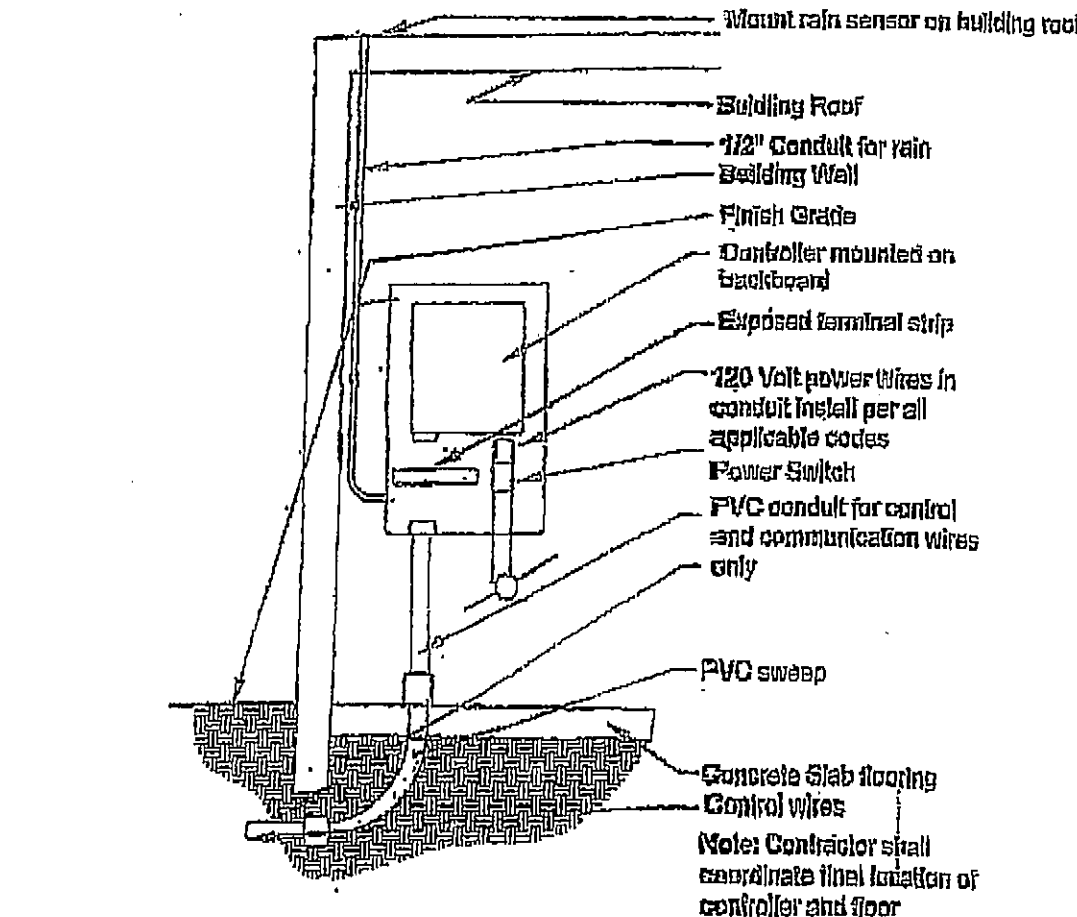
Tree staking detail



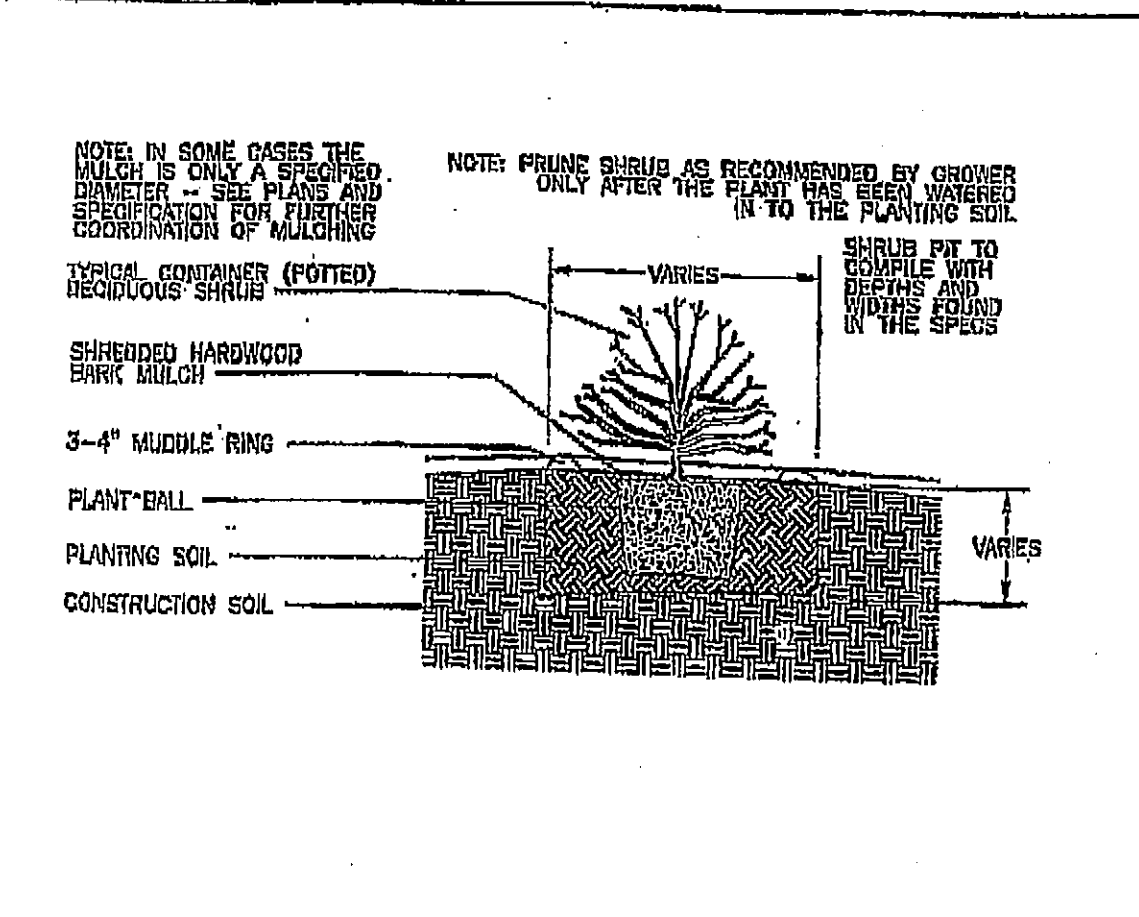
Sleeving



REMOTE CONTROL VALVE



Solid-state Controller



CONTAINER SHRUB PLANTING DETAIL

Revisions

THE DRAWING AND ALL INFORMATION HEREON ARE THE PROPERTY OF LANDSCAPE ARCHITECTURE. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF LANDSCAPE ARCHITECTURE IS STRICTLY PROHIBITED. ANY VIOLATION OF THIS NOTICE WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

Larry G. Tison & Associates
LANDSCAPE ARCHITECTURE
314 E. Broadway Suite 200, Glendale, California 91205
818-241-9189
larrytison@gmail.com

Note: use details as applicable to this project only.

LANDSCAPE DETAIL & SPECIFICATION PLAN

DATE: 10/1/2024
SHEET: 1

JOB NO.:
SHEET

L-3