

# NEW HOUSE AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

## PROJECT INFORMATION

PROJECT LOCATION  
924 OLD PHILLIPS RD.  
GLENDALE, 91207

OWNER  
AIVAZIAN  
924 OLD PHILLIPS RD.  
GLENDALE, 91207

PROJECT DESIGNER  
DESIGNNRK  
213 N. ORANGE STREET, STE. E  
GLENDALE, 91203  
OFFICE : 818.823.7286  
FAX : 888.424.8125  
E-MAIL : INFO@DESIGNNRK.COM

## SITE PLAN KEYED NOTES

- PROPERTY LINE
- NEW SFD FLOOR LINE
- GARAGE LINE
- EXT'G DRIVEWAY TO REMAIN
- EXT'G LANDSCAPING TO REMAIN
- NEW CONC. PATIO (NOT COVERED)
- DIRECTION OF SHEET FLOW 2%
- NEW CONC. LANDING WITH STEPS
- EXT'G PLANTER WALL TO REMAIN
- EXT'G BLOCK WALL TO REMAIN
- EXT'G DRIVEWAY LINE
- NEW LANDSCAPE

- PROPOSED FIRST FLOOR AREA
- PROPOSED SECOND FLOOR AREA
- EXT'G LANDSCAPING
- NEW 2 CAR GARAGE

## CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

APRON & CURB SHALL BE CONSTRUCTED PER PUBLIC WORKS ENG. REQUEST. SEPARATE PERMIT REQUIRED.

## SITE MAP



## SHEET INDEX

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## PROJECT FLOOR PLAN AREA & DATA

LOT AREA	9,250± SQ. FT.
NEW SINGLE FAMILY RESIDENCE	3,363 SQ. FT.
FIRST FLOOR	2,665 SQ. FT.
SECOND FLOOR	698 SQ. FT.
NEW 3 CAR GARAGE	440 SQ. FT.
TOTAL LIVING AREA	3,363 SQ. FT.

FLOOR AREA RATIO	TOTAL LIVING AREA : 3,363 SQ. FT.	
MAX. 40%	LOT AREA (9,250 SQ. FT.)	36 %
TOTAL MAX. - 3,710 SQ. FT.		

LOT COVERAGE RATIO	LOT COVERAGE (3,105 SQ. FT.)	
MAX. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	34 %

LANDSCAPE RATIO	LANDSCAPED AREA (4,880 SQ. FT.)	
MIN. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	53 %

ZONING	R1R II
APN	5649-002-039
OCCUPANCY	RESIDENCE R-3 GARAGE U
CONSTRUCTION TYPE	V-8
YEAR BUILT	1967
NUMBER OF STORIES	1
FIRE ZONE	YES
CA CLIMATE ZONE	9
FIRE SPRINKLERS	NO

PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD & CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING & SAFETY CODE. CBC SECTION 106.1.1

## SCOPE OF WORK

- NEW SINGLE FAMILY DWELLING (3,363 SQ. FT.) WITH 4 BEDROOMS AND 4.5 BATHROOMS
- NEW ATTACHED 2-CAR GARAGE (440 SQ. FT.)

## NOTES

A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLWING :

- RETAINING WALL OF BLOCK FENCE WALL
- GRADING WORK
- SWIMMING POOL
- A SEPARATE STRUCTURE
- SHORING
- DEMOLITION

B. NO CHANGE IN GRADES ALLOWED

## FIRE DEPT. NOTES

1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

2. FIRE SPRINKLERS: PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS OF THE GLENDALE FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT.

3. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE DETECTORS.

4. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (2) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315

5. EGRESS: ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.

6. REQUIRED FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE LISTED BELOW. FOR ALL INSPECTIONS, CALL 818-548-4810

7. FIRE PERMITS: THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE DEPARTMENT:

8. FUEL MODIFICATION / LANDSCAPING FOR HIGH FIRE HAZARD AREAS (HFHA):  
MAINTAIN EXISTING / PROVIDE FUEL MODIFICATION ONLY - NO FIRE DEPARTMENT REVIEW OR PERMITTING OF LANDSCAPE PLANS.  
ALL FUEL MODIFICATION / LANDSCAPING SHALL COMPLY WITH FIRE DEPARTMENT APPROVAL / PERMITTED LANDSCAPE PLANS.

FIRE SPRINKLER OVERHEAD/UNDERGROUND ROUGH AND FLUSH (BEFORE COVERING ANY PIPING)

FIRE SPRINKLER FINAL

FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT ACCESS, SMOKE DETECTORS, FUEL MODIFICATION, ETC.)

9. ADDITIONAL REQUIRED GFD INSPECTIONS: FOR INSPECTIONS, CALL 818-548-4810. FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE: FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT ACCESS, SMOKE DETECTORS).

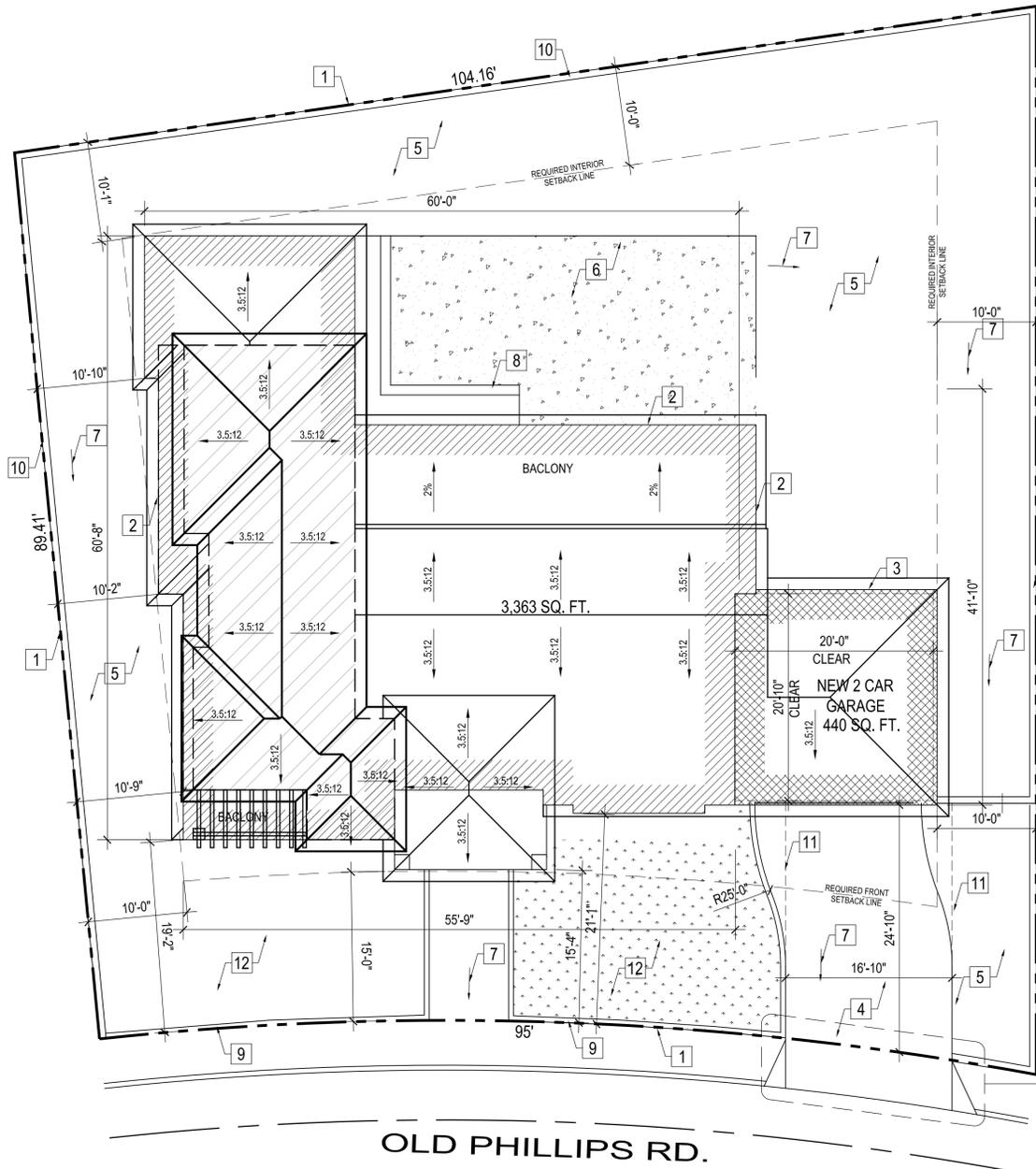
## GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK. HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.



## PROPOSED SITE PLAN AND ROOF PLAN

SCALE : 1/8" = 1'-0"

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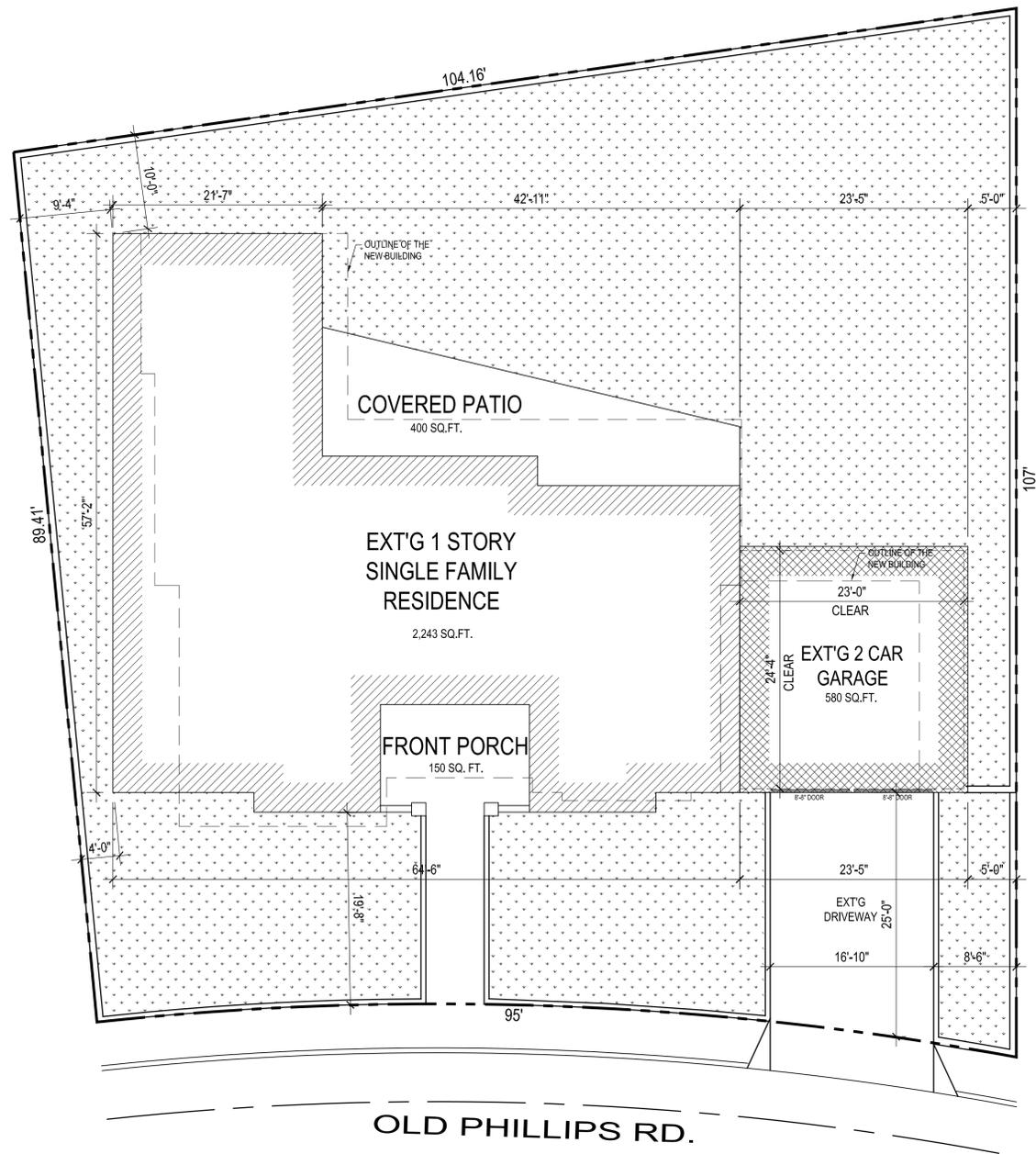
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COVER SHEET & SITE PLAN  
AIVAZIAN RESIDENCE  
924 OLD PHILLIPS DR., GLENDALE 91207

DATE: 05/2020  
DRAWN BY: NRK  
JOB NO. 20028

SHEET NO.  
A0.1

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**EXT'G SITE PLAN**  
SCALE : 1/8" = 1'-0"

**SITE PLAN LEGEND**

	EXT'G RESIDENCE
	EXT'G GARAGE
	EXT'G LANDSCAPING

**PROJECT FLOOR PLAN AREA & DATA**

LOT AREA	9,250± SQ. FT.
EXT'G RESIDENCE	2,243 SQ. FT.
EXT'G 2 CAR GARAGE	580 SQ. FT.
EXT'G FRONT PORCH	150 SQ. FT.
EXT'G COVERED PATIO	400 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>2,243 SQ. FT.</b>

<b>FLOOR AREA RATIO</b>	<b>TOTAL LIVING AREA : 2,243 SQ. FT.</b>	
MAX. 40%	LOT AREA (9,250 SQ. FT.)	24 %
TOTAL MAX. - 3,710 SQ. FT.		

<b>LOT COVERAGE RATIO</b>	<b>LOT COVERAGE (3,373 SQ. FT.)</b>	
MAX. 40%	LOT AREA (9,250 SQ. FT.)	37 %
TOTAL MAX. - 3,700 SQ. FT.		

<b>LANDSCAPE RATIO</b>	<b>LANDSCAPED AREA (4,980 SQ. FT.)</b>	
MIN. 40%	LOT AREA (9,250 SQ. FT.)	54 %
TOTAL MAX. - 3,700 SQ. FT.		

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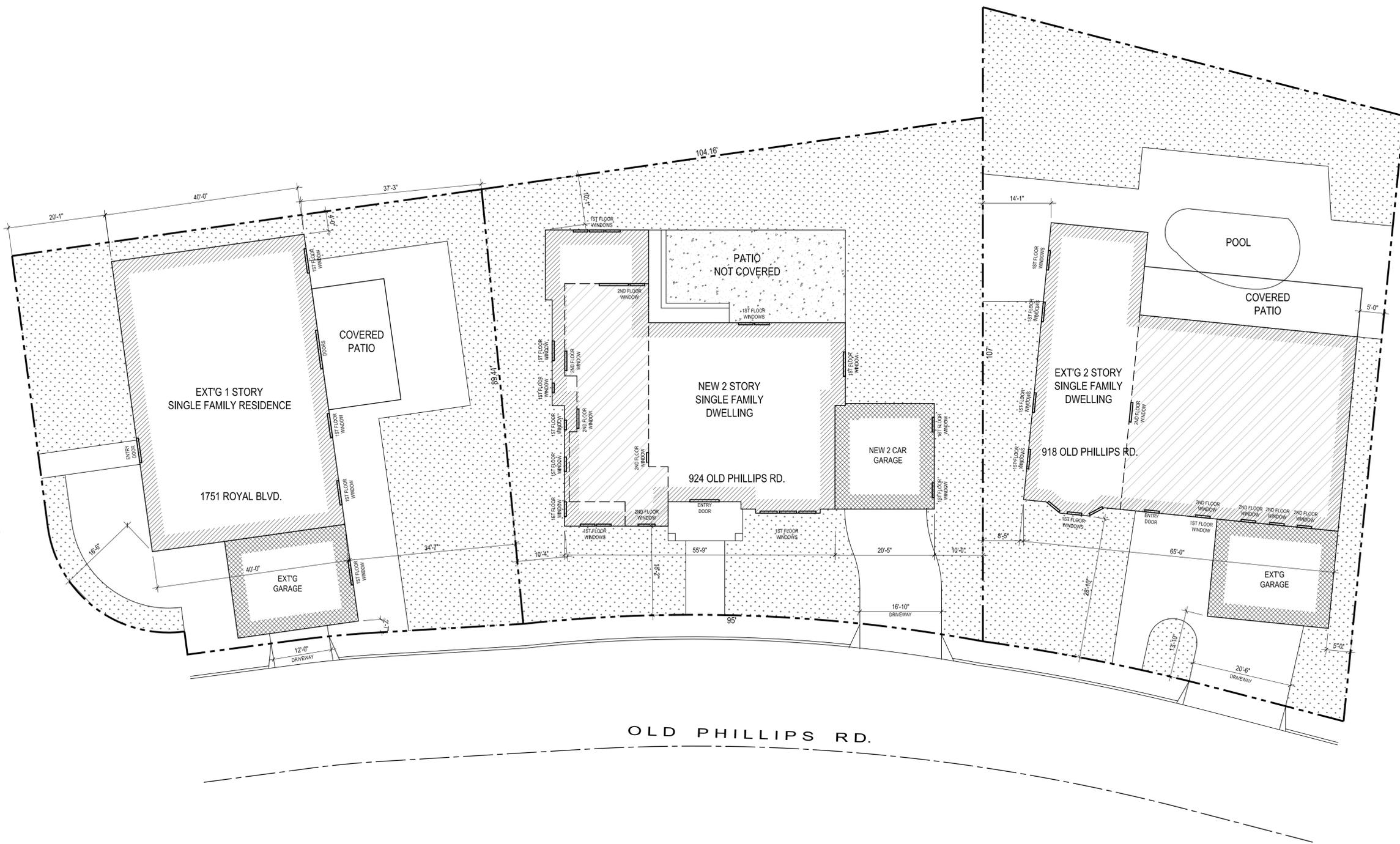
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EXT'G SITE PLAN  
**AIVAZIAN RESIDENCE**  
924 OLD PHILLIPS DR., GLENDALE 91207

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ROYAL BLVD.



- REVISIONS:
-  SINGLE FAMILY RESIDENCE (1ST FLOOR)
  -  SINGLE FAMILY RESIDENCE (2ND FLOOR)
  -  EXT'G LANDSCAPING
  -  GARAGE

NO.	DATE	DESCRIPTION

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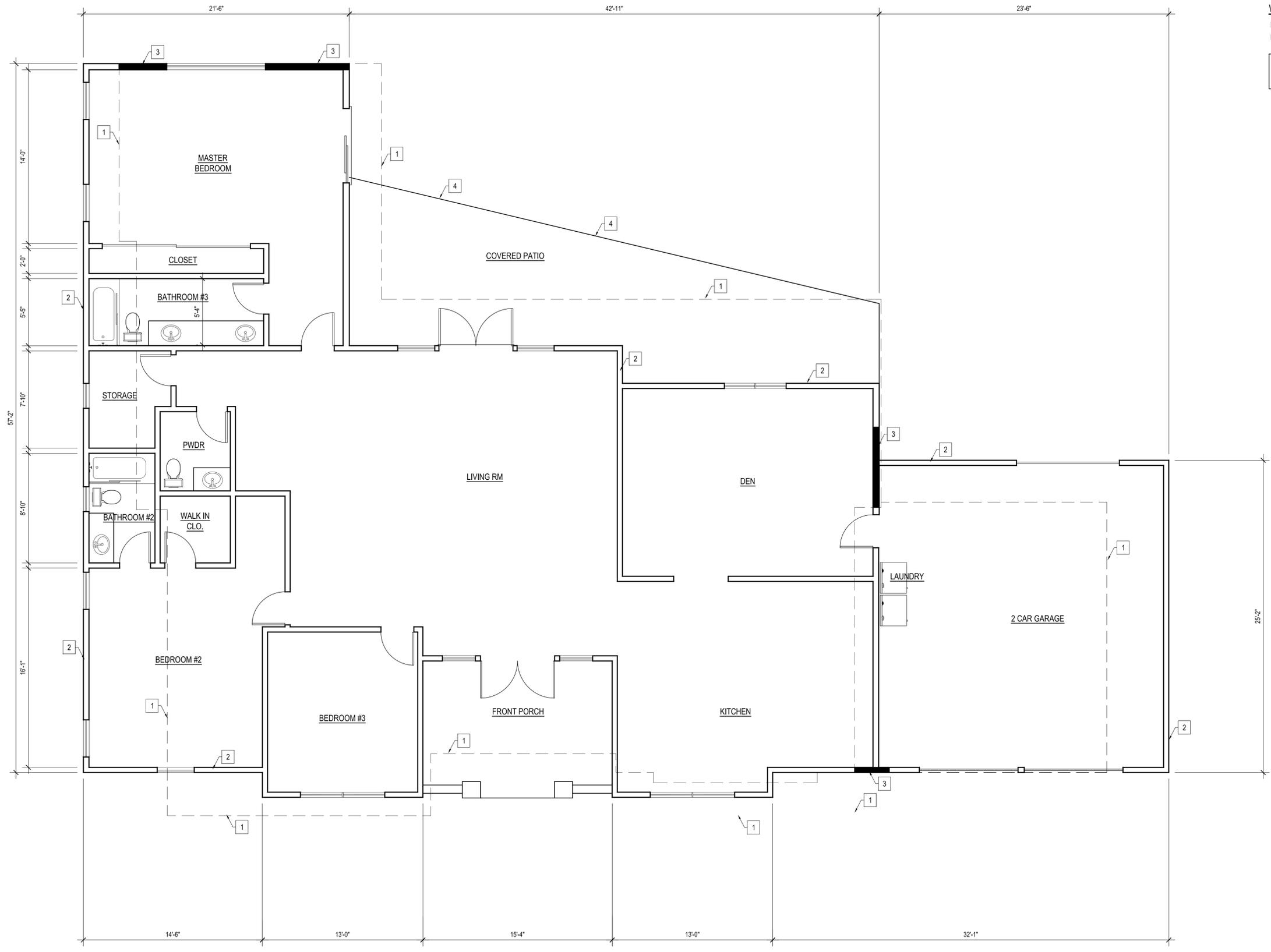
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NEIGHBORING PROPERTIES  
**AIVAZIAN RESIDENCE**  
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**FLOOR PLAN KEYED NOTES :**

1. OUTLINE OF THE NEW S.F.D.
2. EXT'G WALLS TO BE DEMOLISHED
3. EXT'G WALLS TO REMAIN
4. EXT'G COVERED PATIO LINE

**WALL / SYMBOL LEGEND**

- EXT'G WALLS TO BE DEMOLISHED
- EXT'G WALLS TO REMAIN

MORE THAN 50% OF THE EXISTING HOUSE  
TO BE DEMOLISHED

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EXT'G FLOOR PLAN

AIVAZIAN RESIDENCE

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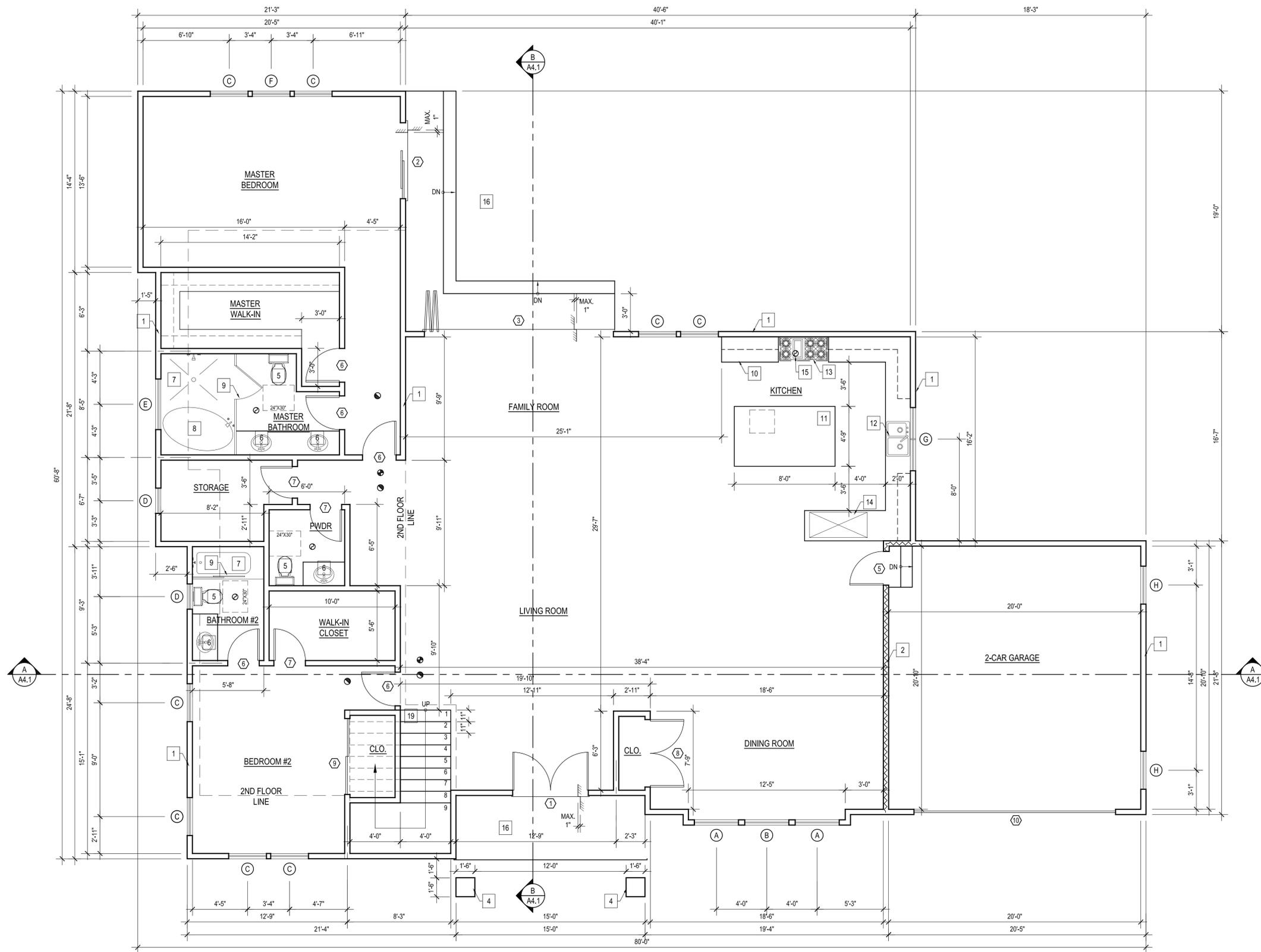
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EXT'G RESIDENCE FLOOR PLAN

SCALE : 1/4" = 1'-0"

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**FLOOR PLAN KEYED NOTES :**  
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. NEW WALLS
2. 1-HOUR FIRE RATED WALL
3. LOW WALL - 42" MIN. HT.
4. NEW COLUMN
5. NEW TOILET (S.B.O.)
6. NEW SINK (S.B.O.)
7. NEW TUB OR SHOWER (TILE TO CEILING)
8. NEW FREESTANDING TUB
9. CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCL. FRAMELESS & SLIDER
10. NEW BASE AND UPPER CABINETS
11. NEW ISLAND-STONE TILE COUNTERTOP (S.B.O.)
12. NEW DOUBLE SINK
13. NEW RANGE
14. NEW REFRIGERATOR
15. RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
16. NEW CONC. LANDING MIN. WITH STEPS
17. NEW GUARDRAIL - 42" MIN. HT.
18. NEW WASHER AND DRYER
19. NEW STAIRCASE

**WALL / SYMBOL LEGEND**

- NEW WALL
- FIRE-RATED WALL - WITH 5/8" TYPE 'X' GYP BOARD ON THE GARAGE SIDE
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- GFCI - GROUND FAULT CIRCUIT INTERRUPTER
- X-XXX" CEILING HEIGHTS
- WATER CLOSET CLEARANCE

**WATER FIXTURE**

ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANCE PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION BY BUILDING DEPARTMENT. SEE CIVIL CODE SECTION 1101.1

**NON-COMPLIANT PLUMBING FIXTURES ARE DEFINED AS:**

- A) ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GALLONS PER FLUSH.
- B) ANY SHOWER HEAD MANUFACTURED TO FLOW MORE THAN 2.5 GALLONS / MIN.
- C) ANY INTERIOR FAUCET MANUFACTURED TO FLOW MORE THAN 2.2 GALLONS / MIN.

ALL WATER FIXTURES TO BE LOW FLOW

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PROPOSED FIRST FLOOR PLAN  
**AIVAZIAN RESIDENCE**  
924 OLD PHILLIPS RD. GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.  
**A2.1**

**PROPOSED FIRST FLOOR PLAN**  
SCALE : 1/4" = 1'-0"

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### WINDOW SCHEDULE

MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE ALL WINDOWS TO BE RECESSED. SEE DETAIL 1
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	2	—	—	3'-6"	6'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	• •	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(B)	1	—	—	3'-6"	6'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	• •	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(C)	8	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	• •	YES	BLACK	YES/NO	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(D)	2	—	—	2'-0"	3'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	• •	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	OBSCURED GLASS IN BATHROOM	
(E)	3	—	—	4'-0"	1'-6"	—	FIBERGLASS	—	AWNING	NAIL ON	• •	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(F)	1	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	• •	YES	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(G)	1	—	—	5'-0"	3'-0"	—	FIBERGLASS	—	SLIDER	NAIL ON	• •	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(H)	3	—	—	3'-0"	4'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	• •	YES/NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(J)	2	—	—	3'-6"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	• •	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(K)	1	—	—	2'-0"	2'-6"	—	FIBERGLASS	—	CASEMENT	NAIL ON	• •	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22		
(L)	1	—	—	5'-0"	4'-0"	—	FIBERGLASS	—	FIXD	NAIL ON	• •	YES	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22		

### DOOR SCHEDULE

MARK	NO. OF UNIT	DOOR						NOTES
		SIZE			GLAZE		FINISH	
		WD	HGT	THK	DUAL	TEMP		
(1)	1	6'-0"	9'-0"	1 3/4"	•	PAINTED	ENTRY DOOR - DOUBLE WOOD DOORS	
(2)	1	6'-0"	8'-0"	1 3/4"	•	PAINTED	EXTERIOR SLIDING DOOR	
(3)	1	15'-0"	8'-0"	1 3/4"	•	PAINTED	EXTERIOR FOLDING DOOR	
(4)	2	6'-0"	6'-8"	1 3/4"	•	PAINTED	FRENCH DOORS	
(5)	1	2'-8"	6'-8"	1 3/8"		PAINTED	20-MIN FIRE RATED, SELF LATCHING, SELF CLOSING	
(6)	10	2'-8"	6'-8"	1 3/8"		PAINTED	INTERIOR DOOR	
(7)	3	2'-6"	6'-8"	1 3/8"		PAINTED	INTERIOR DOOR	
(8)	1	5'-4"	6'-8"	1 3/8"		PAINTED	INTERIOR DOOR	
(9)	1	6'-0"	6'-8"	1 3/8"		PAINTED	SLIDING CLOSET DOOR	
(10)	1	16'-0"	8'-0"	1 3/4"	•	PAINTED	GARAGE DOOR	

#### WINDOW NOTES :

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN. RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES. PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS.

BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

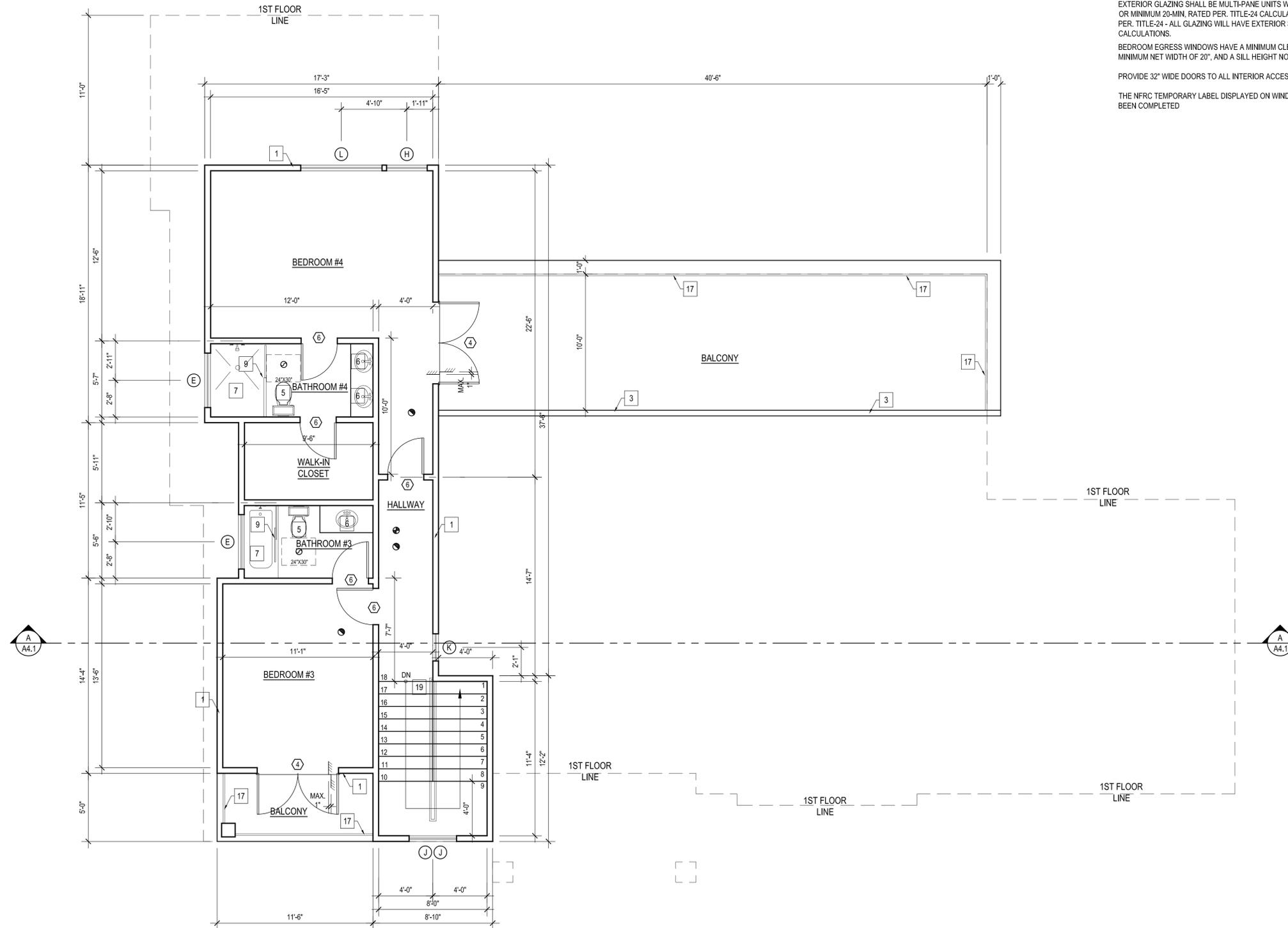
PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED

#### FLOOR PLAN KEYED NOTES :

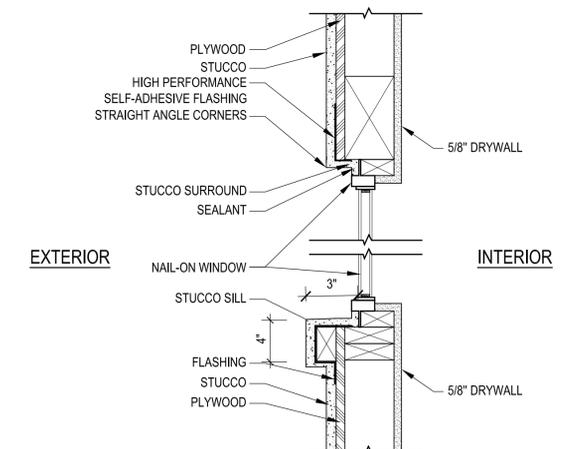
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

- NEW WALLS
- 1-HOUR FIRE RATED WALL
- LOW WALL - 42" MIN. HT.
- NEW COLUMN
- NEW TOILET (S.B.O.)
- NEW SINK (S.B.O.)
- NEW TUB OR SHOWER (TILE TO CEILING)
- NEW FREESTANDING TUB
- CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCL. FRAMELESS & SLIDER
- NEW BASE AND UPPER CABINETS
- NEW ISLAND-STONE TILE COUNTERTOP (S.B.O.)
- NEW DOUBLE SINK
- NEW RANGE
- NEW REFRIGERATOR
- RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
- NEW CONC. LANDING MIN. WITH STEPS
- NEW GUARDRAIL - 42" MIN. HT.
- NEW WASHER AND DRYER
- NEW STAIRCASE



### PROPOSED SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



### WINDOW DETAIL - 1

SCALE : NTS

REVISIONS:

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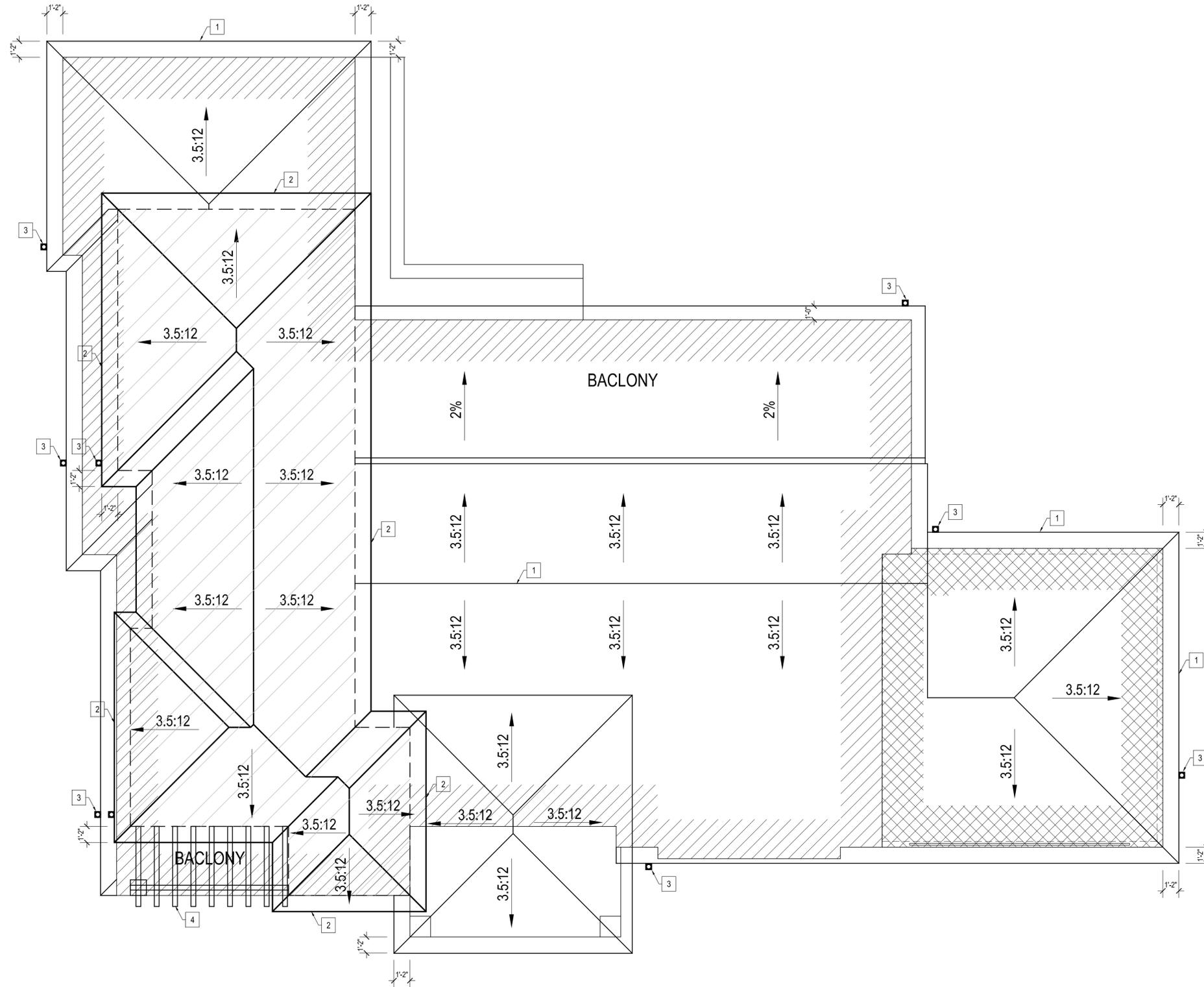
PROPOSED SECOND FLOOR PLAN

## AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE 91207

DATE: 05/2020  
DRAWN BY: NRK  
JOB NO. 20028  
SHEET NO.  
**A2.2**

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- FLOOR PLAN KEYED NOTES :
1. FIRST FLOOR ROOF
  2. SECOND FLOOR ROOF
  3. DOWNSPOUT
  4. TRELLIS

REVISIONS:


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PROPOSED ROOF PLAN  
**AIVAZIAN RESIDENCE**  
924 OLD PHILLIPS RD. GLENDALE 91207

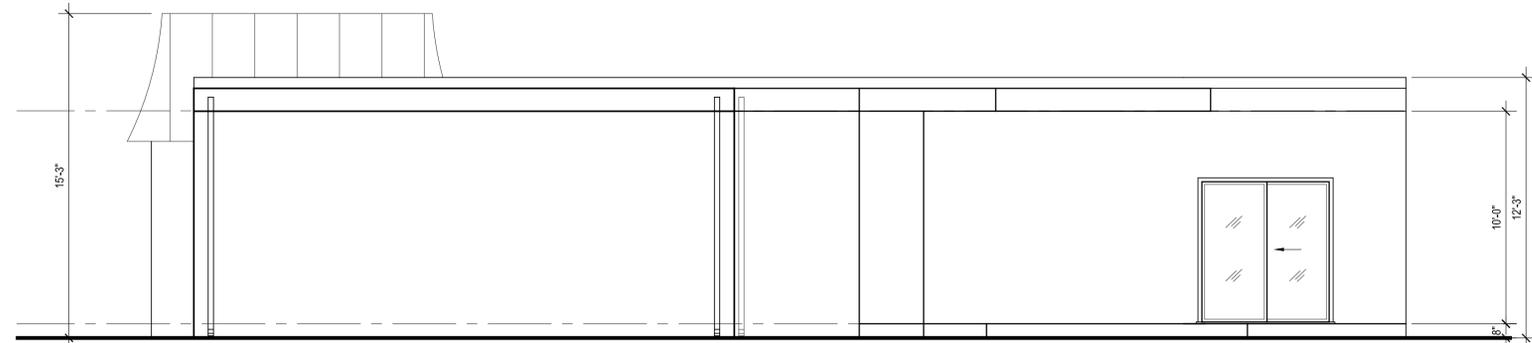
DATE:	05/2020
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JOB NO.	20028
SHEET NO.	<b>A2.3</b>

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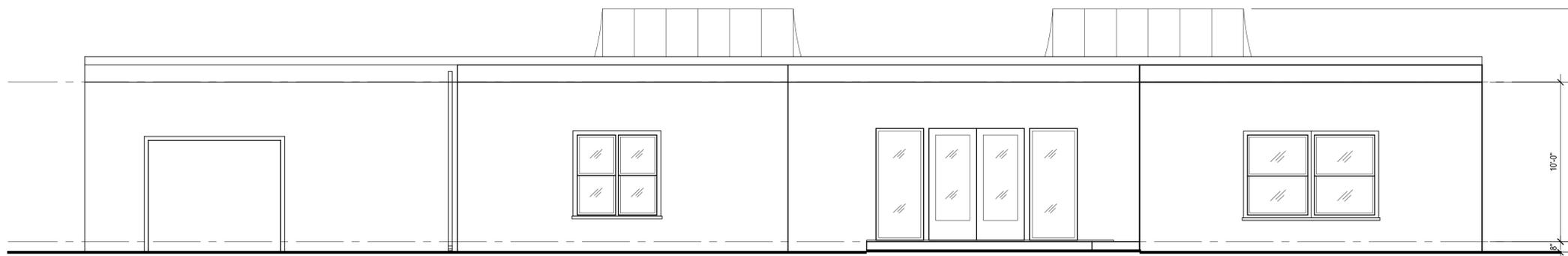
**NORTH ELEVATION**

SCALE : 1/4" = 1'-0"



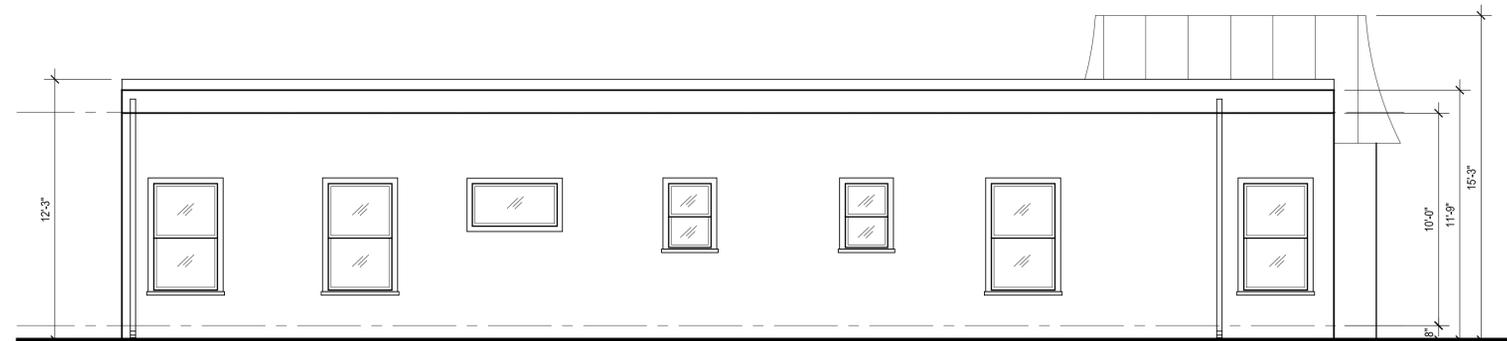
**WEST ELEVATION**

SCALE : 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE : 1/4" = 1'-0"



**EAST ELEVATION**

SCALE : 1/4" = 1'-0"

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EXT'G ELEVATIONS

**AIVAZIAN RESIDENCE**

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE: 04/2020

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**A3.0**

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**FRONT (NORTH) ELEVATION**

SCALE : 1/4" = 1'-0"

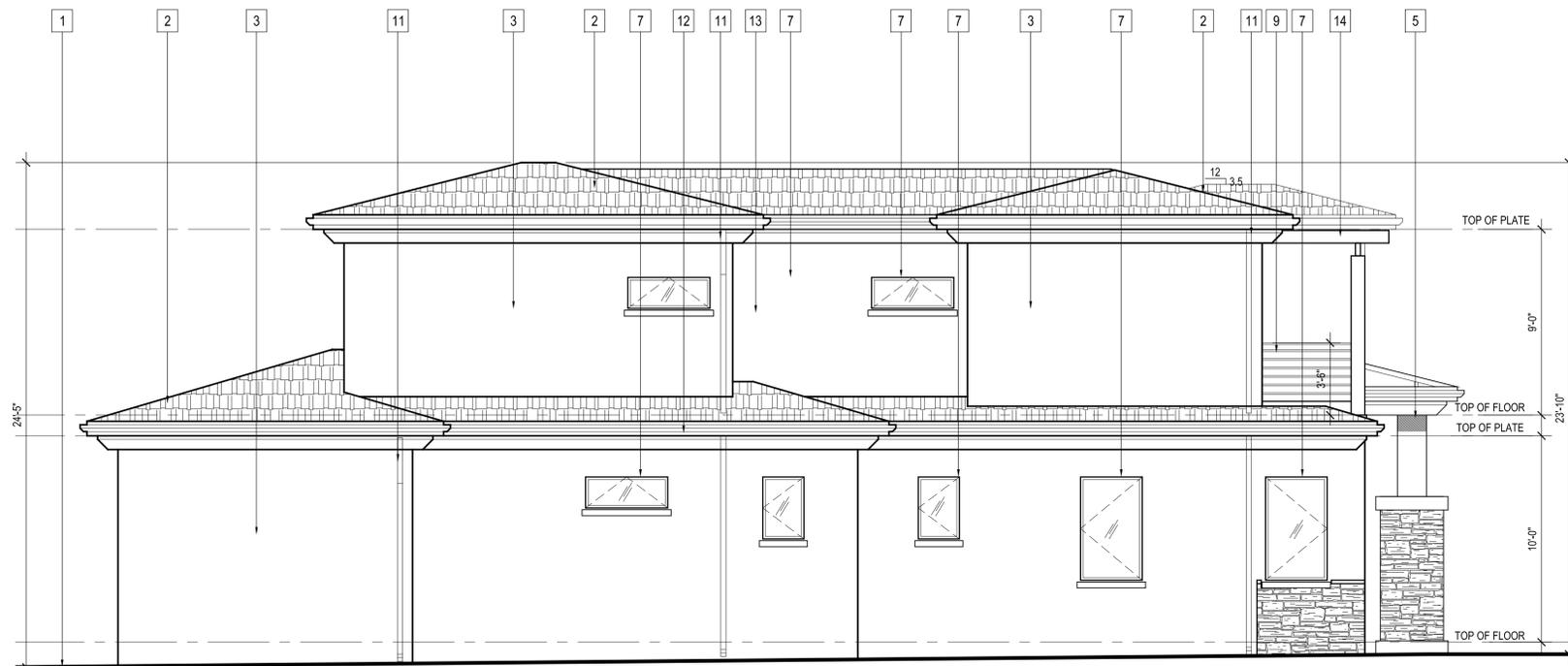
**ELEVATION KEYED NOTES**

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING LIGHT WEIGHT CONCRETE
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW ( SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. LIGHT FIXTURE
11. DOWNSPOUT
12. STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW TRELLIS

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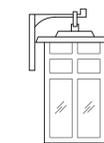
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**EAST ELEVATION**

SCALE : 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE		
ITEM NUMBER	DESCRIPTION	QUANTITY
1	THOMAS LIGHTING SL91047	9



OUTDOOR LIGHT FIXTURE  
NTS

- . ONE-LIGHT OUTDOOR WALL FIXTURE
- . BLACK WITH CREAM COLORED GLASS
- . PAINTED BRONZE WITH CLEAR SEEDY GLASS
- . EXTENDS: 7-1/2", HEIGHT FROM CENTER OF OUTLET BOX: 3-1/2"
- . FEATURES THOMAS LIGHTINGS EXCLUSIVE "EASY HANGER" SYSTEM
- . 1 100w MAX MEDIUM BASE
- . BACK PLATE MEASURE 4 1/4" W x 5 5/8" H

ELEVATIONS

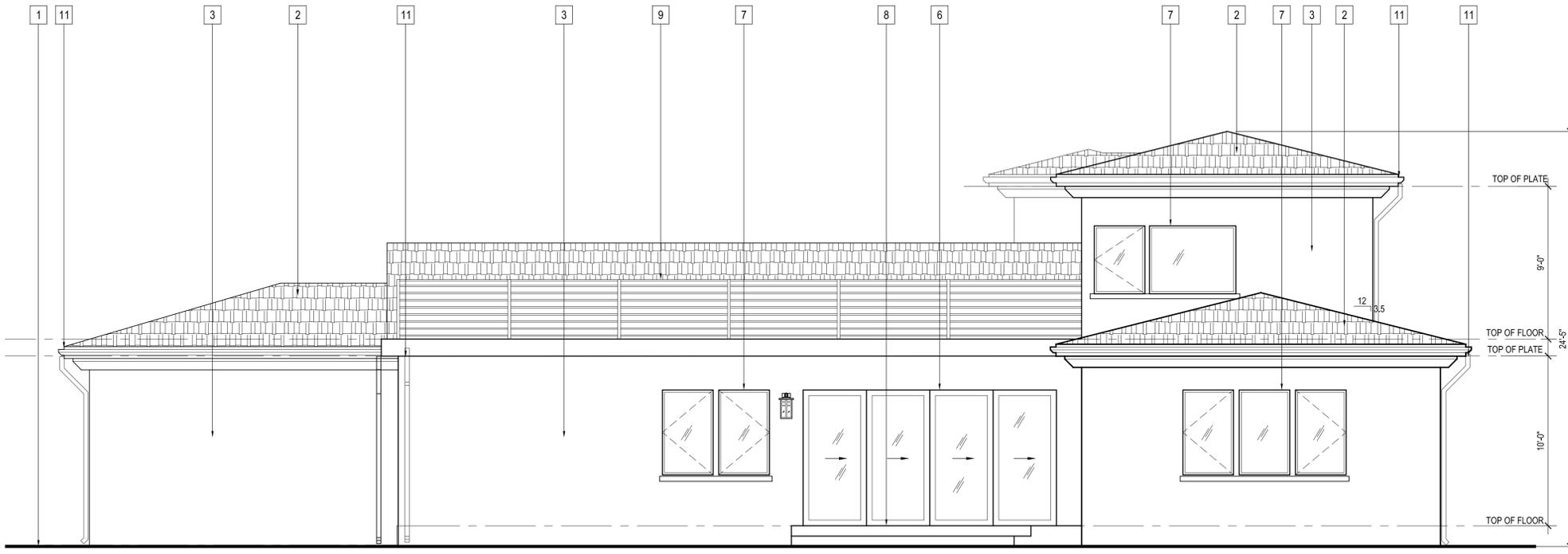
**AIVAZIAN RESIDENCE**

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE: 04/2020  
DRAWN BY: NRK  
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SHEET NO.  
**A3.1**

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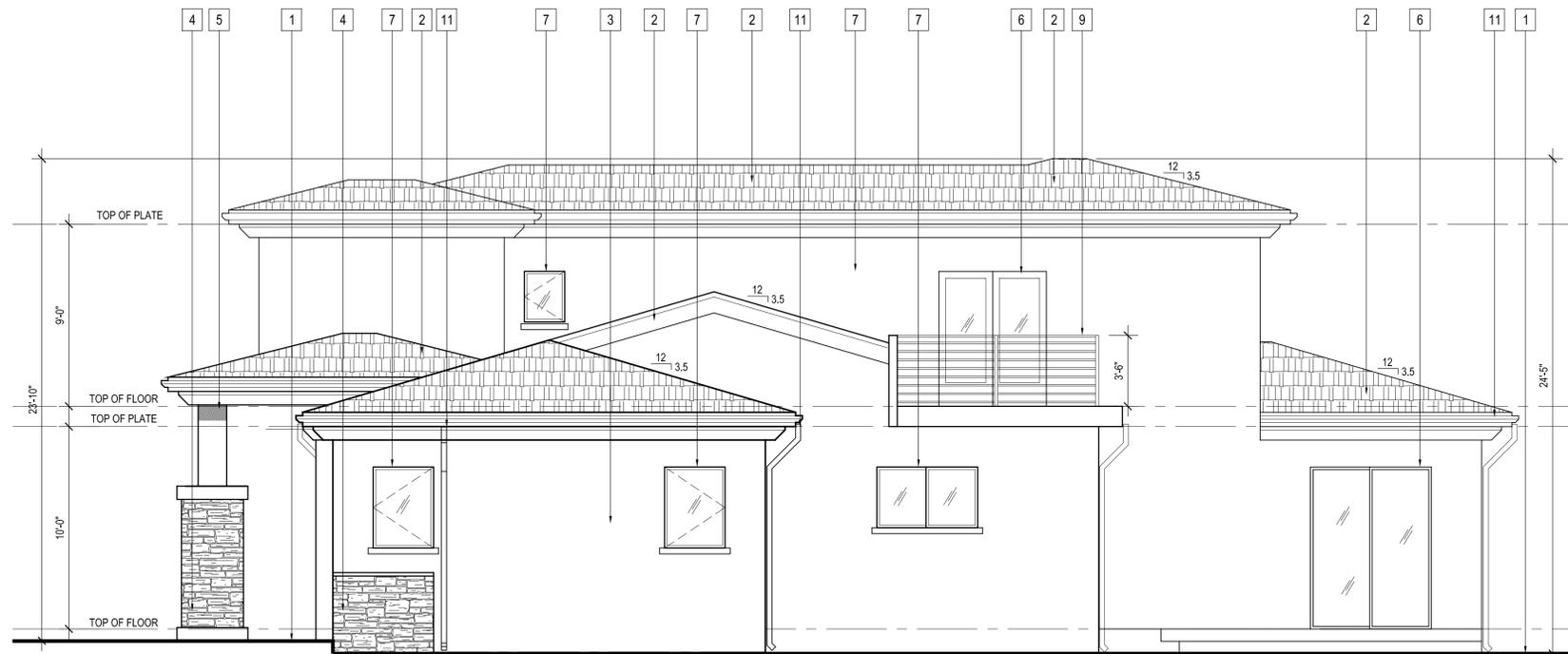


**REAR (SOUTH) ELEVATION**

SCALE : 1/4" = 1'-0"

**ELEVATION KEYED NOTES**

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING  
LIGHT WEIGHT CONCRETE
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. LIGHT FIXTURE
11. DOWNSPOUT
12. STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW TRELLIS



**WEST ELEVATION**

SCALE : 1/4" = 1'-0"

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ELEVATIONS

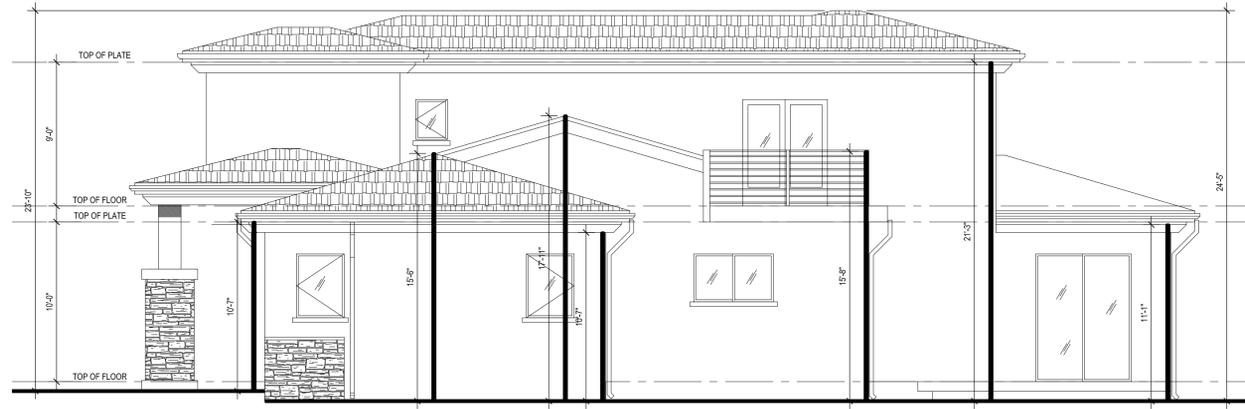
**AIVAZIAN RESIDENCE**

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE: 04/2020  
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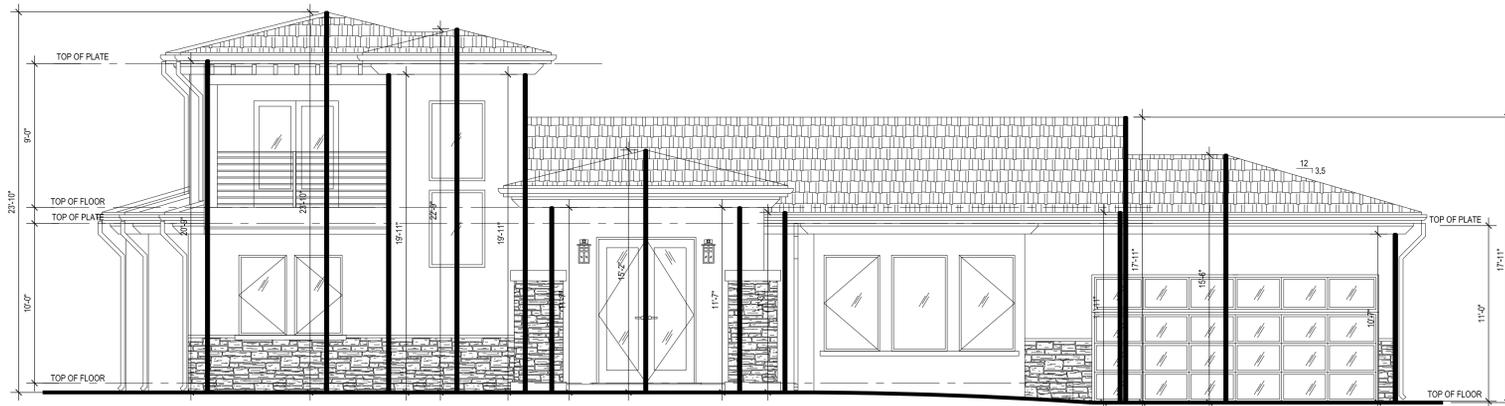
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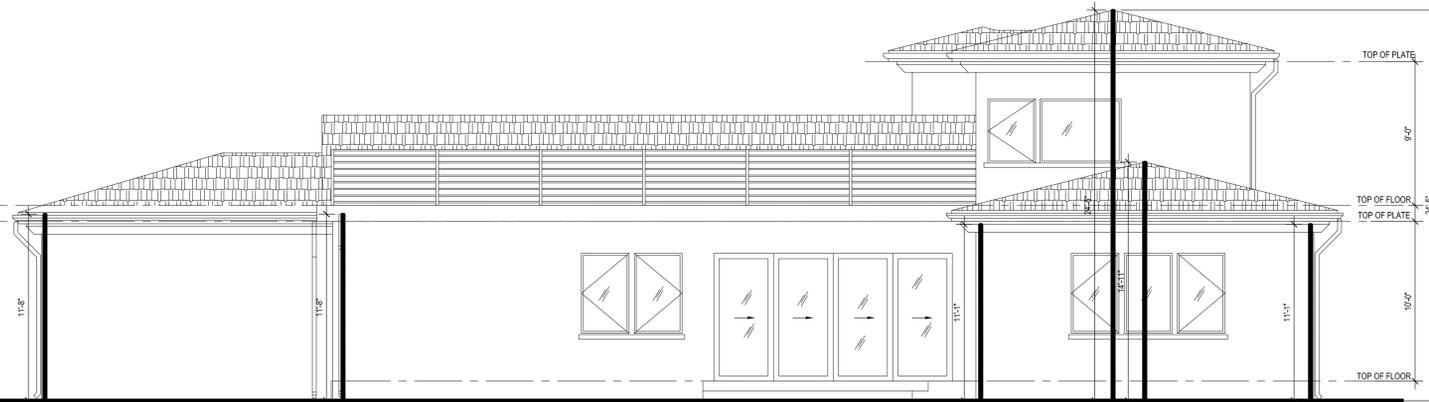
**WEST ELEVATION**

SCALE : 1/4" = 1'-0"

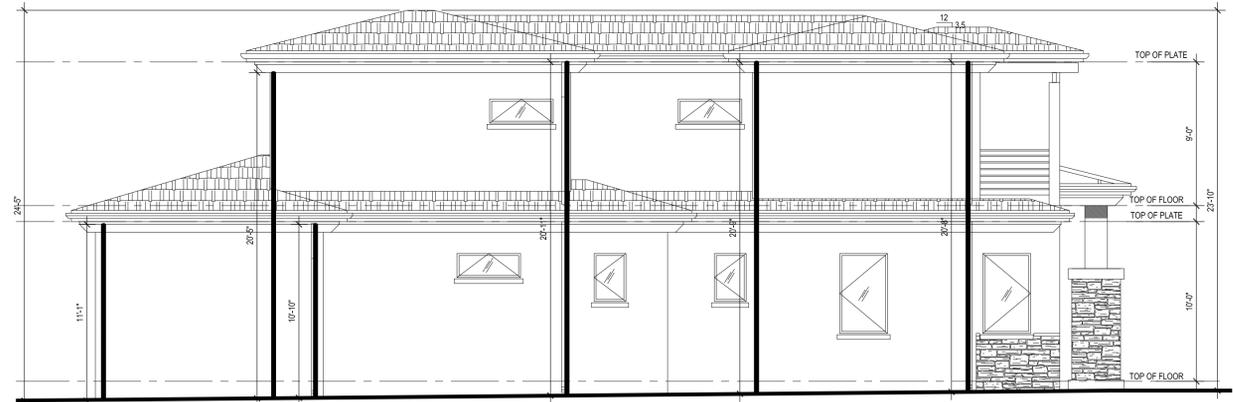


**FRONT (NORTH) ELEVATION**

SCALE : 3/16" = 1'-0"

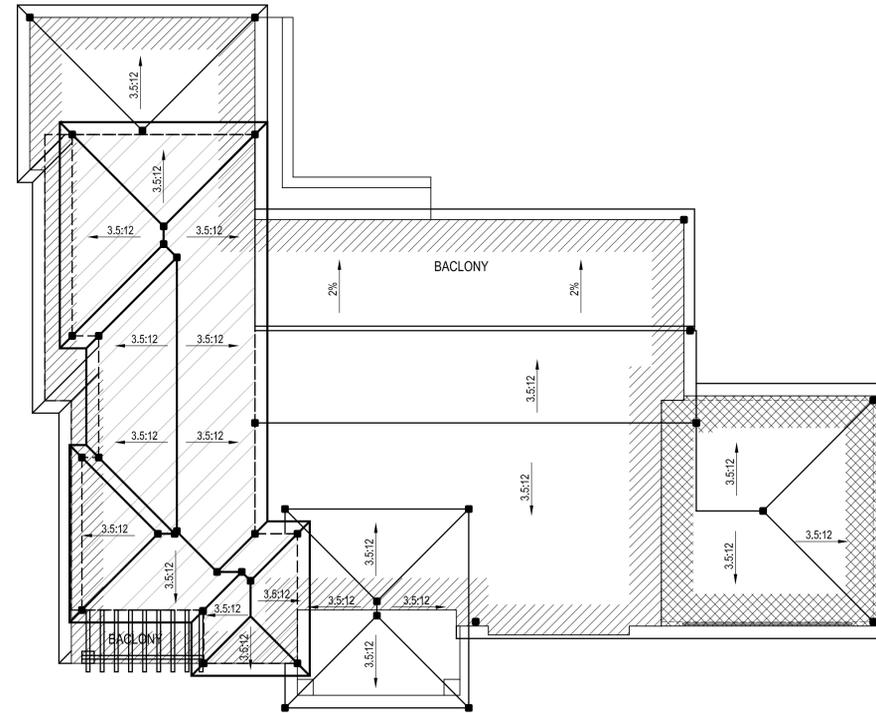


**REAR (SOUTH) ELEVATION**



**EAST ELEVATION**

SCALE : 1/4" = 1'-0"



**ROOF PLAN**

SCALE : 1/8" = 1'-0"

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STOTY POLE PLAN

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RENDERING  
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DATE:	04/2020
DRAWN BY:	NRK
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SHEET NO.	
<b>A3.4</b>	

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**ELEVATION KEYED NOTES**

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING  
LIGHT WEIGHT CONCRETE
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. LIGHT FIXTURE
11. DOWNSPOUT
12. STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW TRELLIS

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**EAST ELEVATION**



**WEST ELEVATION**



**REAR (SOUTH) ELEVATION**



**FRONT (NORTH) ELEVATION**

SCALE : 1/4" = 1'-0"

COLORED ELEVATIONS

**AIVAZIAN RESIDENCE**

924 OLD PHILLIPS RD. GLENDALE, CA 91207

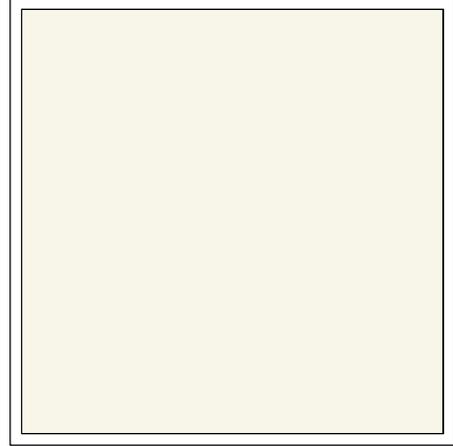
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SHEET NO.

**A3.5**



**ROOF:**  
BORAL ROOF CO.  
SAXONY 900 SLATE - EBONY



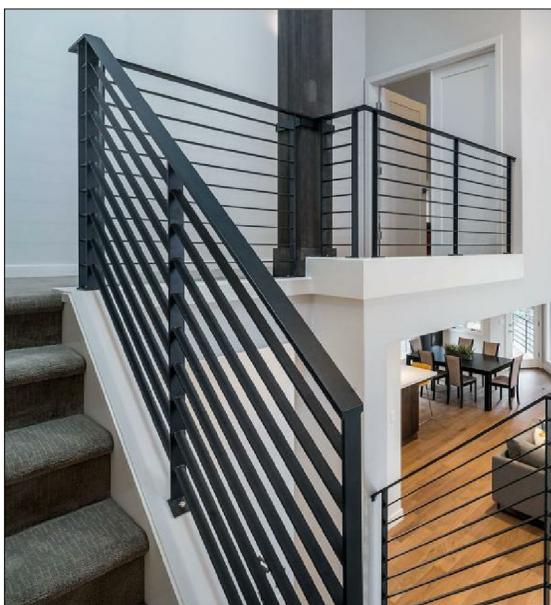
**STUCCO:**  
DUNN EDWARDS  
COLOR: SWISS COFFEE



**WINDOWS:**  
MILGARD FIBERGLASS  
COLOR: BRONZE



**EXTERIOR STONE:**  
TETON GREY MANUFACTURED STONE  
VENEER



**RAILING:**  
WROUGHT IRON  
COLOR: PAINTED BLACK



**LIGHTING:**  
MODERN OUTDOOR LIGHTING  
DESTINATION LIGHTING  
COLOR: PAINTED BLACK

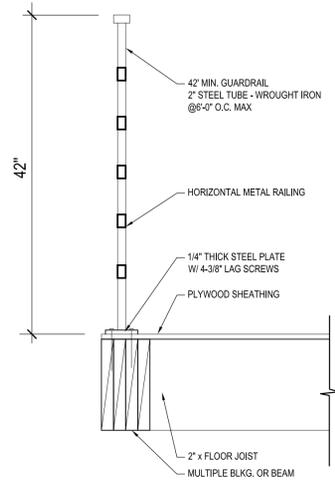


**ENTRY DOOR:**  
STEEL DOOR W/ FROSTED GLASS  
COLOR: PAINTED BLACK

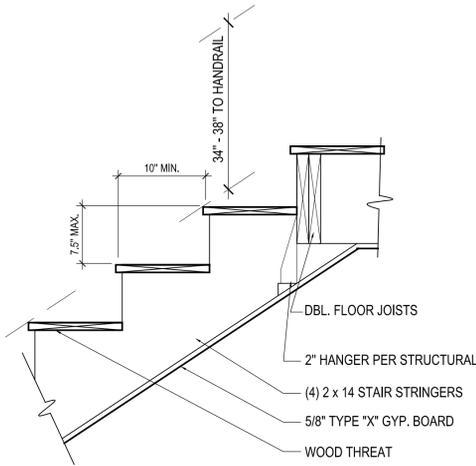
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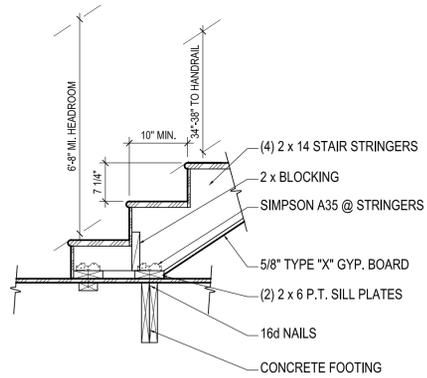
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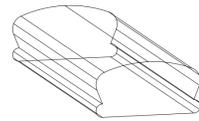
**GUARDRAIL DETAIL - 3**  
SCALE : NTS



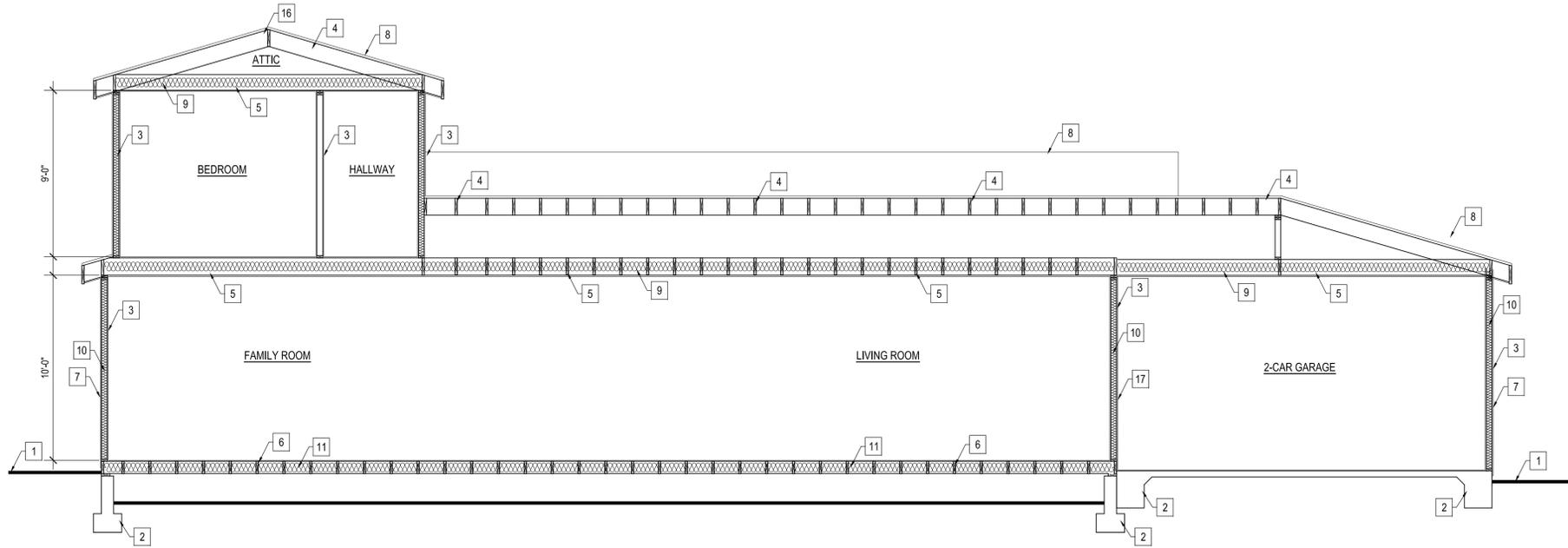
**STAIR DETAIL - 1**  
SCALE : NTS



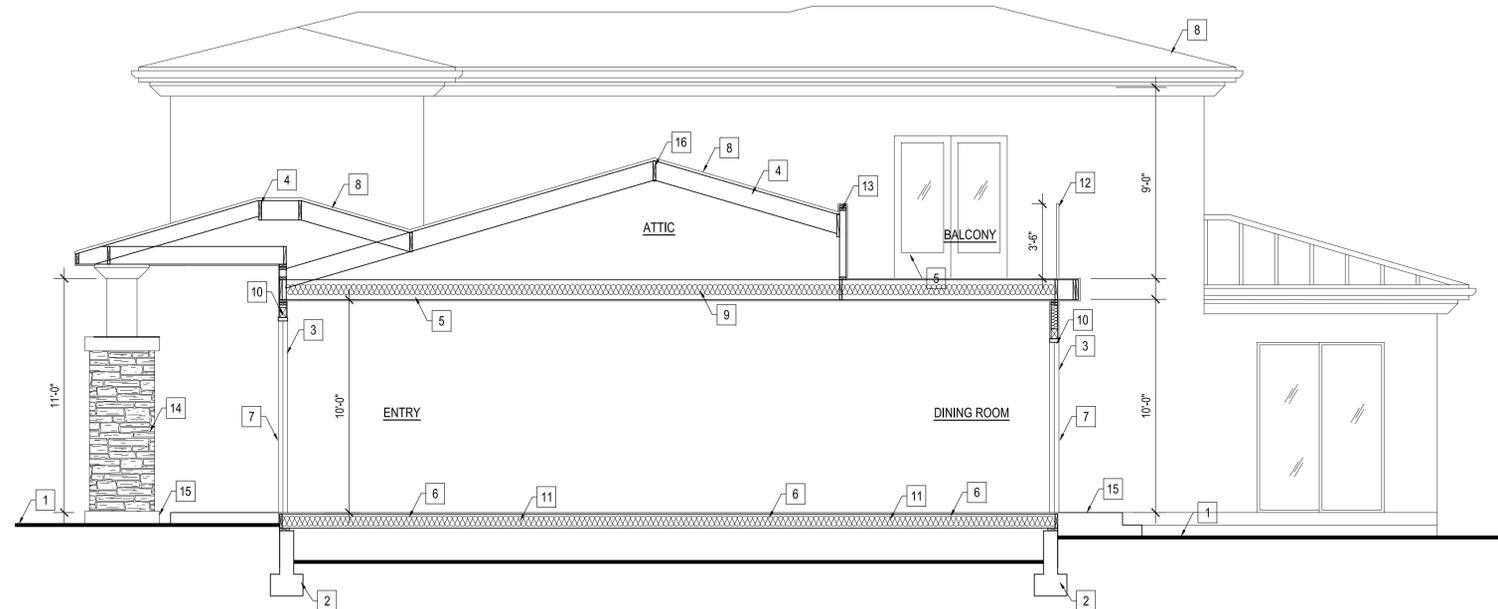
**STAIR DETAIL - 2**  
SCALE : NTS



- PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH OR MORE RISERS AND AT ALL OPEN SIDES.
- RETURN HANDRAILS TO NEWEL POST OF WALL. HANDRAIL GRIPS SHALL BE EITHER TYPE I OR TYPE II.
- HANDRAILS (TYPE I) SHALL BE AT LEAST 1.25" AND 2" OUTSIDE DIAMETER. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" AND A MAXIMUM CROSS-SECTIONAL DIMENSION OF 2.25".
- HANDRAILS (TYPE II) WITH A PERIMETER GREATER THAN 6.25" SHALL HAVE GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. RECESSES SHALL BEGIN WITHIN 3/4" FROM THE TALLEST PORTION OF THE PROFILE AND BE AT LEAST 5/16" DEEP WITHIN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO LEVEL THAT IS NOT LESS THAN 1.75" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH ABOVE THE RECESS SHALL BE 1.25" TO 2.75".



**SECTION A-A**  
SCALE : 1/4" = 1'-0"



**SECTION B-B**  
SCALE : 1/4" = 1'-0"

**CROSS SECTION KEY NOTES**

1. EXT'G GRADE
2. NEW CONC. FOUNDATION PER STRUCTURAL
3. NEW 2" x STUD WALL
4. NEW 2" x ROOF RAFTERS
5. NEW 2" x CEILING JOISTS
6. NEW 2" x FLOOR JOISTS
7. NEW 7/8" SMOOTH STUCCO
8. NEW CLASS 'A' ROOF LIGHTWEIGHT CONCRETE
9. NEW R- -- INSULATION
10. NEW R- -- INSULATION
11. NEW R- -- INSULATION
12. NEW GUARDRAIL 42" MIN. HT.
13. NEW LOW WALL 42" HT. MIN.
14. NEW COLUMN
15. NEW CONC. LANDING
16. NEW RIDGE BOARD
17. NEW 5/8" TYPE 'X' GYP BOARD

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SECTIONS

**AIVAZIAN RESIDENCE**

924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE: 04/2020  
DRAWN BY: NRK  
JOB NO. 20028

SHEET NO.

**A4.1**

# RESIDENTIAL REMODEL / ADDITION

924 OLD PHILLIPS RD. GLENDALE, CA 91207

## PROJECT INFORMATION

PROJECT LOCATION  
924 OLD PHILLIPS RD.  
GLENDALE, 91207

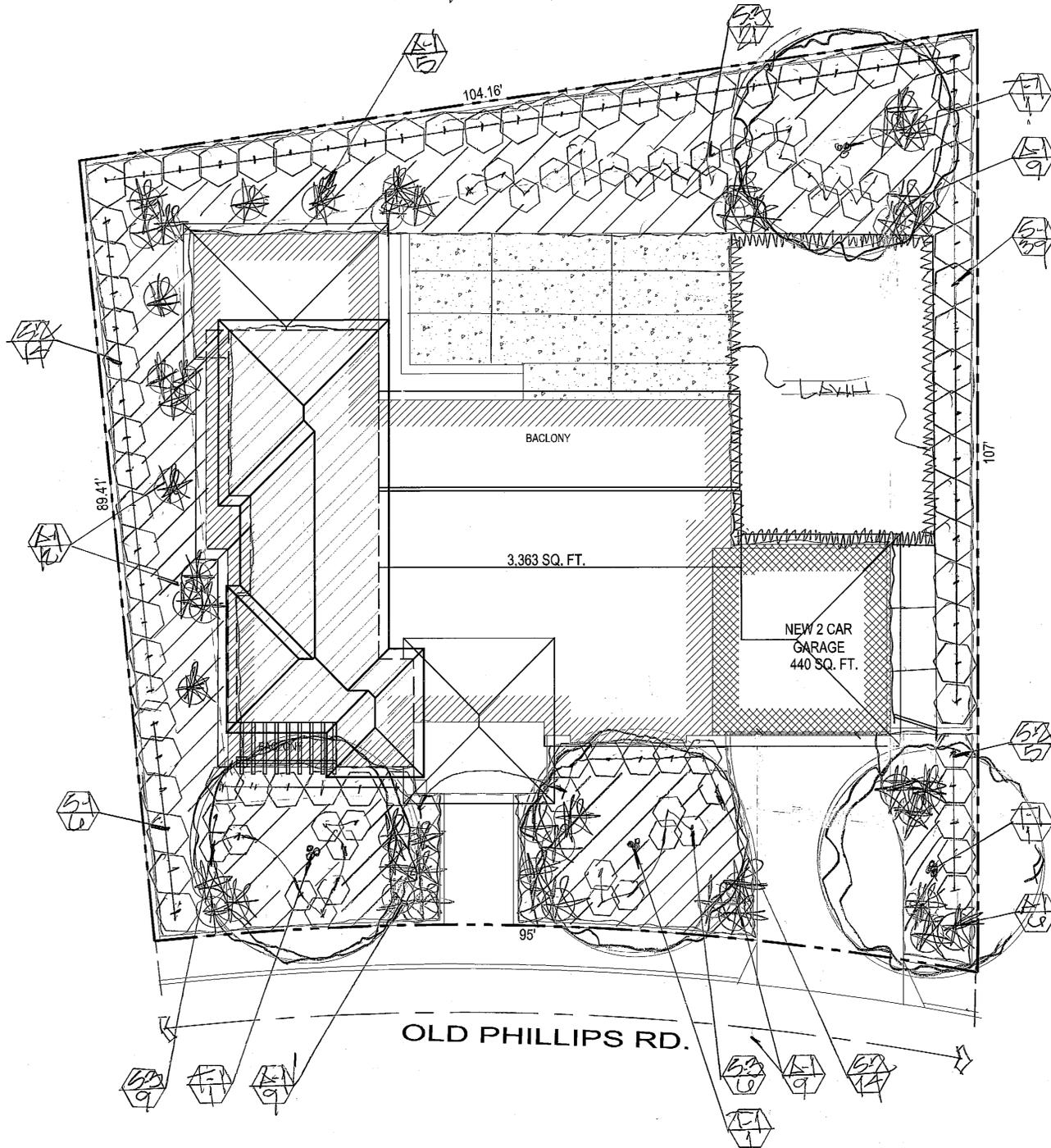
OWNER  
AIVAZIAN  
924 OLD PHILLIPS RD.  
GLENDALE, 91207

PROJECT DESIGNER  
DESIGNNRK  
213 N. ORANGE STREET, STE. E  
GLENDALE, 91203

OFFICE : 818.823.7286  
FAX : 888.424.8125  
E-MAIL : INFO@DESIGNNRK.COM



SCALE: 1/8" = 1'-0"



WATER USAGE (LINCOLN)

### PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
LX	OLEA EUROPAE SYMPL.	FRUITLESS OLIVE	30" X 4'	4	
LX	YUENIAE VISCOSA	HOPSEED BUSH	50" X 45"	5' O.C.	
LX	ALBISIA FRUTICOSA	BLUE HIBISCUS	50" X 55"	4' O.C.	
LX	ACONITUM 'BLUE FLAME'	BLUE FLAME ACONITUM	50" X 50"	3' O.C.	
LX	DIETES BICOLOR	FARTIGHT LILY	50" X 50"	RANDOM	
LX	BACHIA VIOLETAE	BUFFALO GRASS	50"	-	
LX	GROUNDCOVER = SENECIO (ALL P.A.S.)	BLUE SENECIO	FLATS	AS NEEDED	12' O.C.

LX = LOW WATER USAGE / P.F. = 3  
LANDSCAPE AREA = 4,500 SQ. FT.

### LEGEND

- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED ACCENT
- PROPOSED GROUNDCOVER
- PLANT SYMBOL QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS COMBATED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MIXTURE OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMISSIBLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.

### IRRIGATION COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



## PLANTING PLAN

LARRY G. TISON & ASSOCIATES  
LARRY G. TISON, A.S.L.A.  
LANDSCAPE ARCHITECTURE  
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205  
818-241-9169

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1	

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COVER SHEET & SITE PLAN  
**AIVAZIAN RESIDENCE**  
924 OLD PHILLIPS DR., GLENDALE 91207

DATE: 8-24-21  
DRAWN BY: LAT  
JOB NO. 20028



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# RESIDENTIAL REMODEL / ADDITION

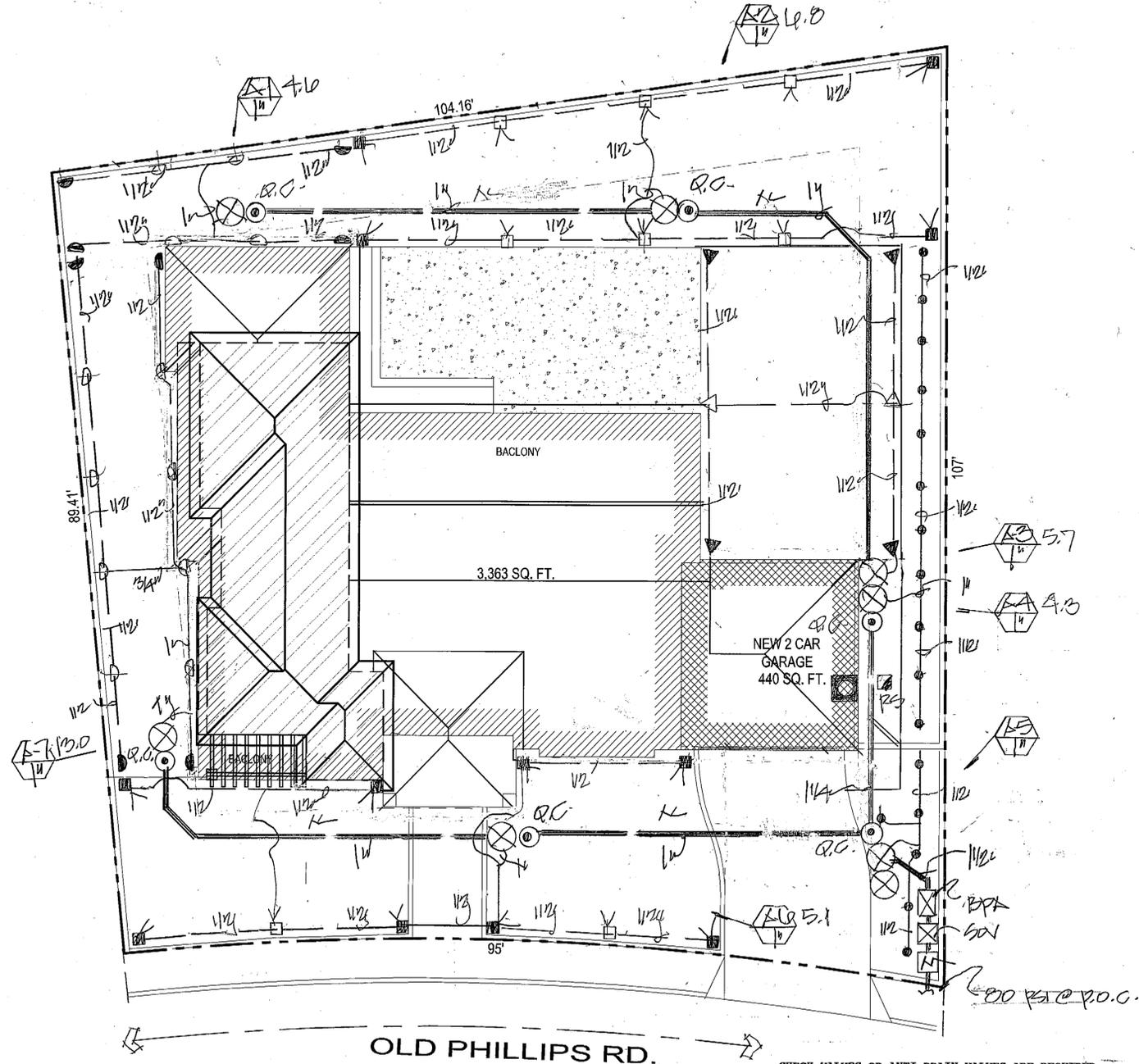
924 OLD PHILLIPS RD. GLENDALE, CA 91207

## PROJECT INFORMATION

PROJECT LOCATION  
924 OLD PHILLIPS RD.  
GLENDALE, 91207

OWNER  
AIVAZIAN  
924 OLD PHILLIPS RD.  
GLENDALE, 91207

PROJECT DESIGNER  
DESIGNNRK  
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GLENDALE, 91203  
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FAX : 888.424.8125  
E-MAIL : INFO@DESIGNNRK.COM



Reference Evapotranspiration (ET<sub>0</sub>) / 45.7

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (%)	ETAF (PF)(E)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Areas</b>							
A-1/12/1	.3	S	.75	.4	220	121	13,108.5
A-2/12/1	.3	S	.75	.4	1,024	480	12,152.0
A-3/12/1	.3	S	.75	.4	2,024	900	21,705.0
A-4/12/1	.3	B	.81	.37	1,510	93.7	2,520.0
A-5/12/1	.3	B	.81	.37	900	74	2,005.0
A-6/12/1	.3	S	.75	.4	1,140	450	12,355.0
A-7/12/1	.3	S	.75	.4	1,000	240	10,500.0
Totals						4,500 (A)	11,810.9 (B)
<b>Special Landscape Areas</b>							
[Shaded Area]						7 (C)	7 (D)
Totals						4,507 (C)	11,817.9 (D)
Maximum Allowed Water Allowance (WAWA)						4,507	11,817.9

**Hydrozone # / Planting Description** Eg:  
1) front lawn  
2) low water use plantings  
3) medium water use plantings

**ETAF** (Annual Gallons Required) = ET<sub>0</sub> x 0.62 x ETAF x Area  
Where 0.62 is a conversion factor that converts inches per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet.  
ETAF is .55 for residential areas and 0.45 for non-residential areas.

$(45.7)(0.62)(.55)(4,507) = 11,817.9$   
 $WAWA = 11,817.9$   
 $ETWU = 11,817.9$

- LEGEND**
- WEATHER BASED CONTROLLER (RAINBIRD ESP-LXME 8 STATION)
  - RAIN SENSOR (RAINBIRD-RSD-BEX)
  - BACKFLOW PREVENTER (PEBCO 825-Y-1 1/2")
  - QUICK COUPLER (RAINBIRD 441C)
  - VALVE (RAINBIRD PEB SERIES)
  - VALVE NO. / GPM
  - MAINLINE / SCHD. 40 PVC.
  - LATERAL LINE / SCHD. 40 PVC
  - SHUT-OFF VALVE
  - IRRIGATION METER

**SPRINKLER HEADS**

SYMBOL	DESCRIPTION	MODEL NO	GPM	RADIUS	PSI
▼	RAINBIRD POPUP/RTZ	1812-RVH172A-90°	.73	21'	30
▽	" " / HALF	1812-RVH172A-180°	1.41	21'	30
■	" " / RTZ	1812-RVH180-90°	.42	10'	30
□	" " / HALF	1812-RVH180-180°	.85	10'	30
●	" " / RTZ	1812-12H44R	.105	12'	30
○	" " / HALF	1812-12H44R	1.3	12'	30
⊙	" " BUBBLER	1812-1401	.25	-	30

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.  
MANUAL SHUT-OFF VALVES SHALL BE REQUIRED; AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY. TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.  
PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.  
A DIAGRAM OF THE IRRIGATION PLAN, SHOWING HYDROZONES SHALL BE KEPT WITHIN THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.  
A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS; IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.  
AT THE TIME OF THE FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.  
RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.



LARRY G. TISON & ASSOCIATES  
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LANDSCAPE ARCHITECTURE  
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205  
818-241-9169

REVISIONS:

1	
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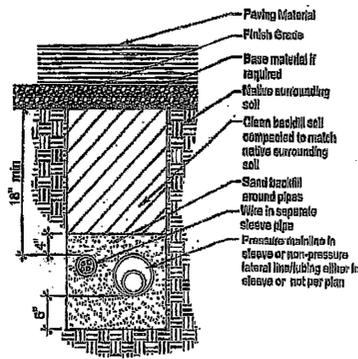
213 n. orange st. ste. e  
glendale, ca 91203  
818.823.7286 o.  
888.424.8125 f.  
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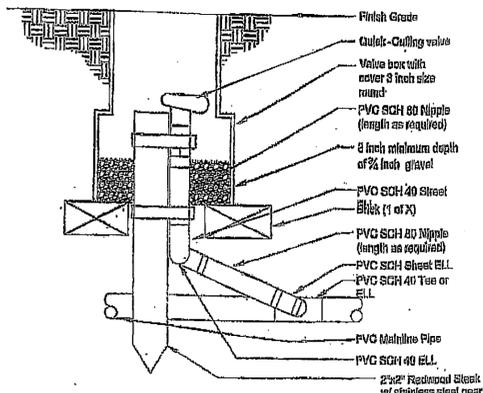
COVER SHEET & SITE PLAN  
**AIVAZIAN RESIDENCE**  
924 OLD PHILLIPS DR., GLENDALE 91207

DATE: 8-24-21  
DRAWN BY: Lat  
JOB NO. 20028

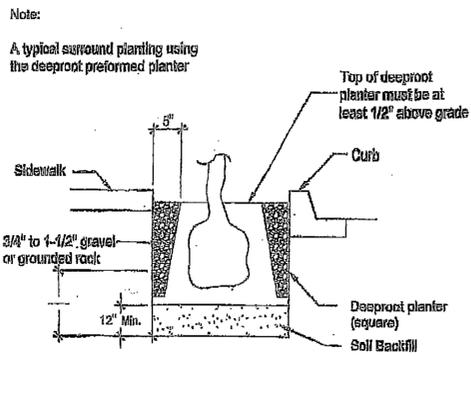
L-2



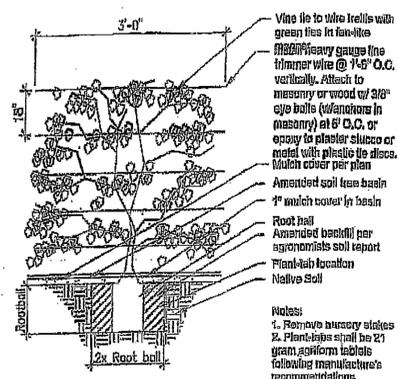
Pipe & wire trenching



Quick coupling valve



Tree Root barriers



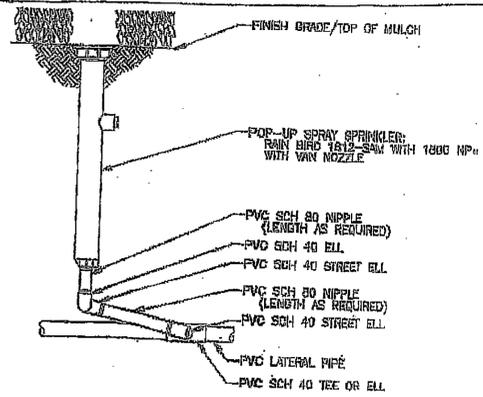
Vine Planting detail

- Contractor shall verify plant count for bidding purposes.
  - Ground cover indicated by shall be continuous under shrub.
  - Planting areas which have no cover indicated shall receive 3" min. fine redwood bark as a ground cover.
  - Contractor shall guarantee plant material for 90 days after installation and replace any diseased or damaged materials during that one year period.
  - The following amendments shall be uniformly broadcast and thoroughly incorporate to a depth of 12" min. by rototiller equal amount per 1,000 sq. ft. Cu. yd. (2") nitrogen stabilized organic amendment from redwood sawdust, fir dust, or finely ground bark 5 lbs. ammonium sulfate.
- Note: This formula is a Std. mix and will change if there are any unusual soil conditions at the site. Compacted backfill shall be 100% on site soil.

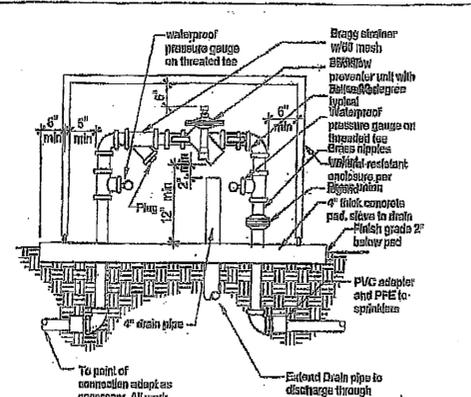
Landscape Notes

Soil Texture	Minimum rate (gals per hour)							
	Cover	Base	Cover	Base	Cover	Base	Cover	Base
Coarse Sandy Soil	2.00	2.00	2.00	1.50	1.50	1.50	1.50	0.50
Coarse sandy soil over compact loam	1.75	1.50	1.25	1.50	1.00	0.75	0.75	0.40
Light Sandy	1.75	1.00	1.25	0.80	1.00	0.80	0.75	0.40
Light Sandy compacted subsoil	1.25	0.75	1.00	0.50	0.75	0.40	0.50	0.30
Uniform Soil	1.00	0.50	0.50	0.40	0.50	0.30	0.40	0.20
Light over compact soil	0.80	0.30	0.50	0.25	0.40	0.25	0.30	0.10
Light clay over	0.20	0.15	0.15	0.10	0.12	0.05	0.10	0.05

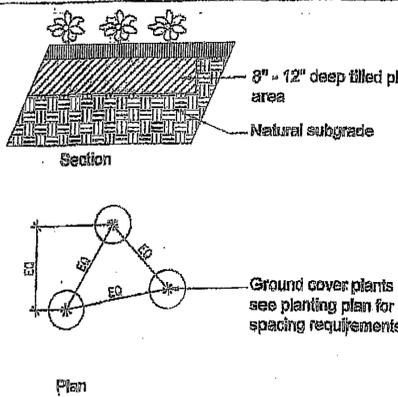
Soil characteristics



POP-UP SPRAY SPRINKLER



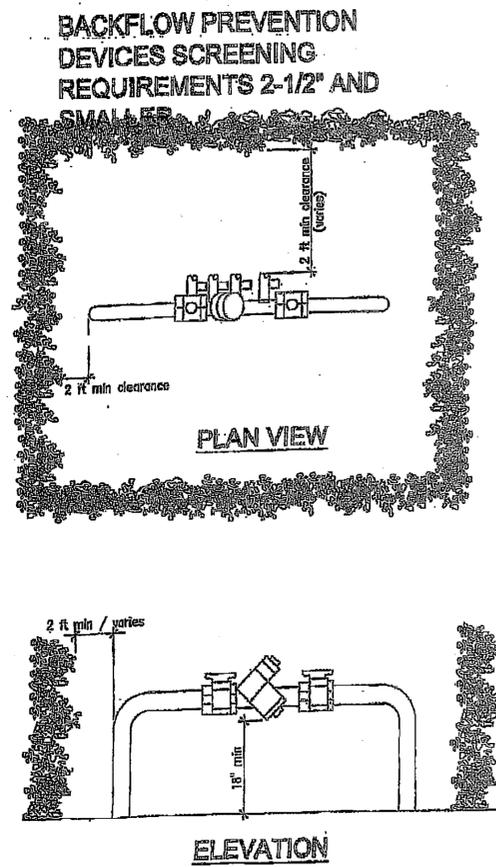
Backflow preventer



Ground Cover planting detail

- All irrigation lines under drives to be installed in pvc sleeve @ 18" depth min.
  - Locate all RCV's and HB's in planting areas. (typ.)
  - Jet all lines and trenches under paving 90% min.
  - Install remote control valve in ametek 12" box or equal (one valve per box) & marked "irrigation", located boxes in ground cover areas whenever possible and a min. 12" from paving or curbs.
  - The contractor shall provide owner with a completely operation system and clean set of marked prints as "as-built" drawing. Reference all trenches with dimensions to nearest building or paving.
  - The contractor shall warrant that the system will be a free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
- Note: All other requirements to be per city standards and specifications.

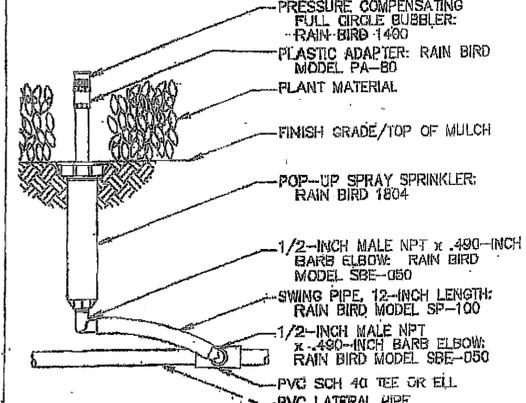
Irrigation notes



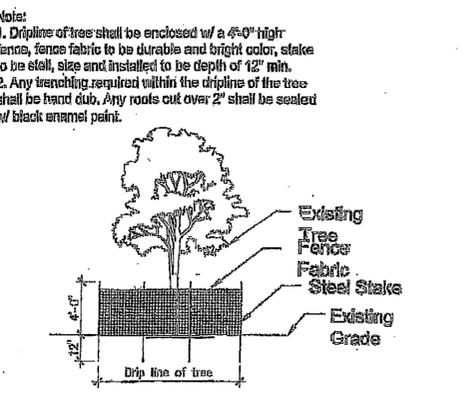
BACKFLOW PREVENTION DEVICES SCREENING REQUIREMENTS 2-1/2" AND SMALLER

PLAN VIEW

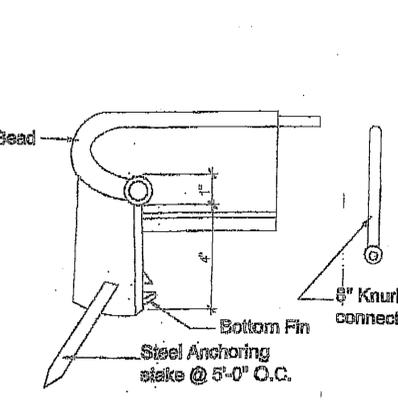
ELEVATION



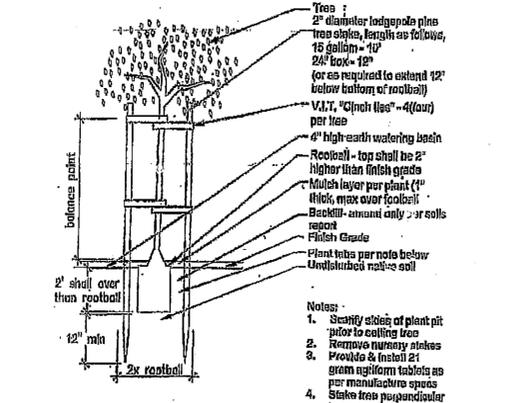
PRESSURE COMPENSATING FULL-CIRCLE BUBBLER



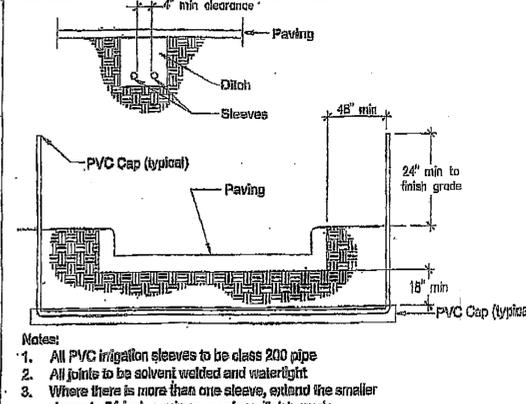
Projection of Existing Tree



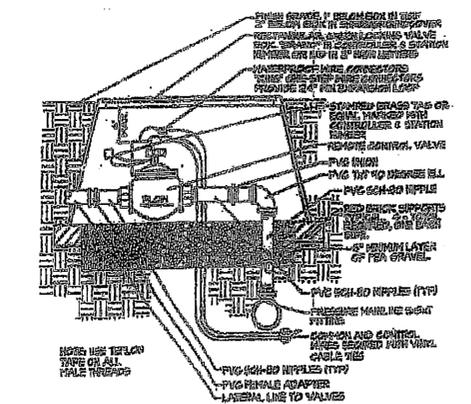
Polyethylene edging



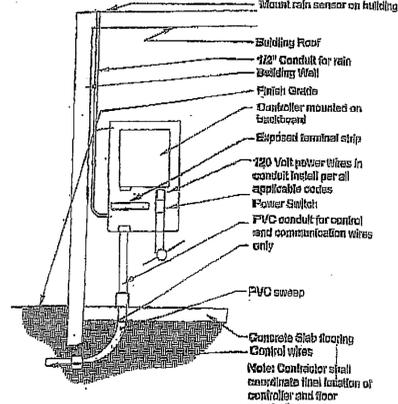
Tree staking detail



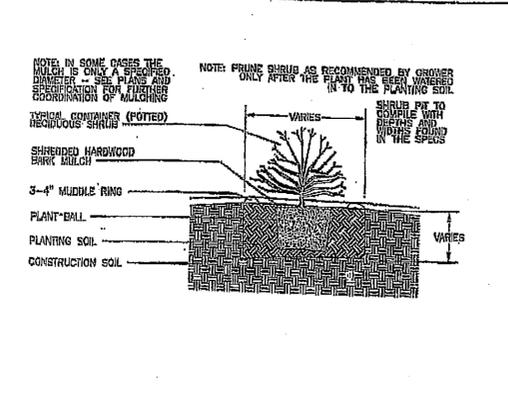
Sleeving



REMOTE CONTROL VALVE



Solid-state Controller



CONTAINER SHRUB PLANTING DETAIL

Revisions

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Note: Use details as applicable to this project only.

LANDSCAPE DETAIL & SPECIFICATION PLAN



DRAWN: LGT  
CHECKED: [Signature]  
DATE: [Blank]  
JOB NO.: [Blank]  
SHEET