

EAST END STUDIOS

SCOPE

NEW CONSTRUCTION OF 2 SOUND STAGES ADJACENT TO SURFACE PARKING LOT AND 3 STORIES OF OFFICE SPACE FOLLOWING ALONG SOUTH GLENDALE AVE

DESCRIPTION/BUSINESS OPERATIONS

SOUNDSTAGES WITH ANCILLARY USES (GREEN ROOM, CONFERENCE ROOMS, ETC) AND INCIDENTAL OFFICE. PROPOSED SOUND STAGES ARE FOR THE PURPOSE OF MOTION PICTURE, TELEVISION AND COMMERCIAL PRODUCTION, ASSEMBLY OF SETS & SHOOTING ENVIRONMENTS IN SOUND STAGES, PRODUCTION IN SOUND STAGES, PRODUCTION COORDINATION OF SHOWS OF SOUND STAGES IN OFFICES.

PROJECT CONTACT

<p>ARCHITECT: RELATIVITY ARCHITECTS SCOTT SULLIVAN 421 COLYTON STREET LOS ANGELES, CA 90013 310.573.4300 SCOTT@RELATIVITYARCHITECTS.COM</p> <p>LAND ATTORNEY: MICHAEL GONZALES 800 WILSHIRE BLVD, SUITE 860 LOS ANGELES, CA 90017 213.279.6966 (DIRECT) MGONZALES@GONZALESLAWGROUP.COM</p> <p>STRUCTURAL: CSA STRUCTURAL ENGINEERS JOE CONSTENTINO 14407 GILMORE ST., SUITE 201 VAN NUYS, CA 91401 818.786.6181 (DIRECT) 626.831.1417 (MOBILE) JOE@CSASTRUCTURAL.COM</p>	<p>OWNER: EAST END CAPITAL SHEP WAINWRIGHT 1239 S. GLENDALE AVE GLENDALE, CA 91205 SWAINWRIGHT@EASTENDCAP.COM</p> <p>MECHANICAL + PLUMBING ENGINEERS SHAMIM ENGINEERING CONSULTANTS, INC. MARK 5847 WILBUR AVE TARZANA, CA 91365 818.788.6778 MARK@SHAMIMENGINEERING.COM</p> <p>CIVIL: RHYTON ENGINEERING JOHN J. ALAJOV 213.284.4884 (DIRECT) JALAJOV@RHYTONCIVIL.COM</p>	<p>DRY UTILITY: BOYER & ASSOCIATES CYLDE BOYER 949.388.5341 949.726.2170 CYLDE@BOYERDRYUTILITY.COM</p> <p>LANDSCAPE ARCHITECTS: COURTNEY JADE MILLER NICOLE HORN 1221 STATE STREET, SUITE 206 SANTA BARBARA, CA 93101 COURTNEY@CJM-LA.COM NICOLE@CJM-LA.COM</p> <p>ELECTRICAL ENGINEERS SHAMIM ENGINEERING CONSULTANTS, INC. NADER SHAMS 5847 WILBUR AVE TARZANA, CA 91365 NADER@SHAMIMENGINEERING.COM</p>
---	---	---

PROJECT INFO

190ADDRESS: 1214, 1216, 1230, 1234 S MARYLAND AVE & 1221, 1229, 1233 S GLENDALE AVE, GLENDALE, CA 91205
ZONING PIN NUMBER: XXXX
LOT / PARCEL AREA: 96,043 sq ft (2.20 ACRES) PER LA COUNTY ASSESSOR

1214 S MARYLAND AVE
ASSESSOR PARCEL NO. (APN): 5640015037
TRACT: 314
BLOCK: N/A
LOT: 26

1216 S MARYLAND AVE
ASSESSOR PARCEL NO. (APN): 5640015033
TRACT: 314
BLOCK: N/A
LOT: 25

1230 S MARYLAND AVE
ASSESSOR PARCEL NO. (APN): 5640015030
TRACT: 314
BLOCK: N/A
LOT: 22

1234 S MARYLAND AVE
ASSESSOR PARCEL NO. (APN): 5640015029
TRACT: 314
BLOCK: N/A
LOT: 21

1221 S GLENDALE AVE
ASSESSOR PARCEL NO. (APN): 5640015009
TRACT: 314
BLOCK: N/A
LOT: 2

1229 S GLENDALE AVE
ASSESSOR PARCEL NO. (APN): 5640015010
TRACT: 314
BLOCK: N/A
LOT: 3

1233 S GLENDALE AVE
ASSESSOR PARCEL NO. (APN): 5640015036
TRACT: 314
BLOCK: N/A
LOT: A

CONSTRUCTION TYPE: TYPE III-B, SPRINKLERED

PROPOSED STORIES: ONE STORY (STUDIOS), 3 STORIES (OFFICE)

PROPOSED BUILDING HEIGHT: 57'-6"

PROPOSED OCCUPANCY GROUPS: B, F-1, S-1

PROPOSED FLOOR AREA: 75,217 sq ft Total

LEGAL DESCRIPTION:
PARCEL 1 (APN: 5640-015-009): LOT 2 OF TRACK NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CA, AS PER RECORDED IN BOOK 14, PAGES 122 + 123 OF MAPS, IN THE OFFICES OF THE COUNTY RECORD OF SAID COUNTY.

PARCEL 2 (APN: 5640-015-010): LOT 3 OF TRACK NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CA, AS PER RECORDED IN BOOK 14, PAGES 122 + 123 OF MAPS, IN THE OFFICES OF THE COUNTY RECORD OF SAID COUNTY.

PARCEL 3 (APN: 5640-015-036): LOTS 23, 24, 4, 5, 6, + 7 OF TRACK NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CA, AS PER RECORDED IN BOOK 14, PAGES 122 + 123 OF MAPS, IN THE OFFICES OF THE COUNTY RECORD OF SAID COUNTY.

EXCEPT THEREFROM LOT 7, THE SOUTHERNLY 15 FEET THEREOF MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF SAID LOT.

SAID LAND IS NOW KNOWN AS PARCEL "A" OF PARCEL MAP-GLN. NO. 1409 FILED IN BOOK 150, PAGE 12 OF PARCEL MAPS

PARCEL 4 (APN: 5640-015-029): LOT 21 OF TRACK NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CA, AS PER RECORDED IN BOOK 14, PAGES 122 + 123 OF MAPS, IN THE OFFICES OF THE COUNTY RECORD OF SAID COUNTY.

PARCEL 5 (APN: 5640-015-030): LOT 22 OF TRACK NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CA, AS PER RECORDED IN BOOK 14, PAGES 122 + 123 OF MAPS, IN THE OFFICES OF THE COUNTY RECORD OF SAID COUNTY.

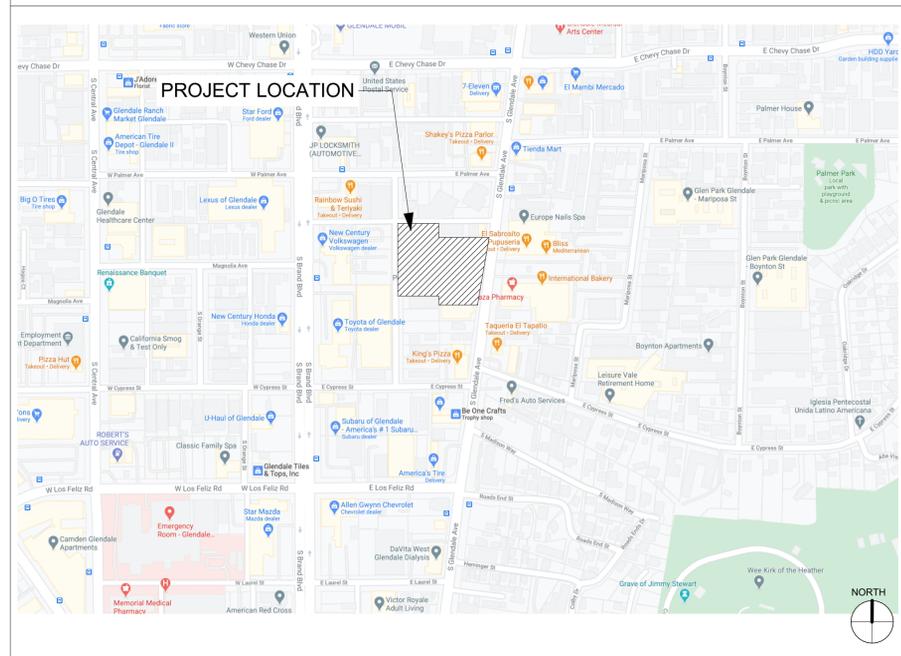
PARCEL 6 (APN: 5640-015-033): LOT 25 OF TRACK NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CA, AS PER RECORDED IN BOOK 14, PAGES 122 + 123 OF MAPS, IN THE OFFICES OF THE COUNTY RECORD OF SAID COUNTY.

PARCEL 7 (APN: 5640-015-037): LOT 26 OF TRACK NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CA, AS PER RECORDED IN BOOK 14, PAGES 122 + 123 OF MAPS, IN THE OFFICES OF THE COUNTY RECORD OF SAID COUNTY.

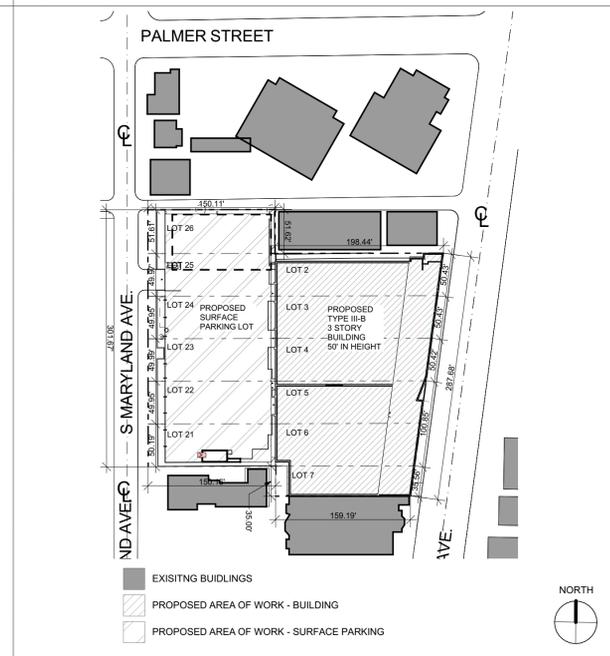
APPLICABLE CODES: 2020LABC, LAGBC, 2020 CBC, CMC, CPC, CEC, CENc, CFC, CEBC, CRSC, UFAS, ADA TITLE 111



VICINITY MAP: NTS



PLOT PLAN: 1:100



SHEET INDEX

ARCHITECTURAL	
A000	Title Sheet
A010	Building Statistics
A020	Rendering South Glendale Avenue
A021	Rendering Entrance
A022	Rendering Campus
A060	Egress Plan First Floor
A061	Egress Plan Mezzanine + Second Floor
A090	Alta Survey
A091	Alta Survey
A100	Site Demo Plan
A101	Site Construction Plan
A102	Site Elevations
A103	Enlarged Parking Plan
A104	Enlarged Exterior Details
A105	Site + Context Diagrams
A210	Proposed First Floor Plan
A211	Proposed Floor Plan Studio 1
A212	Proposed Floor Plan Studio 2
A213	Proposed First Floor Plan Office
A214	Proposed Mezzanine Floor Plan Office
A215	Second Floor Plan Office
A216	Proposed Third Floor Plan Office
A217	Roof Plan
A310	Exterior Elevations
A410	Building Sections
A420	Building Sections
A704	Exterior Finish Details
A705	Exterior Finish Details
A706	Exterior Finish Details

SCHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

RELATIVITY ARCHITECTS



www.relativityarchitects.com
421 COLYTON ST., LA, CA 90013
P: 310.573.4300

EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Title Sheet	
DATE	ISSUE
8/11/2021	Motion Picture Studios
Planning Submission	

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

SHEET A000

P:\2019A_East End Studios\Drawings\Working\Arch\CAD\21. Architecture\Submission\Round 4\20210806_East End Studios_Planning_Set.dwg 8/11/2021

BUILDING OCCUPANCY					
Home Story Name	ZONE NAME	MEASURED AREA (SF)	OCCUPANT LOAD	OCCUPANCY	PROPOSED OCCUPANTS
First Floor					
MAKEUP/ DRESSING 01		210	150.00	B	2
MAKEUP/ DRESSING 02		212	150.00	B	2
MAKEUP/ DRESSING 03		208	150.00	B	2
MAKEUP/ DRESSING 04		217	150.00	B	2
MAKEUP/ DRESSING 05		126	150.00	B	1
MAKEUP/ DRESSING 06		126	150.00	B	1
ELECT RM		154	300.00	S-1	1
ELEV RM		57	300.00	S-1	1
GREEN ROOM 01		140	150.00	B	1
GREEN ROOM 02		142	150.00	B	1
GREEN ROOM 03		137	150.00	B	1
GREEN ROOM 04		142	150.00	B	1
GREEN ROOM 05		122	150.00	B	1
GREEN ROOM 06		122	150.00	B	1
LOBBY		841	150.00	B	6
MECH RM		100	300.00	S-1	1
STORAGE 01		1,020	300.00	S-1	4
STORAGE 02		614	300.00	S-1	3
STUDIO 1		21,017	150.00	B	141
STUDIO 2		15,812	150.00	B	106
TRASH RM		76	300.00	S-1	1
					280
Mezzanine					
BREAK RM 01		221	150.00	B	2
BREAK RM 02		219	150.00	B	2
CONF RM 01		175	150.00	B	2
CONF RM 02		169	150.00	B	2
OFFICE 01		178	150.00	B	2
OFFICE 02		127	150.00	B	1
OFFICE 03		189	150.00	B	2
OFFICE 04		192	150.00	B	2
OFFICE 05		125	150.00	B	1
OFFICE 06		180	150.00	B	2
OPEN OFFICE/ FLEX SPACE 01		671	150.00	B	5
OPEN OFFICE/ FLEX SPACE 02		665	150.00	B	5
					28
Second Floor					
BREAK RM 03		316	150.00	B	3
BREAK RM 04		406	150.00	B	3
CONF RM 04		229	150.00	B	2
CONF RM 05		286	150.00	B	2
CONF RM 06		577	150.00	B	4
OFFICE 07		202	150.00	B	2
OFFICE 08		160	150.00	B	2
OFFICE 09		168	150.00	B	2
OFFICE 10		194	150.00	B	2
OFFICE 11		149	150.00	B	1
OFFICE 12		150	150.00	B	1
OFFICE 13		123	150.00	B	1
OFFICE 14		184	150.00	B	2
OFFICE 15		178	150.00	B	2
OFFICE 16		151	150.00	B	2
OFFICE 17		178	150.00	B	2
OFFICE 18		171	150.00	B	2
OPEN OFFICE/ FLEX SPACE 04		1,342	150.00	B	9
OPEN OFFICE/FLEX SPACE 03		1,171	150.00	B	8
STORAGE RM		95	300.00	S-1	1
TRASH RM		36	300.00	S-1	1
					54
Third Floor					
BREAK RM 05		322	150.00	B	3
BREAK RM 06		418	150.00	B	3
CONF RM 08		235	150.00	B	2
CONF RM 09		285	150.00	B	2
CONF RM 10		598	150.00	B	4
OFFICE 19		210	150.00	B	2
OFFICE 20		167	150.00	B	2
OFFICE 21		176	150.00	B	2
OFFICE 22		191	150.00	B	2
OFFICE 23		146	150.00	B	2
OFFICE 24		147	150.00	B	1
OFFICE 25		127	150.00	B	1
OFFICE 26		192	150.00	B	1
OFFICE 27		185	150.00	B	1
OFFICE 28		143	150.00	B	1
OFFICE 29		172	150.00	B	1
OFFICE 30		166	150.00	B	1
OPEN OFFICE/ FLEX SPACE 06		1,393	150.00	B	10
OPEN OFFICE/FLEX SPACE 05		1,185	150.00	B	8
PRIVATE RESTROOM 04		43	150.00	B	1
RESTROOMS		758	150.00	B	1
STAIR 01		149	150.00	B	1
STAIR 02		171	150.00	B	1
STORAGE RM		101	150.00	B	1
TRASH RM		36	150.00	B	1
					3,645 sq ft
Roof					
FREIGHT ELEV					57
STAIR 01					149
STAIR 02					166
					372 sq ft
TOTAL NET FLOOR AREA					70,071 sq ft

BUILDING STATISTICS CALCULATIONS		
Home Story Name	Zone Name	TOTAL FLOOR AREA
First Floor		
MAKEUP/ DRESSING 01		210
MAKEUP/ DRESSING 02		212
MAKEUP/ DRESSING 03		208
MAKEUP/ DRESSING 04		217
MAKEUP/ DRESSING 05		126
MAKEUP/ DRESSING 06		126
CIRCULATION		2,660
ELECT RM		154
ELEV RM		57
FREIGHT ELEV.		57
GREEN ROOM 01		140
GREEN ROOM 02		142
GREEN ROOM 03		137
GREEN ROOM 04		142
GREEN ROOM 05		122
GREEN ROOM 06		122
LOBBY		841
MECH RM		100
RESTROOMS		1,426
SOUND LOCK 01		92
SOUND LOCK 02		92
STAIR 01		149
STAIR 02		232
STORAGE 01		1,020
STORAGE 02		614
STUDIO 1		21,017
STUDIO 2		15,812
TRASH RM		76
		46,303 sq ft
Mezzanine		
BREAK RM 01		221
BREAK RM 02		219
CONF RM 01		175
CONF RM 02		169
CONF RM 01		175
CONF RM 02		169
MEZZ STAIR 01		58
MEZZ STAIR 02		59
OFFICE 01		178
OFFICE 02		127
OFFICE 03		189
OFFICE 04		192
OFFICE 05		125
OFFICE 06		180
OPEN OFFICE/ FLEX SPACE 01		671
OPEN OFFICE/FLEX SPACE 02		665
		3,645 sq ft
Second Floor		
BREAK RM 03		316
BREAK RM 04		406
CIRCULATION		2,159
CONF RM 04		229
CONF RM 05		286
CONF RM 06		577
FREIGHT ELEV		57
OFFICE 07		202
OFFICE 08		160
OFFICE 09		168
OFFICE 10		194
		3,645 sq ft
Third Floor		
BREAK RM 05		322
BREAK RM 06		418
CIRCULATION		2,188
CONF RM 08		235
CONF RM 09		285
CONF RM 10		598
FREIGHT ELEV		57
OFFICE 19		210
OFFICE 20		167
OFFICE 21		176
OFFICE 22		191
OFFICE 23		146
OFFICE 24		147
OFFICE 25		127
OFFICE 26		192
OFFICE 27		185
OFFICE 28		143
OFFICE 29		172
OFFICE 30		166
OPEN OFFICE/ FLEX SPACE 06		1,393
OPEN OFFICE/FLEX SPACE 05		1,185
PRIVATE RESTROOM 04		43
RESTROOMS		758
STAIR 01		149
STAIR 02		171
STORAGE RM		101
TRASH RM		36
		9,961 sq ft
Roof		
FREIGHT ELEV		57
STAIR 01		149
STAIR 02		166
		372 sq ft
TOTAL NET FLOOR AREA		70,071 sq ft

ZONING CALCULATIONS	
LOT AREA(PER PARCEL MAP): 96,043 SF TOTAL - 2.21 ACRES	
SET BACKS	
STREET FRONT: 20' MIN (R-2550-P) 0' (C3-1)	
STREET SIDE: 5' MIN (R-2550-P) 0' (C3-1)	
INTERIOR ADJ. TO R ZONE: 5' MIN (R-2550-P) 25' (C3-1)	
INTERIOR NOT ADJ. TO R ZONE: 5' MIN (R-2550-P) 0' (C3-1)	
HEIGHT LIMIT: 36' MAX (R-2550-P) 50' MAX (C3-1) INCLUDING PARAPET HEIGHT	
MAX NUMBER OF STORIES: 3 MAX (R-2550-P) 3 MAX (C3-1) *PER CH. 30.70 (5) A MEZZANINE SHALL NOT BE CONSIDERED A STORY	
LOT COVERAGE: 50% MAX (R-2550-P) 100% MAX (C3-1)	
FAR: .85 MAX (R-2550-P) NO LIMIT (C3-1)	
LANDSCAPE REQ: 25% OF TOTAL LOT AREA SHALL BE LANDSCAPED IN R-2550-P ZONE- PER CH.30.11.030	
REQUIRED TREES: 1-24" BOX TREE FOR EVERY 6 SPACES 75% OF TREES USED SHALL HAVE A MATURE SPREAD OF AT LEAST 25'	
PARKING REQUIREMENTS	
TOTAL PARKING REQUIRED: 113 REQ. TOTAL SPACES BASED ON BUILDING AREA *SEE PARKING TABLE BELOW FOR BREAKDOWN	
ACCESSIBLE SPACES REQ.: 5 SPACES REQ. - PER TABLE 11B-208.2 (CBC 2020)	

BUILDING STATISTICS CALCULATIONS		
Home Story Name	Zone Name	TOTAL FLOOR AREA
Second Floor		
OFFICE 11		149
OFFICE 12		150
OFFICE 13		123
OFFICE 14		184
OFFICE 15		178
OFFICE 16		151
OFFICE 17		178
OFFICE 18		171
OPEN OFFICE/ FLEX SPACE 04		1,342
OPEN OFFICE/FLEX SPACE 03		1,171
PRIVATE RESTROOM 03		43
RESTROOMS		745
STAIR 01		149
STAIR 02		171
STORAGE RM		95
TRASH RM		36
		9,790 sq ft
Third Floor		
BREAK RM 05		322
BREAK RM 06		418
CIRCULATION		2,188
CONF RM 08		235
CONF RM 09		285
CONF RM 10		598
FREIGHT ELEV		57
OFFICE 19		210
OFFICE 20		167
OFFICE 21		176
OFFICE 22		191
OFFICE 23		146
OFFICE 24		147
OFFICE 25		127
OFFICE 26		192
OFFICE 27		185
OFFICE 28		143
OFFICE 29		172
OFFICE 30		166
OPEN OFFICE/ FLEX SPACE 06		1,393
OPEN OFFICE/FLEX SPACE 05		1,185
PRIVATE RESTROOM 04		43
RESTROOMS		758
STAIR 01		149
STAIR 02		171
STORAGE RM		101
TRASH RM		36
		9,961 sq ft
Roof		
FREIGHT ELEV		57
STAIR 01		149
STAIR 02		166
		372 sq ft
TOTAL NET FLOOR AREA		70,071 sq ft

PARKING CALCULATIONS			
PARKING REQUIREMENT CALCULATION			
Chapter 30.32 ** 2 spaces per 1,000sf for the first 25,000sf of floor area; 1.5 spaces per 1,000sf for that portion of a building having more than 25,000 to 50,000 square feet of floor area; and 1.25 spaces per 1,000 square feet of floor area for that portion of a building more than 50,000 square feet of floor area			
REQUIRED PARKING SPACES PER AREA PER SPACE	AREA 75,217 SF TOTAL	NUMBER OF PARKING REQUIRED	TOTAL NUMBER OF PARKING REQUIRED
2 PER 1,000 SF	25,000 SF	50	119
1.5 PER 1,000 SF	25,000 SF	37.5	
1.25 PER 1,000 SF	25,217 SF	31.5	
ACCESSIBLE VANS & CARS			
ADA ACCESSIBLE PARKING		PROPOSED NUMBER OF PARKING SPACES	
PROPOSED STANDARD PARKING STALLS		108 (7 REQ. EV STALLS)	
LOADING ZONES		2	
TOTAL NUMBER OF PARKING PROVIDED		113 STD 2 LOADING	

ABBREVIATIONS		
A ACCESS	M MAX	MAV MAXIMUM
ACOUS ACOUSTICAL	MFO MANUFACTURED	
AFR ABOVE FINISHED FLOOR	MFR MANUFACTURER	
AL ALUMINUM	MECH MECHANICAL	
ALT ALTERNATE	MEMB MEMBRANE	
ANAL ANALYZER	MEZZ MEZZANINE	
ANOD ANODIZED	MIN MICROWAVE OVEN	
APPL APPLIANCE	MN MINIMUM	
ARCH ARCHITECTURAL	MSC MISCELLANEOUS	
AUTO AUTOMATIC	MUL MULYER	
AVG AVERAGE	MOIST MOISTURE	
B BUILDING	MOT MOTORIZED	
BOLD BOLLARD	MOUNT MOUNTED	
BORG BLOORING	MTL METAL	
BRELM BROOMROOM	N NUMBER	
BU BUILT UP	NO NOT IN CONTRACT	
C CABINETS	NO NUMBER	
CAB CABINET	NO NOT TO SCALE	
CAR CARPET	O OR	
CBM CEMENTIOUS	ORN ORNAMENTAL	
CBT CEMENT	OSB OSB BOARD	
CLS CEILING	OVHD OVERHEAD	
COATG COATING	OPNG OPENINGS	
COOLG COOLING	OPR OPERABLE	
CONC CONCRETE	PTN PARTITION	
CONSTR CONSTRUCTION	PTFR PESTFRAN	
CONT CONTINUOUS(SATION)	PSD PHOTOELECTRICAL	
CONTR CONTRACTOR	PSD PHOTOELECTRICAL	
COV COVER	POLYST POLYSTYRENE	
CMU CONCRETE MASONRY UNIT	PORT PORTABLE	
D DOUBLE	PREP PREPARED	
DEPT DEPARTMENT	PREFAB PREFABRICATED	
DES (DESIGNED)	PLAM PLASTIC LAMINATE	
DET DETAIL	PLAS PLASTER	
DF DRAINING FOUNTAIN	PLSTC PLASTIC LAMINATE	
DA DIAMETER	PRTEC PROTECTION	
DIFF DIFFUSER	RDR READER	
DM DIMENSION	RECS RECESSED	
DSP DISPENSER	RECP RECEPTACLE	
DN DOWN	REF REFERENCE	
DR DOOR	REFL REFLECTED	
DISCON DISCONNECT	REPR REPROBATOR	
DW DRAINWASHER	REGR REGRASS	
DWR DRYER	RES RESISTANT(V)	
E E	RENF REINFORCEMENT	
ELAST ELASTOMERIC	RESL RESILIENT	
ELC ELECTRICAL	RFC ROOFING	
EMBED EMBEDDED(EDGING)	RM ROOM	
ENGR ENGINEERED	RD ROUGH DRAINING	
ENTR ENTRANCE	S S	
EQ EQUAL	SCR SCRIBE	
EQUIP EQUIPMENT	SECL SECURITY	
EXST EXISTING	SF SQUARE FEET	
EXPJT EXPANSION JOINT	SQL SINGLE	
EXPS EXPOSED	SHGRG SHINGLES	
EXT EXTERIOR	SM SIMILAR	
F FABRICATION	SS STAINLESS STEEL	
FD FLOOR DRAIN	STD STANDARD	
FE FIRE EXTINGUISHER	STL STEEL	
REC FIRE EXTINGUISHER & CABINET	STRFR STRENGTH	
FHC FIRE HOSE CABINET	STRCT STRUCTURAL	
FIN FINISH	SURF SURFACE	
FLOG FLOORING	SUSP SYSTEMS	
FRLC FIRE RATED	SYS S	
FR (FIRE RATED)	T TR	
FRAM FRAMING	TKR THICK	
FAD FROD	TLT TOILET	
FXTR FIXTURE	TRAF TRAFFIC	
FLR FLOORING	FRAN TRANSFER	
FURN FURNITURE	TRTD TREATED	
FVCC FABRIC WALL COVERINGS	T&G TONGUE AND GROOVE	
G GAUGE	TRP TRIP	
GRFC GLASS FIBER REINFORCED CONCRETE	UTL UTILITY	
GRFG GLASS FIBER REINFORCED GYPSUM	UNO UNLESS NOTED OTHERWISE	
GRFP GLASS FIBER REINFORCED PLASTER	V V	
GL GLASS	VBL VERTICAL	
GR (GRAINING)	VBL VERTICAL	
GYP GYPSUM	VFB VERTICAL	
H HEAD</		



Aerial View From South Glendale ①

SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.

Rendering South Glendale
Avenue

DATE	ISSUE
8/11/2021	Initial Picture Studios

Planning Submission

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

SHEET
A020

EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205



RELATIVITY
ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA, CA 90073 P: 310.373.4300



Office Building Main Entrance On Glendale Avenue

1

SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.

Rendering Entrance

DATE	ISSUE
8/11/2021	Motion Picture Studios

Planning Submission

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205



RELATIVITY
ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA, CA 90073 P: 310.373.4300



View Of Campus From Maryland Ave. ①

SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.

Rendering Campus

DATE	ISSUE
8/11/2021	Initial Picture Studios

Planning Submission

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

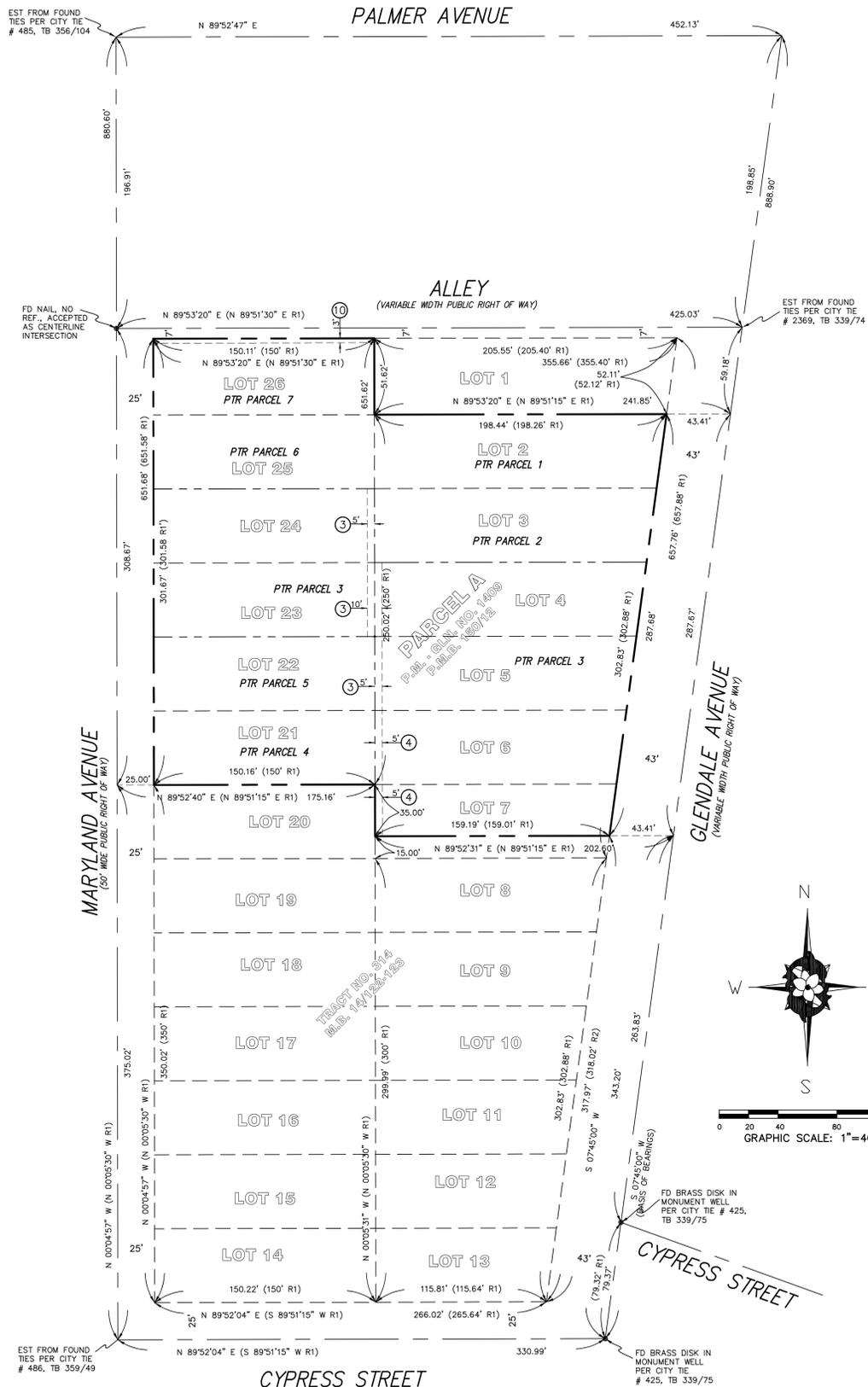


RELATIVITY
ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA, CA 90073 P: 310.373.4300

ALTA/NSPS LAND TITLE SURVEY

1221, 1229 & 1233 SOUTH GLANDALE AVENUE
1214, 1216, 1230 & 1234 SOUTH MARYLAND AVENUE
GLENDALE, CA 91205



STATEMENT OF POSSIBLE ENCROACHMENTS:

NOTE: THE FOLLOWING IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES, STATEMENT OF OWNERSHIP OR POSSESSION IS NEITHER IMPLIED NOR THE INTENT OF THIS LISTING.

- (A) NORTH FACE BLOCK WALL LIES 0.7' NORTH OF THE PROPERTY LINE.
- (B) BILLBOARD CORNER LIES 0.6' NORTH OF THE PROPERTY LINE.
- (C) NORTH FACE PLANTER WALL LIES 0.6' NORTH OF THE PROPERTY LINE.
- (D) EAST EDGE BILLBOARD SIGN LIES 1.0' EAST OF THE PROPERTY LINE.
- (E) SOUTHEASTERLY FACE PLANTER WALLS LIE 0.1' TO 0.3' SOUTHEASTERLY OF THE PROPERTY LINE.
- (F) BUILDING LIES 4.8' WEST WITHIN THE LIMITS OF SCHEDULE B ITEM NO. 4

NOTE:

- THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.
- THE INFORMATION, COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT. THIS SURVEY ACCURATELY REPRESENTS THE BOUNDARIES AND AREA OF THE PREMISES DENOTED ON THE TITLE ORDER REFERENCED HEREON AND IS THE SAME PROPERTY AS DESCRIBED THEREIN.
- AT THE TIME OF SURVEY, NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED UNLESS OTHERWISE NOTED HEREON.
- NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF THE SURVEY UNLESS OTHERWISE NOTED HEREON.
- THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY DOES NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT ONLY.
- UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.
- JRN CIVIL ENGINEERS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF ANY THIRD PARTY INFORMATION REFERENCED OR REPRESENTED HEREON. ANY OF SAID INFORMATION SHOWN HEREON HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
- AS OUTLINED IN SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA "THE USE OF THE WORD 'CERTIFY' OR 'CERTIFICATION' BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED."

SITE RESTRICTIONS:

THE SURVEYOR WAS NOT PROVIDED WITH ZONING INFORMATION PURSUANT TO TABLE A ITEM NO. 6(B).

BASIS OF BEARINGS:

THE BEARING OF S 07°45'00" W BEING THE CENTERLINE OF GLANDALE AVENUE AS SHOWN ON TRACT NO. 314, FILED IN BOOK 14, PAGES 122 AND 123 OF MAPS IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY NOTE:

THE UTILITIES SHOWN HEREON WERE BASED ON OBSERVED EVIDENCE ONLY. THE SURVEY WOULD NOT SHOW UTILITIES COVERED BY CARS/TRUCKS OR RECENTLY PAVED ASPHALT/CONCRETE. THE SUBJECT PROPERTY APPEARS TO CONTAIN THE NECESSARY UTILITIES TO PERFORM NORMAL OPERATION.

LAND AREA:

96,250 SQUARE FEET
2.210 ACRES

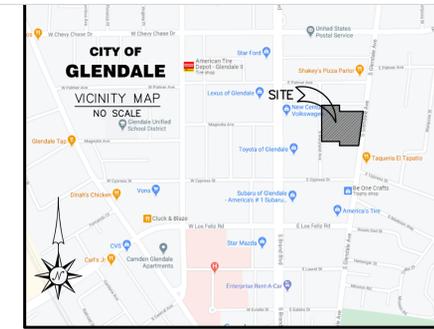
PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
STANDARD	94
HANDICAP	0
TOTAL	94

FLOOD NOTE:

ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06037C1345F, EFFECTIVE ON 9/26/2008

ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.



LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GLENDALE, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

- PARCEL 1 (APN: 5640-015-009): LOT 2 OF TRACT NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 122 AND 123 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
- PARCEL 2 (APN: 5640-015-010): LOT 3 OF TRACT NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 122 AND 123 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
- PARCEL 3 (APN: 5640-015-036): LOTS 23, 24, 4, 5, 6, AND 7 OF TRACT NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 122 AND 123 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
- EXCEPT THEREFROM LOT 7, THE SOUTHERLY 15 FEET THEREOF MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF SAID LOT.
- SAID LAND IS NOW KNOWN AS PARCEL 'A' OF PARCEL MAP-GLN. NO. 1409 FILED IN BOOK 150, PAGE 12 OF PARCEL MAPS.
- PARCEL 4 (APN: 5640-015-029): LOT 21 OF TRACT NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 122 AND 123 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
- PARCEL 5 (APN: 5640-015-030): LOT 22 OF TRACT NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 122 AND 123 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
- PARCEL 6 (APN: 5640-015-033): LOT 25 OF TRACT NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 122 AND 123 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
- PARCEL 7 (APN: 5640-015-037): LOT 26 OF TRACT NO. 314, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 122 AND 123 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ITEMS CORRESPONDING TO SCHEDULE "B":

BY: FIDELITY NATIONAL TITLE COMPANY ORDER NO.: 30052014-997-MAT-TC1
4400 MACARTHUR BOULEVARD, SUITE 200 TITLE OFFICER:
NEWPORT BEACH, CA 92660 DATED: AUGUST 4, 2020
PHONE:

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS, TO THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
 2. COVENANTS, CONDITIONS AND RESTRICTIONS, AS SET FORTH IN THE DOCUMENT RECORDED DECEMBER 02, 1925, IN BOOK 3454, PAGE 136 OF OFFICIAL RECORDS. THIS ITEM APPEARS TO BE BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 3. EASEMENT(S) FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE CITY OF GLENDALE, RECORDED OCTOBER 09, 1979, RECORDED NO. 79-1130588 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 4. EASEMENT(S) FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE CITY OF GLENDALE, RECORDED FEBRUARY 12, 1982, RECORDED NO. 82-165083 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 5. RECITALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 1409, WHICH AMONG OTHER THINGS RECITE NO VEHICULAR ACCESS IS TO BE PERMITTED FROM THE DEVELOPMENT TO MARYLAND AVENUE. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 6. AN INSTRUMENT ENTITLED 'COVENANT AND AGREEMENT' RECORDED JULY 05, 1985, RECORDED NO. 85-778431 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 7. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED COVENANT AND AGREEMENT WITH CITY OF GLENDALE TO HOLD PROPERTY AS ONE PARCEL RECORDED OCTOBER 21, 2002, RECORDED NO. 02-2474547 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 8. COVENANTS, CONDITIONS AND RESTRICTIONS, AS SET FORTH IN THE DOCUMENT RECORDED IN BOOK 4017, PAGE 204 OF DEEDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 9. AN INSTRUMENT ENTITLED 'COVENANT AND AGREEMENT' RECORDED JULY 05, 1985, RECORDED NO. 85-778431 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 10. EASEMENT(S) FOR PUBLIC STREET AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE CITY OF GLENDALE RECORDED NOVEMBER 25, 1985, RECORDED NO. 85-1369531 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ITEMS #S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

SURVEYOR'S CERTIFICATE:

TO: GLENDALE AVE PROPERTIES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND FIDELITY NATIONAL TITLE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B), 7(C), 8, 9, 13, 14, 16 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 5, 2020.

DATE OF PLAT OR MAP: OCTOBER 10, 2020

JEFFERY L. MAYS
EXP: 12/31/20
L.S. NO. 6379



**SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.**

EAST END STUDIOS

1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Alta Survey

ISSUE
DATE 8/11/2021
Mellon Picture Studios

Planning Submission

DRAWN BY: BM
JOB NO.: 2019A
SCALE: AS NOTED

SHEET
A090

RELATIVITY
ARCHITECTS



www.relativityarchitects.com
421 COLTON ST., LA. CA 90015
P: 310.373.4300

ALTA/NSPS LAND TITLE SURVEY

1221, 1229 & 1233 SOUTH GLENDALE AVENUE
1214, 1216, 1230 & 1234 SOUTH MARYLAND AVENUE
GLENDALE, CA 91205

- (B1) BUILDING
2 STORY STUCCO BUILDING
BUILDING HEIGHT = 26'±
BUILDING AREA = 962 S.F.±
- (B2) BUILDING
1 STORY STUCCO BUILDING
BUILDING HEIGHT = 22'±
BUILDING AREA = 497 S.F.±
- (B3) BUILDING
2 STORY STUCCO BUILDING
BUILDING HEIGHT = 26'±
BUILDING AREA = 851 S.F.±
- (B4) BUILDING
1 STORY STUCCO BUILDING
BUILDING HEIGHT = 14'±
BUILDING AREA = 1,524 S.F.±
- (B5) BUILDING
1 STORY STUCCO BUILDING
BUILDING HEIGHT = 17'±
BUILDING AREA = 937 S.F.±

RELATIVITY ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA. CA 90013 P.310.373.4300

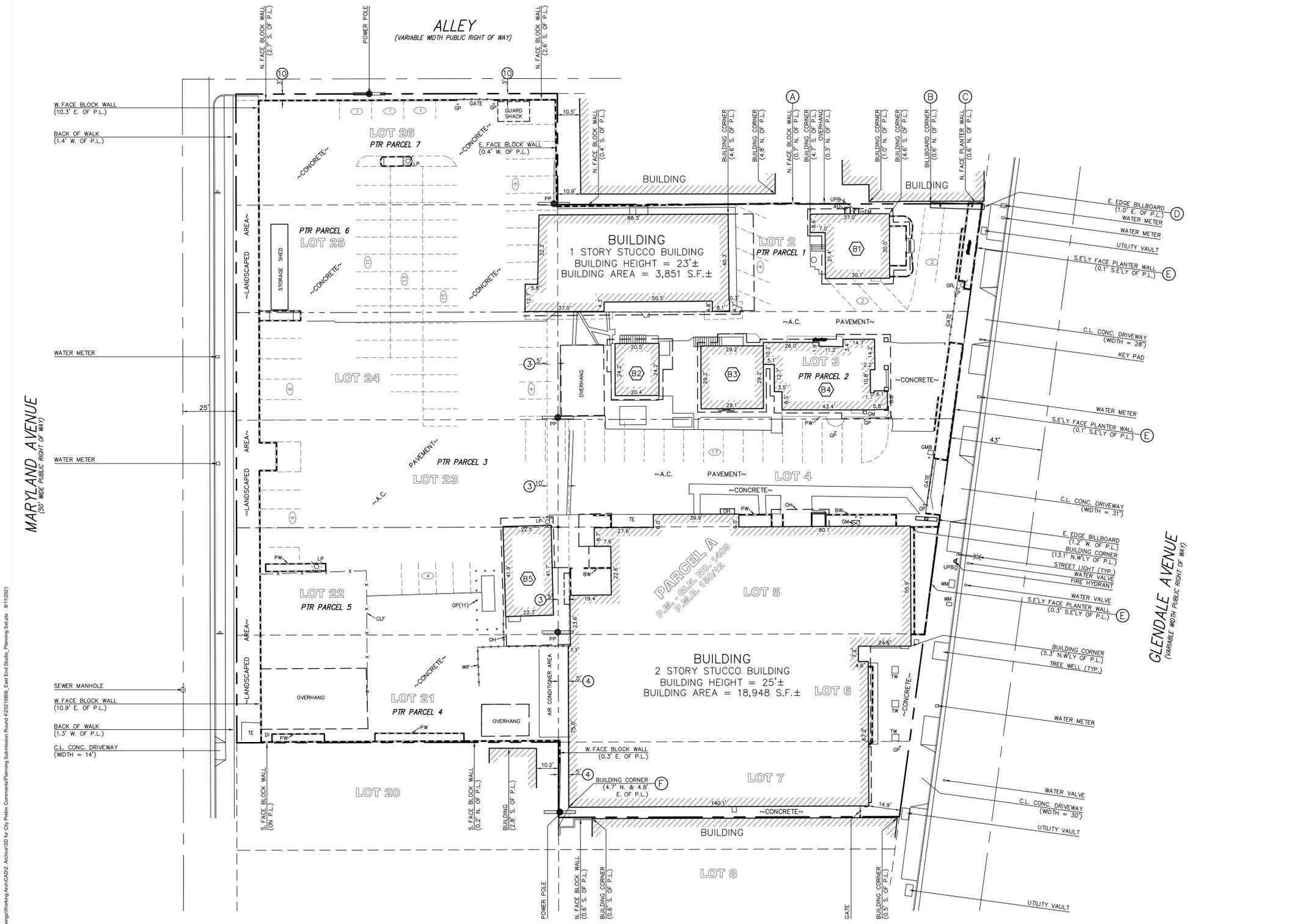


EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

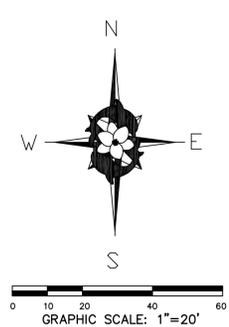
Alta Survey
DATE: 8/11/2021
ISSUE: Motion Picture Studios
DRAWN BY: BM
JOB NO.: 2019A
SCALE: AS NOTED

Planning Submission

SHEET
A091



- LEGEND:**
- (TYP) TYPICAL
 - AC ASPHALTIC CONCRETE
 - AU AIR CONDITIONING UNIT
 - BFD BACK FLOW DEVICE
 - BW BLOCK WALL
 - CB CATCH BASIN
 - CG CONCRETE GUTTER
 - C.L. CENTER LINE
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - DI DRAIN INLET
 - E EAST
 - EM ELECTRIC METER
 - ET ELECTRIC TRANSFORMER
 - EV ELECTRIC VAULT
 - FDC FIRE DEPARTMENT CONNECTION
 - FH FIRE HYDRANT
 - GM GAS METER
 - GMB GATE MOTOR BOX
 - GP GUARD POST
 - GV GAS VALVE
 - LP LIGHT POLE
 - N NORTH
 - N.E.LY NORTHEASTERLY
 - N.W.LY NORTHWESTERLY
 - OH OVERHANG
 - PIV POST INDICATOR VALVE
 - P.L. PROPERTY LINE
 - PP POWER POLE
 - PW PLANTER WALL
 - S SOUTH
 - SCO SEWER CLEAN OUT
 - S.E.LY SOUTHEASTERLY
 - S.F. SQUARE FEET
 - SMH SEWER MANHOLE
 - SN SIGN
 - S.W.LY SOUTHWESTERLY
 - TE TRASH ENCLOSURE
 - T.R. TITLE REPORT
 - TW TREE WELL
 - UPB UTILITY PULLBOX
 - UV UTILITY VAULT
 - W WEST
 - W.W. WATER METER
 - WV WATER VALVE



**SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.**

P:\2019A_East End Glendale Studios8 Drawings\Working Area\CAD27_Altas\ESD for City\Title Comments\Planning Submission Round 4\20210806_East End Studios_Planning Set.dwg 8/11/2021

P:\2019A_East End Glendale Studios8 - Drawings\Working Area\CAD27 - Annotations\Comments\Planning Submission Round 4\20210906_East End Studio_Planning Set.dwg 8/11/2021



LEGEND

- PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- SCOPE OF DEMO
- [Red Hatched Box] SCOPE OF DEMO, BUILT AREAS
- [Red Cross-hatched Box] SCOPE OF DEMO, PLANTED AREAS

GENERAL DEMO NOTES

1. GC/DEMOLITION CONTRACTOR TO PROCURE ALL NECESSARY PERMITS TO PERFORM THE WORK AND POST AS REQUIRED BY CODE
2. GC/DEMOLITION CONTRACTOR TO PROVIDE AND MAINTAIN REQUIRED SAFETY PRECAUTIONS, INCLUDING BUT NOT LIMITED TO, CONSTRUCTION FENCES, BRIDGES, AND RESTRAINTS.
3. ERECT AND MAINTAIN DUSTPROOF PARTITIONS TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
4. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, GC/DEMOLITION CONTRACTOR TO RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
5. GC/DEMOLITION CONTRACTOR TO REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, & RUBBISH
6. GC/DEMOLITION CONTRACTOR TO PROVIDE AND MAINTAIN ELECTRICAL AND PLUMBING SAFE-OFFS TO PERFORM REMOVALS
7. GC/DEMOLITION CONTRACTOR TO PROVIDE AND MAINTAIN A SAFE JOB SITE
8. GC/DEMOLITION CONTRACTOR TO PROVIDE AND MAINTAIN EGRESS FROM THE BUILDING AT ALL TIMES
9. DEMOLITION CONTRACTOR TO COORDINATE ALL REMOVALS W/ GC & THE APPROVED ABETMENT PLAN (BY OTHERS)
10. DEMOLITION CONTRACTOR TO CONFIRM W/ GC THAT ALL REQUIRED ABETMENT PER THE APPROVED ABETMENT (BY OTHERS) HAS BEEN COMPLETED BEFORE MAKING ANY REMOVALS.
11. GC/DEMOLITION CONTRACTOR TO REMOVED ABANDONED ELECTRICAL, TELEPHONE, & DATA CABLING AND DEVICES, UNLESS OTHERWISE NOTED.
12. GC/DEMOLITION CONTRACTOR TO REMOVE ALL EXISTING FLOOR FINISHES, TYP. AND PREPARE SUBFLOOR FOR NEW FINISHES AS INDICATED
13. ALL MECHANICAL EQUIPMENT AND DUCTS, ELECTRICAL LIGHTING, PLUMBING FIXTURES AND OTHER MISCELLANEOUS EQUIPMENT AND HANGERS, AND FINISHES TO BE REMOVED UNLESS OTHERWISE NOTED. DEMOLITION CONTRACTOR TO COORDINATE PHASING OF MEP REMOVALS W/ GC TO MAINTAIN UNINTERRUPTED SERVICE TO ANY TEMPORARY REMAINING TENANTS. DEMOLITION CONTRACTOR SHALL DIRECT ALL QUESTIONS REGARDING MEP REMOVALS TO MEP ENGINEERS/ SUB CONTRACTORS THROUGH THE GC. GAS, ELECTRICAL & SPRINKLER SERVICES TO THE BUILDING TO REMAIN.
14. DEMOLITION CONTRACTOR TO COORDINATE PHASING OF ANY REMOVALS W/ GC BEFORE ANY DEMOLITION WORK THE WORK COVERED BY THE EARLY START PERMIT INCLUDES THE REMOVAL OF INTERIOR NON LOAD PARTITIONS, CEILINGS, PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS.
15. FIRE SPRINKLERS AND ALL FIRE SAFETY SYSTEMS TO REMAIN WHERE PARTIAL REMOVALS ARE INDICATED OR EXACT EXTENT OF REMOVALS ARE TBD DEMOLITION CONTRACTOR TO CONFIRM PRIOR TO REMOVAL. GC TO CONFIRM W/ ARCHITECT EXACT EXTENT & LOCATION OF REMOVAL PRIOR TO REMOVAL.
16. ALL ROOF STRUCTURE, ROOF AND ROOF MATERIAL TO REMAIN P.I.P.

Site Demo Plan
SCALE: 1/32" = 1'-0"

1



**SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.**

Site Demo Plan

DATE	ISSUE
8/11/2021	Malton Picture Studios
Planning Submission	

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

SHEET
A100

EAST END STUDIOS

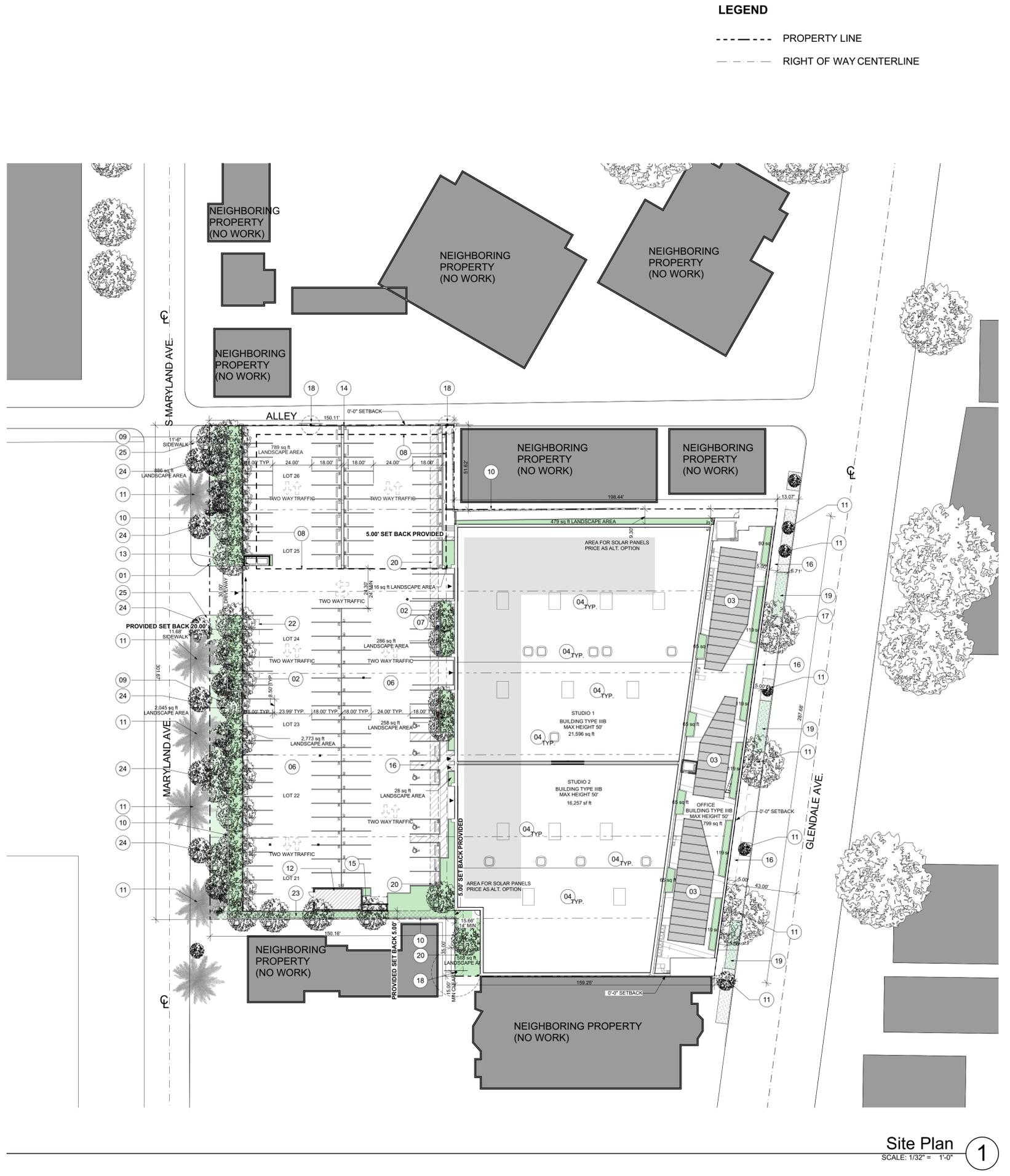
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205



**RELATIVITY
ARCHITECTS**

www.relativityarchitects.com
421 COLTON ST., LA. CA 90013
P: 310.373.4300

P:\2019A_East End Glendale Studios8 - Drawings\Working Area\CAD2 - Annotations\Working Area\Planning Submission Round 4\20210906_East End Studios_Planning Set.dwg 8/11/2021



LEGEND
 - - - - - PROPERTY LINE
 - - - - - RIGHT OF WAY CENTERLINE

- KEY NOTES**
- 01 NEW STOP SIGN
 - 02 PROVIDE LED WALL-MOUNTED FLOOD LIGHT FIXTURES FOR EXTERIOR PARKING LOT
 - 03 10' HIGH STL CANOPY SHADE STRUCTURE WITH PERFORATED MTL PANELS BETWEEN STRUCTURAL MEMBERS
 - 04 PROPOSED MECHANICAL EQUIPMENT WITH 5'-0" MECH SCREEN SEE MEP PLANS
 - 05 QUOTE AIR SYSTEM FOR HVAC DUCTS, ISOLATED MOUNTED CURBS AND INSULATED PLENUMS AND DUCTS WITH 5'-0" MECH SCREEN
 - 06 NEW GRADING + PAVEMENT TO BE LIGHT COLORED TO REDUCE HEAT ISLAND EFFECT AS PER GLENDALE COMMERCIAL GUIDELINES SECTION C.13
 - 07 PROVIDE 7 EV CHARGING STATIONS
 - 08 SOLAR CANOPY 15FT HT OVER SURFACE PARKING SPACES
 - 09 (E) LANDSCAPE TO REMAIN + BE UPDATED WITH NEW PLANTING AND IRRIGATION
 - 10 (E) MASONRY WALL TO REMAIN + BE REPAIRED (TYP.)
 - 11 (E) TREES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION - SEE LANDSCAPE DRAWINGS FOR PROTECTIVE FENCING DETAILS
 - 12 (N) PROPOSED LOCATION FOR TRANSFORMER & PRECAST TRANSFORMER VAULT, TO COMPLY WITH GLENDALE ELECTRICAL SERVICE REQUIREMENTS FOR PRIMARY SERVICES
 - 13 (N) PROPOSED UNIVERSAL TRASH LOCATION WITH MASONRY WALLS + MTL SWING GATE, 5'-1/2' IN HEIGHT AROUND + PARTIALLY COVERED TO COMPLY WITH GLENDALE ZONING REGULATIONS CH. 30.30.030
 - 14 NEW 6'-0" FENCE ALONG PROPERTY LINE
 - 15 PROPOSED LOCATION FOR MAIN SWITCHGEAR 'MSA' ENCLOSURE 15'-4"x4'-2 1/2" WITH 4'-2" CLEARANCE - DIRECT BUS SERVICE FROM TRANSFORMER VAULT INTO SWITCHGEAR
 - 16 CONTINUOUS, UNOBSTRUCTED PATH OF TRAVEL, 5' MIN WIDE, MUST BE PROVIDED ALONG THE SIDEWALKS AS REQUIRED BY ADA, AS PER A.7 OF GLENDALE COMMERCIAL GUIDELINES.
 - 17 EXISTING TREE TO BE REMOVED AND REPLACED WITH NEW 24" BOX SAWLEAF ZELKOVA (ZELKOVA SERRATA) TREE
 - 18 EXISTING POWER POLE
 - 19 NEW IN GROUND PLANTERS TO REPLACE EXISTING DRIVEWAYS ALONG GLENDALE AVE
 - 20 CATV + TELEPHONE 5'-0" EASEMENT
 - 21 DRY WELL
 - 22 UNDERGROUND STORM WATER STORAGE TANKS
 - 23 GWP 5'-0" EASEMENT
 - 24 NEW 24" BOX CAPE CHESTNUT (CALODENRUM CAPENSE) TREES TO BE ADDED ALONG PARKWAY BETWEEN EXISTING PALM TREES
 - 25 REMOVE AND REPLACE SIDEWALK AND EXTEND NEW SIDEWALK UP TO PROPERTY LINE.

- GENERAL CONSTRUCTION SITE PLAN NOTES**
1. ALL EGRESS DOORS SHOULD BE IN REALITY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
 2. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES
 3. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
 4. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPARATE PLUMBING PERMIT REQUIRED.
 5. LIGHTING FOR UNCOVERED PARKING AREAS, VEHICLE ACCESS WAYS AND WALKWAYS SHALL NOT EXCEED A HEIGHT OF SIXTEEN (16) FEET. SUCH OVERALL HEIGHT SHALL BE MEASURED FROM THE PAVED PARKING AREA SURFACE TO THE UPPERMOST PART OF THE LIGHT STANDARD, INCLUDING THE LIGHT GLOBE. LIGHTING SHALL BE DIRECTED ONTO THE DRIVEWAYS, WALKWAYS AND PARKING AREAS WITHIN THE DEVELOPMENT AND AWAY FROM ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAY. IN ADDITION, PARKING STRUCTURE ROOFTOP LIGHTING SHALL BE DESIGNED AND INSTALLED TO PRECLUDE LIGHT TRESPASS (LIGHTING INTENSITY EXCEEDING ONE-HALF (0.5) FOOT CANDLE MEASURED AT THE PROPERTY LINE UTILIZING A LIGHT METER HELD FOUR (4) FEET ABOVE GROUND LEVEL DIRECTED AT THE LIGHT SOURCE ONTO ADJACENT PROPERTY. FOR ADDITIONAL PARKING STRUCTURE LIGHTING STANDARDS IN ADDITION, IN THE P OVERLAY ZONE, HEADLIGHT GLARE SHALL BE SHIELDED FROM ALL SURROUNDING RESIDENTIAL PROPERTIES. THE LEVEL OF LIGHTING ON THE SITE SHALL COMPLY WITH THE ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS, TITLE 24, OF THE CALIFORNIA CODE OF REGULATIONS.
 6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
 7. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
 8. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
 9. **INTERIOR ENVIRONMENT**
 EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10- FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)

Site Plan
 SCALE: 1/32" = 1'-0"
 1

**SCHEMATIC DESIGN SET
 FOR REFERENCE ONLY.
 NOT FOR
 CONSTRUCTION.**

RELATIVITY ARCHITECTS
 www.relativityarchitects.com
 421 COLTON ST., LA. CA 90013 P: 310.373.4300

EAST END STUDIOS
 1214, 1216, 1230, 1234 Maryland Ave &
 1221, 1229, 1233 S Glendale Ave
 Glendale, CA 91205

Site Construction Plan

DATE	ISSUE	ISSUED BY
8/11/2021		Melion Picture Studios

DRAWN BY: BM
 JOB NO.: 2019A
 SCALE: AS NOTED

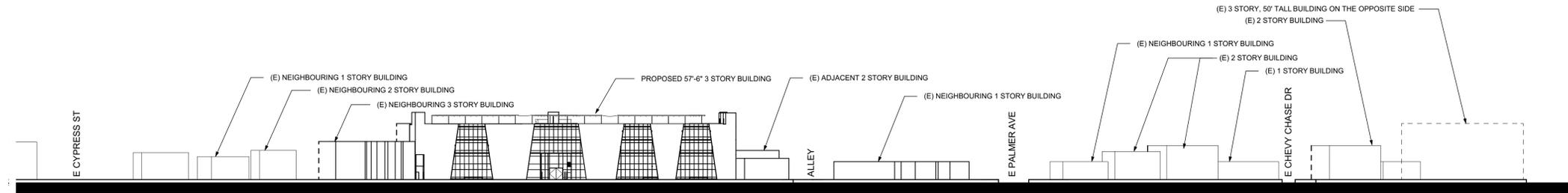
Planning Submission

**SHEET
 A101**



NOTES

- ALL ROOFTOP MECHANICAL EQUIPMENT TO BE SCREENED FROM VIEW OF PUBLIC RIGHT-OF-WAY IN THE R-3050, R-2550, R-1650, R-1250, C1, C2, C3, CR, MS, DSP, CPD, CR, IND, IMU, IMU-R, SFMU ZONES AS PER 30.30.020.B. SOLAR ENERGY EQUIPMENT SHALL NOT BE CONSIDERED ROOFTOP EQUIPMENT (Ord. 5907 § 6, 2013; Ord. 5803 § 87, 2013; Ord. 5712 § 13, 2010; Ord. 5541 § 16, 2006; Ord. 5537 § 8, 2006; Ord. 5416 § 20, 2004; Ord. 5399 Attach. A, 2004)
- PLEASE SEE DIAGRAM 2/A102 + 3/A102 FOR VISIBILITY DIAGRAMS SHOWING COMPLIANCE WITH GLENDALE COMMERCIAL GUIDELINES SECTION H.1 AND 30.30.020.B OF GLENDALE ZONING CODE

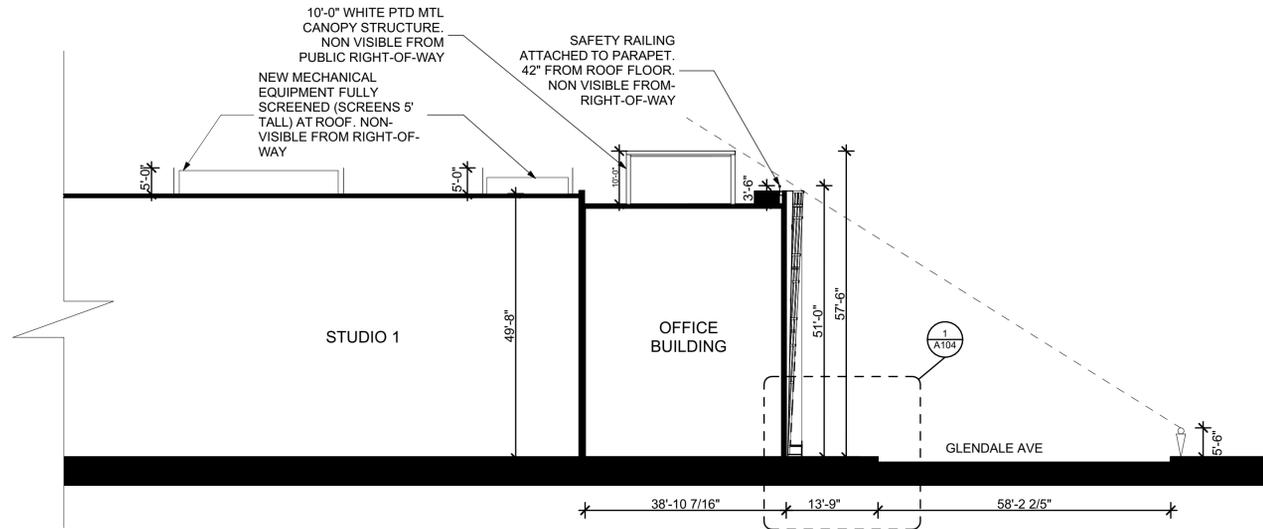


**PLEASE NOTE EXISTING TREES ALONG S GLENDALE AVE ARE NOT SHOWN IN THIS DIAGRAM

ELEVATION FROM GLENDALE AVE

SCALE: 3/128" = 1'-0"

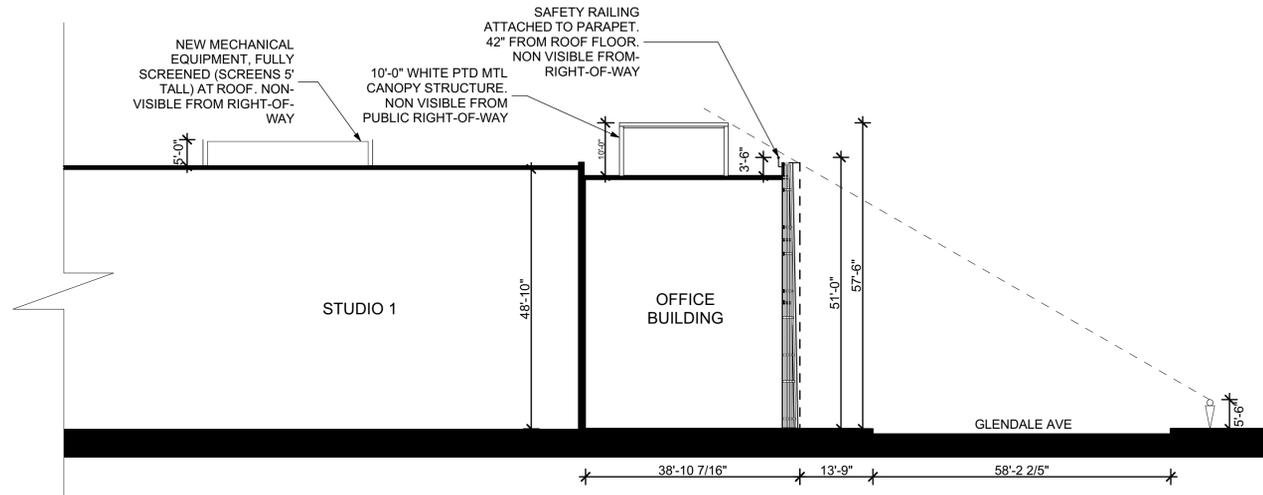
4



VISIBILITY STUDY FROM GLENDALE AVE 2

SCALE: 1/16" = 1'-0"

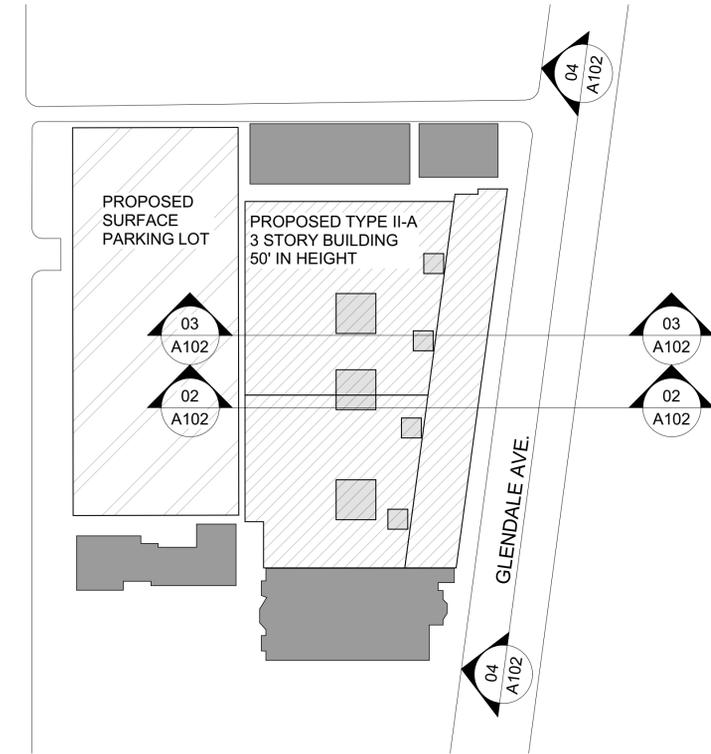
3



VISIBILITY STUDY FROM GLENDALE AVE 1

SCALE: 1/16" = 1'-0"

2



SITE PLAN

SCALE: 1/64" = 1'-0"

1



Site Elevations

DATE	ISSUE
8/11/2021	Malton Picture Studios

DRAWN BY: BM

JOB NO.: 2019A

SCALE: AS NOTED

Planning Submission

EAST END STUDIOS

1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

RELATIVITY ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA. CA 90013
P: 310.373.4300



SCHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

SHEET A102

P:\2019A_East End Glendale Studios8_Drawings\Working Area\CAD27_Archives\SD for City\Item Comments\Planning Submission Round 4\20210806_East End Studio_Planning Set.dwg 8/11/2021

P:\2019A_East End Studios\Drawings\Working\Arch\CAD27_Archives\SD for City\Plan Comments\Planning Submission Round 4\20210806_East End Studios_Planning Set.dwg 8/11/2021



----- PROPERTY LINE
 - - - - - RIGHT OF WAY CENTERLINE

KEY NOTES

- 01 (E) MASONRY WALL TO REMAIN + BE REPAIRED - SEE SHEET A104 FOR ELEVATION
- 02 (E) PLANTING AREA - ALL EXISTING TREES TO REMAIN - GROUND COVER PLANTING TO BE IRRIGATED AND REPLACED WITH NATIVE, DROUGHT TOLERANT PLANTS.
- 03 PROVIDE LIGHT COLORED PAVEMENT TO REDUCE HEAT ISLAND EFFECT AS PER GLENDALE COMMERCIAL GUIDELINES SECTION C.13
- 04 NEW 25' TREE (TYP.)
- 05 NEW PROPOSED LANDSCAPE AREA WITH 3-FOOT-TALL PLANTING PROVIDED BETWEEN THE SIDEWALK AND PARKING AREA, AS PER A.7 OF GLENDALE COMMERCIAL GUIDELINES.
- 06 NEW ENTRANCE GATE
- 07 NEW 9' TREE (TYP.)
- 08 NEW PLANTING AREAS PER GLENDALE ZONING SEC. 30.31.020
- 09 CONTINUOUS, UNOBSTRUCTED PATH OF TRAVEL 5' MIN WIDE, MUST BE PROVIDED ALONG THE SIDEWALKS AS REQUIRED BY ADA, AS PER A.7 OF GLENDALE COMMERCIAL GUIDELINES.
- 10 DEDICATED 15' X 25' LOADING ZONE
- 11 PROPOSED UNIVERSAL TRASH LOCATION WITH MASONRY WALLS + METAL SWING GATE - PARTIALLY COVERED TO COMPLY WITH GLENDALE ZONING REGULATIONS CH. 30.30.030 - SEE SHEET A104 FOR ELEVATION
- 12 PROPOSED TRANSFORMER VAULT LOCATION, 4,000 AMP 14'X30'X10'
- 13 PROVIDE 7 EV CHARGING STATIONS - 6 STD + 1 ACCESSIBLE VAN
- 14 NEW FENCE ALONG PROPERTY LINE ALONG ALLEYWAY
- 15 PROPOSED LOCATION FOR MAIN SWITCHGEAR 'MSA' ENCLOSURE 15'-4" X 4'-2 1/2" WITH 4'-2" CLEARANCE, DIRECT BUS SERVICE FROM TRANSFORMER VAULT TO SWITCHGEAR
- 16 DECORATIVE PAVING MATERIAL AT DRIVEWAY AS PER GLENDALE SECTION C.10
- 17 EXISTING POWER POLE TO REMAIN
- 18 NEW STOP SIGN
- 19 SOLAR CANOPY STRUCTURAL POSTS
- 20 CATV + TELEPHONE 5'-0" EASEMENT
- 21 UNDERGROUND STORM WATER STORAGE TANKS
- 22 DRY WELL
- 23 STORM DRAIN
- 24 GWP 5'-0" EASEMENT
- 25 POWER POLE CLEARANCE

GENERAL CONSTRUCTION SITE PLAN NOTES

1. ALL EGRESS DOORS SHOULD BE IN REALITY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES.
2. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
3. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPARATE PLUMBING PERMIT REQUIRED.
4. LIGHTING FOR UNCOVERED PARKING AREAS, VEHICLE ACCESS WAYS AND WALKWAYS SHALL NOT EXCEED A HEIGHT OF SIXTEEN (16) FEET. SUCH OVERALL HEIGHT SHALL BE MEASURED FROM THE PAVED PARKING AREA SURFACE TO THE UPPERMOST PART OF THE LIGHT STANDARD, INCLUDING THE LIGHT GLOBE. LIGHTING SHALL BE DIRECTED ONTO THE DRIVEWAYS, WALKWAYS AND PARKING AREAS WITHIN THE DEVELOPMENT AND AWAY FROM ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAY. IN ADDITION, PARKING STRUCTURE ROOFTOP LIGHTING SHALL BE DESIGNED AND INSTALLED TO PRECLUDE LIGHT TRESPASS. LIGHTING INTENSITY EXCEEDING ONE-HALF (0.5) FOOT CANDLE MEASURED AT THE PROPERTY LINE UTILIZING A LIGHT METER HELD FOUR (4) FEET ABOVE GROUND LEVEL DIRECTED AT THE LIGHT SOURCE ONTO ADJACENT PROPERTY. FOR ADDITIONAL PARKING STRUCTURE LIGHTING STANDARDS IN ADDITIONALLY, IN THE P OVERLAY ZONE, HEADLIGHT GLARE SHALL BE SHIELDED FROM ALL SURROUNDING RESIDENTIAL PROPERTIES. THE LEVEL OF LIGHTING ON THE SITE SHALL COMPLY WITH THE ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS, TITLE 24, OF THE CALIFORNIA CODE OF REGULATIONS.
5. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
6. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
7. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
8. **INTERIOR ENVIRONMENT**
 EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10- FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)

Enlarged Parking Plan **1**
 SCALE: 1/16" = 1'-0"

RELATIVITY ARCHITECTS
 www.relativityarchitects.com
 421 COLTON ST., LA. CA 90013
 P. 310.373.4300



EAST END STUDIOS
 1214, 1216, 1230, 1234 Maryland Ave &
 1221, 1229, 1233 S Glendale Ave
 Glendale, CA 91205

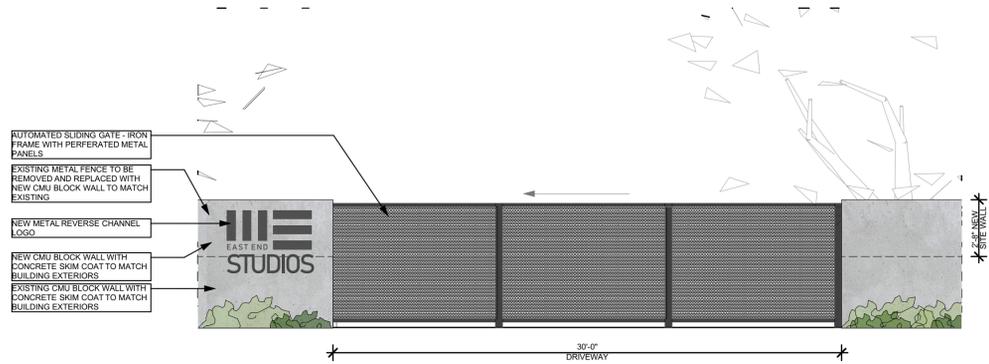
DATE	ISSUE
8/11/2021	Motion Picture Studios

Planning Submission

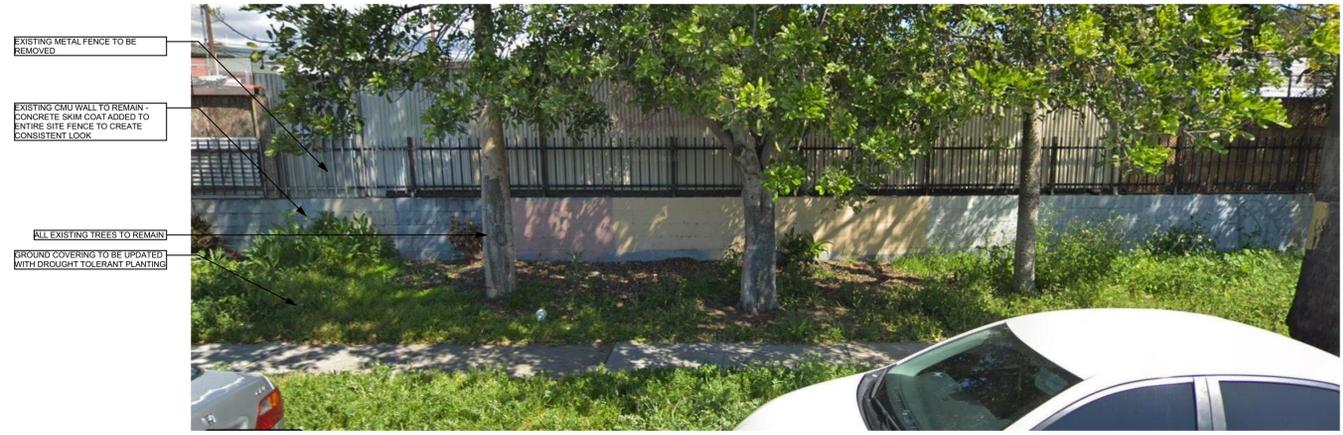
DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

**SCHEMATIC DESIGN SET
 FOR REFERENCE ONLY.
 NOT FOR
 CONSTRUCTION.**

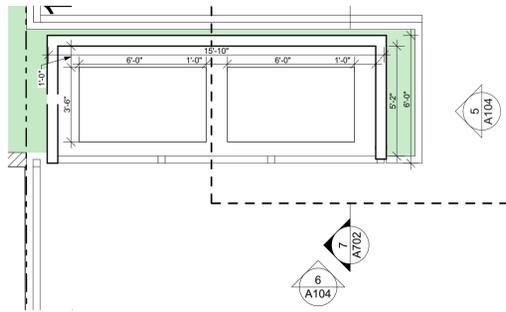
**SHEET
 A103**



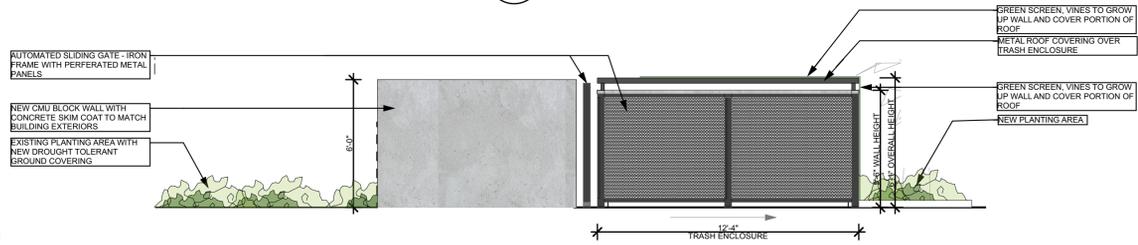
Entry Gate + Site Wall @ Maryland Ave 7
SCALE: 1/4" = 1'-0"



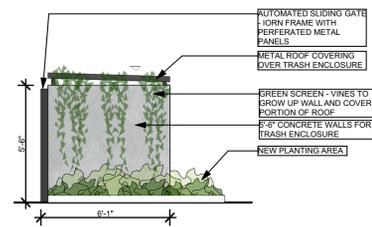
EXISTING CONDITIONS ALONG MARYLAND AVE



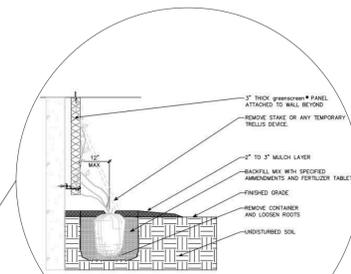
Trash Enclosure Plan 6
SCALE: 1/4" = 1'-0"



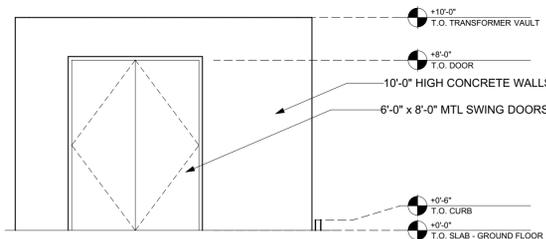
Trash Enclosure Elevation 5
SCALE: 1/4" = 1'-0"



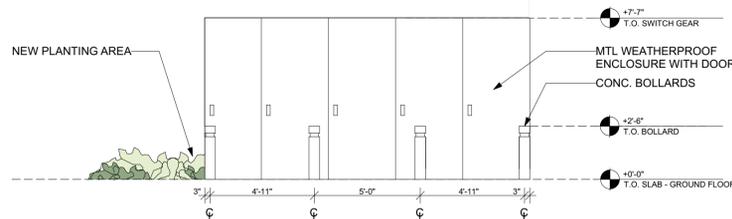
Trash Enclosure Elevation 4
SCALE: 1/4" = 1'-0"



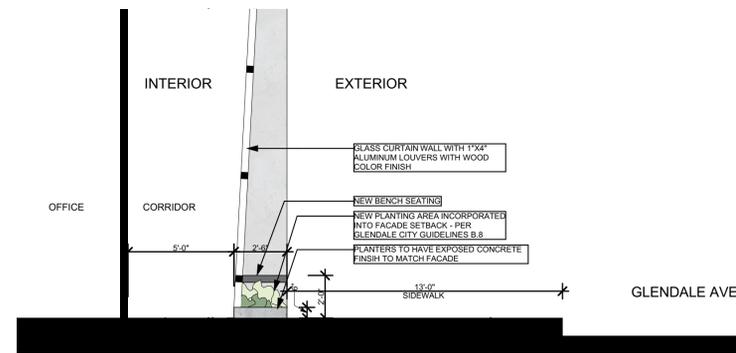
GREEN SCREEN DETAILS



Transformer Vault Elevation 3
SCALE: 1/4" = 1'-0"



Switch Gear Elevation 2
SCALE: 1/4" = 1'-0"



PLANTER-FACADE DETAIL 1
SCALE: 1/4" = 1'-0"

SCHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

Enlarged Exterior Details

DATE	ISSUE
8/11/2021	Motion Picture Studios

PLANNING SUBMISSION

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205



RELATIVITY ARCHITECTS

www.relativityarchitects.com
421 COLTON ST. LA. CA 90075
P: 310.373.4300

SHEET
A104

*** GWP DOES NOT ALLOW ANY PIPE OR DUCT SYSTEM FOREIGN TO THE ELECTRICAL INSTALLATION TO ENTER OR PASS THROUGH THE TRANSFORMER VAULT. IN ADDITION, THE TRANSFORMER VAULT WATER PIPE GROUND MUST BE A CONTINUOUS COPPER CONNECTION TO YOUR WATER MAIN.

P:\2019A_East End Glendale Studios8 - Drawings\Working Area\CAD2 - AntirevSD for City\Title Comments\Planning Round 4\20210906_East End Studio_Planning Set.dwg 8/11/2021



E LOS FELIZ RD AMERICA'S TIRE RETAIL AUTO SHOP RETAIL E CYPRESS AVE RETAIL EDWINS PLUMBING 1253 S GLENDALE TEKKELIAN MEDICAL CONCIERGE AUTO GROUP EAST END STUDIOS (SITE) RETAIL GLENDALE FIRE STATION 22 E PALMER AVE SHAKEY'S RETAIL / PARKING RETAIL RETAIL / PARKING RETAIL RETAIL RETAIL / PARKING E CHEVY CHASE DR

GLENDALE AVE S (WEST)



RETAIL PARKING LOT RETAIL E PALMER AVE RETAIL PARKING RETAIL 1214 S GLENDALE RETAIL RETAIL RETAIL PARKING LOT RETAIL PARKING LOT AUTO SHOP TAQUERIA E CYPRESS AVE AUTO SHOP PARKING RETAIL MADISON WAY RETAIL ROADS END STREET

GLENDALE AVE S (EAST)



RELATIVITY ARCHITECTS

www.relativityarchitects.com
421 COLTON ST. LA. CA 90013 P.310.373.4300



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Site + Context Diagrams

DATE	ISSUE
8/11/2021	Motion Picture Studios

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

Planning Submission

SCHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

SHEET A105

P:\2019A_East End Studios\8 Drawings\Working Area\CAD\2. Answers\SD for City\Plan Comments\Planning Submission Round 4\20210906_East End Studios_Planning Set.dwg 8/11/2021

FOR PARKING AREA SEE SHEET A103



First Floor Plan
SCALE: 1/16" = 1'-0" 1

WALL TYPES

- B1 INTERIOR MTL. STUD PARTITION W/ R13 MINERAL WOOL INSULATION
- B2 INTERIOR STOREFRONT SYSTEM W/ PAINTED MTL FRAME AND CLEAR GLASS
- A1 12" ICF EXTERIOR WALLS W/ INTERIOR INSULQUILT INSULATION
- A1.1 12" ICF PARTITION W/ INSULQUILT INSULATION FINISH AT BOTH SIDES
- A2 ICF WALL - FINISH AT OFFICE INTERIOR TO BE 1/2" LAYER OF GYP MOUNTED DIRECTLY ON THE ICF FORM - FINISH AT STUDIO INTERIOR TO BE INSULQUILT DIRECTLY MOUNTED ON THE ICF FORM
- CC EXTERIOR LOGIX XP-1 8" ICF BLOCKS W/ RIDGID INSULATION AND 1/2" GYP. ON OFFICE INTERIOR
- C1 EXTERIOR CURTAIN WALL SYSTEM, THERMALLY BROKEN ALUMIUM FRAME, 2-PANE REDUCED SHGC GLASS

LEGEND



KEY NOTES

- 01 STL AND CONCRETE STAIRS IN A 2HR RATED ENCLOSURE. PROVIDE MTL FPSC SELF-CLOSING DOORS AT EACH FLOOR
- 02 PROVIDE ACOUSTIC PARTITION AT STUDIO #1
- 03 PROVIDE STC NEW 8'x10' DOOR. SEE DOOR SCHEDULE
- 04 PROVIDE NEW ELEPHANT DOOR. SEE DOOR SCHEDULE
- 05 PROVIDE SOUND ATTENUATION BLANKET AT STUDIO INTERIOR
- 06 OUTDOOR PEDESTRIAN SPACES INCORPORATED ALONG MAIN FACADE. AS PER B.8 OF GLENDALE COMMERCIAL GUIDELINES.
- 07 CONTINUOUS, UNOBSTRUCTED PATH OF TRAVEL, 5' MIN WIDE, MUST BE PROVIDED ALONG THE SIDEWALKS AS REQUIRED BY ADA, AS PER A.7 OF GLENDALE COMMERCIAL GUIDELINES.
- 08 NEW MAINTAINANCE DOOR, NOT FOR EGRESS.
- 09 NEW PLANTING AREA AS PER GLENDALE ZONING SEC. 30.31.020
- 10 EXISTING PLANTING AREA ALONG GLENDALE AVE
- 11 NEW IN GROUND PLANTING AREAS TO REPLACE EXISTING DRIVEWAYS

GENERAL CONSTRUCTION NOTES

1. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. AND SHOULD COMPLY WITH TABLE 803.1.1 AND SECTION 803.1 FOR FLAME SPREAD PROVISIONS, SEE TABLE 803.9
2. ALL EGRESS DOORS SHOULD BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
3. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES.
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPERATE PLUMBING PERMIT REQUIRED.
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
7. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
8. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUCH BE ADAPTED FOR LOW WATER CONSUMPTION.
9. **INTERIOR ENVIRONMENT**
EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)
10. **BUILDING ENVELOPE**
ANTI-GRAFFITI FINISH PROVIDED AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. LAMC 91.6306.

SCHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

Proposed First Floor Plan

DATE	ISSUE
8/11/2021	Motion Picture Studios

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

SHEET
A210

EAST END STUDIOS

1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205



RELATIVITY ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA. CA 90013
P. 310.373.4300

Planning Submission



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

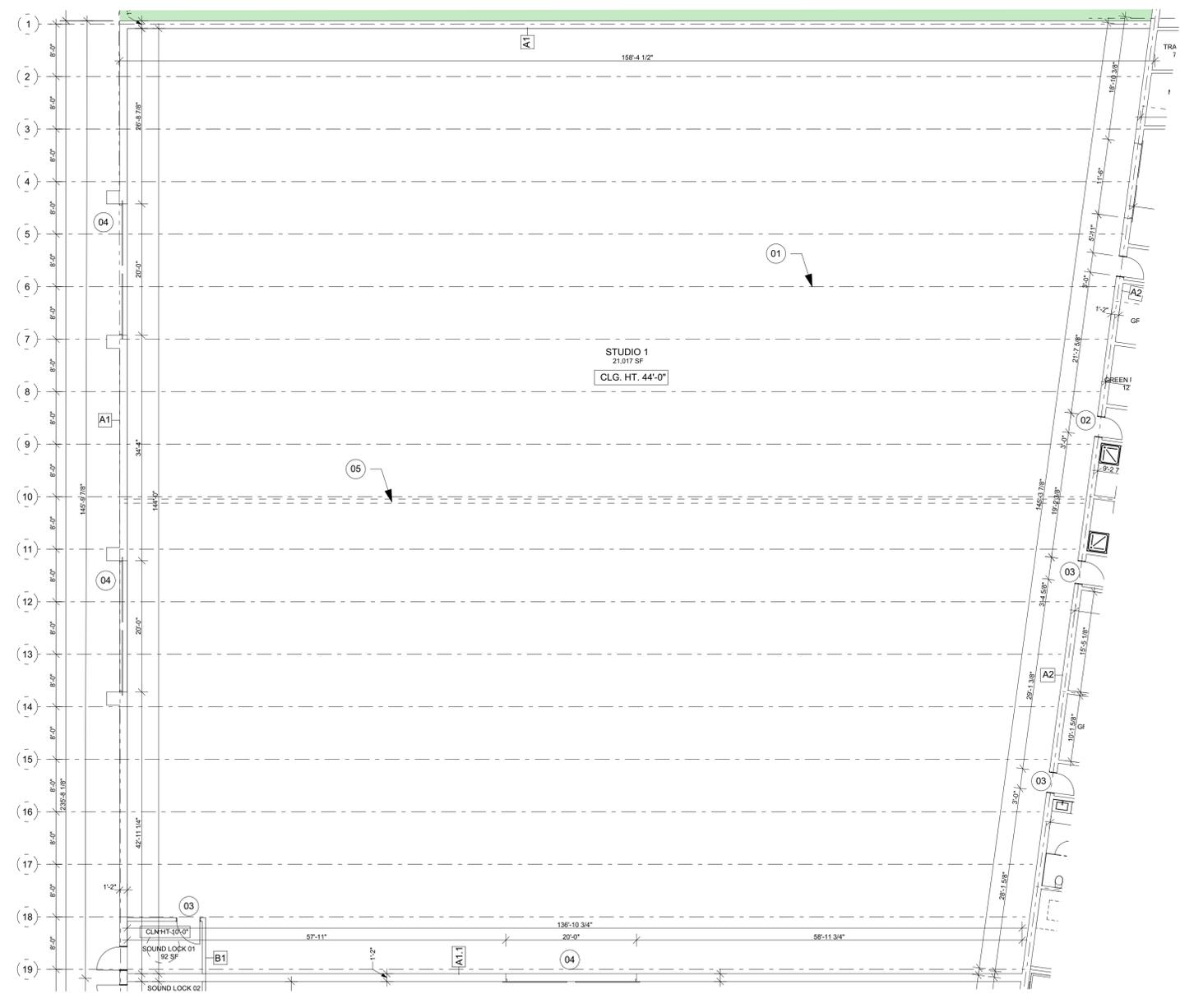
Proposed Floor Plan Studio 1

DATE	ISSUE
8/11/2021	Motion Picture Studios

Planning Submission

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

SHEET
A211



First Floor Plan Studio 1
SCALE: 3/32" = 1'-0"

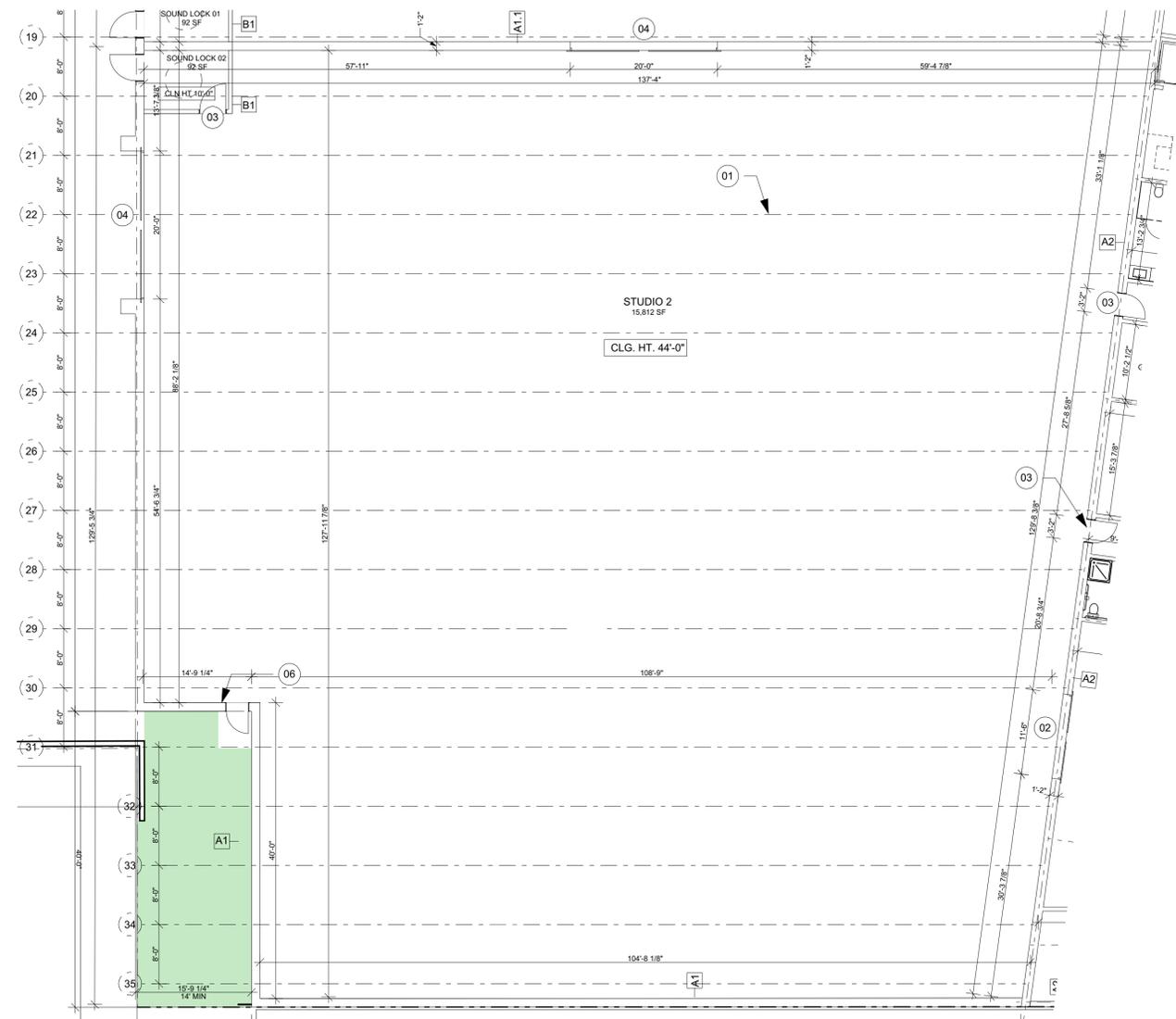
KEY NOTES

- 01 STRUCTURAL MEMBER (TYP.) SEE STRUCTURAL DWGS.
- 02 PROVIDE STC NEW 8'x10' DOOR. SEE DOOR SCHEDULE
- 03 PROVIDE STC 65 SELF-CLOSING DOOR TO STUIOS (TYP.). SEE DOOR SCHEDULE
- 04 PROVIDE NEW ELEPHANT DOOR. SEE DOOR SCHEDULE
- 05 PROVIDE ACOUSITC PARTITION AT STUDIO #1
- 06 NEW MAINTAINANCE DOOR, NOT FOR EGRESS

GENERAL CONSTRUCTION NOTES

1. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. AND SHOULD COMPLY WITH TABLE 803.1.1 AND SECTION 803.1 FOR FLAME SPREAD PROVISIONS, SEE TABLE 803.9
2. ALL EGRESS DOORS SHOULD BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
3. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES.
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE- WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPERATE PLUMBING PERMIT REQUIRED.
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
7. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
8. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUCH BE ADAPTED FOR LOW WATER CONSUMPTION.
9. **INTERIOR ENVIRONMENT**
EVERY SPACE INTENED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)
10. **BUILDING ENVELOPE**
ANTI-GRAFFITI FINISH PROVED AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. LAMC 91.6306.

SCHMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.



First Floor Plan Studio 2

SCALE: 3/32" = 1'-0"



KEY NOTES

- 01 STRUCTURAL MEMBER (TYP.) SEE STRUCTURAL DWGS.
- 02 PROVIDE STC NEW 8'x10' DOOR. SEE DOOR SCHEDULE
- 03 PROVIDE STC 65 SELF-CLOSING DOOR TO STUIOS (TYP.). SEE DOOR SCHEDULE
- 04 PROVIDE NEW ELEPHANT DOOR. SEE DOOR SCHEDULE
- 05 PROVIDE ACOUSITC PARTITION AT STUDIO #1
- 06 NEW MAINTAINAINCE DOOR, NOT FOR EGRESS

GENERAL CONSTRUCTION NOTES

1. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. AND SHOULD COMPLY WITH TABLE 803.1.1 AND SECTION 803.1 FOR FLAME SPREAD PROVISIONS, SEE TABLE 803.9
2. ALL EGRESS DOORS SHOULD BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
3. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES.
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE- WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPERATE PLUMBING PERMIT REQUIRED.
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
7. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
8. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUCH BE ADAPTED FOR LOW WATER CONSUMPTION.
9. **INTERIOR ENVIRONMENT**
EVERY SPACE INTENED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)
10. **BUILDING ENVELOPE**
ANTI-GRAFFITI FINISH PROVED AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. LAMC 91.6306.

**SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.**

**RELATIVITY
ARCHITECTS**

www.relativityarchitects.com
421 COLTON ST., LA., CA 90013
P: 310.373.4300



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

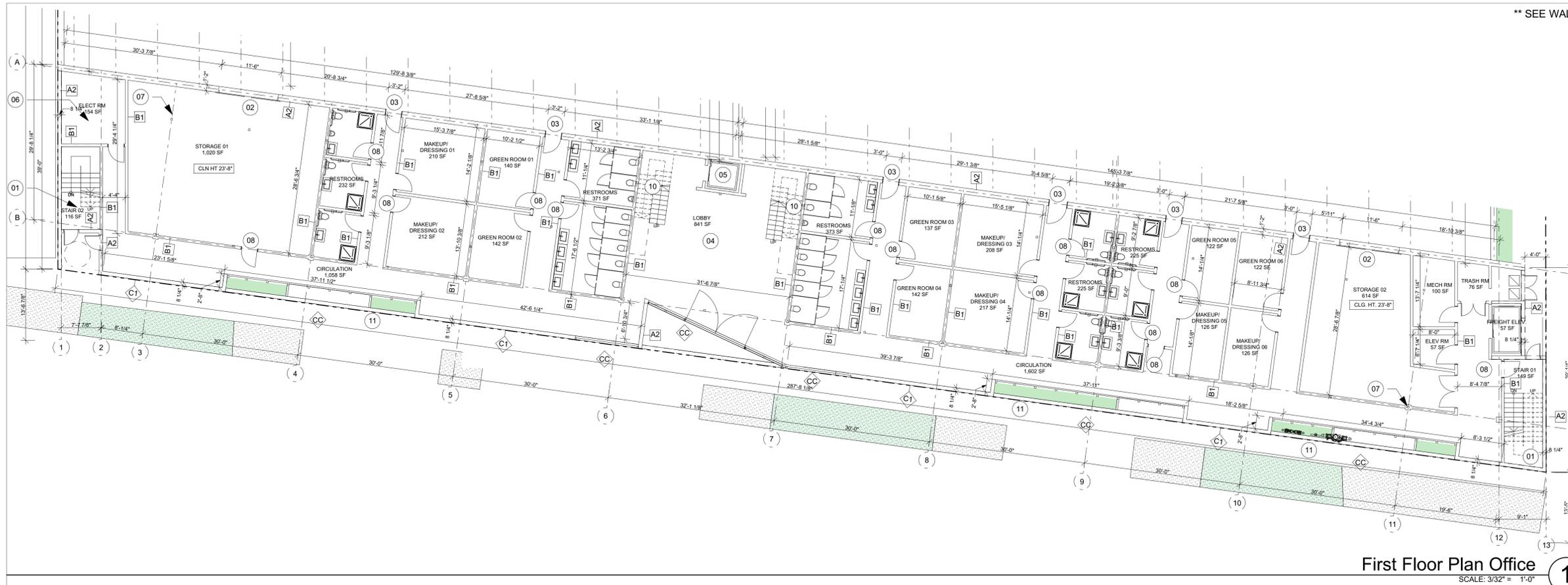
Proposed Floor Plan Studio 2

DATE	ISSUE
8/11/2021	Motion Picture Studios

Planning Submission

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

**SHEET
A212**



First Floor Plan Office
SCALE: 3/32" = 1'-0" 1

KEYNOTES

- 01 STL. AND CONCRETE STAIRS IN A 2 HR RATED ENCLOSURE. PROVIDE MTL FPSC SELF-CLOSING DOORS AT EACH FLOOR
- 02 STC 65 8'x10' DOORS TO STUDIO
- 03 STC 65 SELF CLOSING DOORS TO STUDIOS
- 04 PROVIDE SECURITY + ALARM THROUGHOUT THE BUILDING
- 05 PROPOSED ELEVATOR LOCATION. PROVIDE 4HR SHAFT ENCLOSURE
- 06 ELEVATOR ROOM
- 07 STRUCTURAL MEMBER (TYP.) AS PER STRUCTURAL DWGS.
- 08 ALL INTERIOR DOORS TO BE SOLID CORE WOOD EXCEPT WHERE NOTED (TYP.) SEE DOOR SCHEDULE FOR DETAILS
- 09 PROVIDE ELEPHANT DOORS
- 10 STL + CONCRETE OPEN STAIRS W/ MTL RAILING
- 11 LANDSCAPED AREA

GENERAL CONSTRUCTION NOTES

1. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. AND SHOULD COMPLY WITH TABLE 803.1.1 AND SECTION 803.1 FOR FLAME SPREAD PROVISIONS, SEE TABLE 803.9
2. ALL EGRESS DOORS SHOULD BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
3. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES.
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE- WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPARATE PLUMBING PERMIT REQUIRED.
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
7. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
8. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUCH BE ADAPTED FOR LOW WATER CONSUMPTION.
9. **INTERIOR ENVIRONMENT**
EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)
10. **BUILDING ENVELOPE**
ANTI-GRAFFITI FINISH PROVIDED AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. LAMC 91.6306.

**SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.**

**RELATIVITY
ARCHITECTS**

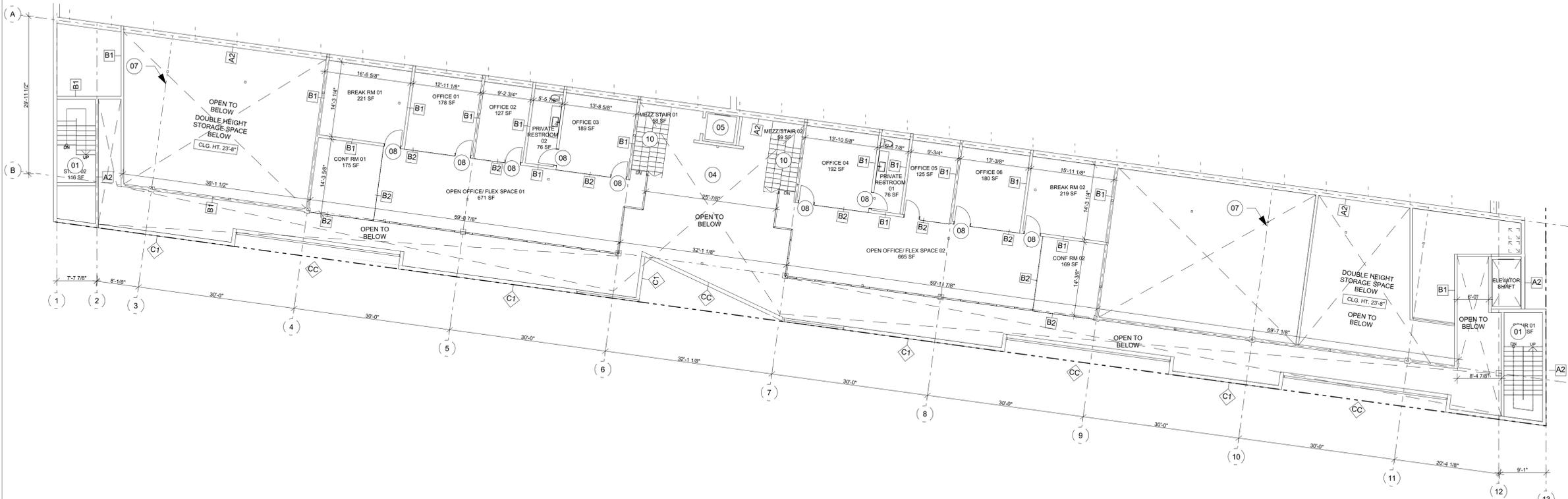


EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Proposed First Floor Plan
Office

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

**SHEET
A213**



Mezzanine Office
SCALE: 3/32" = 1'-0"
1
NORTH

KEYNOTES

- 01 STL. AND CONCRETE STAIRS IN A 2 HR RATED ENCLOSURE. PROVIDE MTL FPSC SELF-CLOSING DOORS AT EACH FLOOR
- 02 STC 65 8'x10' DOORS TO STUDIO
- 03 STC 65 SELF CLOSING DOORS TO STUDIOS
- 04 PROVIDE SECURITY + ALARM THROUGHOUT THE BUILDING
- 05 PROPOSED ELEVATOR LOCATION. PROVIDE 4HR SHAFT ENCLOSURE
- 06 ELEVATOR ROOM
- 07 STRUCTURAL MEMBER (TYP.) AS PER STRUCTURAL DWGS.
- 08 ALL INTERIOR DOORS TO BE SOLID CORE WOOD EXCEPT WHERE NOTED (TYP.) SEE DOOR SCHEDULE FOR DETAILS
- 09 PROVIDE ELEPHANT DOORS
- 10 STL + CONCRETE OPEN STAIRS W/ MTL RAILING

GENERAL CONSTRUCTION NOTES

1. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. AND SHOULD COMPLY WITH TABLE 803.1.1 AND SECTION 803.1 FOR FLAME SPREAD PROVISIONS, SEE TABLE 803.9
2. ALL EGRESS DOORS SHOULD BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
3. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES.
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE- WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPARATE PLUMBING PERMIT REQUIRED.
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
7. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
8. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUCH BE ADAPTED FOR LOW WATER CONSUMPTION.
9. **INTERIOR ENVIRONMENT**
EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)
10. **BUILDING ENVELOPE**
ANTI-GRAFFITI FINISH PROVIDED AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. LAMC 91.6306.

**SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.**

**RELATIVITY
ARCHITECTS**



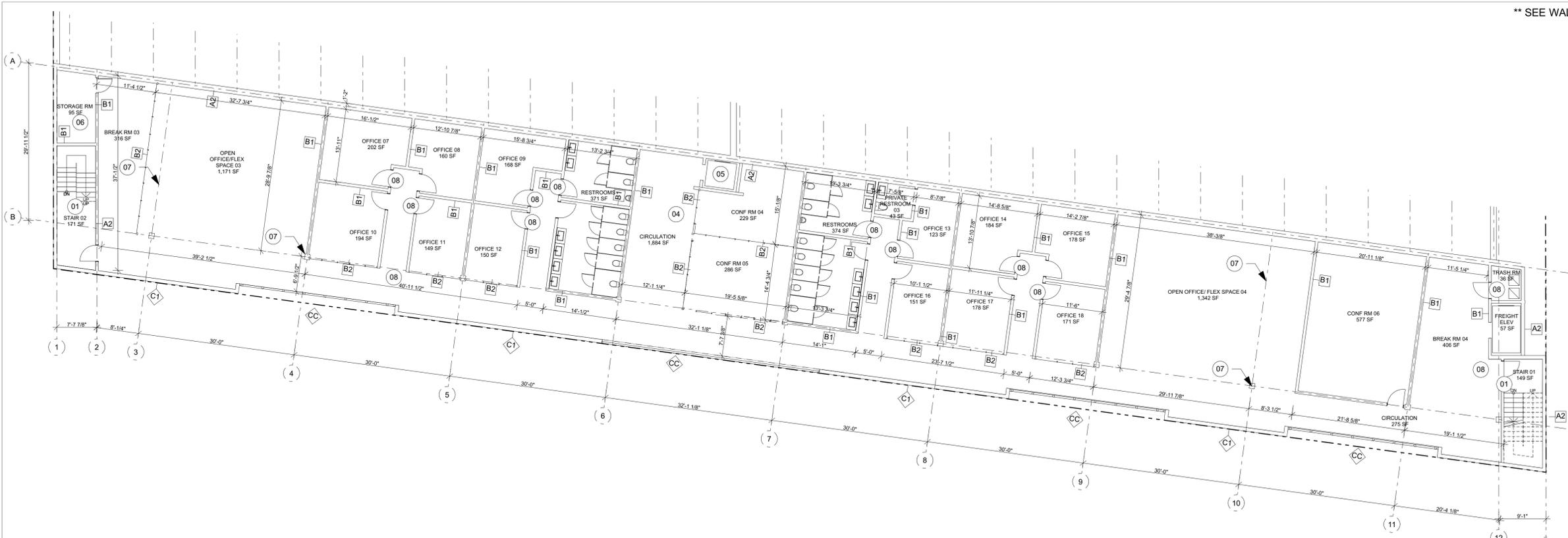
EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

**Proposed Mezzanine Floor
Plan Office**

DATE	ISSUE
8/11/2021	Motion Picture Studios
DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

**SHEET
A214**

Planning Submission



Second Floor Plan Office
SCALE: 3/32" = 1'-0" 3

KEYNOTES

- 01 STL. AND CONCRETE STAIRS IN A 2 HR RATED ENCLOSURE. PROVIDE MTL FPSC SELF-CLOSING DOORS AT EACH FLOOR
- 02 STC 65 8'x10' DOORS TO STUDIO
- 03 STC 65 SELF CLOSING DOORS TO STUDIOS
- 04 PROVIDE SECURITY + ALARM THROUGHOUT THE BUILDING
- 05 PROPOSED ELEVATOR LOCATION. PROVIDE 4HR SHAFT ENCLOSURE
- 06 ELEVATOR ROOM
- 07 STRUCTURAL MEMBER (TYP.) AS PER STRUCTURAL DWGS.
- 08 ALL INTERIOR DOORS TO BE SOLID CORE WOOD EXCEPT WHERE NOTED (TYP.) SEE DOOR SCHEDULE FOR DETAILS
- 09 PROVIDE ELEPHANT DOORS
- 10 STL + CONCRETE OPEN STAIRS W/ MTL RAILING

GENERAL CONSTRUCTION NOTES

1. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. AND SHOULD COMPLY WITH TABLE 803.1.1 AND SECTION 803.1 FOR FLAME SPREAD PROVISIONS, SEE TABLE 803.9
2. ALL EGRESS DOORS SHOULD BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
3. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES.
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE- WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPERATE PLUMBING PERMIT REQUIRED.
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
7. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
8. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUCH BE ADAPTED FOR LOW WATER CONSUMPTION.
9. **INTERIOR ENVIRONMENT**
EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)
10. **BUILDING ENVELOPE**
ANTI-GRAFFITI FINISH PROVED AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. LAMC 91.6306.

**SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.**

**RELATIVITY
ARCHITECTS**



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Second Floor Plan Office

DATE	ISSUE
8/11/2021	Motion Picture Studios

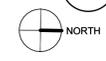
DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

**SHEET
A215**

Planning Submission



Third Floor Plan Office
SCALE: 3/32" = 1'-0"



KEYNOTES

- 01 STL. AND CONCRETE STAIRS IN A 2 HR RATED ENCLOSURE. PROVIDE MTL FPSC SELF-CLOSING DOORS AT EACH FLOOR
- 02 STC 65 8'x10' DOORS TO STUDIO
- 03 STC 65 SELF CLOSING DOORS TO STUDIOS
- 04 PROVIDE SECURITY + ALARM THROUGHOUT THE BUILDING
- 05 PROPOSED ELEVATOR LOCATION. PROVIDE 4HR SHAFT ENCLOSURE
- 06 ELEVATOR ROOM
- 07 STRUCTURAL MEMBER (TYP.) AS PER STRUCTURAL DWGS.
- 08 ALL INTERIOR DOORS TO BE SOLID CORE WOOD EXCEPT WHERE NOTED (TYP.) SEE DOOR SCHEDULE FOR DETAILS
- 09 PROVIDE ELEPHANT DOORS
- 10 STL + CONCRETE OPEN STAIRS W/ MTL RAILING

GENERAL CONSTRUCTION NOTES

1. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. AND SHOULD COMPLY WITH TABLE 803.1.1 AND SECTION 803.1 FOR FLAME SPREAD PROVISIONS, SEE TABLE 803.9
2. ALL EGRESS DOORS SHOULD BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
3. SEE SIGNAGE SHEETS FOR ACCESSIBLE SIGNAGE REQUIREMENTS, LOCATION AND NOTES.
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE- WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPERATE PLUMBING PERMIT REQUIRED.
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
7. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
8. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUCH BE ADAPTED FOR LOW WATER CONSUMPTION.
9. **INTERIOR ENVIRONMENT**
EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (1205.1 AND 1205.3)
10. **BUILDING ENVELOPE**
ANTI-GRAFFITI FINISH PROVED AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. LAMC 91.6306.

**SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.**

**RELATIVITY
ARCHITECTS**



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

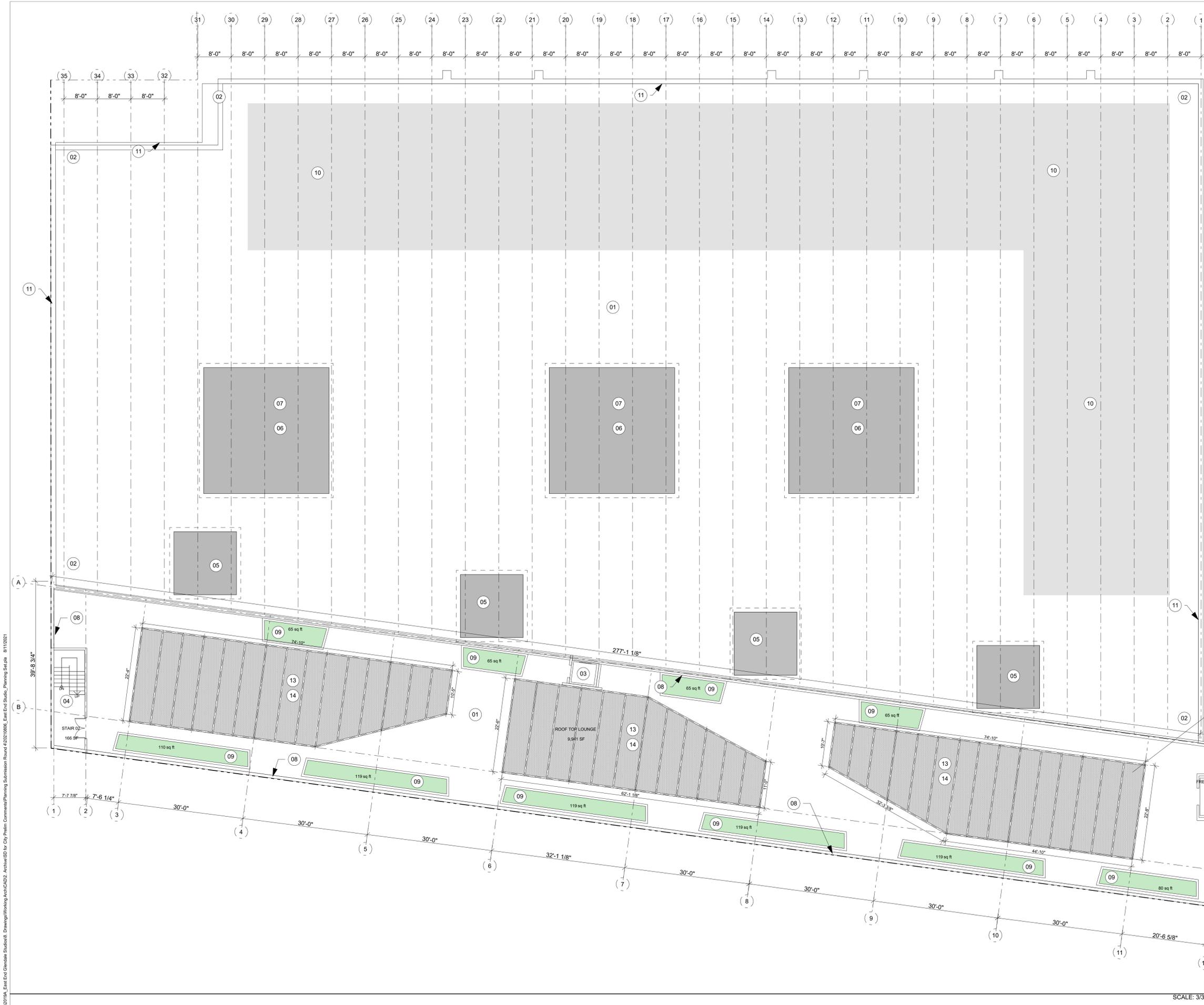
Proposed Third Floor Plan
Office

DATE	ISSUE
8/11/2021	Motion Picture Studios

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

Planning Submission

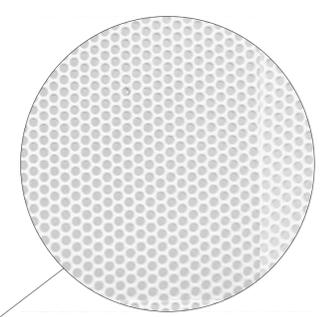
SHEET
A216



** SEE WALL + PARTITION TYPES ON PAGE A210

KEYNOTES

- 01 NEW INSULATED ROOF ASSEMBLY: WITH CONCRETE ROOF DECK PAVERS OVER ADJUSTABLE PEDESTAL SYSTEM
- 02 PROVIDE ROOF DRAINS AS REQUIRED
- 03 PROPOSED ELEVATOR LOCATION. PROVIDE 4 HR SHAFT ENCLOSURE
- 04 STEEL AND CONCRETE STAIRS IN A 2HR RATED ENCLOSURE. PROVIDE METAL FPSC SELF-CLOSING DOORS AT EACH FLOOR
- 05 PROPOSED LOCATION FOR MECHANICAL EQUIPMENT W/ 5'-0" MECH SCREEN. FINAL DESIGN TBD BY MEP ENG.
- 06 PROPOSED HVAC CONDENSERS LOCATION W/ 5'-0" MECH SCREEN AT ROOF
- 07 QUIET AIR SYSTEM FOR HVAC DUCTS. PROVIDE THERMALLY BROKEN INSTALLATION AND INSULATE PLENUMS AND DUCTS AS REQUIRED
- 08 PROVIDE 30" HT PARAPET W/ MTL. RAILING UP TO 42" HT
- 09 PROPOSED NEW PLANTING AREA AS PER GLENDALE ZONING SEC. 30.31.020
- 10 PROPOSED SOLAR PHOTOVOLTAIC PANEL LOCATION
- 11 PROVIDE 8" HT CONCRETE PARAPET
- 12 FREIGHT ELEVATOR
- 13 10' HIGH WHITE POWDER COATED ALUMINUM CANOPY
- 14 PERFORATED METAL PANELS BETWEEN CANOPY STRUCTURE



PERFORATED METAL PANEL DETAIL



SHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

Roof 1
SCALE: 3/32" = 1'-0"

RELATIVITY ARCHITECTS
www.relativityarchitects.com
421 COLTON ST., LA. CA 90013
P: 310.373.4300



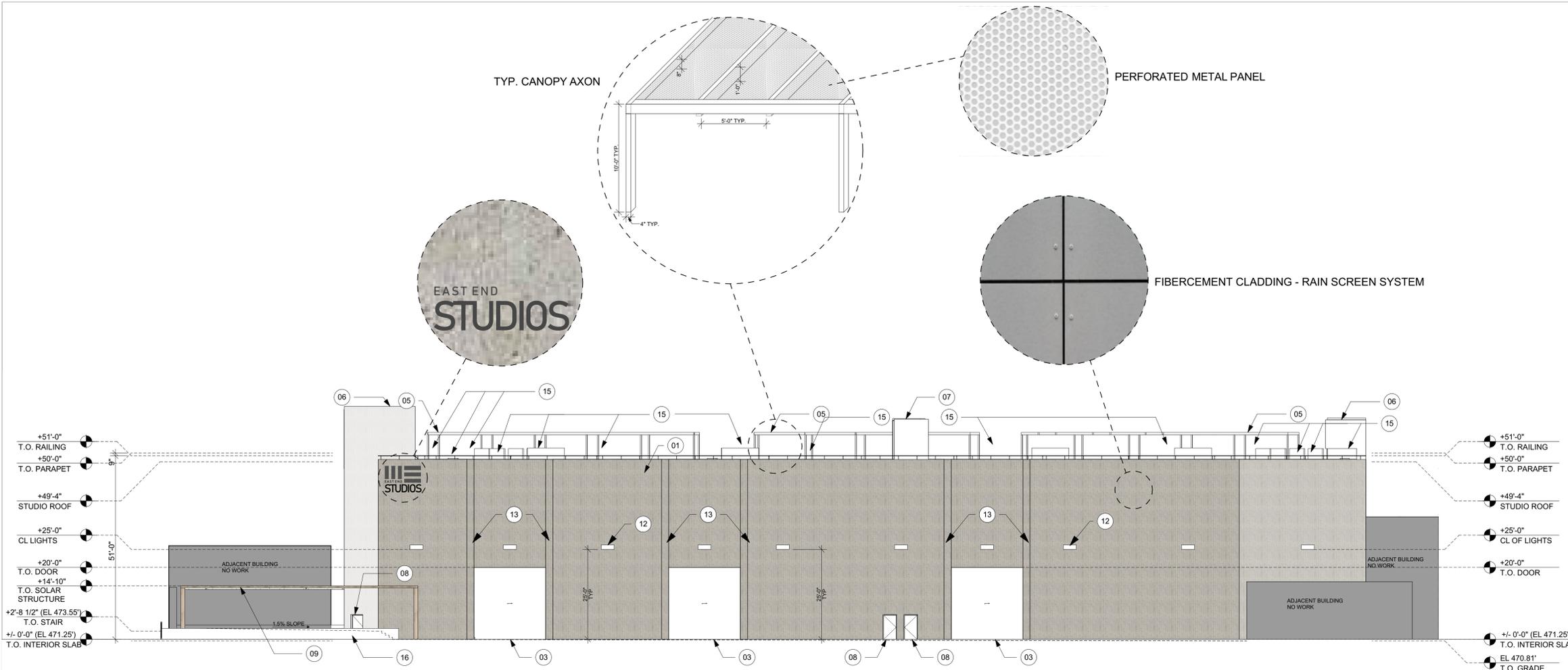
EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Roof Plan	
DATE	ISSUE
8/11/2021	1
Motion Picture Studios	
Planning Submission	
DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

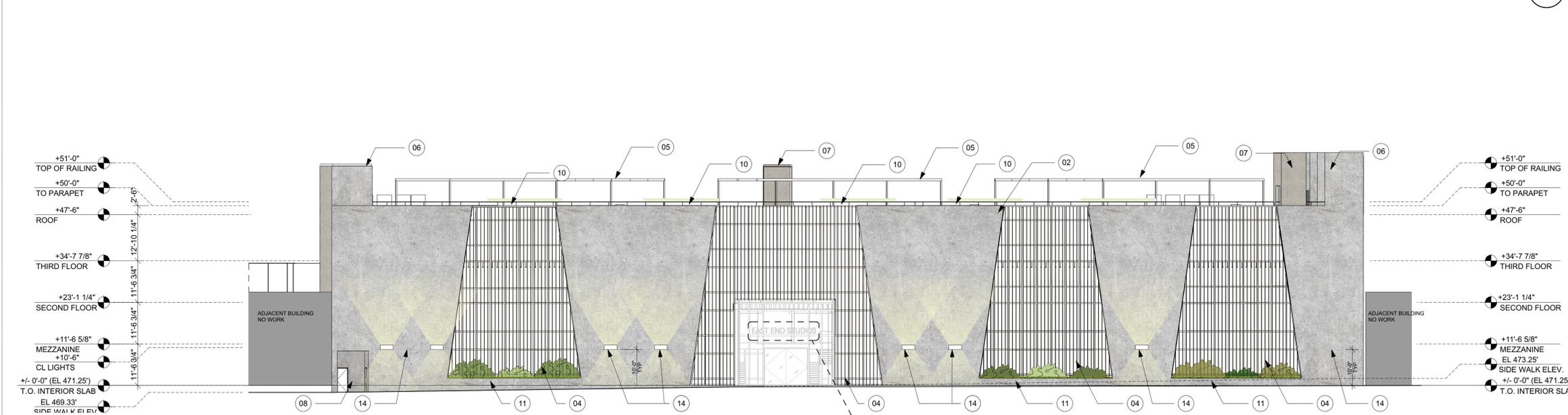
SHEET A217

P:\2019A_East End Glendale Studios8 - Drawings\Working Area\CAD2 - Architect\SD for City\Plan Comments\Planning Round 4\20210806_East End Studios_Planning Set.dwg 8/11/2021

P:\2019A_East End Studios\Drawings\Working Area\CAD27 - Arched\SD for City\Plan Comments\Submission Round 4\20210906_East End Studios_Planning Set.dwg 8/11/2021



West Elevation 2
SCALE: 1/16" = 1'-0"



East Elevation 1
SCALE: 1/16" = 1'-0"

FAÇADE MATERIAL COLOR PALETTE

- FIBERCEMENT CLADDING OVER EXTERIOR WALLS
- EXTERIOR VERTICAL LOUVERS AT CURTAIN WALL LOCATIONS
- EXPOSED CONCRETE TILT-UP

KEYNOTES

- 01 12" ICF STRUCTURAL WALLS + RAINSCREEN SYSTEM WITH FIBERCEMENT CLADDING
- 02 EXPOSED CONCRETE FINISH OVER LOGIX XP-1 ICF BLOCKS
- 03 NEW 20"x20" ELEPHANT DOORS
- 04 ALUMINUM 1"x4" LOUVERS WITH WOOD COLOR FINISH + CURTAIN WALL BEHIND
- 05 10' STL SHADE CANOPY, W/ PERFORATED MTL PANELS
- 06 STAIR SHAFT
- 07 ELEVATOR SHAFT
- 08 EXIT DOOR
- 09 15 FT. HT. SOLAR CANOPY OVER SURFACE CAR PARKING
- 10 LANDSCAPED AREAS AT ROOF. SEE ROOF PLAN FOR LOCATIONS.
- 11 OUTDOOR PEDESTRIAN SPACES INCORPORATED ALONG MAIN FAÇADE, AS PER B.8 OF GLENDALE COMMERCIAL GUIDELINES
- 12 PROPOSED SITE LIGHTING, EXT. LED FLOOD LIGHT FIXTURES TO COMPLY WITH 30.30.040 GLENDALE ZONING CODE
- 13 24X24 COLUMN AT BOTH SIDES OF OPENINGS. TYP. AT ICF STUDIO WALLS
- 14 DECORATIVE UP LIGHTING ON EXTERIOR FAÇADE
- 15 PROPOSED MECHANICAL EQUIPMENT WITH 5'-0" MECH SCREEN, SEE MEP PLANS
- 16 CONC. RETAINING WALL

SURFACE TYPE	SURFACE AREA (SF)	%
OPAQUE WALL AREA @ GROUND FLOOR	3,431	
TRANSPARENT WALL AREA @ GROUND FLOOR	3,449	50%
TOTAL AREA OF FAÇADE @ GROUND FLOOR	6,880	

SCHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

RELATIVITY ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA., CA 90013 P. 310.373.4300

LICENSED ARCHITECT
SCOTT BERNARD SULLIVAN
C-33139
03/31/2021
RENEWAL DATE
STATE OF CALIFORNIA

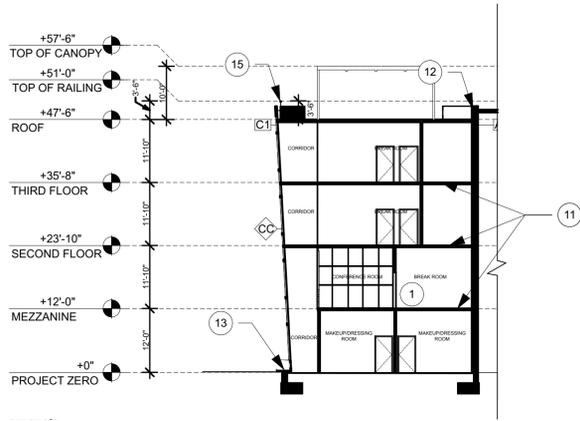
EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Exterior Elevations

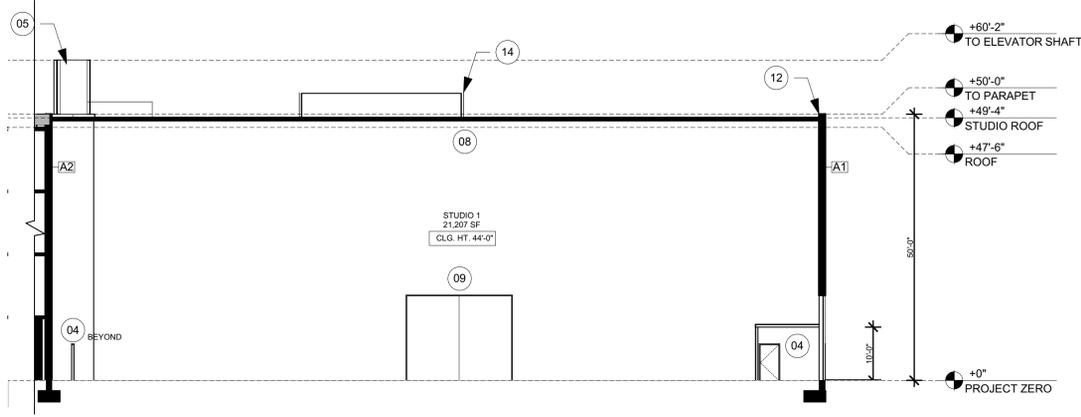
DATE: 8/11/2021
ISSUE: Mallon Picture Studios
DRAWN BY: BM
JOB NO.: 2019A
SCALE: AS NOTED

Planning Submission

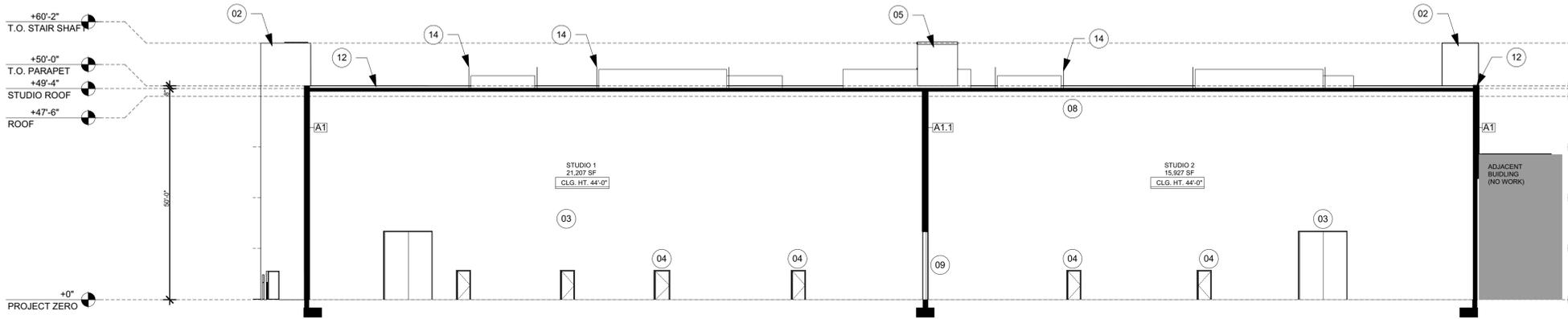
SHEET A310



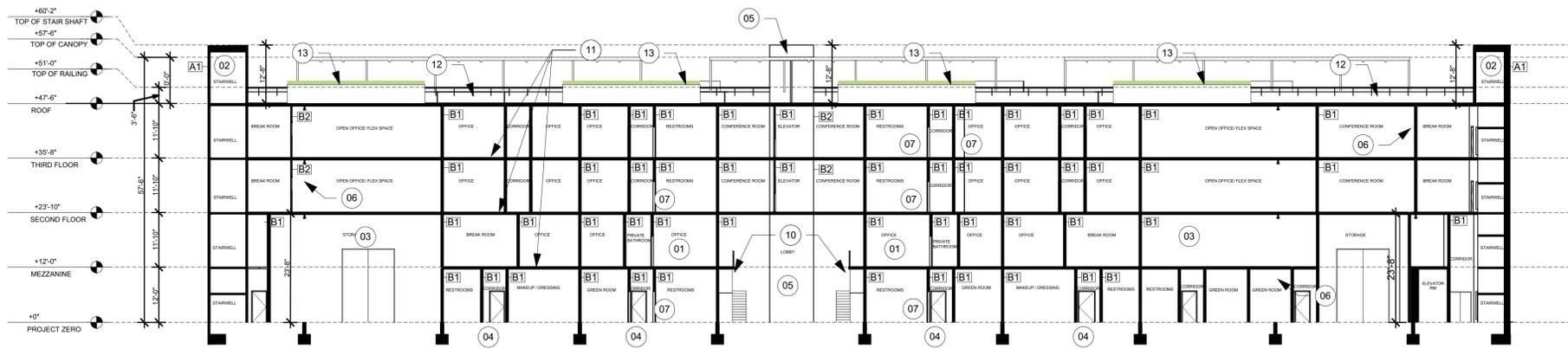
Office Cross Section 4
SCALE: 1/16" = 1'-0"



Studio Cross Section 3
SCALE: 1/16" = 1'-0"



Studio Section 2
SCALE: 1/16" = 1'-0"



Office Section 1
SCALE: 1/16" = 1'-0"

KEYNOTES

- 01 MEZZANINE STRUCTURE AS PER STRUCTURAL DWGS.
- 02 STL AND CONCRETE STAIRS IN A 2 HR RATED ENCLOSURE. PROVIDE MTL FPSC SELF-CLOSING DOORS AT EACH FLOOR
- 03 STC 65 8'x10' DOORS TO STUDIO
- 04 STC 65 SELF CLOSING DOORS TO STUDIOS
- 05 ELEVATOR PROVIDE 4HR SHAFT ENCLOSURE
- 06 4" STL COLUMNS
- 07 ALL INTERIOR DOORS TO BE SOLID CORE WOOD EXCEPT WHERE NOTED (TYP.)
- 08 STRUCTURAL MEMBER SEE STRUCTURAL DWGS.
- 09 PROVIDE ELEPHANT DOORS
- 10 STEEL & CONCRETE OPEN STAIRS W/ MTL RAILING
- 11 EXPOSED CEILING AT GROUND FLOOR, MEZZANINE AND SECOND FLOOR (TYP. EXCEPT BATHROOMS)
- 12 PARAPET AT ROOF
- 13 PLANTERS
- 14 NEW MECHANICAL EQUIPEMENT WITH 5' TALL SCREENS
- 15 SAFETY RAILING ATTACHED TO PARAPET
- 16 10' HIGH WHITE POWDER COATED ALUMINUM CANOPY WITH PERFORATED METAL PANELS

NOTES

SEE WALL AND PARTITION TYPES ON A 210

RELATIVITY ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA. CA 90013 P.310.373.4300



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Building Sections

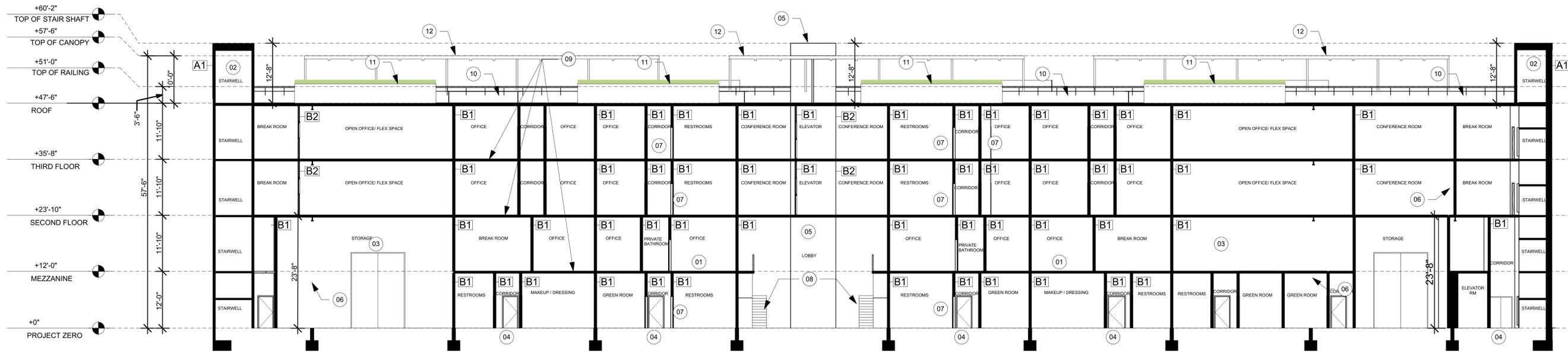
DATE	ISSUE
8/11/2021	Motion Picture Studios

Planning Submission

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

SCHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

SHEET A410



Office Section 1
SCALE: 3/32" = 1'-0"

KEYNOTES

- 01 MEZZANINE STRUCTURE AS PER STRUCTURAL DWGS.
- 02 STL AND CONCRETE STAIRS IN A 2 HR RATED ENCLOSURE. PROVIDE MTL FPSC SELF-CLOSING DOORS AT EACH FLOOR
- 03 STC 65 8'x10' DOORS TO STUDIO
- 04 STC 65 SELF CLOSING DOORS TO STUDIOS
- 05 ELEVATOR PROVIDE 4HR SHAFT ENCLOSURE
- 06 4" STL COLUMNS
- 07 ALL INTERIOR DOORS TO BE SOLID CORE WOOD EXCEPT WHERE NOTED (TYP.)
- 08 STEEL & CONCRETE OPEN STAIRS W/ MTL RAILING
- 09 EXPOSED CEILING AT GROUND FLOOR, MEZZANINE AND SECOND FLOOR (TYP. EXCEPT BATHROOMS)
- 10 30" HT PARAPET W/ MTL. RAILING UP TO 42" HT
- 11 PLANTERS
- 12 10' HIGH WHITE POWDER COATED ALUMINUM CANOPY WITH PERFORATED METAL PANELS

NOTES

SEE WALL AND PARTITION TYPES ON A 210

SCHMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.

Building Sections

DATE	ISSUE
8/11/2021	Malton Picture Studios

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

Planning Submission

EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

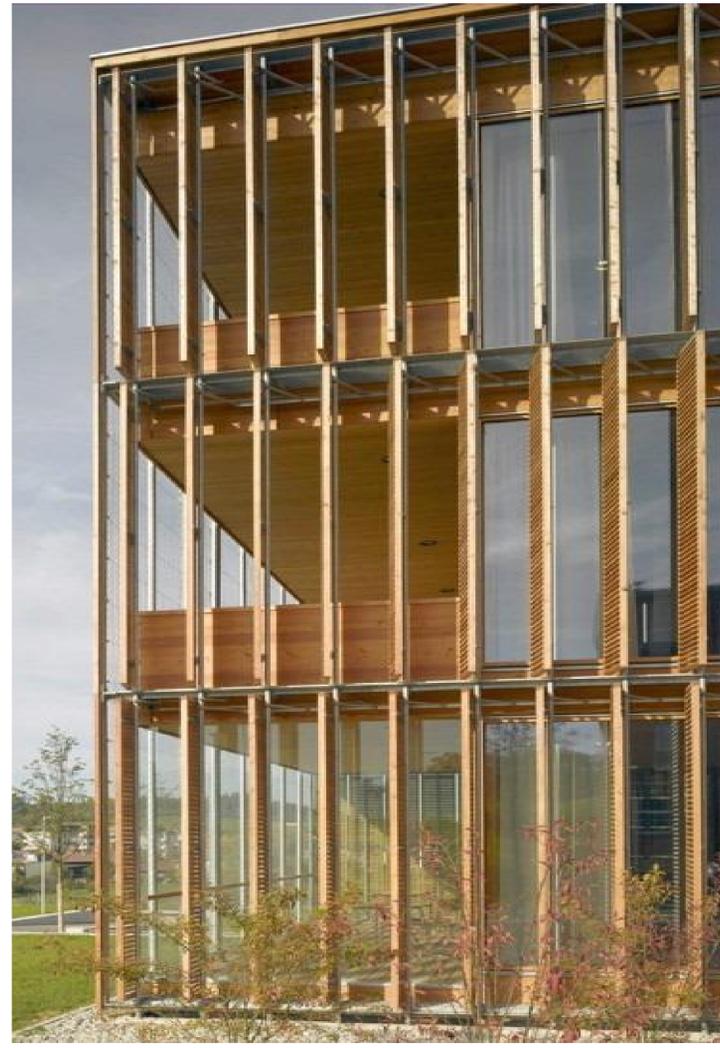


RELATIVITY ARCHITECTS

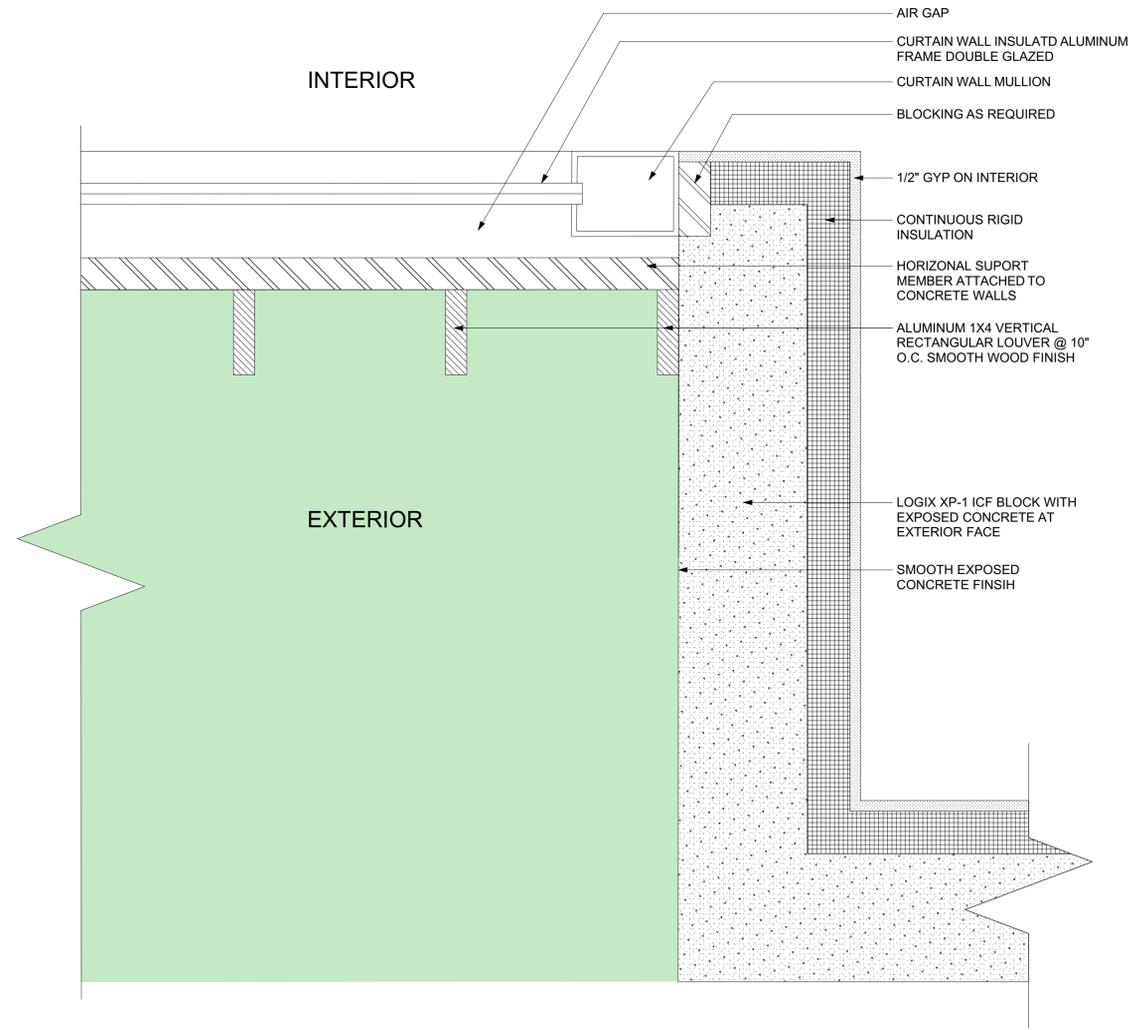
www.relativityarchitects.com
421 COLTON ST., LA. CA 90013
P: 310.373.4300

SHEET
A420

P:\2019A_East End Glendale Studios\Drawings\Working Area\CAD\2_Architectural\Comments\Planning Submission Round 4\20210806_East End Studio_Planning Set.dwg 8/11/2021



ALUMINUM 1X4 LOUVER REFERENCE IMAGES



ALUMINUM 1X4 VERTICAL LOUVER DETAIL 1
SCALE: 3\"/>

SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.

RELATIVITY
ARCHITECTS

www.relativityarchitects.com
421 COLTON ST. LA, CA 90073 P: 310.373.4300



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Exterior Finish Details	
DATE	ISSUE
8/11/2021	1
Motion Picture Studios	
Planning Submission	

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

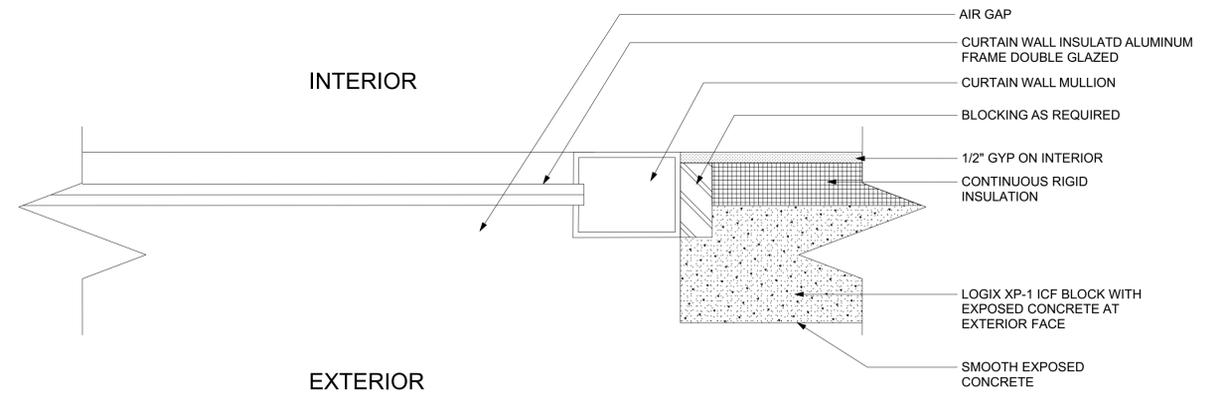
SHEET
A704

P:\2019A_East End Glendale Studios8_Drawing\Working Area\CAD2_Archives\SD for City\Item Comments\Planning Submission Round 4\20210806_East End Studio_Planning Set.dwg 8/11/2021

P:\2019A_East End Glendale Studios8 - Drawings\Working Area\CAD2 - Architect\SD for City\Item Comments\Planning Submission Round 4\20210906_East End Studio_Planning Set.dwg 8/11/2021



CURTAIN WALL REFERENCE IMAGES



CURTAIN WALL DETAIL

SCALE: 3" = 1'-0"

1

SCHEMATIC DESIGN SET FOR REFERENCE ONLY. NOT FOR CONSTRUCTION.

RELATIVITY ARCHITECTS

www.relativityarchitects.com
421 COLTON ST., LA. CA 90073 P. 310.373.4300



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Exterior Finish Details

DATE	ISSUE
8/11/2021	Material Picture Studios

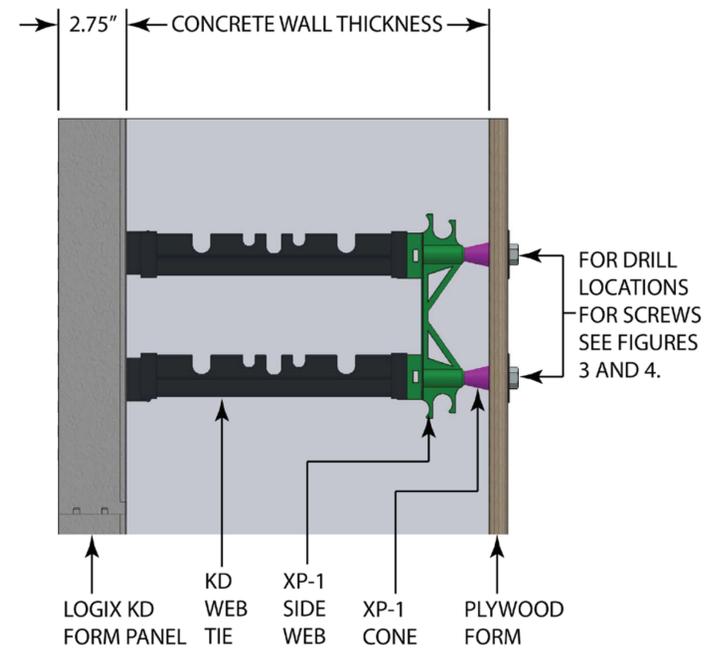
Planning Submission

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

SHEET
A705



ICF SMOOTH CONCRETE FINISH REFERENCE IMAGES



Logix XP-1 ICF BLOCK DETAIL 1
SCALE: 1" = 1'-0"



EAST END STUDIOS
1214, 1216, 1230, 1234 Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

Exterior Finish Details	
DATE	ISSUE
8/11/2021	Material Picture Studios
Planning Submission	

DRAWN BY	BM
JOB NO.	2019A
SCALE	AS NOTED

SCHEMATIC DESIGN SET
FOR REFERENCE ONLY.
NOT FOR
CONSTRUCTION.

SHEET
A706

EAST END STUDIOS

LANDSCAPE PLANS

1214,1216,1230,1234, Maryland Ave &
1221,1229,1233 S GLENDALE AVE
GLENDALE, CA 91205



SHEET INDEX

SHEET	DESCRIPTION
L-0.1	TITLE SHEET
L-1.1	TREE DISPOSITION PLAN
L-2.0	PLANTING NOTES & SCHEDULES
L-2.1	PLANTING ENLARGEMENT A
L-2.2	PLANTING ENLARGEMENT B
L-2.3	PLANTING ENLARGEMENT C
L-2.4	PLANTING ENLARGEMENT D
L-2.5	PLANTING - ROOFTOP ENLARGEMENT E
L-2.6	PLANTING - ROOFTOP ENLARGEMENT F
L-4.1	PLANTING DETAILS
LI-1.0	IRRIGATION NOTES & OVERVIEW
LI-1.1	IRRIGATION PLAN A
LI-1.2	IRRIGATION PLAN B
LI-1.3	IRRIGATION PLAN C
LI-1.4	IRRIGATION PLAN D
LI-1.5	ROOFTOP IRRIGATION PLAN E & SCHEDULES
LI-1.6	ROOFTOP IRRIGATION PLAN F & WELO
LI-2.1	IRRIGATION DETAILS
LI-2.2	IRRIGATION DETAILS
LI-2.3	IRRIGATION DETAILS

PROJECT CONTACTS

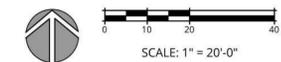
LANDSCAPE ARCHITECT
CJM::LA, INC.
CONTACT: NICOLE HORN
805.698.2120
nicole@cjm-la.com

ARCHITECT
RELATIVITY ARCHITECTS | HC+RA
CONTACT: TIMA BELL
310.573.4300
time@relativityarchitects.com

SITE STATISTICS

TOTAL ONSITE LANDSCAPE AREA: 9,511 SF
GROUND LEVEL: 8,575 SF
ROOF TOP: 936 SF

QUANTITY OF PARKING LOT TREES: 23
PROPOSED PARKING LOT TREES: 18
EXISTING PARKING LOT TREES TO REMAIN: 5



NOT FOR CONSTRUCTION

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SAID MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS. LANDSCAPE ARCHITECT'S MATERIALS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS FOR OTHER PROJECTS WITHOUT THE EXPRESS AUTHORIZATION OF LANDSCAPE ARCHITECT.



TITLE SHEET

EAST END STUDIOS
1214,1216,1230,1234, Maryland Ave &
1221,1229,1233 S Glendale Ave
Glendale, CA 91205

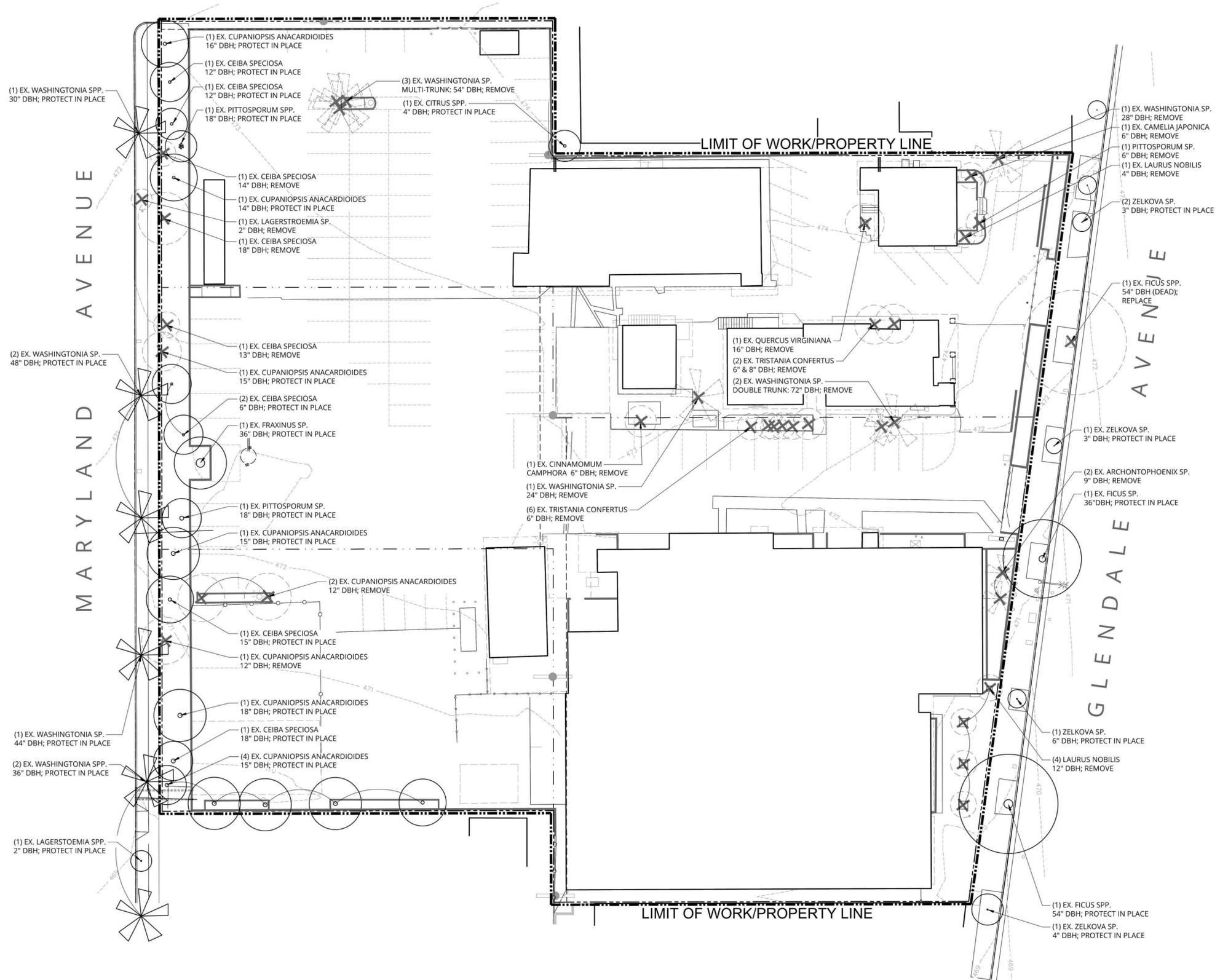


REVISIONS

6/22/21	30% CD
8/9/21	Planning Submittal / 65% CD
8/20/21	Planning Submittal / 65% CD

PROJECT NUMBER	2039
DRAWN BY	NH
DATE DRAWN	05/20/21
SCALE	1"=20'-0"
PRINT DATE	8/20/21

SHEET NUMBER
L-0.1



TREE ASSESSMENT SUMMARY

TOTAL ONSITE EXISTING TREES	51
TOTAL ONSITE TREES TO BE REMOVED:	33
TOTAL ONSITE TREES TO BE PROTECTED IN PLACE:	18
TOTAL OFFSITE EXISTING TREES	18
TOTAL OFFSITE TREES TO BE REMOVED:	1
TOTAL OFFSITE TREES TO BE REPLACED:	1
TOTAL OFFSITE TREES TO BE PROTECTED IN PLACE:	16

THERE ARE NO INDIGENOUS, PROTECTED TREES ON THE SITE OR WITHIN 20' OF THE SITE.

TREE PROTECTION GENERAL NOTES

- EXISTING TREES LOCATED ON SITE SHALL BE PROTECTED TO THE MAXIMUM EXTENT FEASIBLE.
- NO GRADING OR DEVELOPMENT SHALL OCCUR WITHIN THE DRIPLINES OF TREES WHICH OCCUR IN THE CONSTRUCTION AREA. THIS INCLUDES TREE CANOPIES WHICH OVERHANG INTO THE LIMIT OF WORK FROM ADJACENT PROPERTIES.
- ALL TREES WITHIN 25 FEET OF PROPOSED GROUND DISTURBANCES SHALL BE TEMPORARILY FENCED WITH CHAIN-LINK OR OTHER MATERIAL SATISFACTORY TO THE CITY OF SANTA BARBARA THROUGHOUT ALL GRADING AND CONSTRUCTION ACTIVITIES. AT A MINIMUM, THE FENCING SHALL BE INSTALLED SIX FEET OUTSIDE THE DRIPLINE OF EACH TREE WHERE FEASIBLE. THE FENCE SHALL BE STAKED EVERY SIX FEET. FENCING SHOWN ON THIS PLAN SHALL TAKE PRECEDENCE OVER THIS MINIMUM.
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED, STORED, OR OPERATED WITHIN SIX FEET OF TREE DRIPLINES, OR WITHIN THE LIMITS OF THE TREE PROTECTION FENCING.
- NO FILL SOIL, ROCKS, OR CONSTRUCTION MATERIALS SHALL BE STORED OR PLACED WITHIN SIX FEET OF TREE DRIPLINES, OR WITHIN THE LIMITS OF THE TREE PROTECTION FENCING.
- ROOTS ENCOUNTERED THAT ARE ONE INCH IN DIAMETER OR GREATER SHALL BE CLEANLY CUT. THIS SHALL BE DONE UNDER DIRECTION OF THE PROJECT ARBORIST.
- TRENCHING OR OTHER CONSTRUCTION ACTIVITY REQUIRED WITHIN THE DRIPLINE OR SENSITIVE ROOT ZONE OF TREES SHALL BE DONE BY HAND AND UNDER THE SUPERVISION OF THE PROJECT ARBORIST.
- TREES LOCATED WITHIN 25 FEET OF PROPOSED BUILDINGS SHALL BE PROTECTED FROM STUCCO OR PAINT DURING CONSTRUCTION.

NOT FOR CONSTRUCTION

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SAID MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE USE OF SAID MATERIALS. LANDSCAPE ARCHITECT'S MATERIALS, THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS FOR PROJECTS NOT A PART OF THE CONTRACT REQUIRE THE EXPRESS AUTHORIZATION OF LANDSCAPE ARCHITECT.



TREE DISPOSITION PLAN

EAST END STUDIOS
1214,1216,1230,1234, Maryland Ave &
1221,1229,1233 S Glendale Ave
Glendale, CA 91205



REVISIONS

6/22/21	30% CD
8/9/21	Planning Submittal / 65% CD
8/20/21	Planning Submittal / 65% CD

PROJECT NUMBER
2039

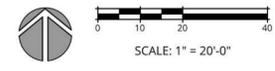
DRAWN BY
NH

DATE DRAWN
05/20/21

SCALE
1"=20'-0"

PRINT DATE
8/20/21

SHEET NUMBER
L-1.1



MWEO CERTIFICATE OF COMPLETION & COMPLIANCE NOTES

A CERTIFICATE OF COMPLETION IN ACCORDANCE WITH MWEO SECTION 492.9 WILL BE SUBMITTED FOR REVIEW/APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO FINAL OCCUPANCY OF THE PROJECT. THE CERTIFICATE OF COMPLETION SHALL CONTAIN, AT A MINIMUM, THE FOLLOWING:

- PROJECT INFORMATION
- CERTIFICATION BY EITHER THE SIGNER OF THE LANDSCAPE DESIGN PLAN, THE SIGNER OF THE IRRIGATION DESIGN PLAN, OR THE LICENSED LANDSCAPE CONTRACTOR THAT THE LANDSCAPE PROJECT HAS BEEN INSTALLED PER THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE
- IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER (SEE MWEO SECTION 492.10)
- LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE (SEE MWEO SECTION 492.11)
- IRRIGATION AUDIT REPORT (SEE MWEO SECTION 492.12)
- SOIL ANALYSIS REPORT

NOTES: WHERE SIGNIFICANT CHANGES HAVE BEEN MADE IN THE FIELD DURING INSTALLATION, AN "AS-BUILT" PLAN SHALL BE INCLUDED WITH THE CERTIFICATION. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA IN MWEO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

SIGNATURE: *Chill*

ADDITIONAL PLANT MATERIAL NOTES

- IN ADDITION TO THE PLANTS INCLUDED ON THE PLANTING PLANS, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING IN HIS/HER BID:
(40) 1-GAL SHRUBS
(10) 15-GAL SHRUBS
- ADDITIONAL PLANTS SHALL BE SPOTTED BY THE LANDSCAPE ARCHITECT IN THE FIELD AS NEEDED.
- CONTRACTOR SHALL CREDIT THE OWNER FOR ANY ADDITIONAL PLANT MATERIAL THAT HAS NOT BEEN USED IN THE INSTALLATION.

SIGHT VISIBILITY NOTES

- EXISTING TREES LOCATED WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL BE PRUNED SO THAT THE LOWEST BRANCH IS A MINIMUM OF 7'-6" ABOVE THE FINISH GRADE.
- NO NEW TREES SHALL BE PLANTED WITHIN THE SIGHT VISIBILITY TRIANGLE.
- SHRUBS AND GROUND COVERS LOCATED WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL BE PRUNED AND MAINTAINED SO THAT THE MAXIMUM HEIGHT DOES NOT EXCEED 2'-0" ABOVE THE FINISH GRADE.

PLANTING GENERAL NOTES

- PLANT MATERIAL SHALL MEET THE HIGHEST QUALITY INDUSTRY STANDARD.
- PLANT MATERIAL SHALL BE SOURCED WITHIN TWO WEEKS OF AWARD OF CONTRACT. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY SOURCING DIFFICULTY.
- CONTRACTOR SHALL VERIFY PLANTING INSTALLATION DATE WITH LANDSCAPE ARCHITECT A MINIMUM OF FOUR (4) WEEKS PRIOR TO INSTALLATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE PLANT MATERIAL DELIVERED TO THE SITE THAT IS SUBSTANDARD. CONTRACTOR SHALL SUPPLY REPLACEMENT PLANT MATERIAL AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL CHALK OUT LOCATIONS OF VINE TIE CONNECTORS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PLACE ALL PLANT MATERIAL IN LOCATIONS AS INDICATED ON THE PLANS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- CONTRACTOR SHALL VERIFY QUANTITY OF PLANTS GRAPHICALLY INDICATED ON THE PLAN. IF DISCREPANCIES BETWEEN QUANTITIES INDICATED ON PLAN AND PLANT SCHEDULE OCCUR, CONSULT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- PLANT MATERIAL SHALL BE PLANTED PER DETAILS AND SPECIFICATIONS. SOIL PREPARATION, WEED REMOVAL AND AMENDMENTS SHALL BE PER THE PLANTING SPECIFICATIONS OR RECOMMENDATIONS OF THE AGRONOMIC SOILS REPORT (AS AVAILABLE).
- CONTRACTOR SHALL PROVIDE AND INSTALL 3" MIN. DEPTH WOOD MULCH OR GRAVEL IN PLANTED AREAS PER SPECIFICATIONS AND AS SHOWN ON THE PLANTING PLANS & DETAILS. CONTRACTOR SHALL PROVIDE WOOD MULCH AND/OR GRAVEL SAMPLES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADES AND FINE GRADING REQUIRED FOR SURFACE DRAINAGE AND UNIFORMITY TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL ADVISE LANDSCAPE ARCHITECT OF DRAINAGE PROBLEMS IMMEDIATELY AND MAKE RECOMMENDATIONS FOR SOLUTION.
- PLANT WARRANTY - SHRUBS: CONTRACTOR SHALL GUARANTEE PLANT MATERIAL 5-GALLON OR SMALLER FOR A PERIOD OF NINETY (90) DAYS FROM DATE OF SUBSTANTIAL COMPLETION DETERMINATION.
- PLANT WARRANTY - TREES & SPECIMENS: CONTRACTOR SHALL GUARANTEE TREES AND SPECIMEN PLANT MATERIAL 15-GALLON AND LARGER FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION DETERMINATION.
- CONTRACTOR SHALL REPLACE DEAD PLANTS AND PLANTS NOT IN VIGOROUS CONDITION, WITHOUT COST TO OWNER, AS DETERMINED BY LANDSCAPE ARCHITECT AT THE END OF THE WARRANTY PERIOD.

SOIL AMENDMENT NOTES

THE FOLLOWING NOTES ARE FOR BIDDING PURPOSES ONLY:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN AGRONOMIC SOILS REPORT PER THE PLANTING SPECIFICATIONS, AND SHALL FOLLOW THE SOIL AMENDMENT AND BACKFILL RECOMMENDATIONS PER THE REPORT.
- QUANTITIES AND MATERIALS RECOMMENDED IN THE SOILS REPORT SHALL SUPERCEDE THE FOLLOWING REQUIREMENTS AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- PRE-PLANTING SOIL PREPARATION: CULTIVATE TO A DEPTH OF 12" WITH THE FOLLOWING AMENDMENTS PER 1,000 SQUARE FEET:
4 CY N-FORTIFIED REDWOOD SHAVINGS
60 LBS GROW POWER PLUS
1-1/2 LBS TRI-C ENDO 120
- CONTRACTOR SHALL PROVIDE BACKFILL MIX PER THE PLANTING SPECIFICATIONS FOR TREES AND SHRUBS, NATIVE PLANTS, PLANTER POTS AND PLANTERS ON-STRUCTURE.

CONSTRUCTION GENERAL NOTES

- CONSTRUCTION SHALL CONFORM TO ALL LOCAL CITY, COUNTY, STATE AND INTERNATIONAL CODES.
- CONTRACTOR SHALL NOT MAKE FIELD CHANGES UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM TO THE PLANS, AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY FIELD CHANGES ARE NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UNDERGROUND UTILITIES AND SHALL REPLACE OR REPAIR SAME AS REQUIRED AT HIS EXPENSE.
- CONTRACTOR SHALL COORDINATE ELECTRICAL AND IRRIGATION CONDUIT SLEEVES PRIOR TO INSTALLATION OF NEW PAVEMENT.
- CONTRACTOR TO REVIEW SITE FOR PROPER DRAINAGE AND REPORT APPARENT PROBLEMS TO LANDSCAPE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL MATERIALS, COLORS AND FINISHES WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN SAMPLES OF ALL CONCRETE COLOR & FINISHES, TILE, BRICK, PAVERS, ETC. FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO ORDERING.
- LANDSCAPE ARCHITECT SHALL REVIEW ALL FORMING AND SCORE LINE "SNAP LINES" BEFORE CONCRETE IS POURED OR CUT. ALLOW 24 HRS. LEAD TIME.
- CONTRACTOR SHALL STAKE LOCATIONS FOR LAWN HEADERS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN TREE BOX SIZE AND HARDSCAPE. FIELD CHANGES SHALL BE MADE EXPRESSLY BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL PROTECT TREE ROOTS AND TRUNKS FROM COMPACTION AND DAMAGE DURING CONSTRUCTION. TRENCHING ADJACENT TO EXISTING TREE DRIP LINES SHALL BE DONE BY HAND TO AVOID ROOT DAMAGE.
- ALL SCORE JOINTS, SAW CUTS AND EXPANSION JOINTS SHALL BE INSTALLED AS SHOWN ON THE PLANS.
- PAVING SUB-BASE AND REINFORCEMENT SHALL BE PER THE CIVIL DRAWINGS, STRUCTURAL DETAILS, OR GEOTECHNICAL SOILS REPORT.
- REFER TO THE CIVIL ENGINEER'S PLANS FOR DRAIN LOCATIONS AND DETAILS.
- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO FACE FINISH OF STRUCTURE.

CONSTRUCTION LEGEND

- A.C. Asphaltic Concrete
- B.C.R. Beginning Curve Radius
- B.O.C. Back of Curb
- C.J. Cold Joint
- C.L. Center Line
- CL.R. Clear/Clearance
- CONC. Concrete
- CONT. Continuous
- DIA. Diameter
- D.G. Decomposed Granite
- EA. Each
- E.C.R. End Curve Radius
- EJ. Expansion Joint
- EQ. Equal
- EX. Existing
- F.O.B. Face of Building
- F.O.W. Face of Wall
- F.O.C. Face of Curb
- FG. Finish Grade
- FS. Finish Surface
- EX. Footing
- GALV. Galvanized
- HDR. Header Board
- L.A. Landscape Architect
- MAX. Maximum
- MIN. Minimum
- MB. Mail Box
- NAT. Natural
- N.I.C. Not In Contract
- N.T.S. Not To Scale
- O.C. On Center
- PA. Planting Area
- PIP. Poured In Place
- PL. Property Line
- R. Radius
- RDWD. Redwood
- S.A.D. See Architect's Drawings
- S.A.D. See Civil Engineer's Drawings
- SD. Slot Drain
- S.I.D. See Interior Designer's Drawings
- S.S.D. See Structural Engineer's Drawings
- SHT. Sheet
- SL. Score Line
- SQ. Square
- S4S. Surfaced Four Sides
- STD. Standard
- TF. Top of footing
- TW. Top of wall
- TRANS. Transformer
- TYP. Typical
- VIF. Verify In Field
- W.I. Wrought Iron

DIMENSION LEGEND

- Point of reference
- ⊙ Radius = 2'-0"
- ⊙ Radius = 2'-6"
- ⊙ Radius = 3'-0"
- ⊙ Radius = 4'-0"
- ⊙ Radius = 5'-0"
- ⊙ Radius = 6'-0"
- ⊙ Radius = 18"

PLANT SCHEDULE: ALL SHEETS

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	QTY
	CAL CHE	CALODENDRUM CAPENSE	CAPE CHESTNUT [MARYLAND STREET TREE]	24"BOX	MEDIUM	6
	DRA DRA	DRACAENA DRACO SINGLE	DRAGON TREE	24"BOX	VERY LOW	8
	GEI PAR	GEJERA PARVIFLORA STD.	AUSTRALIAN WILLOW	36"BOX	LOW	13
	LAU XSA	LAURUS X 'SARATOGA' L.B.	SARATOGA HYBRID LAUREL	24"BOX	LOW	5
	CHI MOR	X CHITALPA TASHKENTENSIS 'MORNING CLOUD' STD.	MORNING CLOUD CHITALPA	24"BOX	LOW	1
	ZEL SER	ZELKOVA SERRATA	SAWLEAF ZELKOVA [GLENDALE STREET TREE]	24"BOX	MEDIUM	1
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY
	CAR FAN	CARISSA MACROCARPA 'FANCY'	FANCY NATAL PLUM	5 GAL	LOW	61
	CHO TEC	CHONDROPETALUM TECTORUM	CAPE RUSH	2 GAL	LOW	102
	DIE HYB	DIETES X 'ORANGE DROP'	ORANGE DROP FORTNIGHT LILY	5 GAL	LOW	85
	KAL BEH	KALANCHOE BEHARENSIS	FELT PLANT	5 GAL	LOW	33
	OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE' TM	LITTLE OLLIE OLIVE	15 GAL	LOW	58
	PIT SIZ	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'	SILVER SHEEN TAWHIWHI	15 GAL	MEDIUM	56
	WES BLU	WESTRINGIA FRUTICOSA 'BLUE GEM'	COAST ROSEMARY	5 GAL	LOW	74
SUCCULENTS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY
	AGA NOV	AGAVE ATTENUATA 'NOVA'	NOVA FOXTAIL AGAVE	15 GAL	VERY LOW	13
	AGA AGA	AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED AGAVE	5 GAL	VERY LOW	43
	ALO YEL	ALOE MACULATA 'YELLOW FORM'	YELLOW FLOWERED SOAP ALOE	5 GAL	LOW	65
	HES YE2	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL	LOW	84
	SEN CYL	SENECIO CYLINDRICUS	NARROW-LEAF CHALKSTICKS	1 GAL	LOW	105
VINE/ESPALIER	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY
	FIC MIN	FICUS PUMILA MINIMA	CREEPING FIG	5 GAL	LOW	5
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	QTY
	LOM BBY	LOMANDRA X BABY BREEZE ['LM600'] PP28	BABY BREEZE MAT RUSH	1 GAL	LOW	75
	MYO FI2	MYOPORUM PARVIFOLIUM 'FINE LEAF FORM'	TRAILING MYOPORUM	6" POT	LOW	66
	SEN SER	SENECIO SERPENS	BLUE CHALKSTICKS	FLAT	LOW	17

PLANT SCHEDULE NOTES

- ALL TREES & SPECIMEN PLANTS 15-GAL AND LARGER ARE TO BE SELECTED AND TAGGED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM FOUR (4) WEEKS IN ADVANCE OF PLANTING TIME.
- ABOVE-GRADE UTILITIES SHALL BE SCREENED TO THE MAXIMUM EXTENT FEASIBLE.
- PLANTS LISTED AS 'ALERT' STATUS BY THE CALIFORNIA INVASIVE PLANT COUNCIL (CAL-IPC) SHALL NOT BE USED FOR LANDSCAPING, REFER TO INVENTORY AT: WWW.CAL-IPC.ORG/PLANTS/INVENTORY

DEFINITIONS

- B.T.H. BROWN TRUNK HEIGHT
 - L.B. LOW BRANCHED
 - NTRL. NATURAL HABIT, FIELD-GROWN
 - MULTI. MULTI-BRANCHED
 - STD. STANDARD FORM
 - OR EQ. CONTRACTOR TO LOCATE VARIETY LISTED OR EQUIVALENT VARIETY WITHIN SAME SPECIES WITH SIMILAR MATURE SIZE, GROWTH HABIT, COLOR OF FOLIAGE AND FLOWERS.
- CATEGORIES OF WATER USE ARE DEFINED BY WUCOLS IV, WATER USE CLASSIFICATION OF LANDSCAPE SPECIES. COSTELLO & JONES, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, 4TH EDITION, 2014. AND AS AMENDED IN THE CITY OF SANTA BARBARA ADDENDUM TO THE WUCOLS PLANT LIST, 2019.

WATER USE

ROOT BARRIER NOTES

- FOR ALL TREES PLANTED WITHIN 5'-0" OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, UTILITY LINE/CONDUIT OR LIGHT FIXTURE, THE CONTRACTOR SHALL INSTALL AN 8'-0" LENGTH OF 24" DEEP ROOT BARRIER. REFER TO PLANTING DETAILS.
- NO ROOT BARRIER SHALL ENCIRCLE THE ROOTBALL.

PLANT SUBSTITUTIONS & PRICING NOTES

- SUBSTITUTIONS SHALL NOT BE ALLOWED WITHOUT PRIOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
- ANY MATERIAL ORDERED WITHOUT AUTHORIZATION BY THE LANDSCAPE ARCHITECT SHALL BE CORRECTED TO CONFORM WITH THE FINAL (PERMITTED) PLANTING PLANS AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL BASE BIDS AND PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND OR QUANTITY OF WORK INDICATED.

VINE TIE NOTES

- REFER TO PLANTING DETAILS FOR INSTRUCTIONS ON HOW TO ATTACH VINES TO STRUCTURES, WALLS, FENCES, ETC.
- SELF-CLINGING VINES DO NOT REQUIRE SUPPORT.

NOT FOR CONSTRUCTION



PLANTING NOTES & SCHEDULE

EAST END STUDIOS
1214,1216,1230,1234, Maryland Ave &
1221,1229,1233 S Glendale Ave
Glendale, CA 91205



REVISIONS

6/22/21	30% CD
8/9/21	Planning Submittal / 65% CD
8/20/21	Planning Submittal / 65% CD

PROJECT NUMBER

2039

DRAWN BY

NH

DATE DRAWN

05/20/21

SCALE

N/A

PRINT DATE

8/20/21

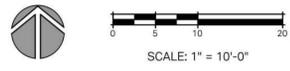
SHEET NUMBER
L-2.0

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE USE OF THE MATERIALS. THE LANDSCAPE ARCHITECT'S DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS REQUIRE THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

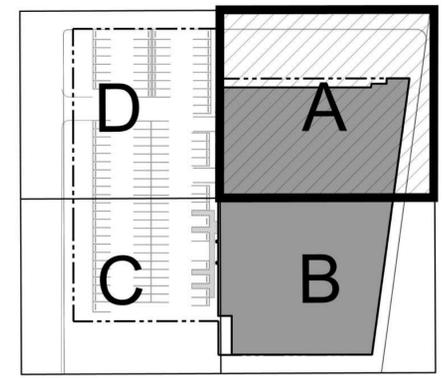


PLANT SCHEDULE A			
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	ZEL SER	1	ZELKOVA SERRATA SAWLEAF ZELKOVA [GLENDALE STREET TREE]
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	WES BLU	39	WESTRINGIA FRUTICOSA 'BLUE GEM' COAST ROSEMARY
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	LOM BBY	50	LOMANDRA X BABY BREEZE ['LM600'] PP28 BABY BREEZE MAT RUSH

ENLARGEMENT A



NOTE:
SEE SHEET L-2.0 FOR COMPLETE
PLANTING NOTES & SCHEDULE



NOT FOR CONSTRUCTION

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT. MATERIALS, THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. RE-USE OF THE DOCUMENTS FOR PROJECTS NOT A PART OF THE CONTRACT REQUIRE THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.



**PLANTING
ENLARGEMENT A**

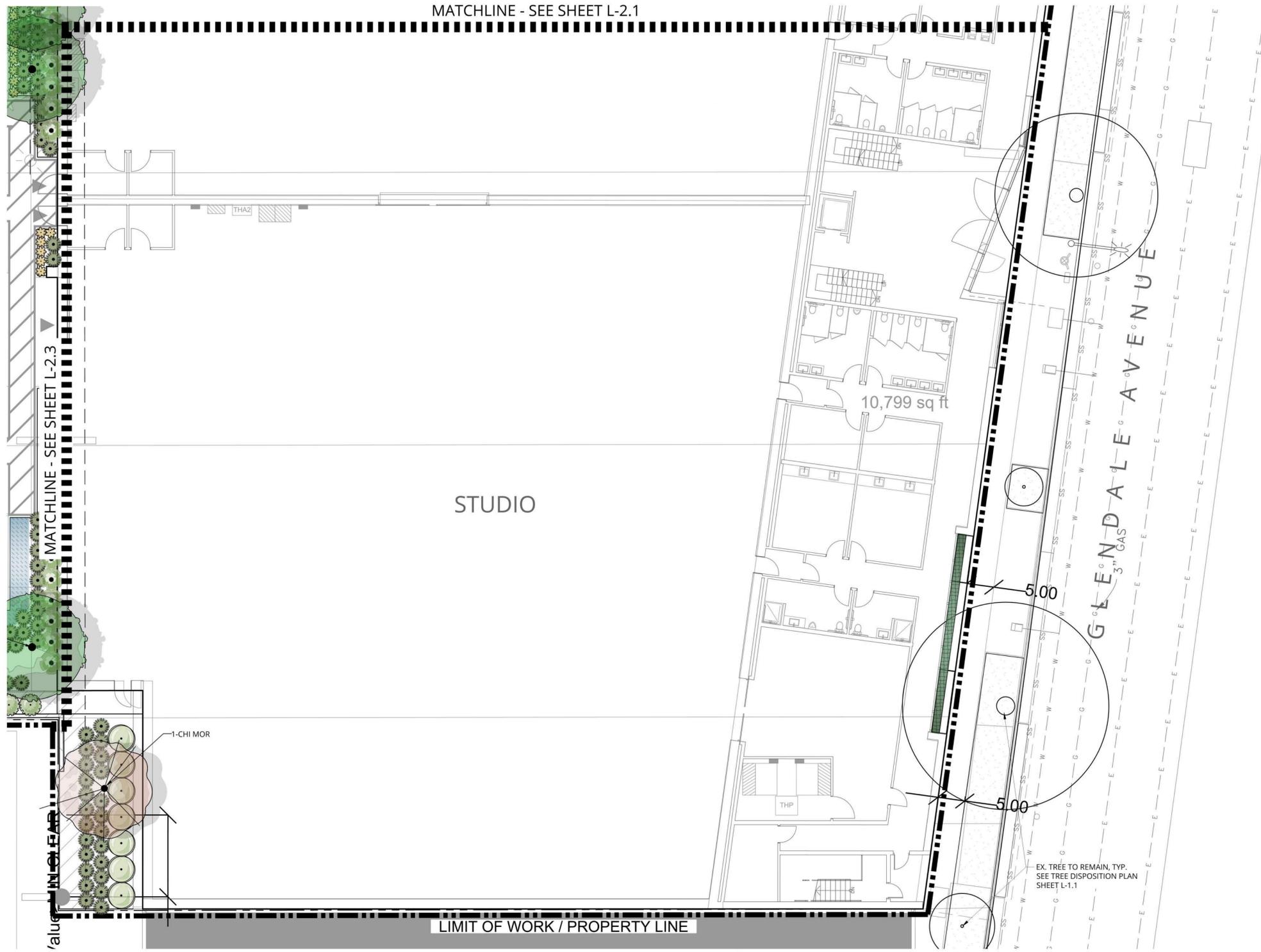
EAST END STUDIOS
1214,1216,1230,1234, Maryland Ave &
1221,1229,1233 S Glendale Ave
Glendale, CA 91205



REVISIONS
6/22/21 30% CD
8/9/21 Planning Submittal / 65% CD
8/20/21 Planning Submittal / 65% CD

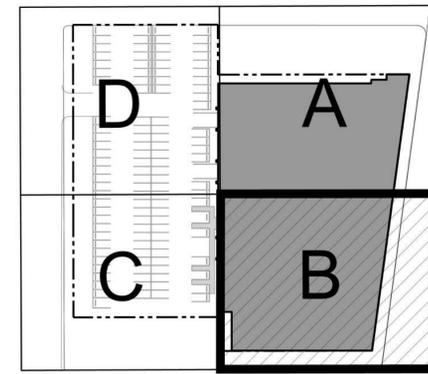
PROJECT NUMBER
2039
DRAWN BY
NH
DATE DRAWN
05/20/21
SCALE
1"=10'-0"
PRINT DATE
8/20/21

SHEET NUMBER
L-2.1



PLANT SCHEDULE B			
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CHI MOR	1	X CHITALPA TASHKENTENSIS 'MORNING CLOUD' STD. MORNING CLOUD CHITALPA
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	CHO TEC	24	CHONDRPETALUM TECTORUM CAPE RUSH
	OLE LIT	7	OLEA EUROPAEA 'LITTLE OLLIE'™ LITTLE OLLIE OLIVE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	LOM BBY	25	LOMANDRA X BABY BREEZE ['LM600'] PP28 BABY BREEZE MAT RUSH

ENLARGEMENT B



KEYMAP - N.T.S.

NOT FOR CONSTRUCTION



PLANTING ENLARGEMENT B

EAST END STUDIOS
 1214,1216,1230,1234, Maryland Ave &
 1221,1229,1233 S Glendale Ave
 Glendale, CA 91205

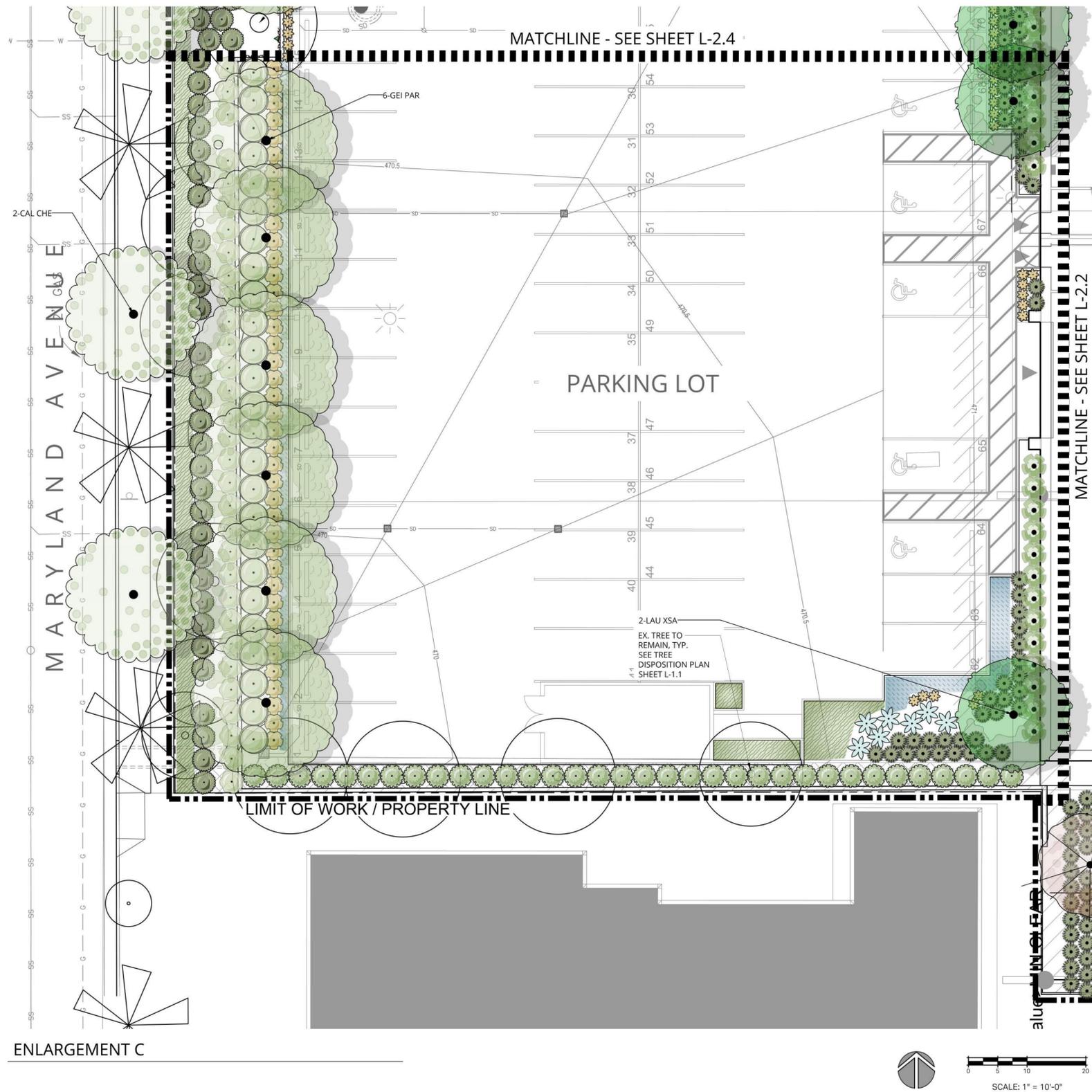


REVISIONS	
6/22/21	30% CD
8/9/21	Planning Submittal / 65% CD
8/20/21	Planning Submittal / 65% CD

PROJECT NUMBER	2039
DRAWN BY	NH
DATE DRAWN	05/20/21
SCALE	1"=10'-0"
PRINT DATE	8/20/21

SHEET NUMBER
L-2.2

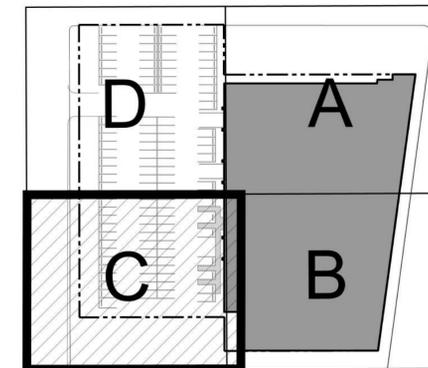
CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, DAMAGES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT. MATERIALS, THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. RE-USE OF THE DOCUMENTS FOR OTHER PROJECTS WITHOUT THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.



ENLARGEMENT C

PLANT SCHEDULE C			
TREES			
	CODE	QTY	BOTANICAL / COMMON NAME
	CAL CHE	2	CALODENDRUM CAPENSE CAPE CHESTNUT [MARYLAND STREET TREE]
	GEI PAR	6	GEIJERA PARVIFLORA STD. AUSTRALIAN WILLOW
	LAU XSA	2	LAURUS X 'SARATOGA' L.B. SARATOGA HYBRID LAUREL
SHRUBS			
	CODE	QTY	BOTANICAL / COMMON NAME
	CAR FAN	29	CARISSA MACROCARPA 'FANCY' FANCY NATAL PLUM
	CHO TEC	44	CHONDROPETALUM TECTORUM CAPE RUSH
	DIE HYB	40	DIETES X 'ORANGE DROP' ORANGE DROP FORTNIGHT LILY
	KAL BEH	18	KALANCHOE BEHARENSIS FELT PLANT
	OLE LIT	25	OLEA EUROPAEA 'LITTLE OLLIE'™ LITTLE OLLIE OLIVE
	PIT SIZ	31	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' SILVER SHEEN TAWHIWI
	WES BLU	34	WESTRINGIA FRUTICOSA 'BLUE GEM' COAST ROSEMARY
SUCCULENTS			
	CODE	QTY	BOTANICAL / COMMON NAME
	AGA NOV	7	AGAVE ATTENUATA 'NOVA' NOVA FOXTAIL AGAVE
	ALO YEL	17	ALOE MACULATA 'YELLOW FORM' YELLOW FLOWERED SOAP ALOE
GROUND COVERS			
	CODE	QTY	BOTANICAL / COMMON NAME
	MYO FIZ	13	MYOPORUM PARVIFOLIUM 'FINE LEAF FORM' TRAILING MYOPORUM
	SEN SER	5	SENECIO SERPENS BLUE CHALKSTICKS

NOTE:
SEE SHEET L-2.0 FOR COMPLETE
PLANTING NOTES & SCHEDULE



NOT FOR CONSTRUCTION

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE CLIENT'S USE OF THE MATERIALS. LANDSCAPE ARCHITECT'S MATERIALS, THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS FOR OTHER PROJECTS WITHOUT THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.



REVISIONS

6/22/21	30% CD
8/9/21	Planning Submittal / 65% CD
8/20/21	Planning Submittal / 65% CD

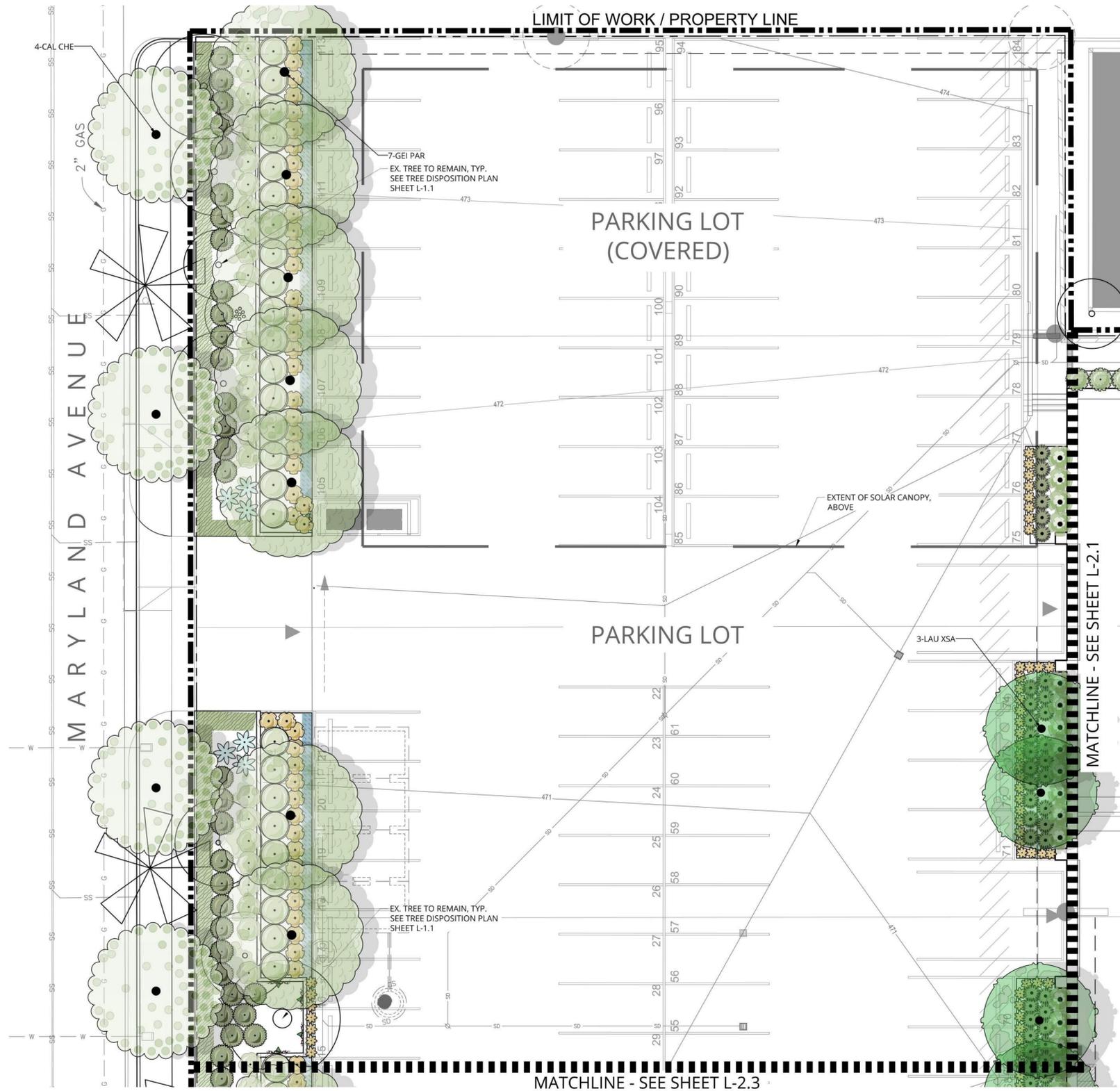
PROJECT NUMBER	2039
DRAWN BY	NH
DATE DRAWN	05/20/21
SCALE	1"=10'-0"
PRINT DATE	8/20/21

SHEET NUMBER
L-2.3



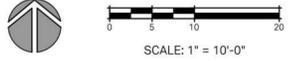
PLANTING
ENLARGEMENT C

EAST END STUDIOS
1214,1216,1230,1234, Maryland Ave &
1221,1229,1233 S Glendale Ave
Glendale, CA 91205

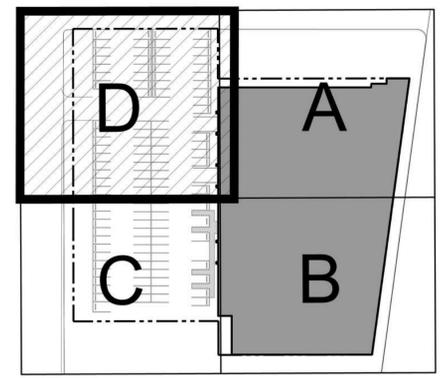


ENLARGEMENT D

PLANT SCHEDULE D			
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CAL CHE	4	CALODENDRUM CAPENSE CAPE CHESTNUT [MARYLAND STREET TREE]
	GEI PAR	7	GEIJERA PARVIFLORA STD. AUSTRALIAN WILLOW
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	LAU XSA	3	LAURUS X 'SARATOGA' L.B. SARATOGA HYBRID LAUREL
	CAR FAN	32	CARISSA MACROCARPA 'FANCY' FANCY NATAL PLUM
SUCCULENTS	CODE	QTY	BOTANICAL / COMMON NAME
	CHO TEC	34	CHONDROPETALUM TECTORUM CAPE RUSH
	DIE HYB	45	DIETES X 'ORANGE DROP' ORANGE DROP FORTNIGHT LILY
	KAL BEH	15	KALANCHOE BEHARENSIS FELT PLANT
	OLE LIT	26	OLEA EUROPAEA 'LITTLE OLLIE' TM LITTLE OLLIE OLIVE
VINE/ESPALIER	CODE	QTY	BOTANICAL / COMMON NAME
	PIT SIZ	25	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' SILVER SHEEN TAWHIWI
	WES BLU	1	WESTRINGIA FRUTICOSA 'BLUE GEM' COAST ROSEMARY
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	AGA NOV	6	AGAVE ATTENUATA 'NOVA' NOVA FOXTAIL AGAVE
VINE/ESPALIER	CODE	QTY	BOTANICAL / COMMON NAME
	ALO YEL	48	ALOE MACULATA 'YELLOW FORM' YELLOW FLOWERED SOAP ALOE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	FIC MIN	5	FICUS PUMILA MINIMA CREEPING FIG
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	MYO FIZ	53	MYOPORUM PARVIFOLIUM 'FINE LEAF FORM' TRAILING MYOPORUM
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	SEN SER	13	SENECIO SERPENS BLUE CHALKSTICKS



NOTE:
SEE SHEET L-2.0 FOR COMPLETE
PLANTING NOTES & SCHEDULE



KEYMAP - N.T.S.

NOT FOR CONSTRUCTION

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT FOR ANY OTHER PROJECT, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, DAMAGES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT. MATERIALS, THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. RE-USE OF THE DOCUMENTS FOR OTHER PROJECTS WITHOUT THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.



PLANTING ENLARGEMENT D

EAST END STUDIOS
1214,1216,1230,1234, Maryland Ave &
1221,1229,1233 S Glendale Ave
Glendale, CA 91205

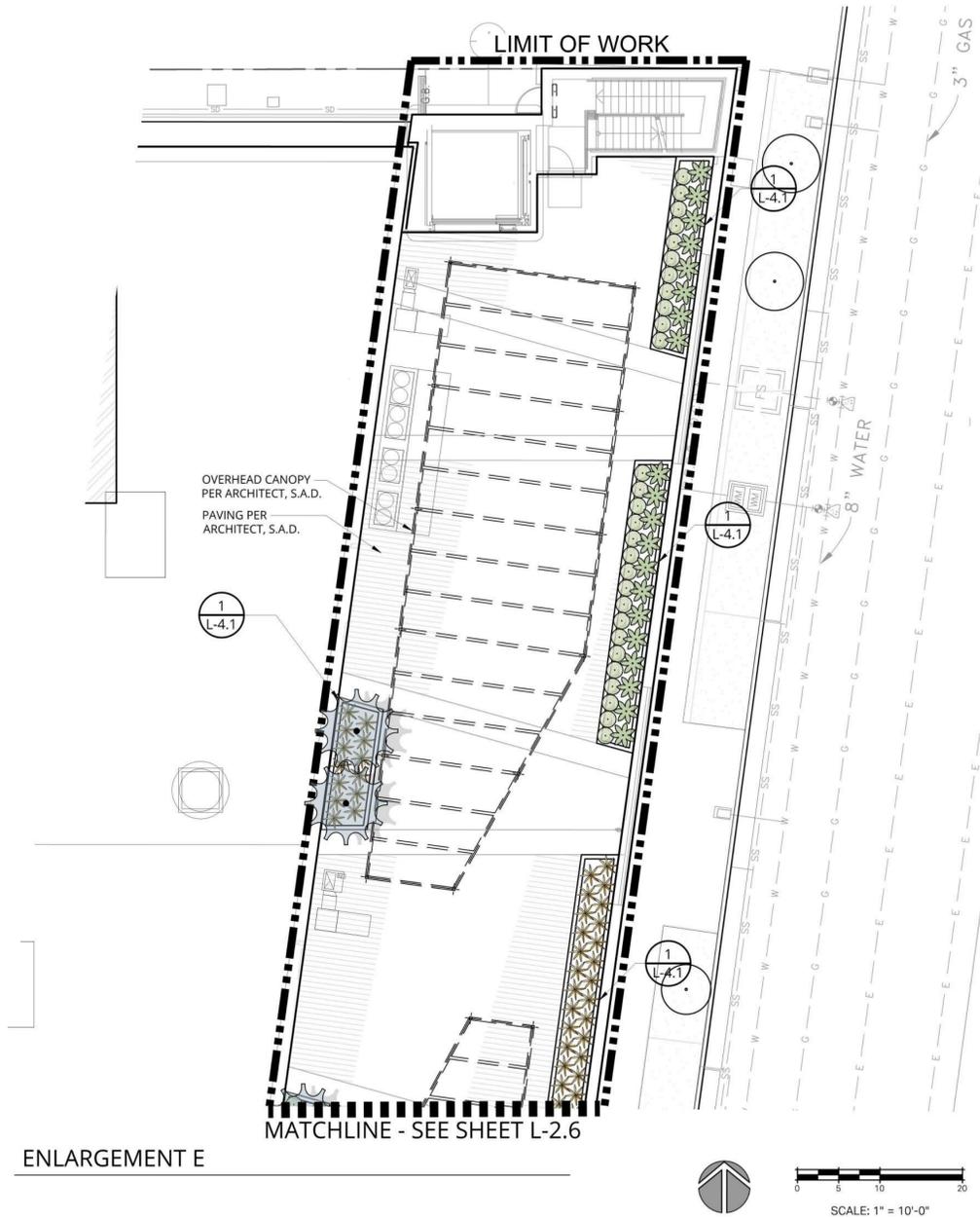


REVISIONS

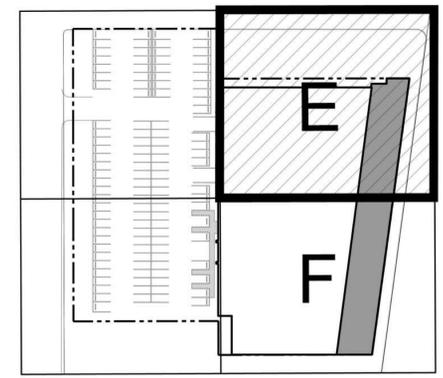
6/22/21	30% CD
8/9/21	Planning Submittal / 65% CD
8/20/21	Planning Submittal / 65% CD

PROJECT NUMBER	2039
DRAWN BY	NH
DATE DRAWN	05/20/21
SCALE	1"=10'-0"
PRINT DATE	8/20/21

SHEET NUMBER
L-2.4



PLANT SCHEDULE E			
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	DRA DRA	2	DRACAENA DRACO SINGLE DRAGON TREE
SUCCULENTS	CODE	QTY	BOTANICAL / COMMON NAME
	AGA AGA	20	AGAVE DESMETTIANA 'VARIEGATA' VARIEGATED AGAVE
	HES YE2	38	HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA
	SEN CYL	28	SENECIO CYLINDRICUS NARROW-LEAF CHALKSTICKS



NOTE:
SEE SHEET L-2.0 FOR COMPLETE
PLANTING NOTES & SCHEDULE

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT'S MATERIALS, THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. RE-USE OF THE DOCUMENTS FOR PROJECTS NOT A PART OF THE CONTRACT REQUIRE THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

NOT FOR CONSTRUCTION



REVISIONS

6/22/21	30% CD
8/9/21	Planning Submittal / 65% CD
8/20/21	Planning Submittal / 65% CD

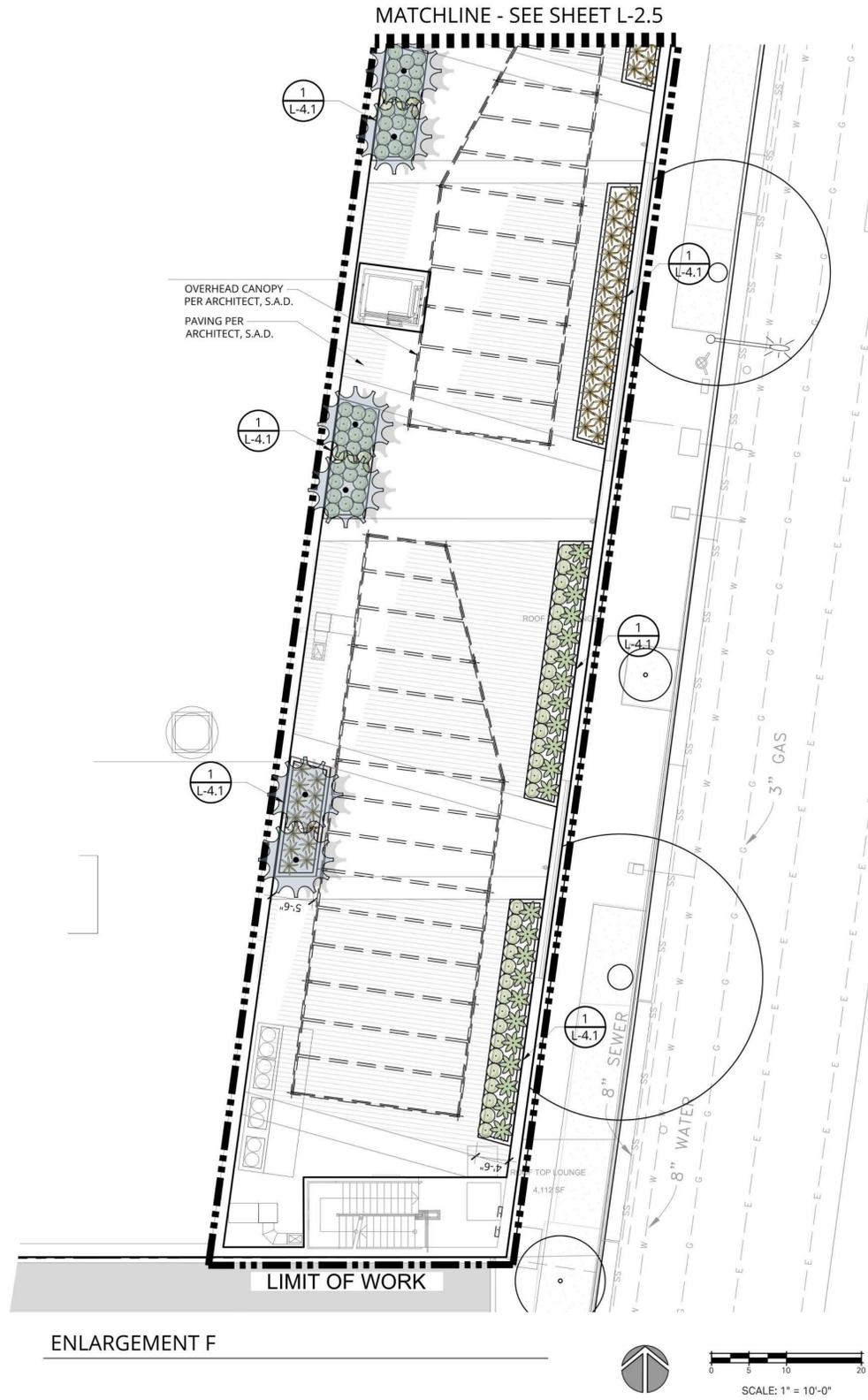
PROJECT NUMBER	2039
DRAWN BY	NH
DATE DRAWN	05/20/21
SCALE	1"=10'-0"
PRINT DATE	8/20/21

SHEET NUMBER
L-2.5

EAST END STUDIOS
 1214,1216,1230,1234, Maryland Ave &
 1221,1229,1233 S Glendale Ave
 Glendale, CA 91205

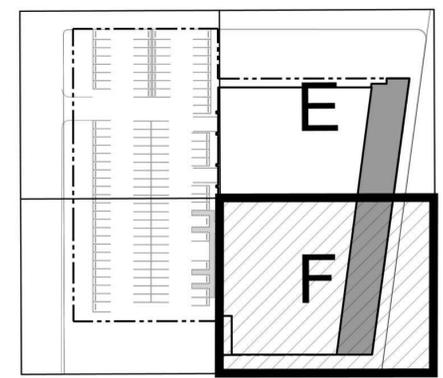
**PLANTING -
 ROOFTOP
 ENLARGEMENT E**





PLANT SCHEDULE F			
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	DRA DRA	6	DRACAENA DRACO SINGLE DRAGON TREE
SUCCULENTS	CODE	QTY	BOTANICAL / COMMON NAME
	AGA AGA	23	AGAVE DESMETTIANA 'VARIEGATA' VARIEGATED AGAVE
	HES YE2	46	HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA
	SEN CYL	77	SENECIO CYLINDRICUS NARROW-LEAF CHALKSTICKS

NOTE:
SEE SHEET L-2.0 FOR COMPLETE
PLANTING NOTES & SCHEDULE



CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT. MATERIALS, THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. RE-USE OF THE DOCUMENTS FOR OTHER PROJECTS WITHOUT THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

NOT FOR CONSTRUCTION



REVISIONS

6/22/21	30% CD
8/9/21	Planning Submittal / 65% CD
8/20/21	Planning Submittal / 65% CD

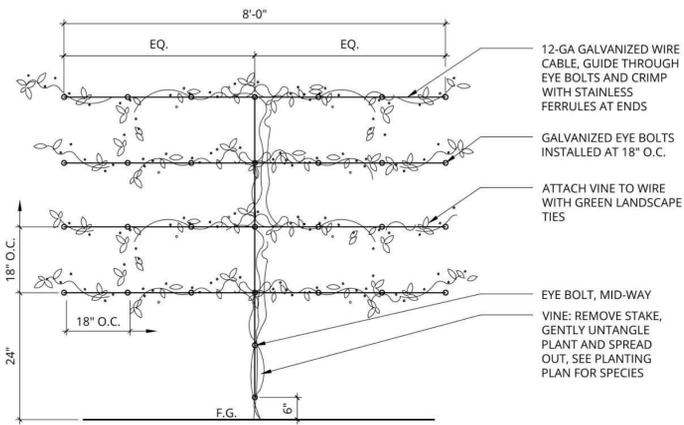
PROJECT NUMBER	2039
DRAWN BY	NH
DATE DRAWN	05/20/21
SCALE	1"=10'-0"
PRINT DATE	8/20/21

SHEET NUMBER
L-2.6

PLANTING -
ROOFTOP
ENLARGEMENT F

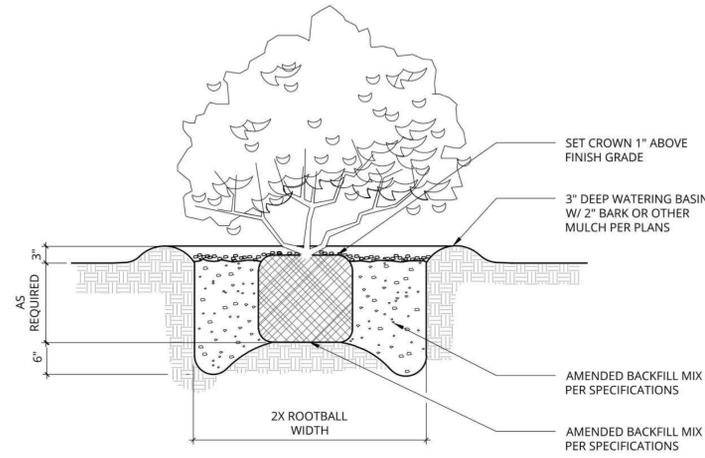
EAST END STUDIOS
1214,1216,1230,1234, Maryland Ave &
1221,1229,1233 S Glendale Ave
Glendale, CA 91205





5 VINE TIE ATTACHMENT
NTS

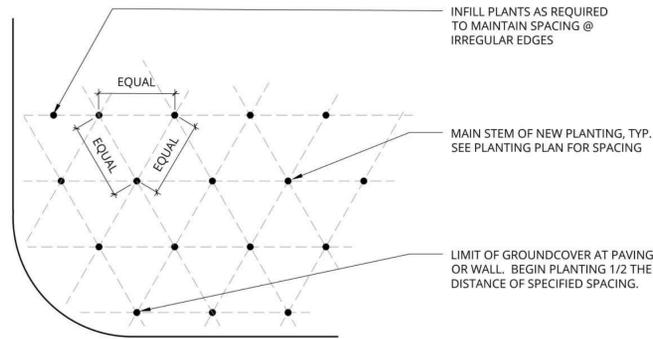
P-2039-PLA-04



2 SHRUB PLANTING
3/4" = 1'-0"

P-2039-PLA-01

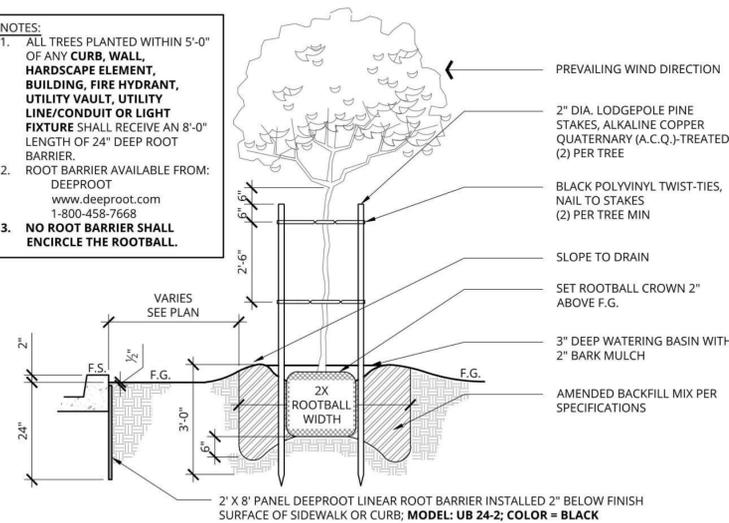
NOTE:
TRIANGULATE PLANTING UNLESS OTHERWISE SPECIFIED ON DRAWINGS



3 SHRUB SPACING
1" = 1"

P-2039-PLA-02

NOTES:
1. ALL TREES PLANTED WITHIN 5'-0" OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, UTILITY LINE/CONDUIT OR LIGHT FIXTURE SHALL RECEIVE AN 8'-0" LENGTH OF 24" DEEP ROOT BARRIER.
2. ROOT BARRIER AVAILABLE FROM: DEEPROOT www.deeproot.com 1-800-458-7668
3. NO ROOT BARRIER SHALL ENCIRCLE THE ROOTBALL.

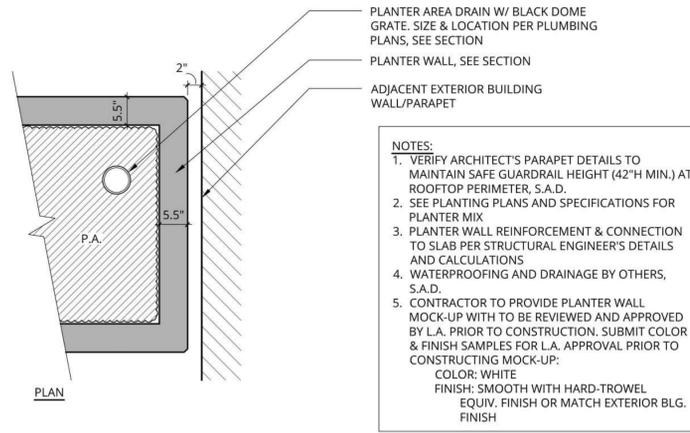


4 TREE PLANTING W/ LINEAR ROOT BARRIER
3/8" = 1'-0"

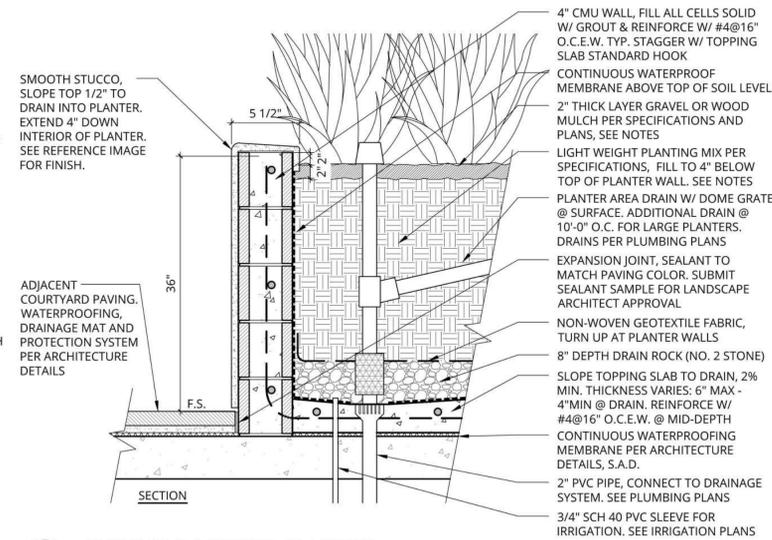
P-2039-PLA-03



PLANTER FINISH REFERENCE IMAGE



NOTES:
1. VERIFY ARCHITECT'S PARAPET DETAILS TO MAINTAIN SAFE GUARDRAIL HEIGHT (42" MIN.) AT ROOFTOP PERIMETER, S.A.D.
2. SEE PLANTING PLANS AND SPECIFICATIONS FOR PLANTER MIX
3. PLANTER WALL REINFORCEMENT & CONNECTION TO SLAB PER STRUCTURAL ENGINEER'S DETAILS AND CALCULATIONS
4. WATERPROOFING AND DRAINAGE BY OTHERS, S.A.D.
5. CONTRACTOR TO PROVIDE PLANTER WALL MOCK-UP WITH TO BE REVIEWED AND APPROVED BY L.A. PRIOR TO CONSTRUCTION. SUBMIT COLOR & FINISH SAMPLES FOR L.A. APPROVAL PRIOR TO CONSTRUCTING MOCK-UP:
COLOR: WHITE
FINISH: SMOOTH WITH HARD-TROWEL EQUIV. FINISH OR MATCH EXTERIOR BLDG. FINISH



1 BUILT-IN ROOFTOP PLANTER
1" = 1'-0"

P-2039-HAR-04

NOT FOR CONSTRUCTION

PLANTING DETAILS

EAST END STUDIOS
1214, 1216, 1230, 1234, Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

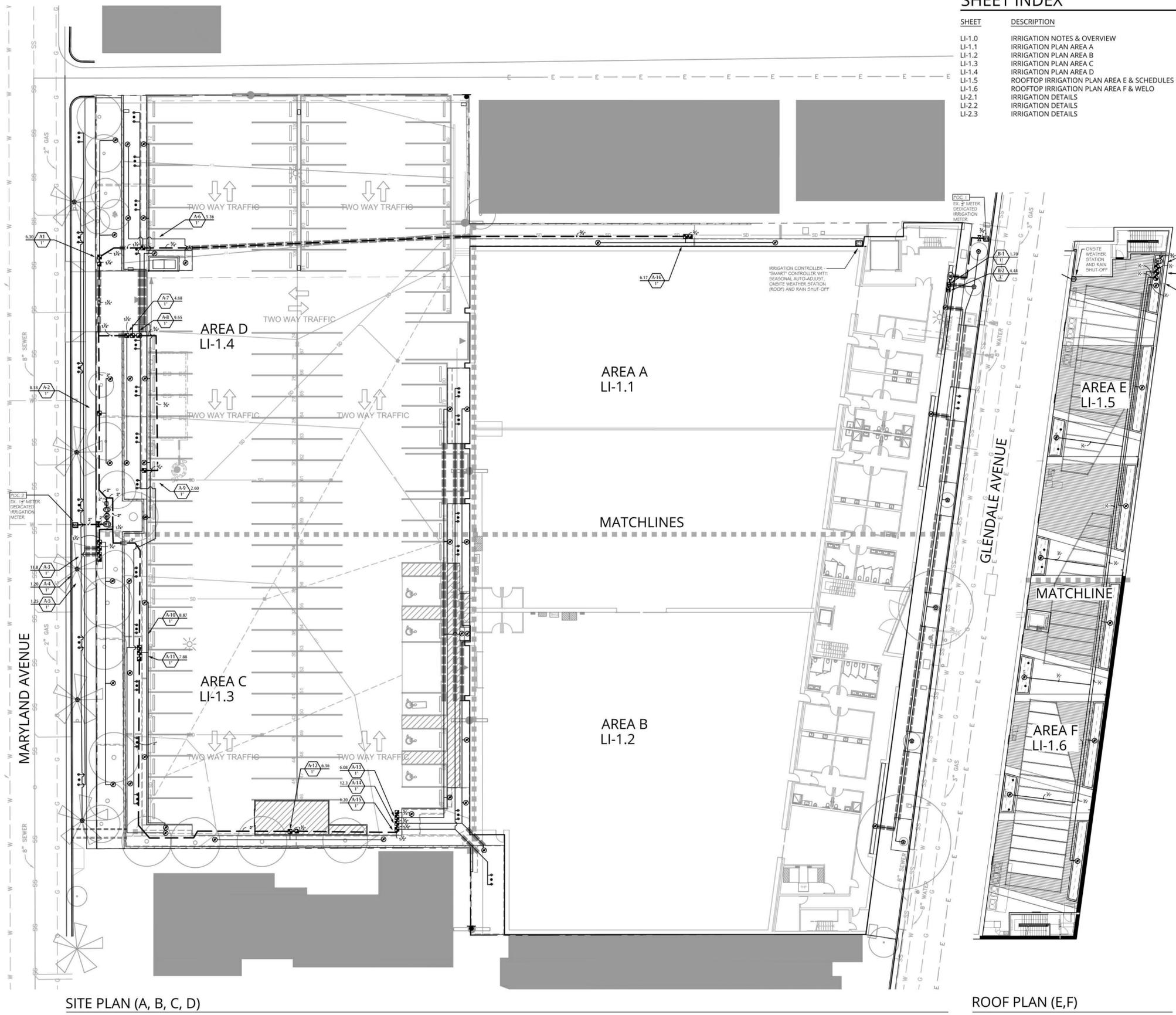


REVISIONS
6/22/21 30% CD
8/9/21 Planning Submittal / 65% CD
8/20/21 Planning Submittal / 65% CD

PROJECT NUMBER	2039
DRAWN BY	NH
DATE DRAWN	05/20/21
SCALE	VARIES
PRINT DATE	8/20/21

SHEET NUMBER
L-4.1

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, DAMAGES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE USE OF THE MATERIALS. LANDSCAPE ARCHITECT'S MATERIALS, THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS FOR OTHER PROJECTS WITHOUT THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

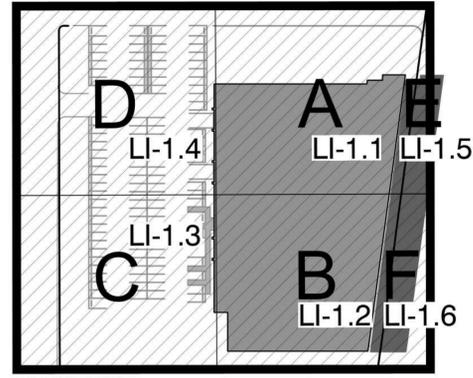


SHEET INDEX

SHEET	DESCRIPTION
LI-1.0	IRRIGATION NOTES & OVERVIEW
LI-1.1	IRRIGATION PLAN AREA A
LI-1.2	IRRIGATION PLAN AREA B
LI-1.3	IRRIGATION PLAN AREA C
LI-1.4	IRRIGATION PLAN AREA D
LI-1.5	ROOFTOP IRRIGATION PLAN AREA E & SCHEDULES
LI-1.6	ROOFTOP IRRIGATION PLAN AREA F & WELD
LI-2.1	IRRIGATION DETAILS
LI-2.2	IRRIGATION DETAILS
LI-2.3	IRRIGATION DETAILS

IRRIGATION NOTES

- SYSTEM DESIGN BASED ON THE FOLLOWING:
 - 110 PSI STATIC PRESSURE ACCORDING TO GLENDALE WATER & POWER.
 - 1 1/2" COPPER SERVICE LINE MARYLAND AVE, 3/4" COPPER SVC GLENDALE AVE.
 - 1 1/2" WATER METER MARYLAND AVE, 3/4" COPPER SVC GLENDALE AVE
 - AVAILABLE GPM = # MARYLAND AVE, # GPM GLENDALE AVE.
 - ROOF SYSTEM: 3/8" CPVC STUB OUT PER MEP, 45 PSI.
- IRRIGATION LINES DIAGRAMMATIC. FIELD CONDITIONS PREVAIL. CONTRACTOR SHALL SURVEY PROPOSED LINE TRENCH LOCATIONS AND SUGGEST ALTERNATE LAYOUT TO ACHIEVE DESIGN INTENT AS FIELD CONDITIONS DICTATE.
- LOCATION OF LINES AND VALVES IS DIAGRAMMATIC ONLY. LOCATE IN PLANTING AREAS WHEREVER POSSIBLE.
- VERIFY DIMENSIONS AND MAKE ADJUSTMENTS IN SYSTEM AS REQUIRED TO PROVIDE COMPLETE HEAD TO HEAD OR DRIP IRRIGATION COVERAGE TO ALL PLANTINGS.
- CONTRACTOR SHALL VERIFY POINT OF CONNECTION WITH OWNER. 2" WATER METER EXISTING ON SITE. TIE INTO EX. 2" POTABLE LINE AFTER METER WITH LINE SIZE BALL VALVE. INSTALL NEW BACKFLOW PREVENTER AFTER IRRIGATION P.O.C. AS SHOWN. REFERENCE CIVIL ENGINEERS PLANS THIS SET.
- REFER TO WRITTEN SPECIFICATIONS ACCOMPANYING THESE PLANS.
- HAND TRENCH UNDER DRIP LINE OF EXISTING TREES. ADJUST LINE LOCATIONS TO AVOID DAMAGING EXISTING TREE ROOTS. DO NOT CUT ROOTS OVER 2" IN DIAMETER.
- ALL PIPE (PRESSURE AND NON-PRESSURE) LINES UNDER PAVING (ASPHALT, CONCRETE, ETC.) SHALL BE INSTALLED IN MINIMUM OF 24" BELOW TOP OF PAVING IN CLASS 160 PVC SLEEVES. CONTROLLER - EXTERIOR WALL MOUNT PER DETAILS. WIRE TO GROUND IN CONDUIT. CONNECT TO ELECTRICAL SOURCE. PROVIDE BATTERIES.
- LOCATE WEATHER STATION PER PLAN. VERIFY LOCATION WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN A CLEAN JOB SITE. SWEEP HARDSCAPE AT THE END OF EACH DAY. DISPOSE OF TRASH IN TRASH CANS - NO LITTERING SHALL OCCUR ON JOB SITE.
- ALL POTS SHALL BE HAND WATERED.
- ALL RISERS SHALL BE SCHEDULE 80 PVC. ALL PIPE FITTINGS SHALL BE SCHEDULE 40 PVC.
- ALL WIRE SHALL BE AWG-UF, DIRECT BURIAL TYPE, MIN 14 GAUGE AWG, AND ALL SPLICES AND CONNECTIONS SHALL BE MADE WITH SCOTCHLOK CONNECTORS OR EQUAL. EACH VALVE ON A CONTROLLER SHALL HAVE A SEPARATE WIRE COLOR. ALL WIRES SHALL BE INSTALLED WITH 24" OF EXCESS WIRE, LOOPED, BUNDLED, AND LABELED.
- CHECK VALVES SHALL BE USED WHERE INDICATED AND WHERE NECESSARY TO PREVENT WATER FLOW FROM DRAINING OUT OF LOWER ELEVATION HEADS WHEN SYSTEM IS TURNED OFF.
- ALL PRESSURE MAINLINES SHALL BE 18 INCHES DEEP, AND ALL LATERALS SHALL BE 12" DEEP. TRENCH SHALL BE FREE OF ANY MATERIAL THAT MAY DAMAGE IRRIGATION EQUIPMENT. IN THE EVENT OF BACKFILL SETTLEMENT, CONTRACTOR SHALL PERFORM REQUIRED REPAIRS AT HIS OWN COST IN PLANTER AREAS. REFERENCE SPECIFICATIONS.
- ALL MAINLINE AND LATERAL LINES UNDER PAVED AREAS SHALL BE BURIED MINIMUM 24" DEEP AND SHALL BE SLEEVED WITH CLASS 160 PVC TWICE THE DIAMETER OF SLEEVED LINES.
- ALL AUTOMATIC VALVES SHALL BE INSTALLED IN PLASTIC VALVE BOXES, ONE VALVE PER BOX, WITH 4" OF PEA GRAVEL BENEATH THE VALVE PER DETAILS. BALL VALVES SHALL BE LOCATED IN ROUND PLASTIC VALVE BOXES PER SPECIFICATIONS & DETAILS.
- EXISTING CONTROLLER IS LOCATED IN UTILITY AREA AS SHOWN. SEE INTERIOR PLANS.
- PRIOR TO BACKFILLING IRRIGATION TRENCHES:
 - ALL MAINLINES IN THE SYSTEM SHALL BE CAPPED AND PRESSURE TESTED AT 125 PSI FOR A PERIOD OF FOUR HOURS. ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING NEW MATERIAL IN ITS PLACE.
 - ALL LATERALS SHALL BE PRESSURE TESTED AT DESIGN PRESSURE FOR ONE HOUR.
 - THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY THE BUILDER/OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL FURNISH TO THE OWNER A COMPLETE 'AS BUILT DRAWING' PER SPECIFICATIONS SHOWING EXACT LOCATIONS OF ALL ITEMS INSTALLED. THESE ARE TO BE DELIVERED ON OR BEFORE FINAL INSPECTION.
- CONTRACTOR SHALL FURNISH A REDUCED AND LAMINATED IRRIGATION PLAN SERVING AS CONTROLLER CHART ALL ITEMS INSTALLED, WITH STATIONS COLOR-CODED, PER SPECIFICATIONS. MOUNT TO INSIDE OF CONTROLLER.
- IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF 90 DAYS PER SPECIFICATIONS.
- CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF 1 YEAR FROM FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR PLUMBING PERMITS AND INSPECTIONS REQUIRED FROM THE BUILDING INSPECTOR FOR INSTALLATION OF THE IRRIGATION SYSTEMS SHOWN ON THIS DRAWING.
- REFER TO WRITTEN SPECIFICATIONS ACCOMPANYING THESE PLANS.



IRRIGATION NOTES & OVERVIEW

IRRIGATION OVERVIEW

NOT FOR CONSTRUCTION

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN GAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SAID MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS. LANDSCAPE ARCHITECT'S ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT. REUSE OF THE DOCUMENTS FOR OTHER PROJECTS WITHOUT THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

CJM::LA
 COURTNEY JANE MILLER
 LANDSCAPE ARCHITECTURE
 Office: 805.698.2120 Email: info@cjm-la.com
 1221 STATE STREET SUITE 206
 SANTA BARBARA CA 93101

TRUE NATURE
 LANDSCAPE ARCHITECTURE
 KIMBERLY TRUE, M.L.A.
 438 W. Quinto Street
 Santa Barbara, CA 93103
 TrueNatureDesign.com
 805-770-2100

IRRIGATION NOTES & OVERVIEW

EAST END STUDIOS
 1214,1216,1230,1234, Maryland Ave &
 1221,1229,1233 S Glendale Ave
 Glendale, CA 91205

REGISTERED LANDSCAPE ARCHITECT
 KIMBERLY J. TRUE
 No. 5596
 RELIANT FOR BIDDING AND CONSTRUCTION
 SIGNATURE
 04/30/2023
 EXP. DATE
 STATE OF CALIFORNIA

REVISIONS

6/22/21	30% CD
8/9/21	Planning Submittal

PROJECT NUMBER
2039

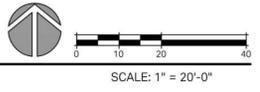
DRAWN BY
KJT

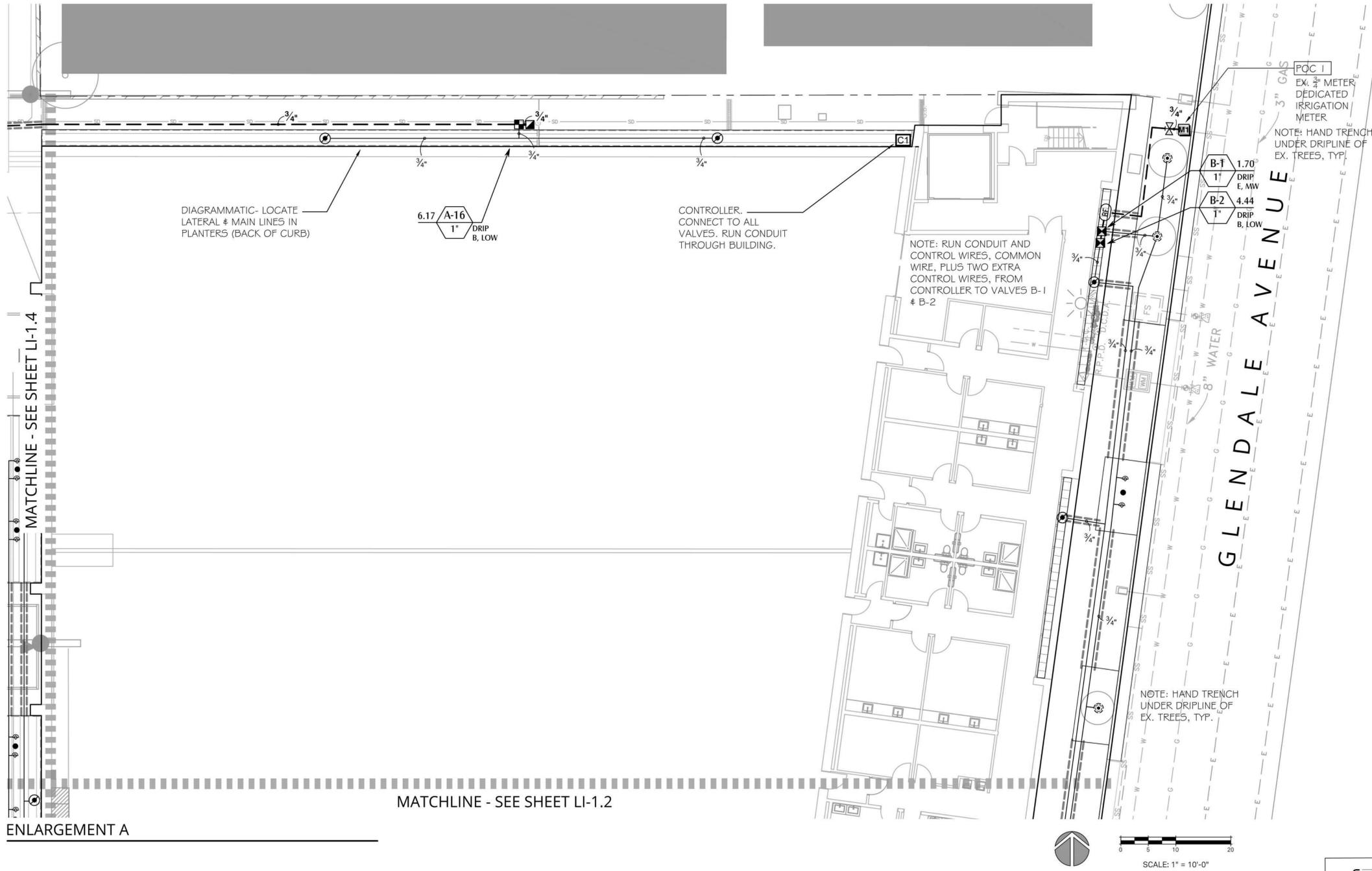
DATE DRAWN
07/22/21

SCALE

PRINT DATE
08/03/2021

SHEET NUMBER
LI-1.0





EQUIPMENT NOTE:
 REFERENCE SHEET LI-1.5 FOR IRRIGATION EQUIPMENT SCHEDULE (ALL PRODUCT SPECS AND QUANTITIES)

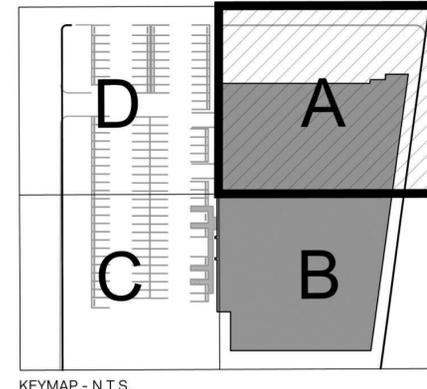
Underground Service Alert

Call: **811**

TWO WORKING DAYS BEFORE YOU DIG

IRRIGATION SLEEVING NOTES:
 INSTALL IRRIGATION SLEEVES FOR ALL IRRIGATION MAINLINE, LATERALS, AND WIRES THAT CROSS ANY VEHICULAR OR PEDESTRIAN PAVED SURFACES ACCORDING TO THE FOLLOWING SCHEDULE, TYP.:

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVES
DRIP TUBING	1-2" SDR 35 PVC
3/4" LATERAL	1-2" SDR 35 PVC
1" LATERAL	1-2" SDR 35 PVC
1 1/2" LATERAL	1-2" SDR 35 PVC
1 1/2" LATERAL	1-4" SDR 35 PVC
2" LATERAL	1-4" SDR 35 PVC
1" PRESSURE SUPPLY LINE	1-2" SDR 35 PVC
1 1/2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2 1/2" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
3" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
1-20 CONTROL WIRES	1-2" SDR 35 PVC
21-40 CONTROL WIRES	2-2" SDR 35 PVC



IRRIGATION PLAN AREA A

NOT FOR CONSTRUCTION
 CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SAID MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE USE OF SAID MATERIALS. THE LANDSCAPE ARCHITECT'S INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT; THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. RE-USE OF THE DOCUMENTS FOR OTHER PROJECTS WITHOUT THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

CJM::LA
 COURTNEY JANE MILLER
 LANDSCAPE ARCHITECTURE
 office 805.698.2120 email INFO@CJM-LA.COM
 1221 STATE STREET SUITE 206
 SANTA BARBARA CA 93101

TRUE NATURE
 LANDSCAPE ARCHITECTURE
 KIMBERLY TRUE, M.L.A.
 438 W. Quinto Street
 Santa Barbara, CA 93103
 TrueNatureDesign.com
 805-770-2100

IRRIGATION PLAN AREA A

EAST END STUDIOS
 1214,1216,1230,1234, Maryland Ave &
 1221,1229,1233 S Glendale Ave
 Glendale, CA 91205

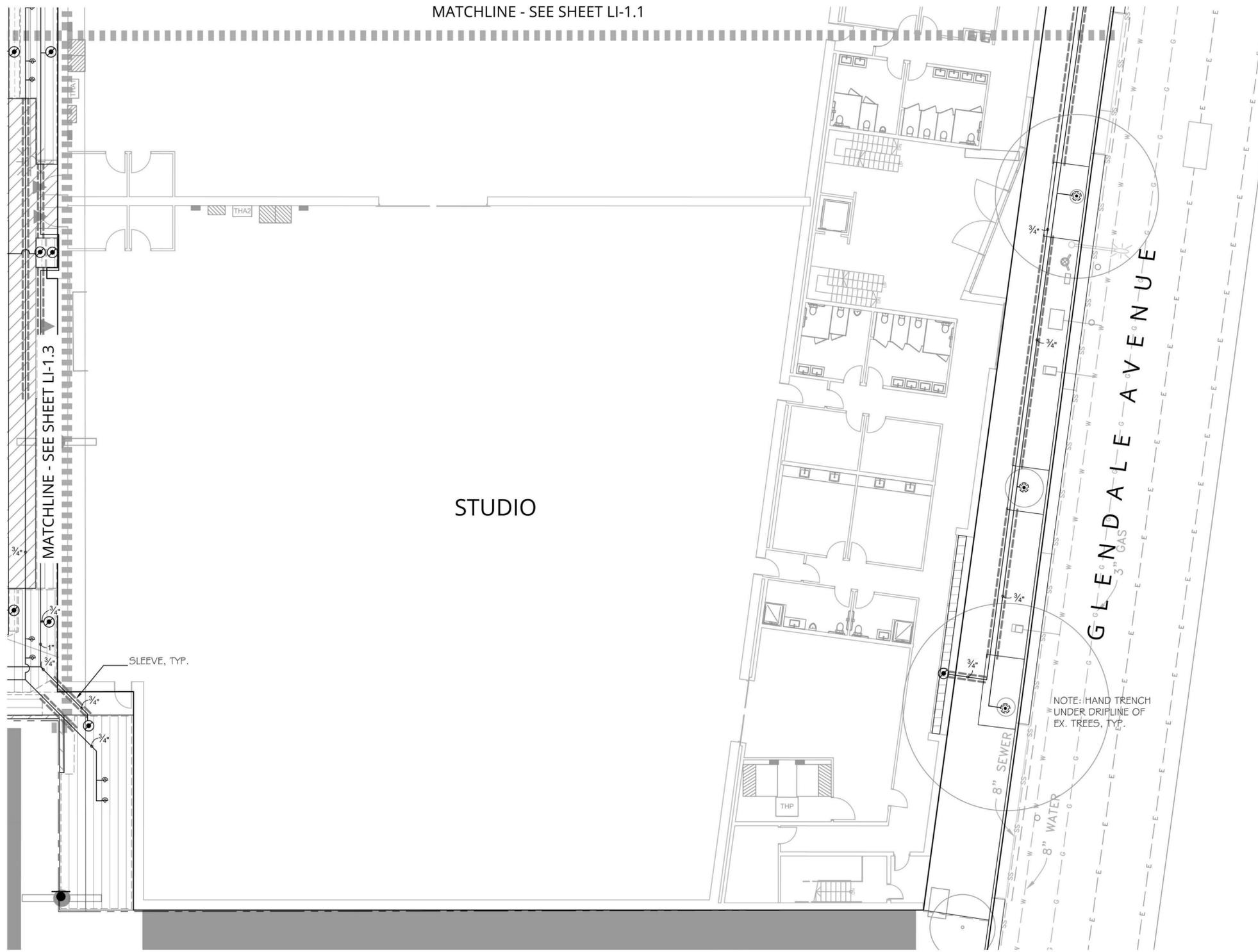
REGISTERED LANDSCAPE ARCHITECT
 KIMBERLY J. TRUE
 No. 5596
 PRELIMINARY FOR BIDDING
 SIGNATURE
 04/30/2023
 EXP. DATE
 STATE OF CALIFORNIA

REVISIONS

6/22/21 30% CD
8/9/21 Planning Submittal

PROJECT NUMBER
2039
 DRAWN BY
KJT
 DATE DRAWN
07/22/21
 SCALE

PRINT DATE
08/03/2021
 SHEET NUMBER
LI-1.1



MATCHLINE - SEE SHEET LI-1.1

MATCHLINE - SEE SHEET LI-1.3

STUDIO

GLENDALE AVENUE

NOTE: HAND TRENCH UNDER DRIPLINE OF EX. TREES, TYP.

ENLARGEMENT B

IRRIGATION SLEEVING NOTES:

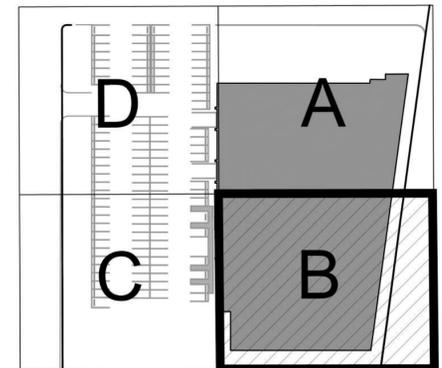
INSTALL IRRIGATION SLEEVES FOR ALL IRRIGATION MAINLINE, LATERALS, AND WIRES THAT CROSS ANY VEHICULAR OR PEDESTRIAN PAVED SURFACES ACCORDING TO THE FOLLOWING SCHEDULE, TYP.:

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVES
DRIP TUBING	1-2" SDR 35 PVC
3/4" LATERAL	1-2" SDR 35 PVC
1" LATERAL	1-2" SDR 35 PVC
1 1/4" LATERAL	1-2" SDR 35 PVC
1 1/2" LATERAL	1-4" SDR 35 PVC
2" LATERAL	1-4" SDR 35 PVC
1" PRESSURE SUPPLY LINE	1-2" SDR 35 PVC
1 1/2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2 1/2" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
3" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
1-20 CONTROL WIRES	1-2" SDR 35 PVC
21-40 CONTROL WIRES	2-2" SDR 35 PVC

EQUIPMENT NOTE:

REFERENCE SHEET LI-1.5 FOR IRRIGATION EQUIPMENT SCHEDULE (ALL PRODUCT SPECS AND QUANTITIES)

Underground Service Alert
 Call: **811**
 TWO WORKING DAYS BEFORE YOU DIG



KEYMAP - N.T.S.

IRRIGATION PLAN AREA B

NOT FOR CONSTRUCTION
 CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

CJM::LA
 COURTNEY JANE MILLER
 LANDSCAPE ARCHITECTURE
 Office: 805.698.2120 Email: INFO@CJM-LA.COM
 1221 STATE STREET SUITE 206
 SANTA BARBARA CA 93101

TRUE NATURE
 LANDSCAPE ARCHITECTURE
 KIMBERLY TRUE, M.L.A.
 438 W. Quinto Street
 Santa Barbara, CA 93103
 TrueNatureDesign.com
 805-770-2100

IRRIGATION PLAN AREA B

EAST END STUDIOS
 1214,1216,1230,1234, Maryland Ave &
 1221,1229,1233 S Glendale Ave
 Glendale, CA 91205

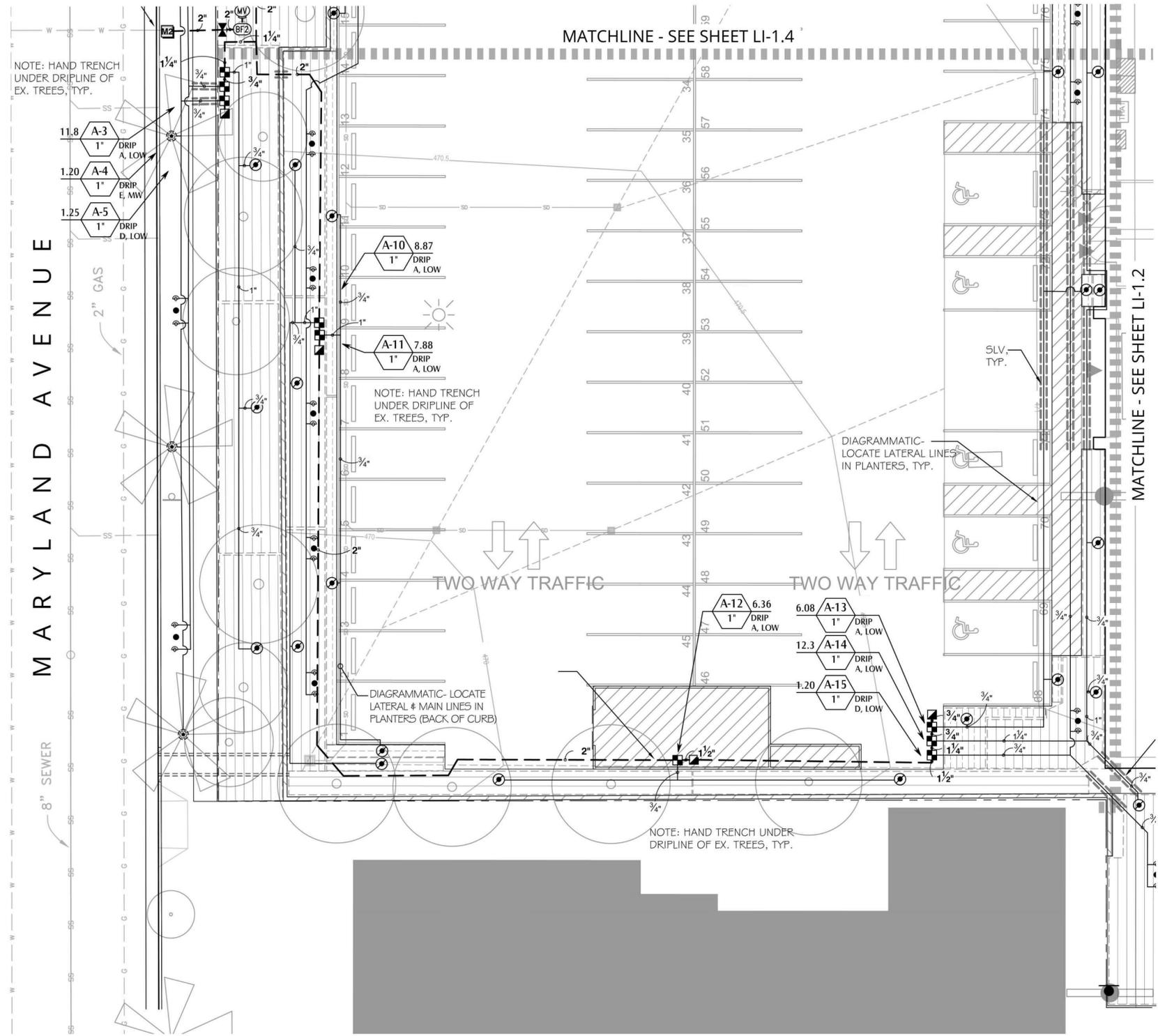
REGISTERED LANDSCAPE ARCHITECT
 KIMBERLY J. TRUE
 No. 5596
 RELINQUISHING FOR BIDDING
 SIGNATURE
 04/30/2023
 EXP. DATE
 STATE OF CALIFORNIA

REVISIONS

6/22/21	30% CD
8/9/21	Planning Submittal

PROJECT NUMBER	2039
DRAWN BY	KJT
DATE DRAWN	07/22/21
SCALE	
PRINT DATE	08/03/2021

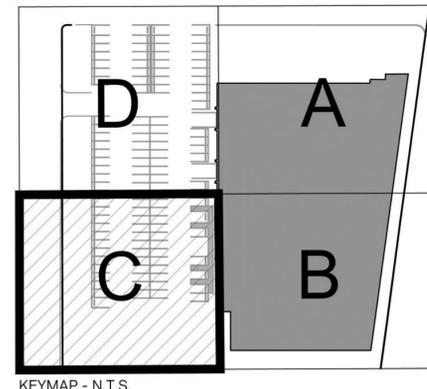
SHEET NUMBER
 LI-1.2



IRRIGATION SLEEVING NOTES:
 INSTALL IRRIGATION SLEEVES FOR ALL IRRIGATION MAINLINE, LATERALS, AND WIRES THAT CROSS ANY VEHICULAR OR PEDESTRIAN PAVED SURFACES ACCORDING TO THE FOLLOWING SCHEDULE, TYP.:

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVES
DRIP TUBING	1-2" SDR 35 PVC
3/4" LATERAL	1-2" SDR 35 PVC
1" LATERAL	1-2" SDR 35 PVC
1 1/4" LATERAL	1-2" SDR 35 PVC
1 1/2" LATERAL	1-4" SDR 35 PVC
2" LATERAL	1-4" SDR 35 PVC
1" PRESSURE SUPPLY LINE	1-2" SDR 35 PVC
1 1/2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2 1/2" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
3" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
1-20 CONTROL WIRES	1-2" SDR 35 PVC
2-40 CONTROL WIRES	2-2" SDR 35 PVC

EQUIPMENT NOTE:
 REFERENCE SHEET LI-1.5 FOR IRRIGATION EQUIPMENT SCHEDULE (ALL PRODUCT SPECS AND QUANTITIES)



IRRIGATION PLAN AREA C

NOT FOR CONSTRUCTION
 CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE USE OF THE MATERIALS. LANDSCAPE ARCHITECT'S INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS FOR USE ON ANY OTHER PROJECT WITHOUT THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.



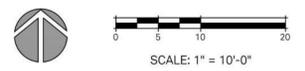
IRRIGATION PLAN AREA C

EAST END STUDIOS
 1214, 1216, 1230, 1234, Maryland Ave &
 1221, 1229, 1233 S Glendale Ave
 Glendale, CA 91205



REVISIONS	
6/22/21	30% CD
8/9/21	Planning Submittal
PROJECT NUMBER 2039	
DRAWN BY KJT	
DATE DRAWN 07/22/21	
SCALE	
PRINT DATE 08/03/2021	
SHEET NUMBER LI-1.3	

ENLARGEMENT C



WELO WATER USE CALCULATIONS

Water Budget Calculations

$$MAWA = (Et_o)(0.62)((0.45 \times LA) + (0.55 \times SLA))$$

- MAWA = Maximum applied water allowance (gallons per year)
 Et_o = Reference evapotranspiration from Appendix A (inches per year)
 0.45 = ET adjustment factor (ETAf)
 0.62 = Conversion factor (to gallons per square foot)
 SLA = Portion of the landscape area identified as special landscape are (square feet)
 0.55 = The additional ET adjustment factor for special landscape area (1.0 - 0.45 = 0.55)

Calculations

$$MAWA = (50.21)(0.62)((0.45 \times 9,560) + (0.55 \times 0))$$

$$MAWA = 133,922 \text{ gallons per year}$$

Estimated Total Water Use (ETWU)

$$ETWU = (Et_o) \times (0.62) \times (PF/IE) \times (LA)$$

$$\text{Estimated Total Water Use} = 110,029 \text{ gallons}$$

Hydrozone Table for Calculating ETWU

Hydrozone	Plant Water Use Type	Yearly Et _o	Plant Factor (PF)*	Conversion Factor (0.62)	Irrigation Efficiency (IE)	Area (LA) (square feet)	ETWU (gallons)
A - Landscape, sun	Low	50.21	0.30	0.62	0.81	7,673	88,467
B - Landscape, shade	Low	50.21	0.24	0.62	0.81	154	1,420
C - Roof Garden	Low	50.21	0.26	0.62	0.81	1,171	11,701
D - Trees	Low	50.21	0.30	0.62	0.81	392	4,520
E - Trees	Moderate	50.21	0.60	0.62	0.81	170	3,920
Total:						9,560	110,029

Hydrozone Information Table

Hydrozone*	Zone/valve no.	Irrigation Method**	Area (SF)	% of Landscape
A - LW	1	D	682	7.13%
A - LW	2	D	904	9.46%
A - LW	3	D	1,333	13.94%
E - MW	4	D	84	0.88%
D - LW	5	D	100	1.05%
A - LW	6	D	518	5.42%
A - LW	7	D	460	4.81%
A - LW	8	D	307	3.21%
D - LW	9	D	208	2.18%
A - LW	10	D	845	8.84%
A - LW	11	D	242	2.53%
A - LW	12	D	527	5.51%
A - LW	13	B	204	2.13%
A - LW	14	D	1,218	12.74%
D - LW	15	D	84	0.88%
A - LW	16	D	433	4.53%
E - MW	B-1	D	86	0.90%
B - LW	B-2	D	154	1.61%
C - LW	C-1	D	617	6.45%
C - LW	C-2	D	323	3.38%
C - LW	C-3	D	231	2.42%
Total:			9,560	100.00%

*Hydrozone

HW = High Water Use Plants
 MW = Moderate Water Use Plants
 LW = Low Water Use Plants

**Irrigation Method

B = Bubbler
 D = Drip

(Legend for ETWU)

- ETWU = (Et_o)(0.62)(PF x HA/IE + SLA)
 ETWU = Estimated total water use per year (gallons per year)
 LA = Landscaped Area (includes special landscape area)
 Et_o = Evapotranspiration (inches per year)
 PF = Plant Factor from WUOCS
 HA = Hydrozone Area (high, medium, and low water use areas) (square feet)
 SLA = Portion of the landscape area identified as special landscape are (square feet)
 IE = Irrigation Efficiency (minimum 0.71)
 0.62 = Conversion Factor (to gallons per square foot, constant)

IE
Spray = 0.75
drip = 0.81

Plant Factor (PF)

Very Low	< 0.1
Low	0.1 - 0.3
Average	0.4 - 0.6
High	0.7 - 0.9

WELO IRRIGATION NOTES: PROJECT SHALL COMPLY WITH THE FOLLOWING:

- An automatic irrigation controller is required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor.
- Irrigation controllers shall be of a type which does not lose programming data in the event the primary power source is interrupted. Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturer's recommended pressure range.
- Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
- All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter Standard," all sprinkler heads installed in the landscape must document a distribution uniformly low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
- Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
- For non-residential projects with landscape areas of 1,000 sq. ft. or more, a private irrigation submeter(s) to measure landscape water use shall be installed.
- At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.
- Certificate of completion shall be submitted to the project planner.

IRRIGATION & MAINTENANCE SCHEDULES

- CONTRACTOR SHALL PERFORM AND/OR SUPPLY INFORMATION REQUESTED IN THE "CITY OF GLENDALE'S W.E.L.O. (2015) SUPPLEMENT LANDSCAPE DOCUMENTATION PACKAGE & CERTIFICATION FORMS" W.E.L.O. CERTIFICATE OF COMPLETION + APPENDIX 'C' CERTIFICATE OF COMPLETION. COORDINATE WITH ARCHITECT & LANDSCAPE ARCHITECT AS NEEDED FOR SUBMITTAL.
- CONTRACTOR SHALL OBTAIN AN IRRIGATION AUDIT REPORT PER W.E.L.O. ORDINANCE.
- CONTRACTOR SHALL PREPARE IRRIGATION SCHEDULE (UTILIZING AUDIT DATA) FOR (A) ESTABLISHMENT PERIOD & (B) ESTABLISHED LANDSCAPE + SUBMIT TO LANDSCAPE ARCHITECT FOR INCLUSION IN CERTIFICATE OF COMPLETION SUBMITTAL.
- CONTRACTOR SHALL DEVELOP AND SUBMIT TO THE LANDSCAPE ARCHITECT A MAINTENANCE SCHEDULE FOR INCLUSION IN THE CERTIFICATE OF COMPLETION AS REQUIRED BY WELO. MAINTENANCE ITEMS SHALL INCLUDE, BUT ARE NOT LIMITED TO, ROUTINE INSPECTION AND ADJUSTMENT AND REPAIR OF THE IRRIGATION SYSTEM AND ITS COMPONENTS, REPLENISHING MULCH, FERTILIZING, PRUNING, WEEDING ALL LANDSCAPE AREAS, AND REMOVING OBSTRUCTIONS TO EMISSION DEVICES. MAINTENANCE SCHEDULE SHALL ALSO INCLUDE TESTING & CLEANING OF DRIP IRRIGATION FILTER AND CHECKING OF POINT SOURCE EMITTERS.

CITY OF GLENDALE WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE STATEMENT

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN"

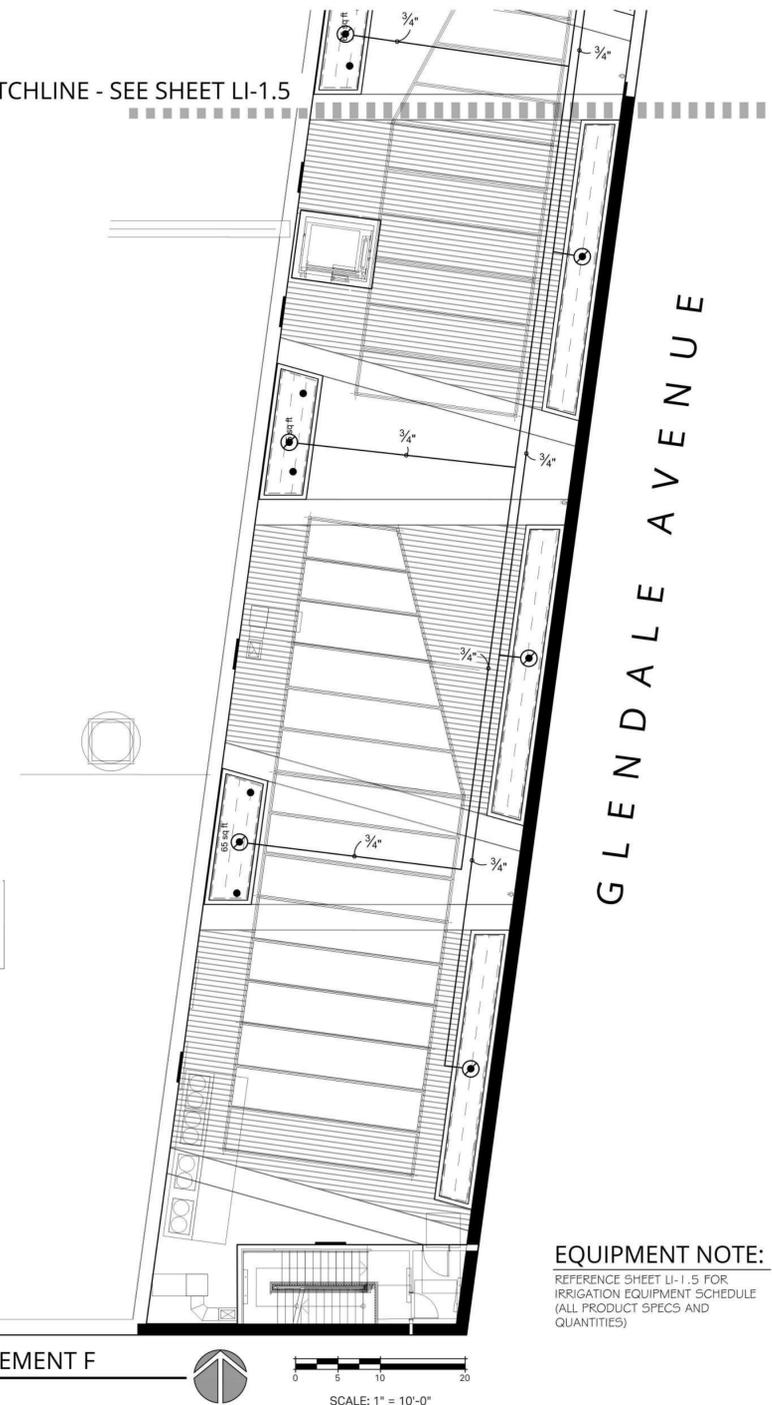
SIGNATURE: 
 Kimberly True, MLA, ASLA, QSDP

IRRIGATION SLEEVING NOTES:

INSTALL IRRIGATION SLEEVES FOR ALL IRRIGATION MAINLINE, LATERALS, AND WIRES THAT CROSS ANY VEHICULAR OR PEDESTRIAN PAVED SURFACES ACCORDING TO THE FOLLOWING SCHEDULE, TYP.:

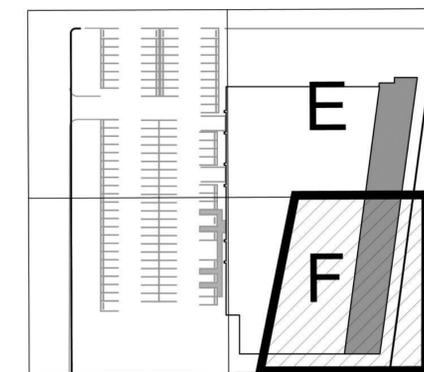
PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVES
DRIP TUBING	1-2" SDR 35 PVC
3/4" LATERAL	1-2" SDR 35 PVC
1" LATERAL	1-2" SDR 35 PVC
1 1/4" LATERAL	1-2" SDR 35 PVC
1 1/2" LATERAL	1-4" SDR 35 PVC
2" LATERAL	1-4" SDR 35 PVC
1" PRESSURE SUPPLY LINE	1-2" SDR 35 PVC
1 1/2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2" PRESSURE SUPPLY LINE	1-4" SDR 35 PVC
2 1/2" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
3" PRESSURE SUPPLY LINE	1-6" SDR 35 PVC
1-20 CONTROL WIRES	1-2" SDR 35 PVC
21-40 CONTROL WIRES	2-2" SDR 35 PVC

MATCHLINE - SEE SHEET LI-1.5



EQUIPMENT NOTE:

REFERENCE SHEET LI-1.5 FOR IRRIGATION EQUIPMENT SCHEDULE (ALL PRODUCT SPECS AND QUANTITIES)



KEYMAP - N.T.S.

ROOFTOP IRRIGATION PLAN AREA F & WELO

NOT FOR CONSTRUCTION

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, DAMAGES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS. LANDSCAPE ARCHITECT'S INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT; THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THE PROJECT FOR WHICH THEY WERE PREPARED. THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT.



COURTNEY JANE MILLER

LANDSCAPE ARCHITECTURE

Office: 805.698.2120 Email: INFO@CJM-LA.COM

1221 STATE STREET SUITE 206

SANTA BARBARA CA 93101



TRUE NATURE

LANDSCAPE ARCHITECTURE

KIMBERLY TRUE, MLA

438 W. Quinto Street

Santa Barbara, CA 93103

TrueNatureDesign.com

805-770-2100

ROOFTOP IRRIGATION
 PLAN AREA F
 & WELO

EAST END STUDIOS
 1214,1216,1230,1234, Maryland Ave &
 1221,1229,1233 S Glendale Ave
 Glendale, CA 91205



REVISIONS

6/22/21 30% CD
 8/9/21 Planning Submittal

PROJECT NUMBER

2039

DRAWN BY

KJT

DATE DRAWN

07/22/21

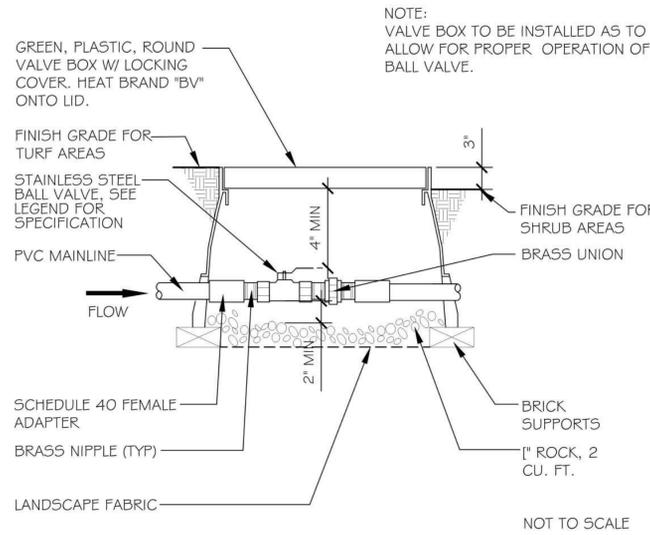
SCALE

PRINT DATE

08/03/2021

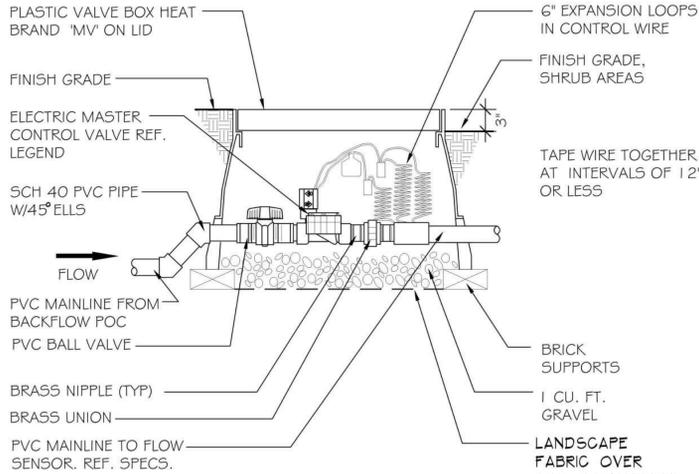
SHEET NUMBER

LI-1.6



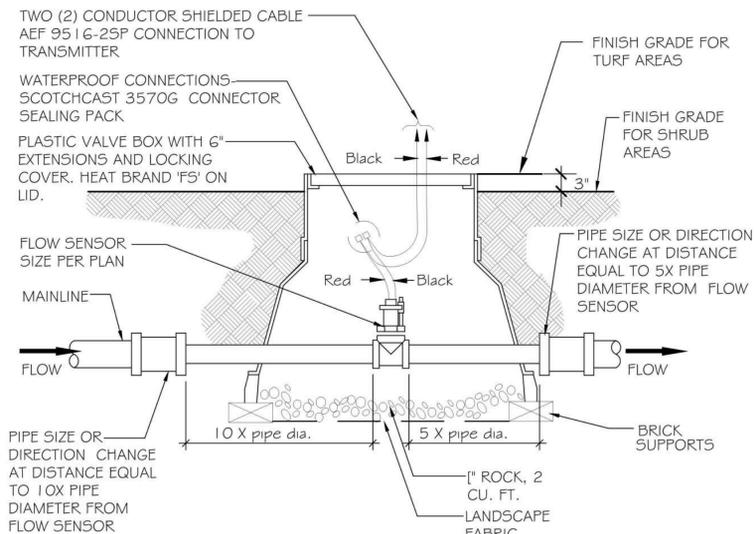
4 STAINLESS STEEL BALL VALVE

SCALE: NO SCALE P-EA-16 NOT TO SCALE



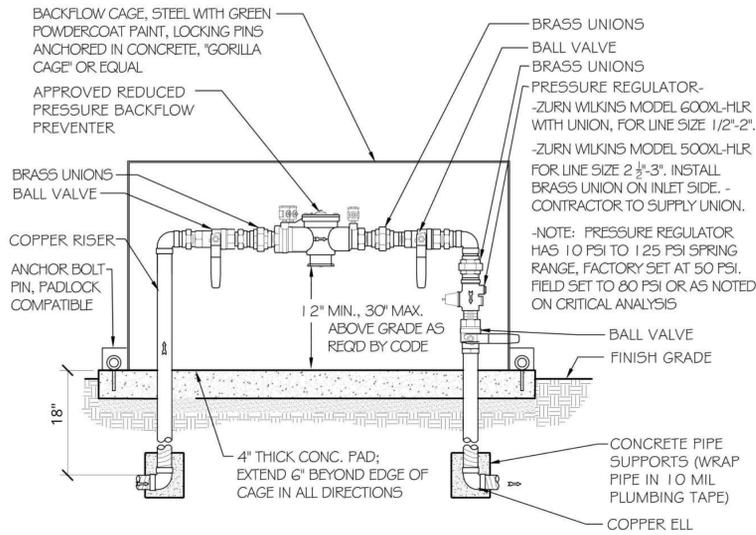
5 ELECTRIC MASTER CONTROL VALVE

1\"/>



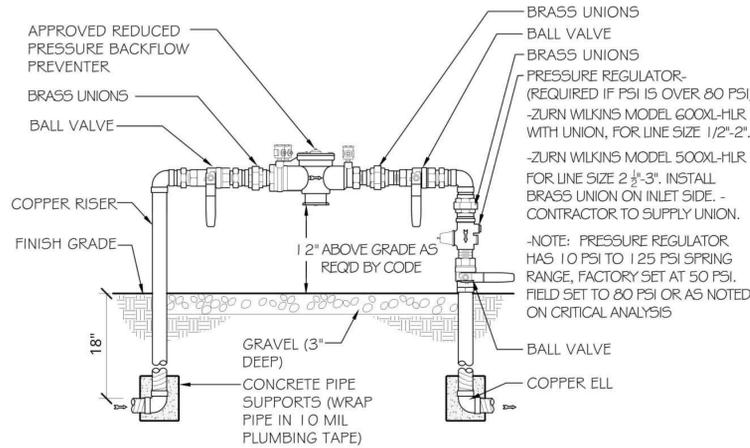
6 FLOW SENSOR

N.T.S. P-EA-07



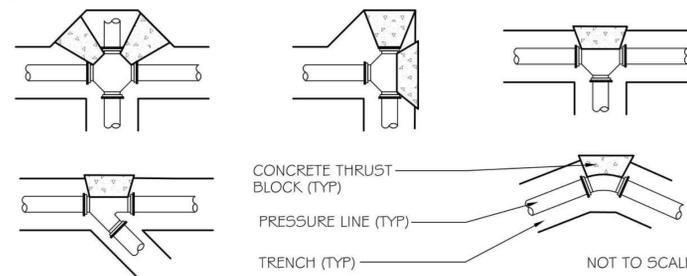
1 RP BACKFLOW PREVENTER IN CAGE

N.T.S. P-EA-10



2 RP BACKFLOW PREVENTER

N.T.S. P-EA-24



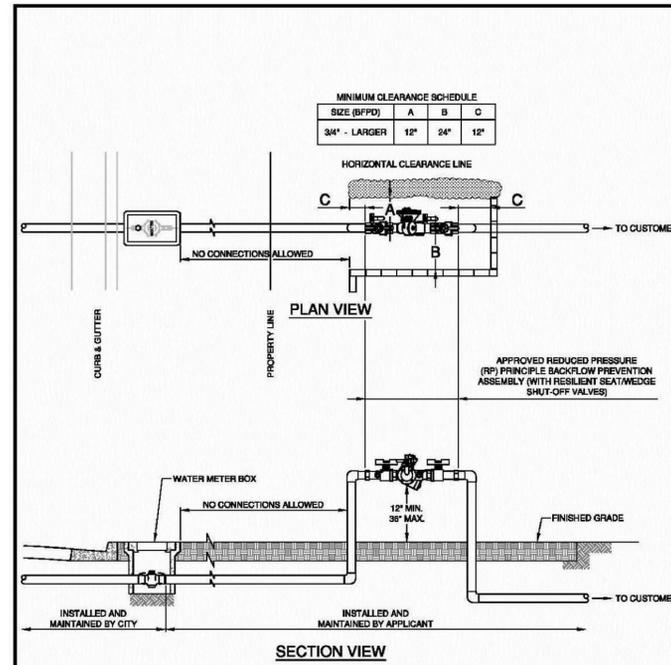
NOTES:
 -THRUST BLOCKS SHALL BE INSTALLED ON ALL PRESSURE LINES AT ALL DIRECTION CHANGES, SIZE CHANGES & STOPS.
 -INSTALLATION SHALL BE AGAINST UNDISTURBED SOIL.
 -SIZE THRUST BLOCK AS FOLLOWS:

PIPE SIZE	LESS THAN 90° BEND	90° BEND 2 TB REQ'D	TEES & ENDS
2"	6" x 6"	9" x 9"	6" x 6"
2 1/2"	9" x 9"	1' x 1'	9" x 9"
3"	1' x 1'	1' 3" x 1' 3"	1' x 1'
4"	1' 3" x 1' 3"	1' 6" x 1' 6"	1' 3" x 1' 3"
6"	1' 6" x 1' 6"	2' x 2'	1' 6" x 1' 6"

-MINIMUM THICKNESS OF BLOCKS SHALL BE 8".
 -CHANGES IN PIPE SIZE W/ NO DIRECTION CHANGE--USE BLOCK SIZE FOR TEES AND ENDS
 -CHANGES IN PIPE SIZE W/ DIRECTION CHANGE--USE BLOCK SIZE FOR APPROPRIATE DIRECTION CHANGE (90° OR LESS THAN 90°)

3 THRUST BLOCK

N.T.S. P-EA-25



APPROVED *[Signature]* 07/14/2015
 GERALD TOM, SENIOR CIVIL ENGINEER, R.C.E. No. C51209 DATE
 GLENDALE WATER AND POWER - WATER DEPARTMENT

DES: ROLB SCALE: NONE SHEET No. 1 OF 1
 D: GR/PN DATE: 07/14/15
 C: 2/22/16 APP: RSM 6528-A

GLENDALE WATER & POWER CITY OF GLENDALE CALIFORNIA
 REDUCED PRESSURE PRINCIPLE ASSEMBLY (ALL SIZES)

- INSTALLATION REQUIREMENTS**
- ALL INSTALLATIONS MUST BE COORDINATED WITH GLENDALE WATER & POWER (GWP). ANY UNAUTHORIZED CONNECTION TO, OR OPERATION OF, A GWP FACILITY MAY BE GROUNDS FOR DENIAL OF WATER SERVICE.
 - BACKFLOW PREVENTION ASSEMBLY (BFP) MUST BE APPROVED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH AT THE UNIVERSITY OF SOUTHERN CALIFORNIA AND MUST BE INSTALLED IN THEIR ORIGINAL (UNALTERED) MANUFACTURED FORM.
 - THE ASSEMBLY SHALL BE INSTALLED AS CLOSE TO THE METER OR TO THE RIGHT-OF-WAY LINE AS PRACTICAL (SEE STANDARD DRAWING No. 6528-A & 6561-A).
 - THE BFP MUST BE TESTED BY A GWP-AUTHORIZED TESTER PRIOR TO ACTUAL SERVICE (SEE GWP'S APPROVED TESTER LIST).
 - ANY UNAUTHORIZED CONNECTION TO A BFP WILL RESULT IN DISCONNECTION OF SAID CONNECTIONS AND POSSIBLE SHUT OFF OF WATER SERVICE.
 - PLEASE CONTACT (818) 937-8948 FOR APPROVAL OF BFP INSTALLATION LOCATION PER CA CODE OF REGULATIONS, TITLE 17 & CITY OF GLENDALE ORD. No. 5678.
 - FOR A LIST OF APPROVED BFP, PLEASE CONTACT (818) 937-8948. NEW DEVICES MUST BE INSPECTED BY GWP AND TESTED BY LOS ANGELES COUNTY DEPARTMENT OF PUBLIC HEALTH CERTIFIED BACKFLOW TESTER IMMEDIATELY UPON INSTALLATION BEFORE WATER SERVICE IS APPROVED.
 - ACCORDING TO CALIFORNIA AND GLENDALE CITY CODE AND REGULATIONS, ALL COMMERCIAL FIRE SERVICES AND IRRIGATION SERVICES WILL REQUIRE SOME FORM OF BACKFLOW PREVENTION SYSTEM TO PROTECT THE POTABLE WATER SYSTEM. PLEASE BE SURE TO THOROUGHLY REVIEW GWP STANDARD DRAWINGS. (SEE STANDARD DRAWINGS 6528-A & 6561-A)
 - ALL BFP SHALL BE LOCATED AS CLOSE AS PRACTICAL TO THE USER'S CONNECTION. THEY WILL BE INSTALLED A MINIMUM OF TWELVE INCHES (12") AND NOT MORE THAN THIRTY SIX INCHES (36") ABOVE FINISHED STREET GRADE MEASURED FROM THE BOTTOM OF THE DEVICE. A MINIMUM OF TWELVE INCHES (12") SIDE CLEARANCE, AND TWENTY-FOUR INCHES (24") FRONT CLEARANCE, LOCATED WHERE IT IS READILY ACCESSIBLE FOR INSPECTION, TESTING AND MAINTENANCE.

APPROVED *[Signature]* 07/14/2015
 GERALD TOM, SENIOR CIVIL ENGINEER, R.C.E. No. C51209 DATE
 GLENDALE WATER AND POWER - WATER DEPARTMENT

DES: LB SCALE: NONE SHEET No. 1 OF 1
 D: GR/PN DATE: 07/14/15
 C: APP: 6762-A

GLENDALE WATER & POWER CITY OF GLENDALE CALIFORNIA
 INSTALLATION REQUIREMENTS FOR BACKFLOW PREVENTION ASSEMBLY DEVICE (BFP)

IRRIGATION DETAILS

NOT FOR CONSTRUCTION

EAST END STUDIOS
 1214,1216,1230,1234, Maryland Ave &
 1221,1229,1233 S Glendale Ave
 Glendale, CA 91205

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SAID MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MATERIALS. THE LANDSCAPE ARCHITECTURAL DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DOCUMENTS ARE AVAILABLE TO THE CLIENT FOR USE ONLY ON THIS PROJECT DURING THE EXISTENCE OF THE CONTRACT. REUSE OF THE DOCUMENTS REQUIRE THE EXPRESS AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

CJM::LA
 COURTNEY JANE MILLER
 LANDSCAPE ARCHITECTURE
 Office: 805.698.2120 Email: INFO@CJM-LA.COM
 1221 STATE STREET SUITE 206
 SANTA BARBARA CA 93101

TRUE NATURE
 LANDSCAPE ARCHITECTURE
 KIMBERLY TRUE, M.L.A.
 438 W. Quinto Street
 Santa Barbara, CA 93103
 TrueNatureDesign.com
 805-770-2100

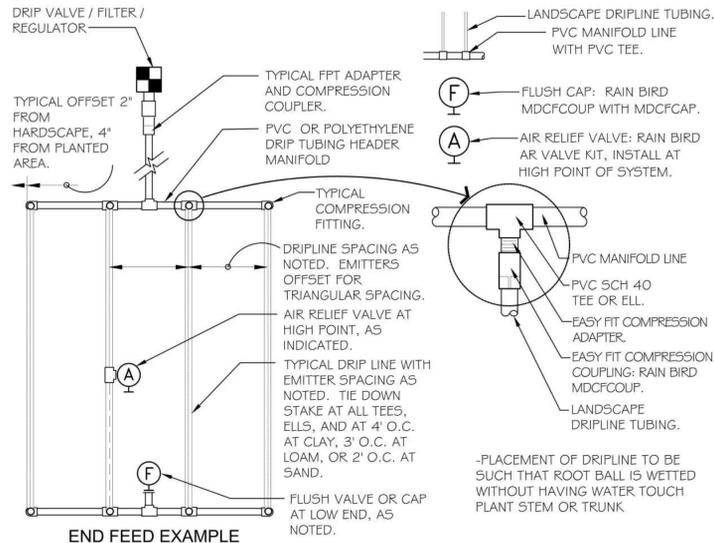
REGISTERED LANDSCAPE ARCHITECT
 KIMBERLY J. TRUE
 No. 5596
 STATE OF CALIFORNIA
 04/30/2023
 EXP. DATE

REVISIONS
 6/22/21 30% CD
 8/9/21 Planning Submittal

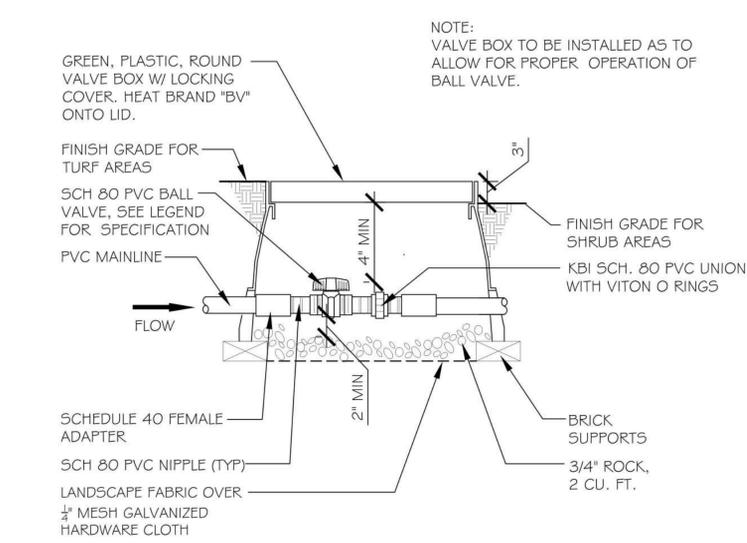
PROJECT NUMBER
 2039
 DRAWN BY
 KJT
 DATE DRAWN
 07/22/21
 SCALE

PRINT DATE
 08/03/2021

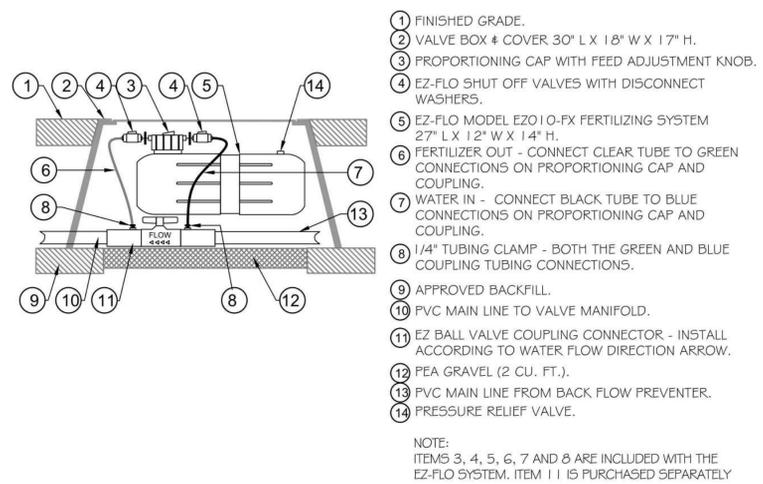
SHEET NUMBER
 LI-2.1



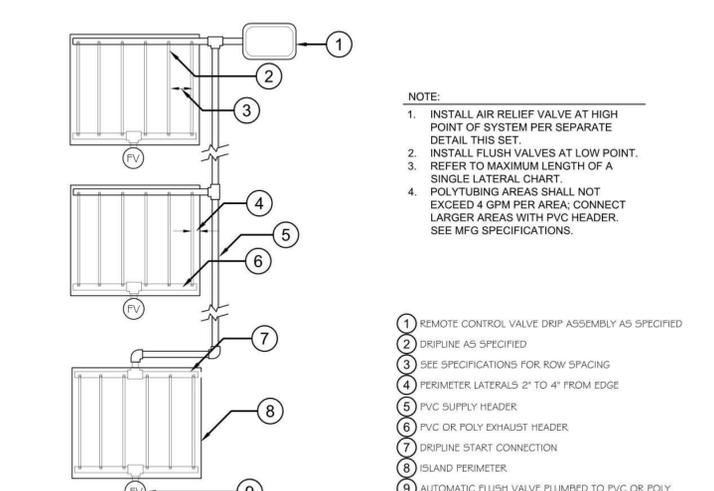
7 END FEED EXAMPLE
N.T.S. P-EA-04



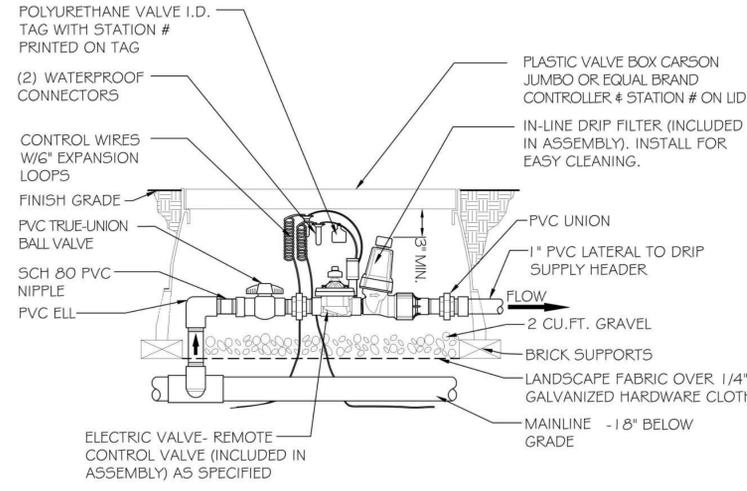
4 SCH 80 PVC BALL VALVE
N.T.S. P-EA-17



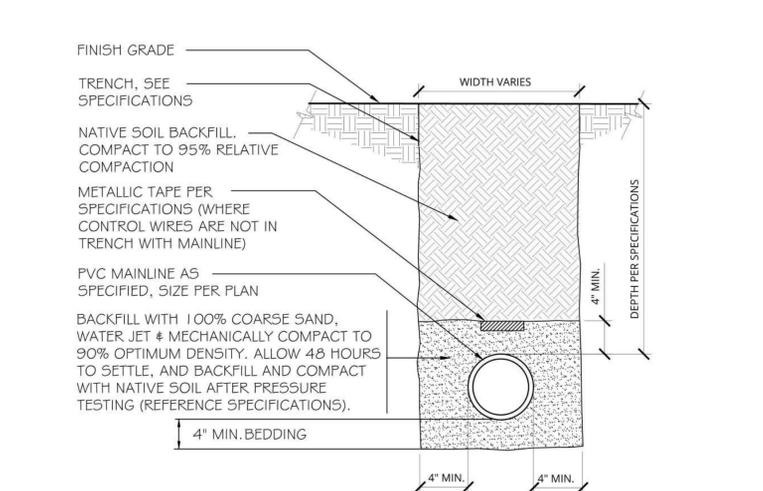
1 EZ-FLO FERTILIZING SYSTEM - EZ010-FX 9.4 GALLON
N.T.S. P-EA-05



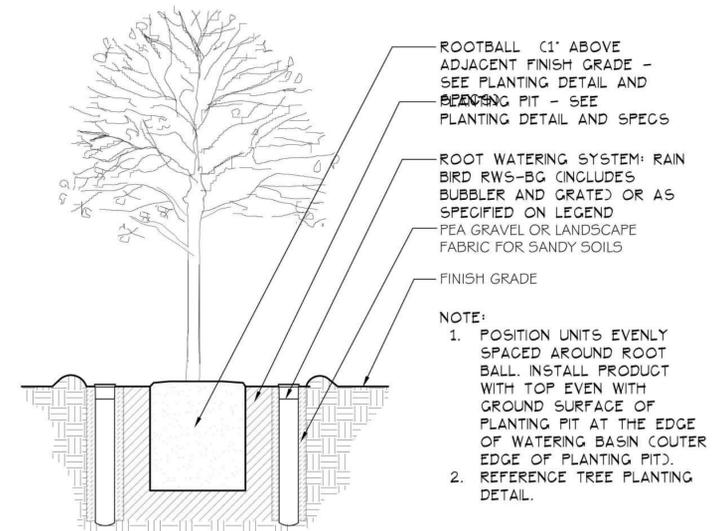
8 DRIPLINE ISLAND LAYOUT
Not to scale P-EA-03



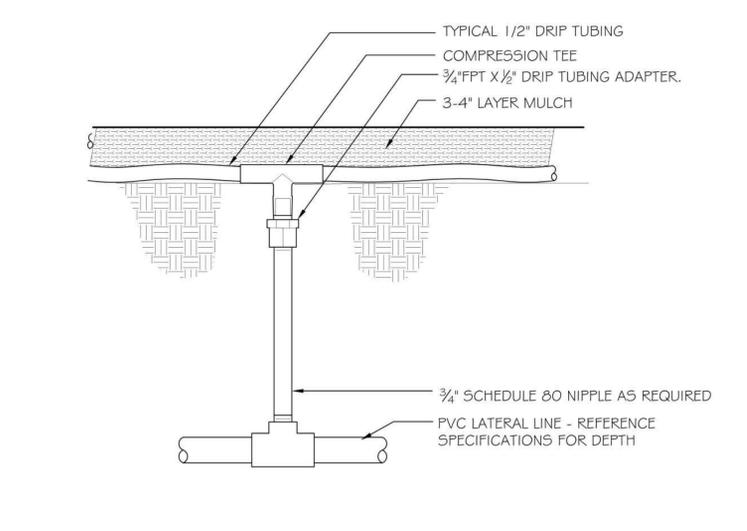
5 DRIP ASSEMBLY
N.T.S. P-EA-06



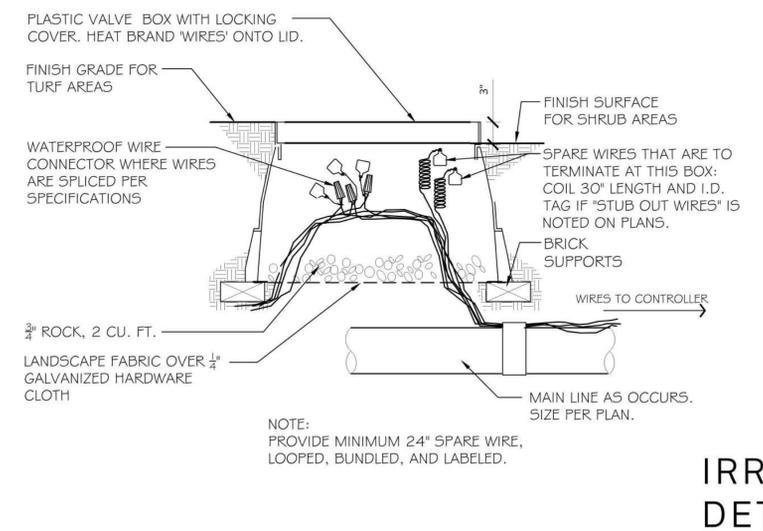
2 MAINLINE
N.T.S. P-EA-19



9 TREE BUBBLER
N.T.S. P-EA-02



6 DRIP TRANSITION
N.T.S. P-EA-15



3 WIRE PULL AND SPLICE BOX
N.T.S. P-EA-26

NOT FOR CONSTRUCTION

CLIENT SHALL RETAIN COPIES OF THE WORK PERFORMED BY LANDSCAPE ARCHITECT IN CAD FORM ONLY FOR INFORMATION AND USE BY CLIENT FOR THE SPECIFIC PURPOSE FOR WHICH LANDSCAPE ARCHITECT WAS ENGAGED. SUCH MATERIALS SHALL NOT BE USED BY CLIENT, OR TRANSFERRED TO ANY OTHER PARTY, FOR USE IN OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT STRICTLY INTENDED BY LANDSCAPE ARCHITECT WITHOUT LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIALS SHALL BE AT CLIENT'S SOLE RISK AND CLIENT AGREES TO DEFEND, INDEMNIFY, AND HOLD LANDSCAPE ARCHITECT HARMLESS, FROM ALL CLAIMS, INJURIES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

IRRIGATION DETAILS

EAST END STUDIOS
1214, 1216, 1230, 1234, Maryland Ave &
1221, 1229, 1233 S Glendale Ave
Glendale, CA 91205

CJM::LA
COURTNEY JANE MILLER
LANDSCAPE ARCHITECTURE
Office: 805.698.2120 Email: INFO@CJM-LA.COM
1221 STATE STREET SUITE 206
SANTA BARBARA CA 93101

TRUE NATURE
LANDSCAPE ARCHITECTURE
KIMBERLY TRUE, M.L.A.
438 W. Quinto Street
Santa Barbara, CA 93103
TrueNatureDesign.com
805-770-2100

REVISIONS

6/22/21 30% CD
8/9/21 Planning Submittal

PROJECT NUMBER
2039
DRAWN BY
KJT
DATE DRAWN
07/22/21
SCALE
PRINT DATE
08/03/2021
SHEET NUMBER
LI-2.2

