

GENERAL NOTES :

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

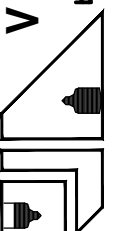
LEGENDS :

- PROPERTY LINE
- HATCHED AREA SHOW SINGLE FAMILY HOUSE SECOND FLOOR
- HATCHED AREA SHOW SINGLE FAMILY HOUSE PART OF FIRST FLOOR
- HATCHED AREA SHOW 2 CAR GARAGE
- HATCHED AREA SHOW PERMEABLE STONE PAVING FINISH SEE DET.

1 SITE DEVELOPMENT PLAN W/ SURVEY  
SCALE : 1" = 10'-0"

Revisions	By

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**V J & ASSOCIATES**  
building design • planning • interior

1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

**PROJ. TITLE : PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE : SITE DEVELOPMENT PLAN WITH SURVEY, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**AUG. 15, 2023**

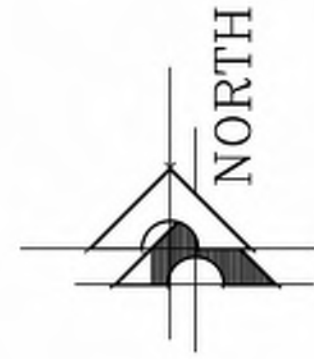
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Job No.

Sheet No.  
**A-1**

of  
Sheets





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### LEGENDS :

- PROPERTY LINE
- HATCHED AREA SHOW SINGLE FAMILY HOUSE SECOND FLOOR AND PART OF FIRST FLOOR
- HATCHED AREA SHOW HARDSCAPE
- HATCHED AREA SHOW LANDSCAPE

FD. SPK. & C. OF G. W.  
PER C.E.T.B. 370, PG. 75.

1 SITE DEVELOPMENT PLAN W/ SURVEY  
SCALE : 1" = 10'-0"

Revisions	By

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1224 E. BROADWAY, SUITE 105,  
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(818) 956-0570

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OWNER : ARSEN AGAJANIAN  
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DRWG. TITLE : SITE DEVELOPMENT PLAN WITH SURVEY, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**APRIL 4, 2023**

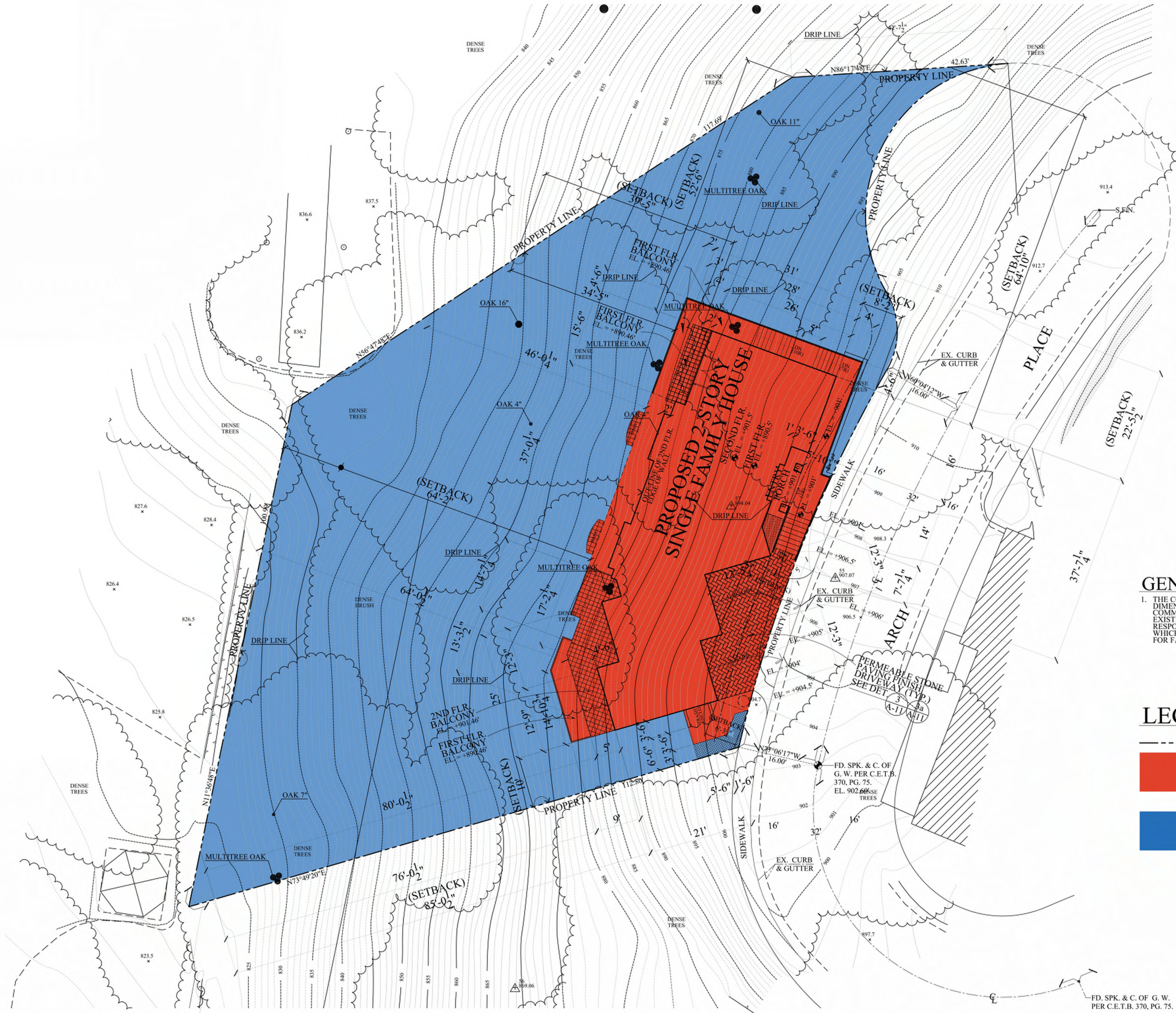
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LEGENDS :

- PROPERTY LINE
- GRADING AREA 23.8% OF THE LOT
- UNGRADED AREA 76.2% OF THE LOT

NOTE:  
CUT AND FIL 800 CU.YD.

FD. SPK. & C. OF G. W.  
PER C.E.T.B. 370, PG. 75.

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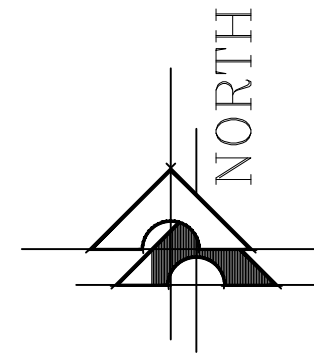
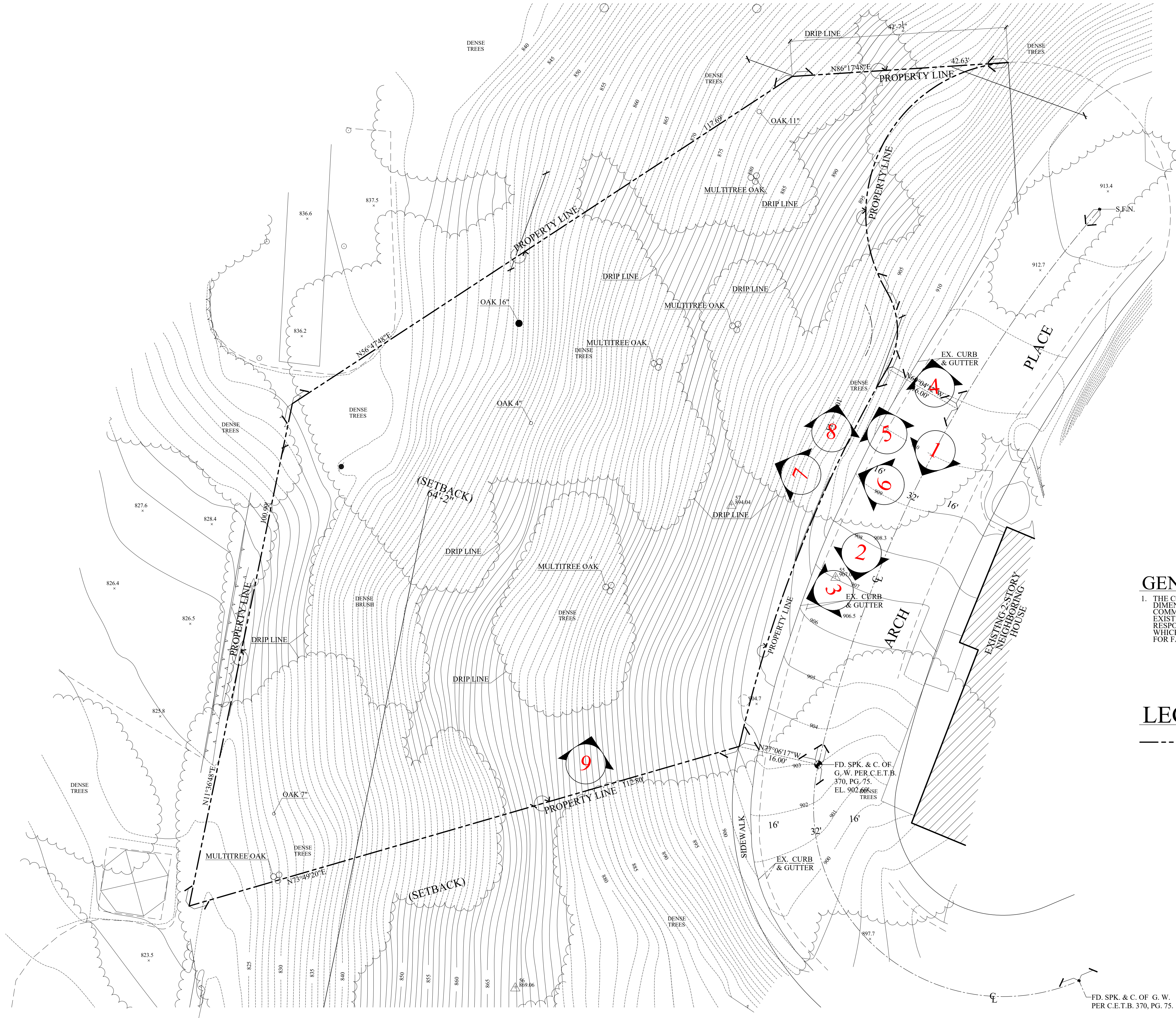
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PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
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DRWG. TITLE : SITE DEVELOPMENT PLAN WITH SURVEY, LEGENDS & NOTES





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### LEGENDS :

----- PROPERTY LINE

1

### KEY MAP FOR PHOTOGRAPHS

SCALE : 1" = 10'-0"

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OWNER : ARSEN AGAJANIAN  
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DRWG. TITLE : KEYMAP FOR PHOTOGRAPHS

Drawn by  
NEIL A.

Checked by  
V. J.

Date  
JULY 3, 2024

Scale  
1" = 10'-0"

Job No.

Sheet No.

A-1c

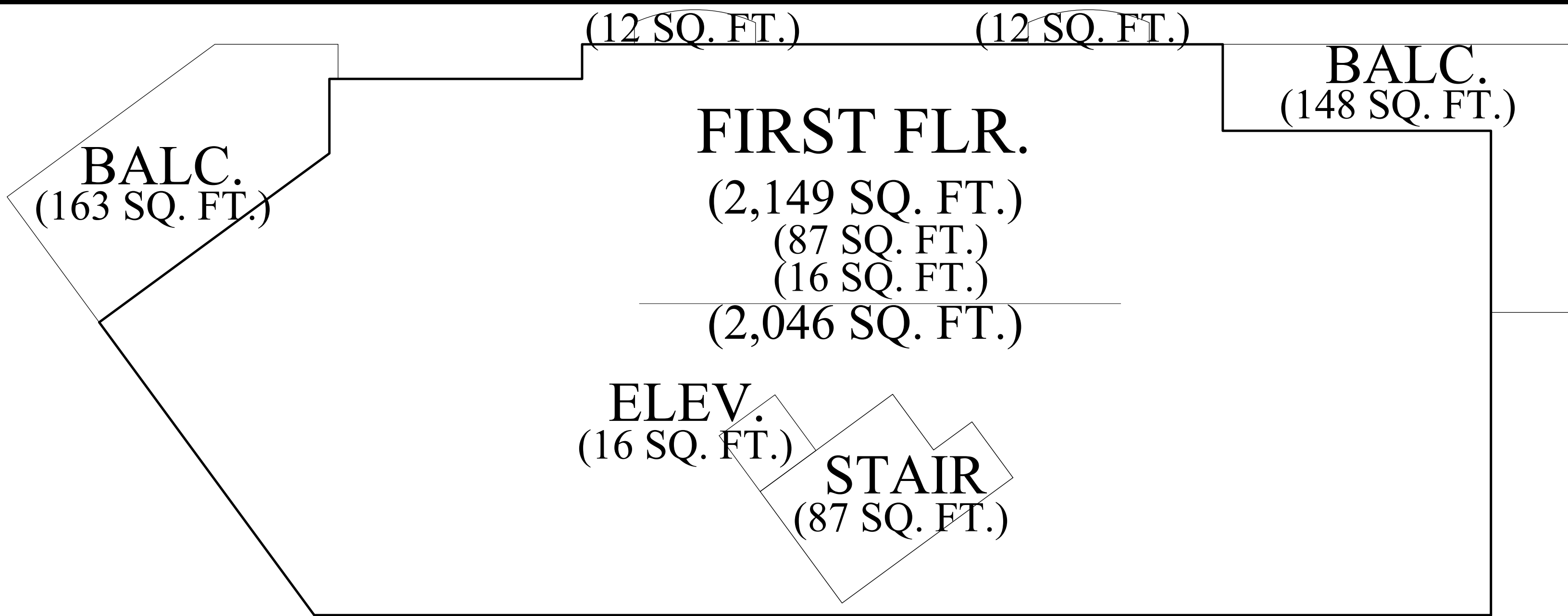
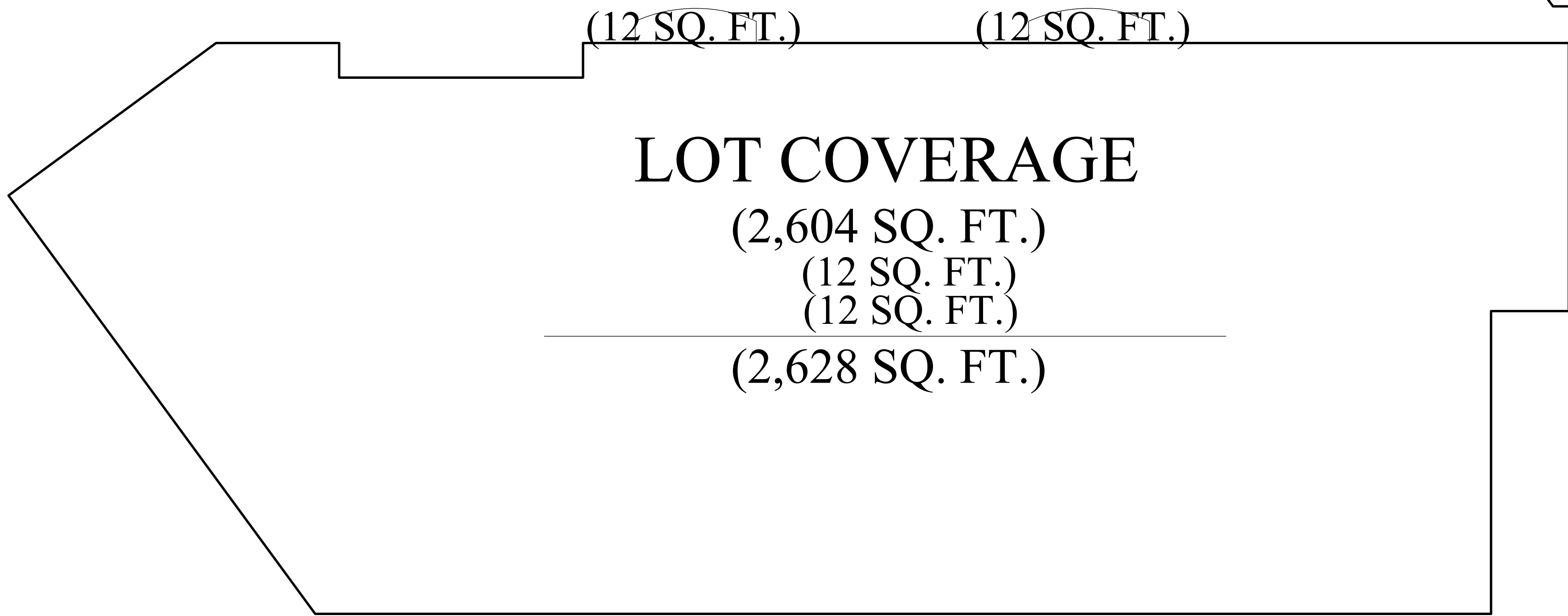
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1 FLOOR AREA & LOT COVERAGE  
DIAGRAM & CALCULATION

SCALE : 3/16" = 1'-0"



TOTAL FIRST FLR. AREA : (2,046 SQ. FT.)

AREA SUMMARY :

LOT AREA : 13,053 SQ. FT.

FIRST FLR. AREA : (2,046 SQ. FT.)

SECOND FLOOR AREA : + (1,239 SQ. FT.)

OVERALL TOTAL AREA : (3,285 SQ. FT.)

2 CAR GARAGE : 519 SQ. FT. (500 SQ. EXEMPT) = 19 SQ. FT.

TOTAL F.A.R. = 2,046 SQ. FT. + 1,239 SQ. FT. + 19 SQ. FT. =  
3,304 SQ. FT. / 13,053 SQ. FT. = 25.31 %

TOTAL LOT COVERAGE : 2,628 SQ. FT. / 13,053 SQ. FT. = 20.13 %

FOOTPRINT OF NEW (SFD) : 2,469 SQ. FT. / 13,053 SQ. FT. = 18.91 %

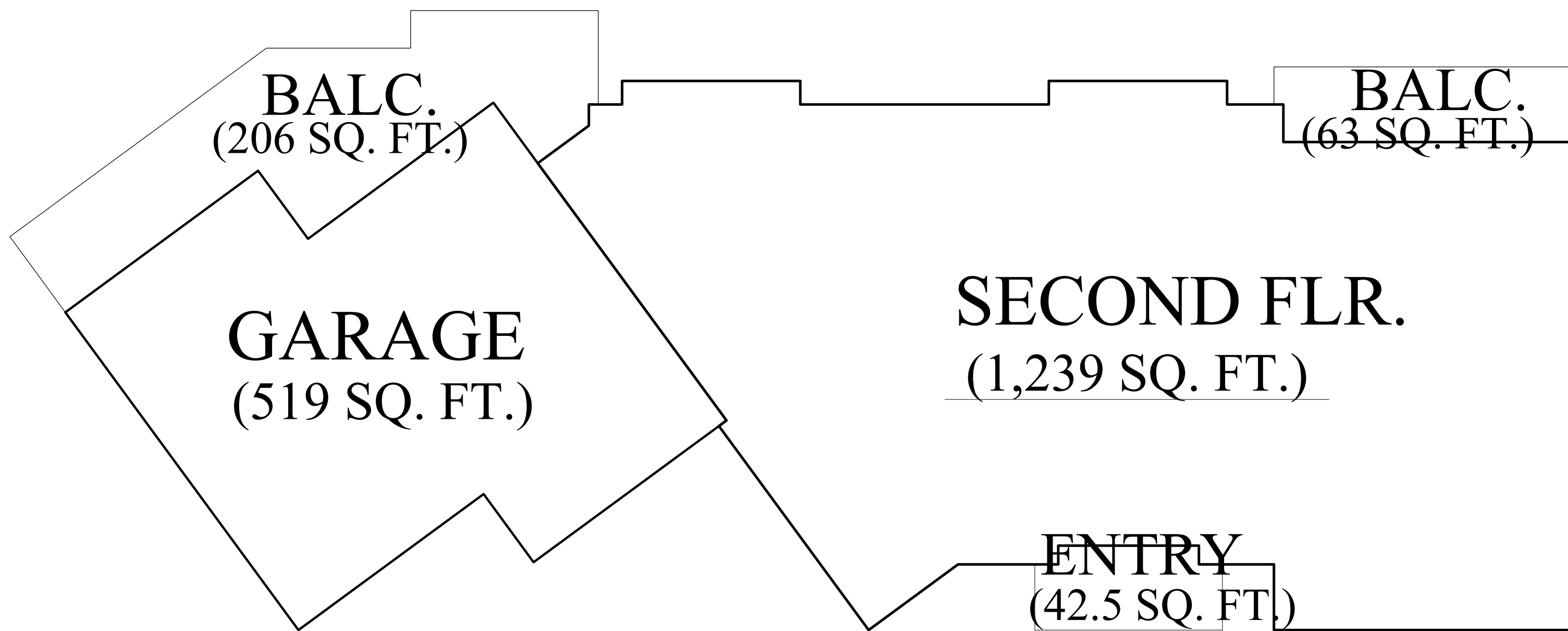
ENTRY PORCH : (42.5 SQ. FT.)

FIRST FLR. BALCONY : (148 SQ. FT.)  
(163 SQ. FT.)  
(12 SQ. FT.)  
(12 SQ. FT.)

TOTAL FIRST FLR. BALC. : (335 SQ. FT.)

SECOND FLR. BALCONY : (206 SQ. FT.)  
(63 SQ. FT.)

TOTAL 2ND FLR. BALC. : (269 SQ. FT.)



TOTAL SECOND FLR. AREA : (1,239 SQ. FT.)

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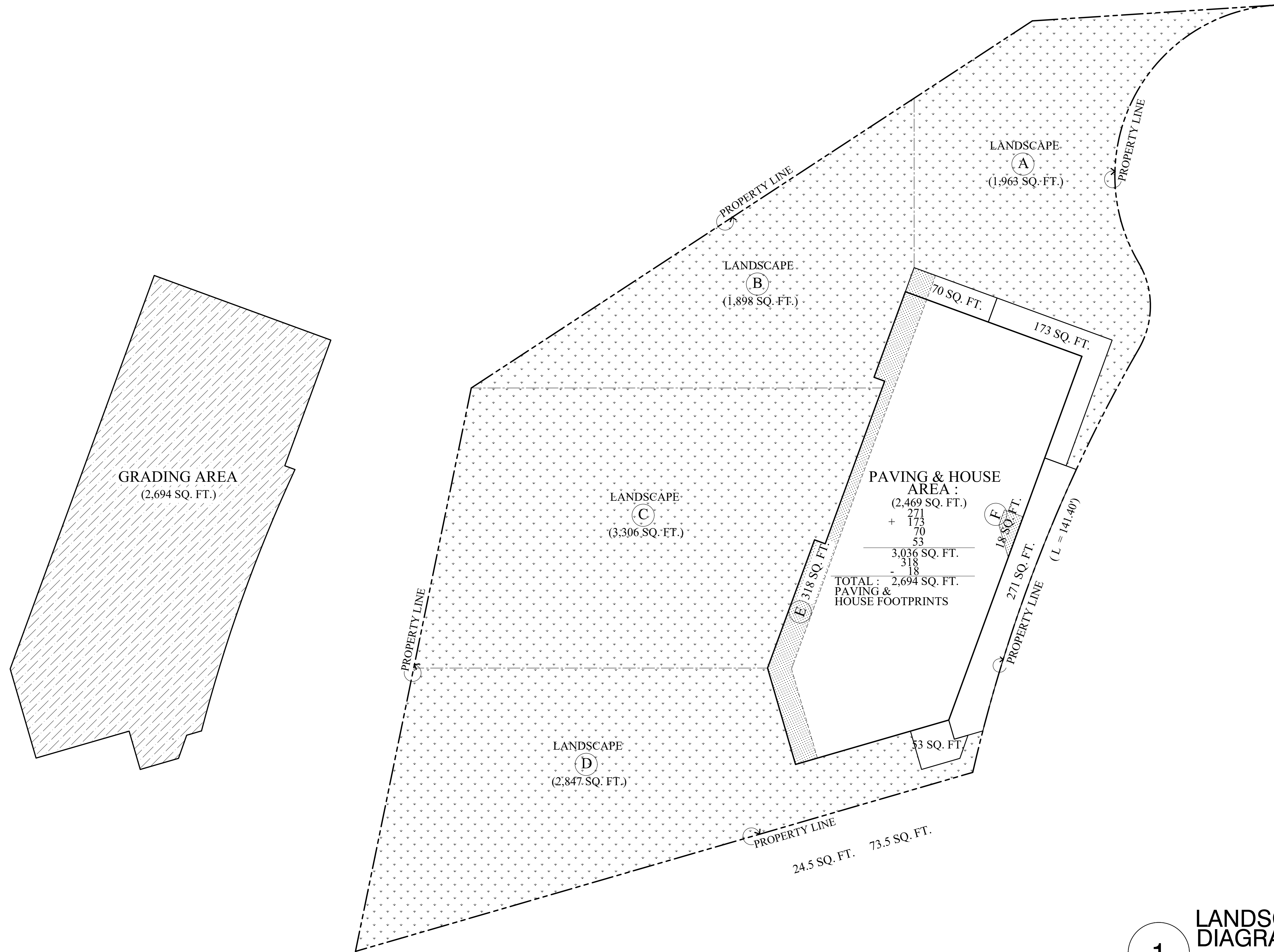
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OWNER: ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE: FLOOR AREA & LOT COVERAGE DIAGRAM & CALCULATIONS

Drawn by NEIL A.
Checked by V. J.
Date AUG. 11, 2023
Scale N. T. S.
Job No.
Sheet No. A-1.1
of Sheets





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**LEGENDS :**

PROPERTY LINE

HATCHED AREA SHOW LANDSCAPE AREA

HATCHED AREA SHOW GRADING AREA

**SUMMARY :**

LOT AREA : 13,053 SQ. FT.

LANDSCAPE AREA :

A	(1,963 SQ. FT.)
B	(1,898 SQ. FT.)
C	(3,306 SQ. FT.)
D	(2,847 SQ. FT.)
E	(318 SQ. FT.)
F	(18 SQ. FT.)

(10,353 SQ. FT.) TOTAL LANDSCAPE AREA

$10,353 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 79.31 \%$

TOTAL HOUSE & PAVING AREA : 2,694 SQ. FT.

$2,694 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 20.64 \%$

TOTAL GRADING AREA : 2,694 SQ. FT.

$2,694 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 20.64 \%$

**NOTE :**

AVERAGE CALCULATIONS :

A = 13,147 SQ. FT. = 0.3018 AC

I = 1'

L = 9,736.6'

S =  $0.00229 \times 1 \times 1 / A = 0.00229 \times 1' \times 9,736.6' / 0.3018 = 73.88 \%$

**GRADING CUT & FILL WORK :**

APPROX. TOTAL = 800 CY.

## LANDSCAPE & GRADING AREA DIAGRAM & CALCULATION

SCALE : 1/8" = 1'-0"

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2 CAR GARAGE**

PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER: ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE: LANDSCAPE & GRADING AREA DIAGRAM & CALCULATION

Drawn by  
NEIL A.

Checked by  
V. J.

Date  
AUG. 11, 2023

Scale  
1" = 10'-0"

Job No.

Sheet No.  
**A-1.2**

of  
Sheets



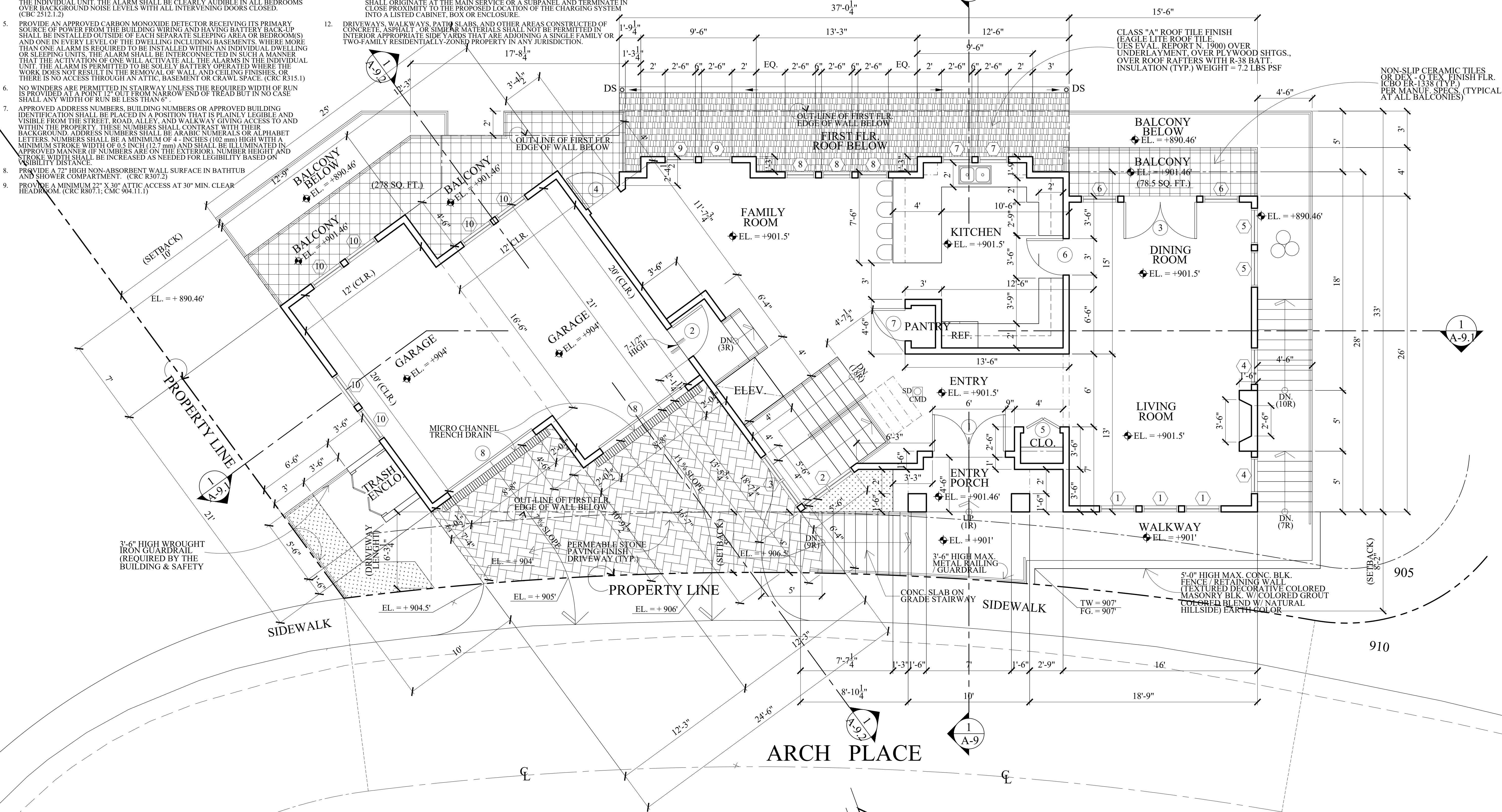
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2. EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
3. FLUSH VOLUMES FOR LOW-CONSUMPTION AND WATER SAVER WATER CLOSETS SHALL BE PROVIDED WITH A MAXIMUM 1.28 GALLONS OF WATER PER FLUSHED. (CPC 402.1, 402.2)
4. 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
5. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
6. NO WINDERS ARE PERMITTED IN STAIRWAY UNLESS THE REQUIRED WIDTH OF RUN IS PROVIDED AT A POINT 12" OUT FROM NARROW END OF TREAD BUT IN NO CASE SHALL ANY WIDTH OF RUN BE LESS THAN 6".
7. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR), NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
8. PROVIDE A 72" HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB AND SHOWER COMPARTMENT. (CRC R307.2)
9. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM. (CRC R807.1, CMC 904.11.1)

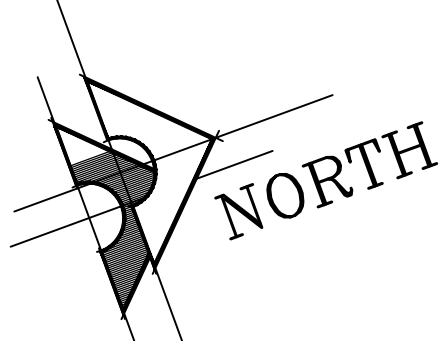
10. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325
11. FOR FUTURE ELECTRIC VEHICLE CHARGING STATION IN ONE OR TWO FAMILY DWELLINGS AND TOWNHOUSES, PROVIDE :
- a. ONE 208 / 240 V 40AMP, GROUNDED AC OUTLET, FOR EACH DWELLING UNIT; OR 40 AMP GROUNDED AC OUTLET FOR EACH DWELLING UNIT.
- THE ELECTRIC OUTLET OR CONDUIT TERMINATION SHALL BE LOCATED WITHIN THE PARKING AREA. (4.106.6)
- c. SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED
- d. A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND NEXT TO THE RACEWAY TERMINATION POINT.
- e. PROVIDE MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY INSTALLED TO ACCOMMODATE A DEDICATED 208 / 240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
12. DRIVEWAYS, WALKWAYS, PATIO SLABS, AND OTHER AREAS CONSTRUCTED OF CONCRETE, ASPHALT, OR SIMILAR MATERIALS SHALL NOT BE PERMITTED IN INTERIOR APPROPRIATE SIDE YARDS THAT ARE ADJOINING A SINGLE FAMILY OR TWO-FAMILY RESIDENTIALLY-ZONED PROPERTY IN ANY JURISDICTION.

LEGENDS :

- CMD CO / CM DETECTOR (CARBON MONOXIDE DETECTOR)  
SEE NOTE NO. 5 BELOW
- SD SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4 BELOW).
- SHADED AREA SHOW NON SLIP CERAMIC FLOOR TILES OR DEX-OTEX FINISH FLR. @ BALCONY / DECK
- SHADED AREA SHOW CLASS "A" ROOF TILES FINISH
- PERMEABLE STONE PAVING FINISH
- STUD WALL (2" X 6" @ 16" O.C. STUDS) SEE STRUCT'L.



1 SECOND FLOOR PLAN  
SCALE : 1/4" = 1'-0"



Revisions	By

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PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by  
NEIL A.

Checked by  
V. J.

Date  
AUG. 15, 2023

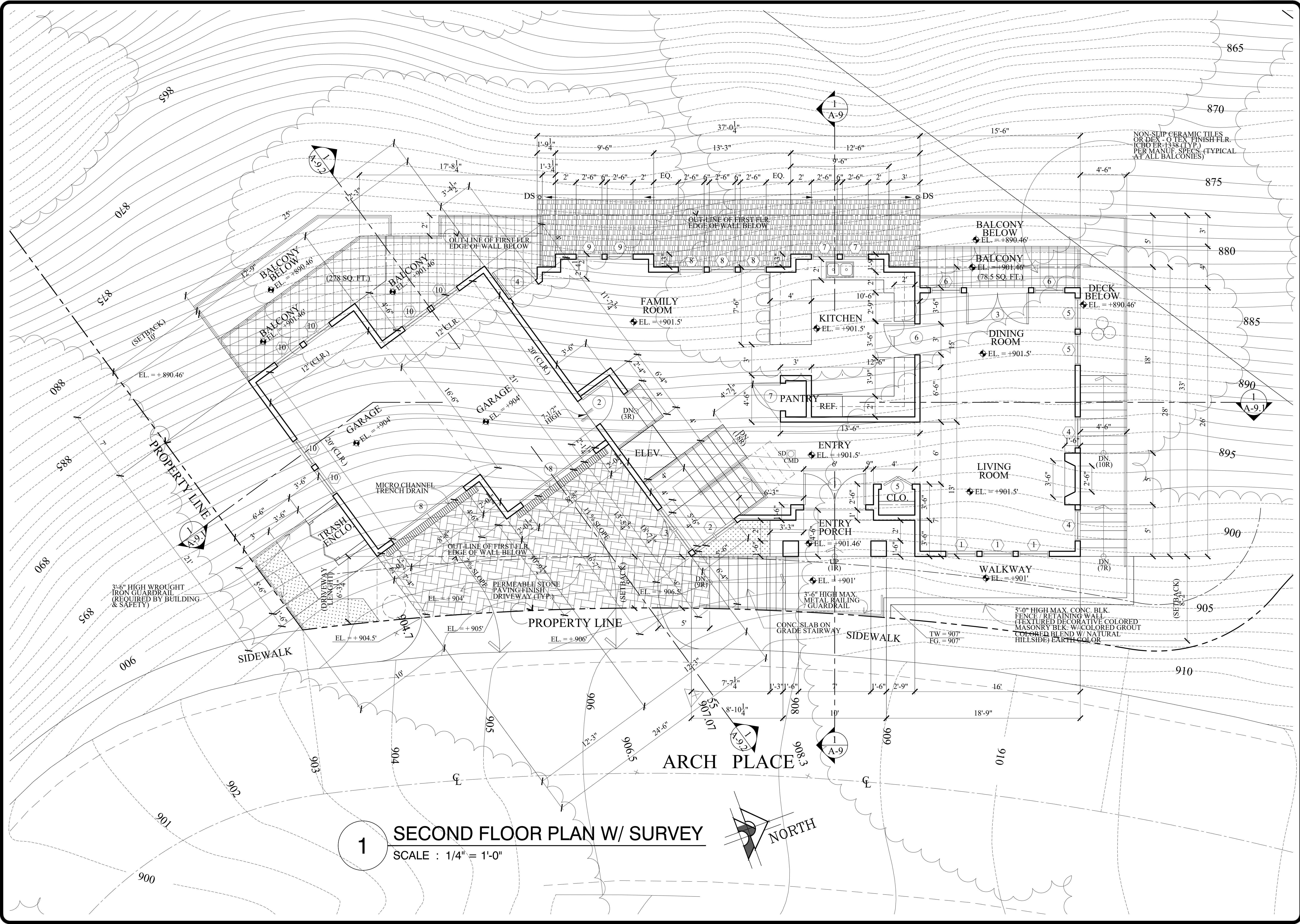
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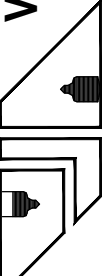




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SCALE : 1/4" = 1'-0"

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**AUG. 15, 2023**  
Scale  
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Job No.

Sheet No.  
**A-2.1**  
of  
Sheets

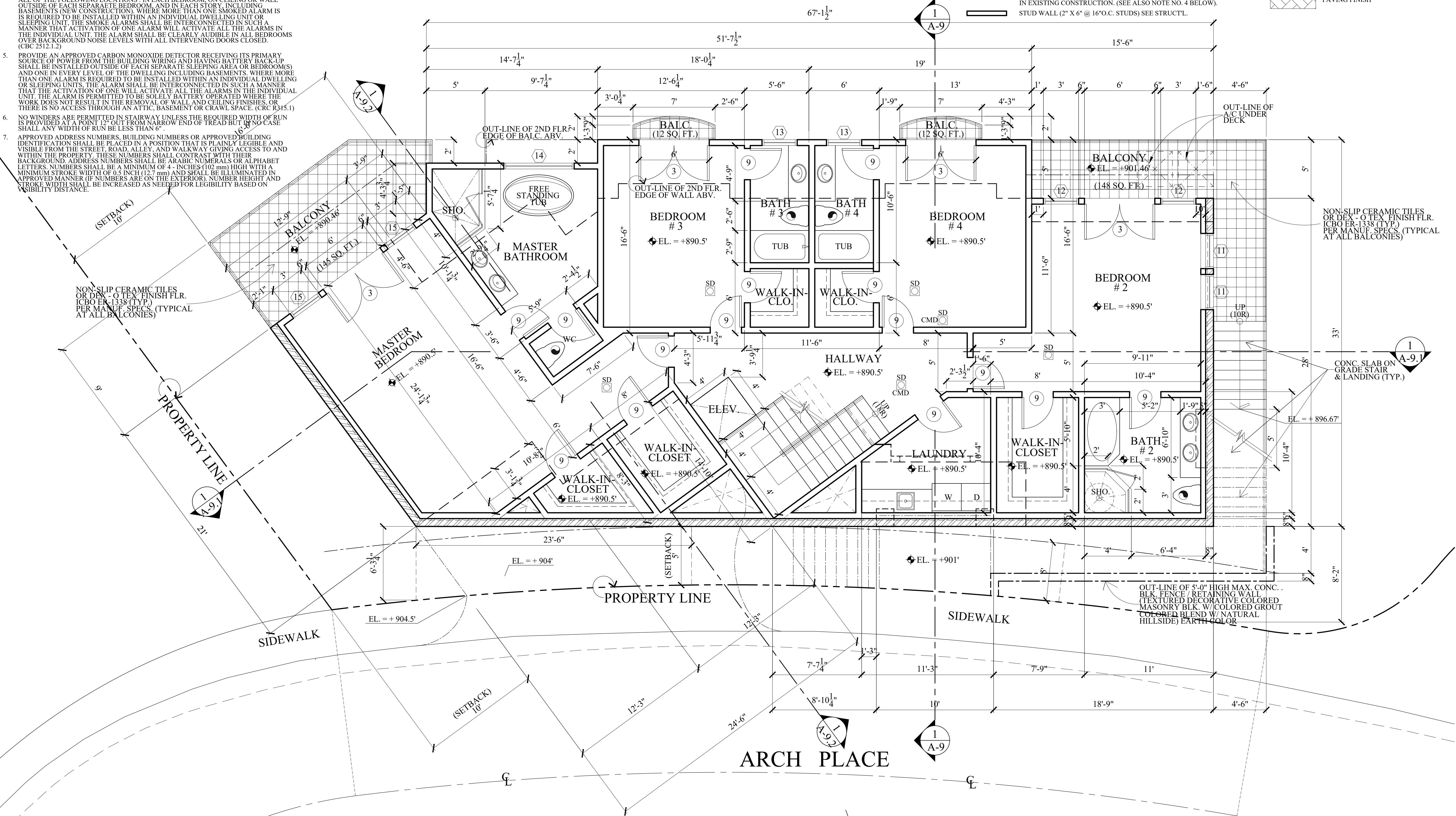


NOTES :

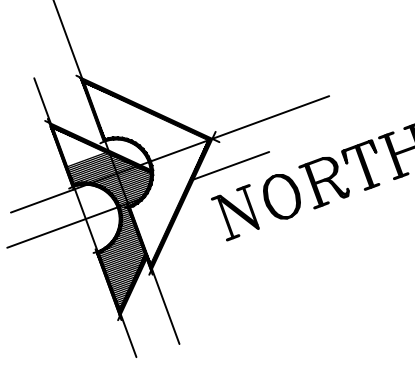
1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
2. EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
3. FLUSH VOLUMES FOR LOW CONSUMPTION AND WATER SAVER WATER CLOSURES SHALL BE PROVIDED WITH A MAXIMUM 1.28 GALLONS OF WATER PER FLUSHED. (CPC 402.1, 402.2)
4. 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
5. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R345.1)
6. NO WINDERS ARE PERMITTED IN STAIRWAY UNLESS THE REQUIRED WIDTH OF RUN IS PROVIDED AT A POINT 12" OUT FROM NARROW END OF TREAD BUT IN NO CASE SHALL ANY WIDTH OF RUN BE LESS THAN 6".
7. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
8. PROVIDE A 72" HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB AND SHOWER COMPARTMENT. (CRC R307.2)
9. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM. (CRC R807.1; CMC 904.11.1)

LEGENDS :

- CMD CO / CM DETECTOR (CARBON MONOXIDE DETECTOR)  
SEE NOTE NO. 5 BELOW
- SD S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4 BELOW).
- STUD WALL (2" X 6" @ 16" O.C. STUDS) SEE STRUCT.
- SHADED AREA SHOW NON SLIP CERAMIC FLOOR TILES OR DEX-OTEX FINISH FLR. @ BALCONY / DECK
- SHADED AREA SHOW CLASS "A" ROOF TILES FINISH
- PERMEABLE STONE PAVING FINISH



1 FIRST FLOOR PLAN  
SCALE : 1/4" = 1'-0"



Revisions	By

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**V J & ASSOCIATES**  
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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : FIRST FLOOR PLAN, LEGENDS & NOTES

Drawn by  
NEIL A.

Checked by  
V. J.

Date  
AUG. 15, 2023

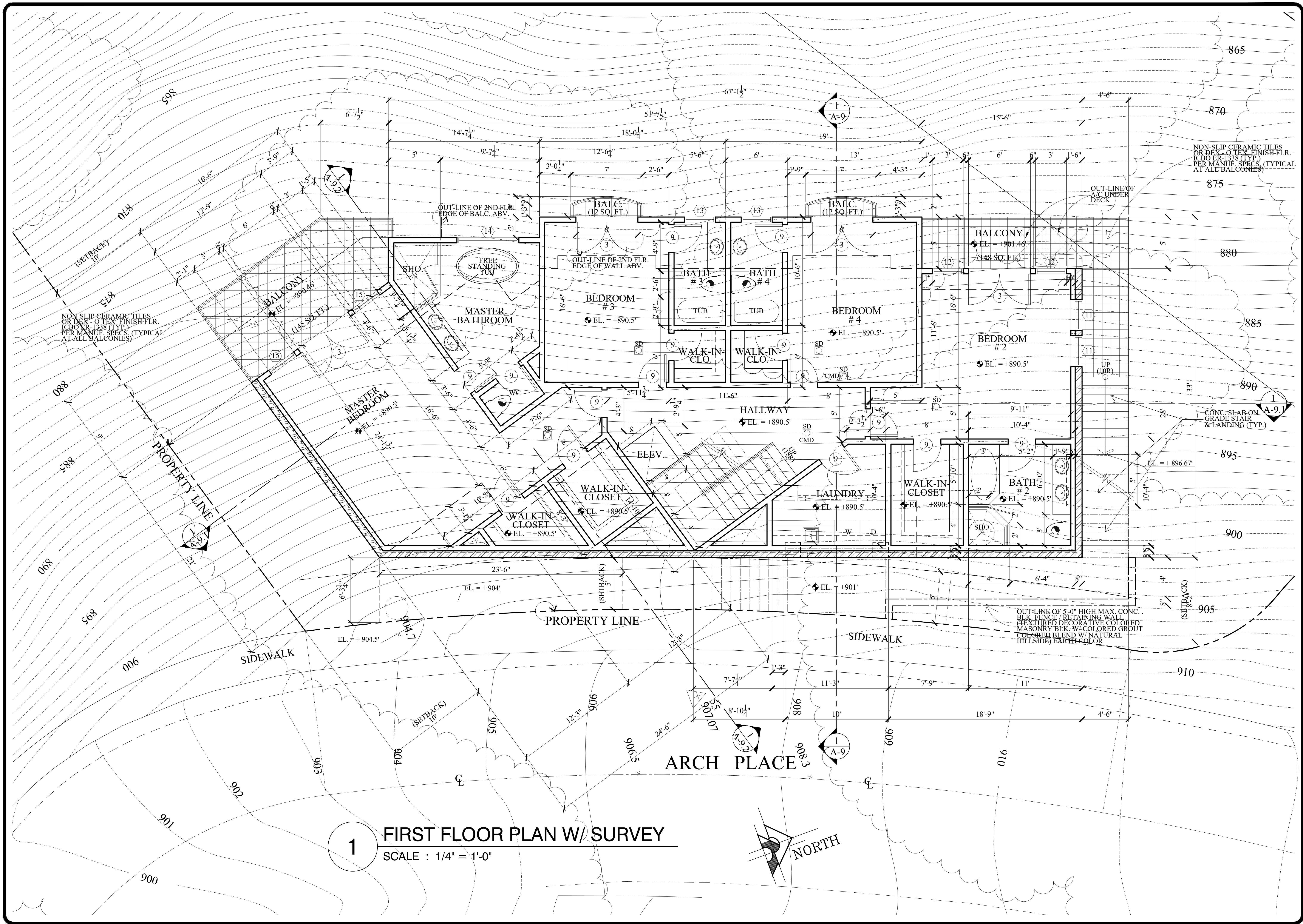
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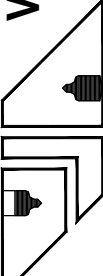
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PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : FIRST FLOOR PLAN W/ SURVEY, LEGENDS & NOTES

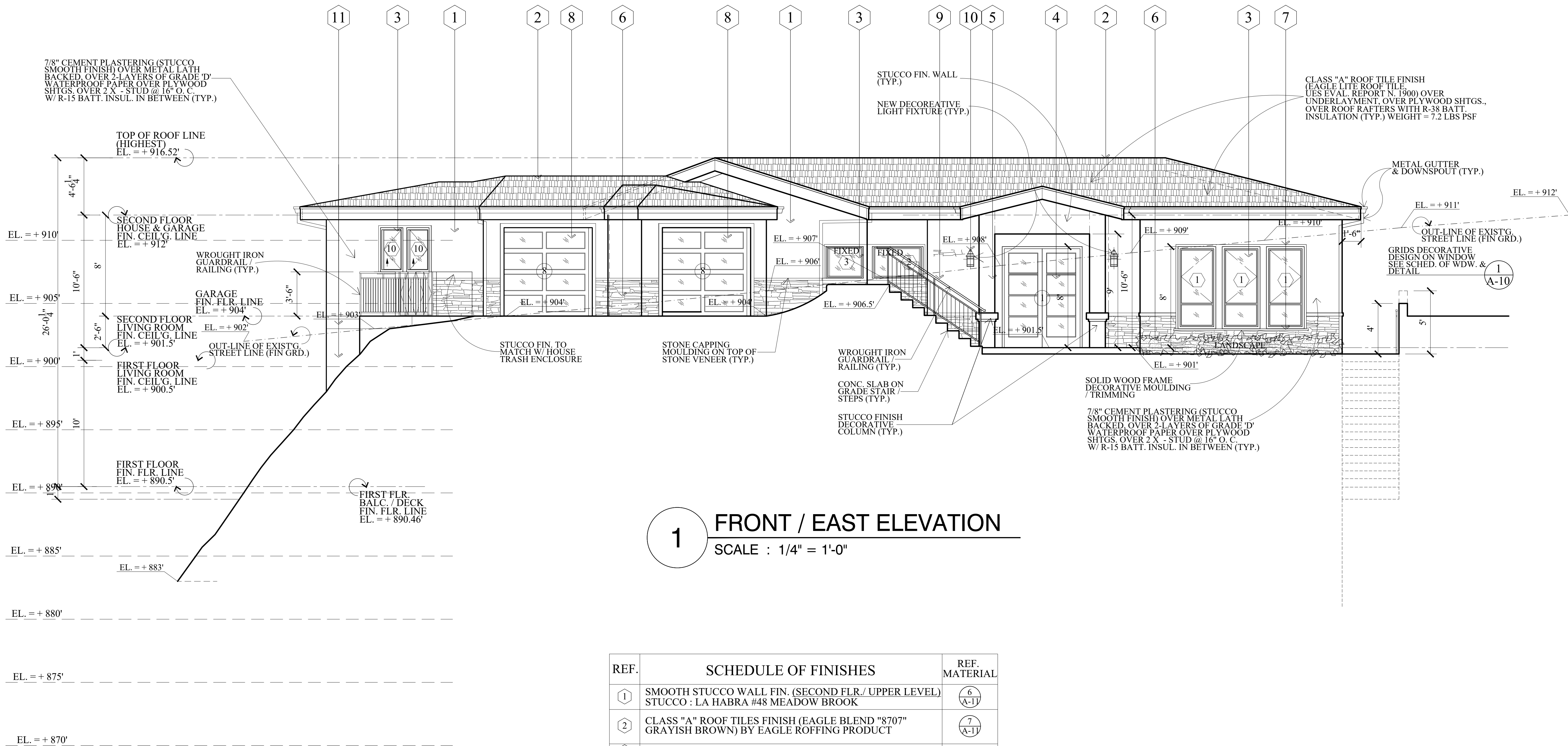
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**NEIL A.**  
Checked by  
**V. J.**  
Date  
**AUG. 15, 2023**  
Scale  
**1/4" = 1'-0"**  
Job No.

Sheet No.  
**A-3.1**  
of  
Sheets









1 FRONT / EAST ELEVATION  
SCALE : 1/4" = 1'-0"

REF.	SCHEDULE OF FINISHES	REF. MATERIAL
①	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	⑥ A-11
②	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	⑦ A-11
③	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
④	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
⑤	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	⑥ A-11
⑥	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	⑧ A-11
⑦	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	① A-11
⑧	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
⑨	WROUGHT IRON GUARDRAIL / RAILING	④ A-11
⑩	DECORATIVE WALL LIGHT	⑤ A-11
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a A-11

NOTES :

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Revisions	By

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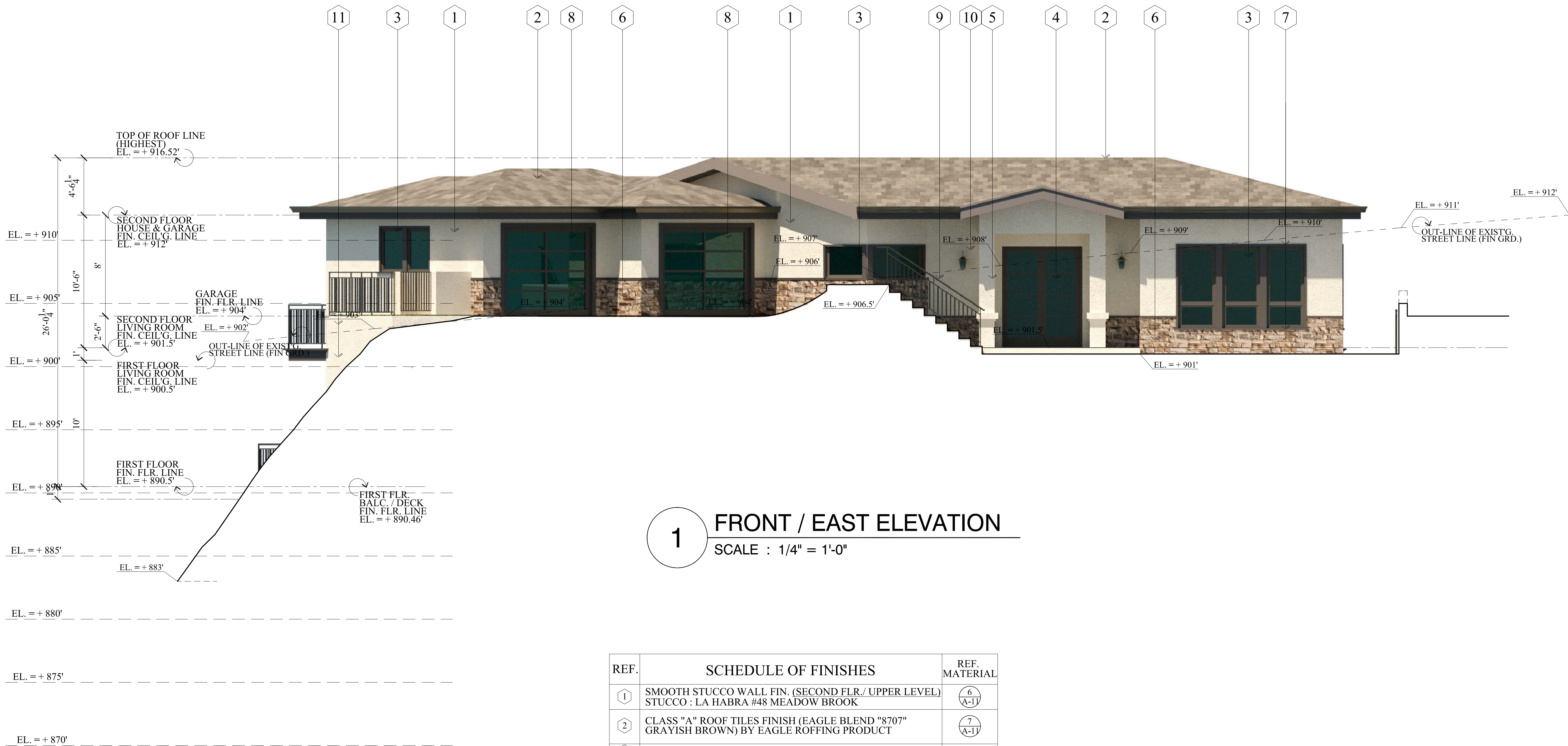
PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES





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PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V J**

Date  
**AUG. 15, 2023**

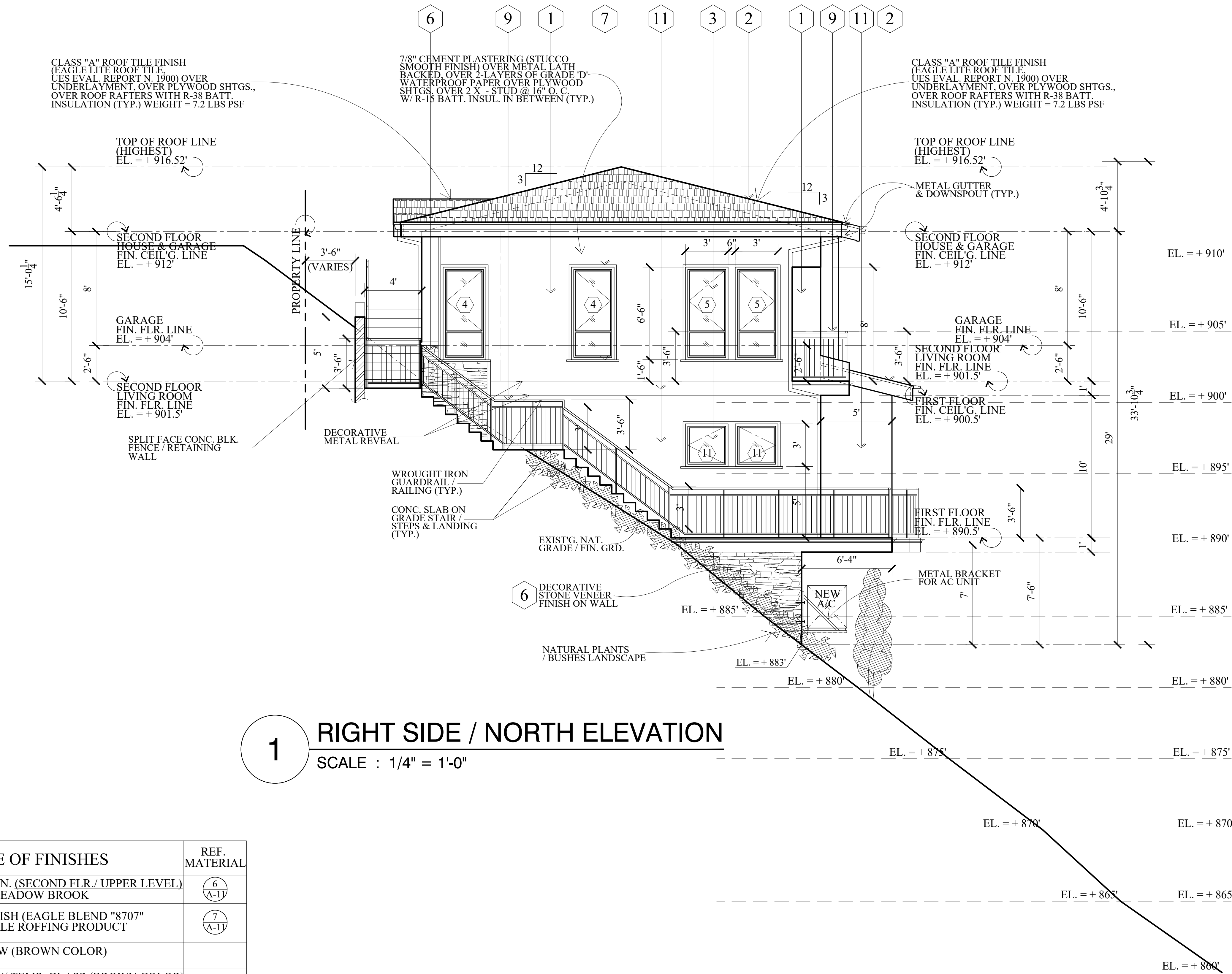
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**1/4" = 1'-0"**

Job No.

Sheet No.  
**A-5.1**

of  
Sheets





REF.	SCHEDULE OF FINISHES	REF. MATERIAL
1	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
2	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	7 (A-1)
3	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
4	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
5	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
6	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	8 (A-1)
7	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	1 (A-1)
8	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
9	WROUGHT IRON GUARDRAIL / RAILING	4 (A-1)
10	DECORATIVE WALL LIGHT	5 (A-1)
11	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	6a (A-1)

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Revisions	By

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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE**

PROJ. ADD : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V J**

Date  
**JULY 3, 2024**

Scale  
**1/4" = 1'-0"**

Job No.

Sheet No.  
**A-6**

of  
Sheets

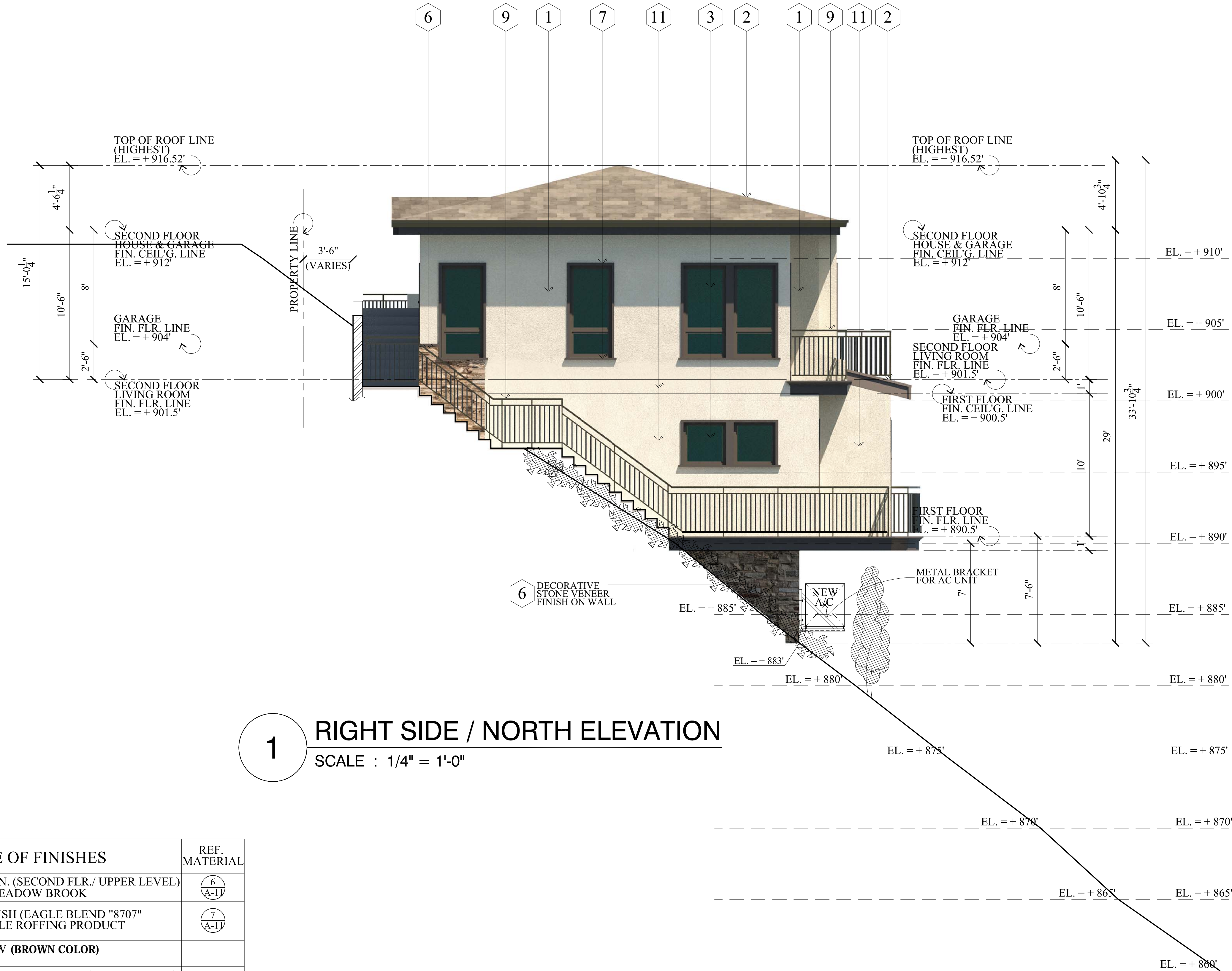


REF.	SCHEDULE OF FINISHES	REF. MATERIAL
1	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
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3	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
4	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
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6	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	8 (A-1)
7	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	1 (A-1)
8	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
9	WROUGHT IRON GUARDRAIL / RAILING	4 (A-1)
10	DECORATIVE WALL LIGHT	5 (A-1)
11	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	6a (A-1)

1

RIGHT SIDE / NORTH ELEVATION

SCALE : 1/4" = 1'-0"



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V J & ASSOCIATES

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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADDR : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
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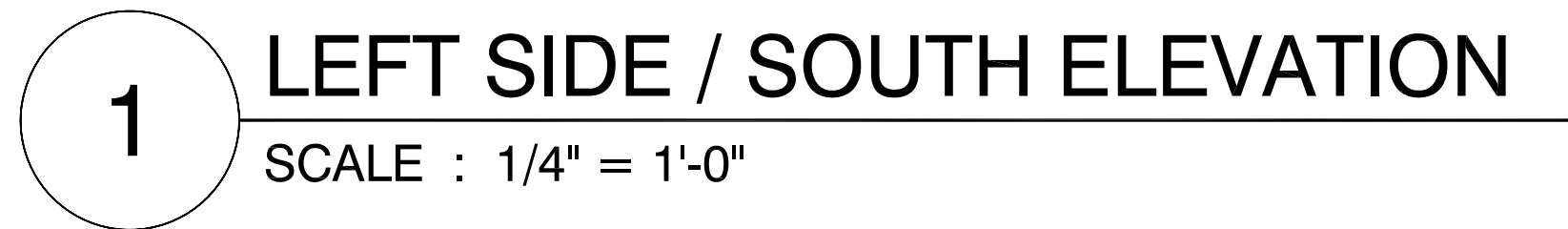
DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by NEIL A.
Checked by V J
Date AUG. 15, 2023
Scale 1/4" = 1'-0"
Job No.
Sheet No. <b>A-6.1</b>
of Sheets







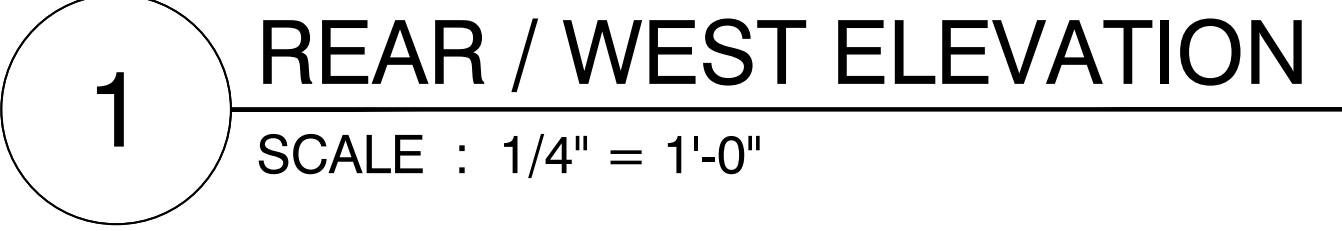


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[illegible]

Drawn by <b>NEIL A.</b>
Checked by <b>V J</b>
Date <b>AUG. 15, 2023</b>
Scale <b>1/4" = 1'-0"</b>
Job No.
Sheet No. <b>A-7.1</b>
of <b>1</b> Sheets



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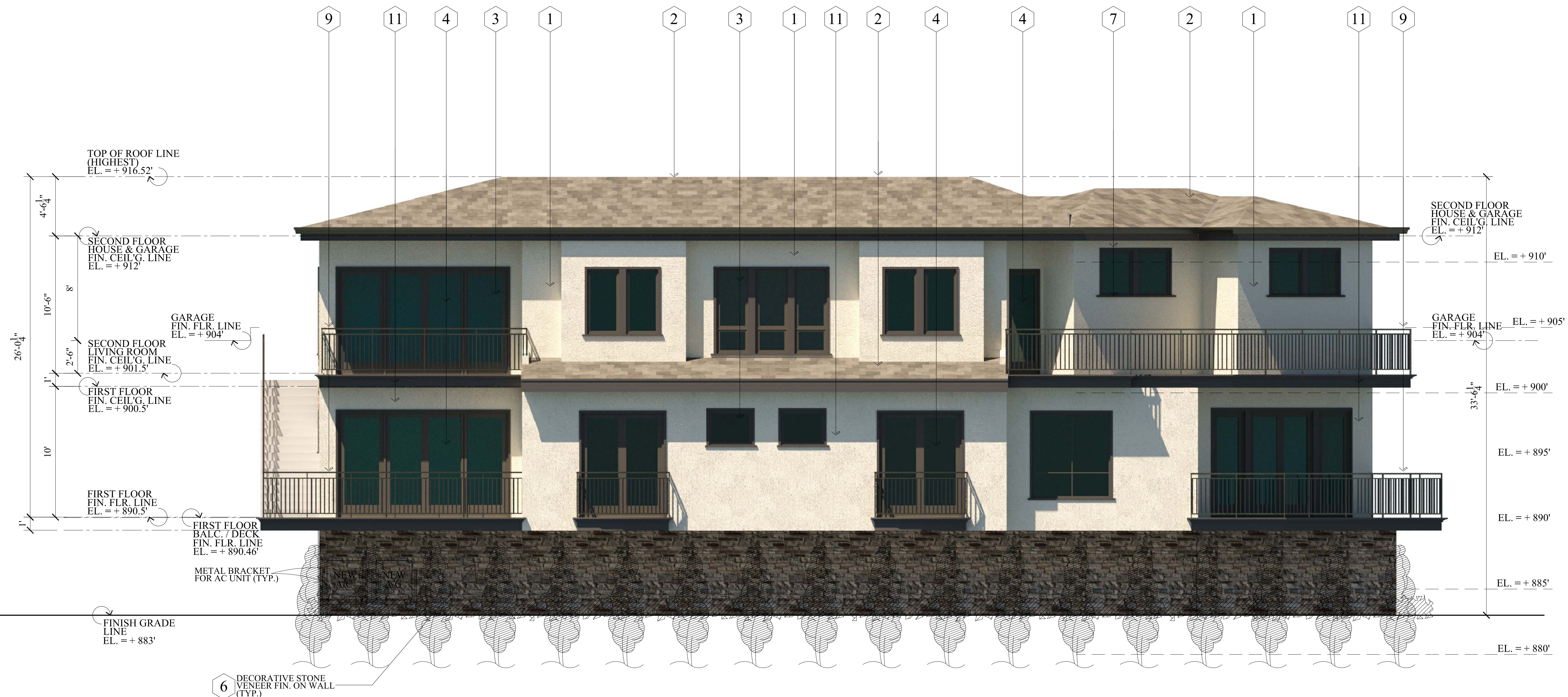
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PROJ. TITLE:	<b>PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE</b>
PROJ. ADDR:	589 ARCH PLACE, GLENDALE, CA. 91206
OWNER:	ARSEN AGAJANIAN 589 ARCH PLACE, GLENDALE, CA. 91206
DRAWG. TITLE:	<b>BUILDING ELEVATION, LEGENDS &amp; NOTES</b>

Drawn by <b>NEIL A.</b>
Checked by <b>V J</b>
Date <b>AUG. 15, 2023</b>
Scale <b>1/4" = 1'-0"</b>
Job No.
Sheet No. <b>A-8.1</b>



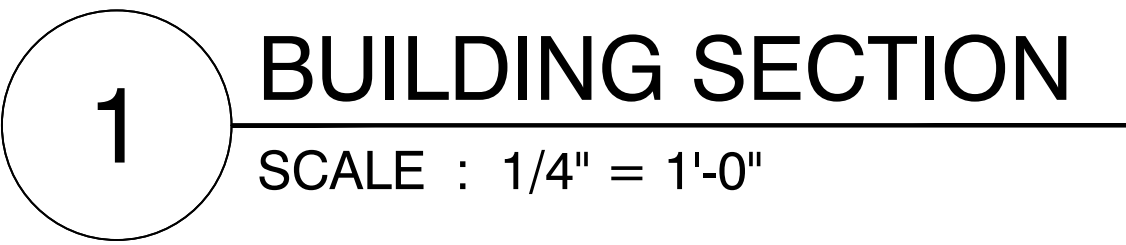
REF.	SCHEDULE OF FINISHES	REF. MATERIAL
①	SMOOTH STUCCO WALL FIN. (SECOND FLR. / UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-1)
②	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	⑦ (A-1)
③	FIBERGLASS TYPE WINDOW ( <b>BROWN COLOR</b> ) W/ TEMPERED GLASS	
④	FIBERGLASS TYPE DOOR W/ TEMP. GLASS ( <b>BROWN COLOR</b> ) W/ TEMPERED GLASS	
⑤	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-1)
⑥	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	⑧ (A-1)
⑦	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	① (A-1)
⑧	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
⑨	WROUGHT IRON GUARDRAIL / RAILING	④ (A-1)
⑩	DECORATIVE WALL LIGHT	⑤ (A-1)
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a (A-1)

1

## REAR / WEST ELEVATION

SCALE :  $1/4" = 1'-0"$

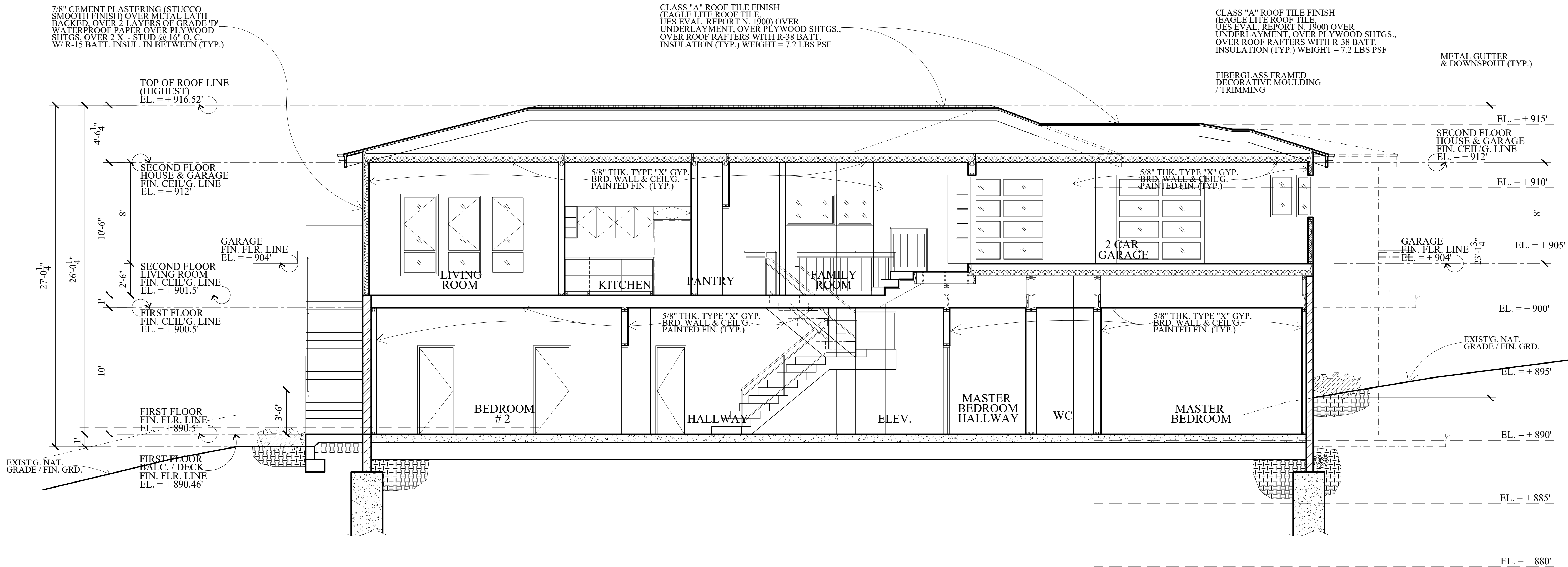




1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE PROJECT WITHIN THE SPECIFIED TIME WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

Drawn by <b>NEIL A.</b>
Checked by <b>V J</b>
Date <b>AUG. 15, 2023</b>
Scale <b>1/4" = 1'-0"</b>
Job No.
Sheet No. <b>A-9</b>
of <b>Sheets</b>





1 BUILDING SECTION  
SCALE : 1/4" = 1'-0"

## NOTES :

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Revisions	By

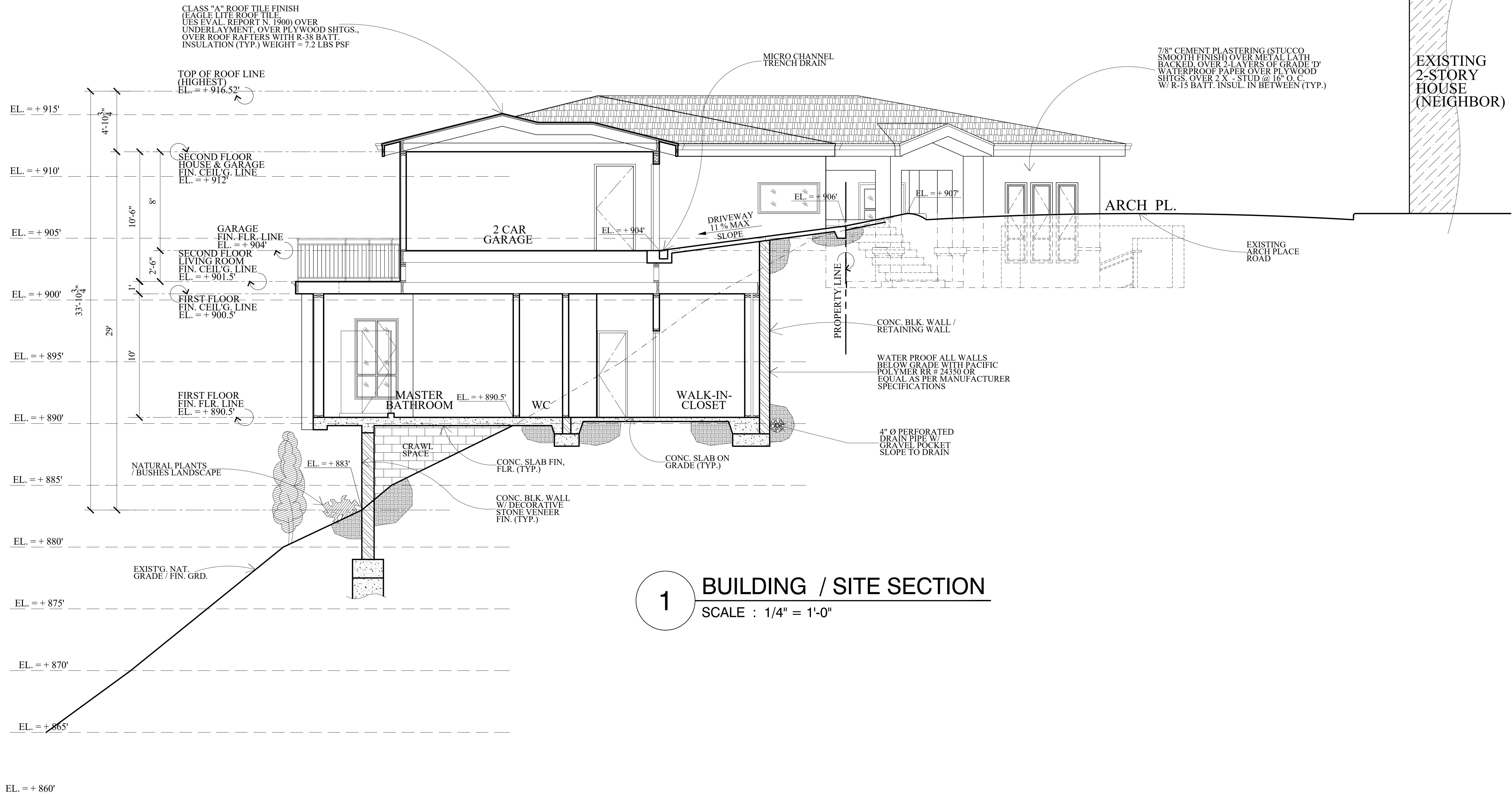
ALL IDEAL, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF V J & ASSOCIATES. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF V J & ASSOCIATES IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO V J & ASSOCIATES. V J & ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO V J & ASSOCIATES. V J & ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THIS DRAWING.

**V J & ASSOCIATES**  
building design • planning • interior  
1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**  
PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206  
OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206  
DRWG. TITLE : BUILDING SECTION, LEGENDS & NOTES

Drawn by  
NEIL A.  
Checked by  
V J  
Date  
AUG. 15, 2023  
Scale  
1/4" = 1'-0"  
Job No.  
Sheet No.  
**A-9.1**  
of  
Sheets





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Revisions	By

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**V J & ASSOCIATES**  
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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE**

PROJ. ADD : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING / SITE SECTION, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V J**

Date  
**AUG. 15, 2023**

Scale  
**1/4" = 1'-0"**

Job No.

Sheet No.  
**A-9.2**

of  
Sheets



SCHEDULE OF DOORS :

DOOR SCHEDULE								
DOOR NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS	
①	6'-0"	7'-10"	PER MANUF.	DOUBLE LEAF SWING	FIBERGLASS	ENTRY (SECOND FLOOR) FRONT / EAST OF THE HOUSE	FRONT / EAST ELEV. @ 1/A-5, & SECOND FLOOR PLAN @ 1/A-2 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)	
②	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	SOLID WOOD W/ 20 MINS. FIRE RATED	HOUSE ACCESS TO 2 CAR GARAGE (FIRST FLOOR)	SELF CLOSING & LATCHING. SECOND FLOOR PLAN @ 1/A-2	
③	6'-0"	7'-10"	PER MANUF.	DOUBLE LEAF SWING	FIBERGLASS W/ TEMP. GLASS	DINING ROOM @ FIRST FLR. (SECOND FLOOR) MASTER BEDRM. #3 & #4 @ (FIRST FLR.)	REAR / WEST ELEV. @ 1/A-8, & FIRST & SECOND FLR. PLAN @ 1/A-3 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)	
④	3'-0"	7'-10"	PER MANUF.	SINGLE SWING	FIBERGLASS W/ TEMP. GLASS	FAMILY ROOM (SECOND FLR.) REAR / WEST OF THE HOUSE	REAR / WEST ELEV. @ 1/A-8, & SECOND FLR. PLAN @ 1/A-2 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)	
⑤	3'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H. C WOOD	CLOSET ALONG ENTRY (SECOND FLR.)	SECOND FLOOR PLAN @ 1/A-2	
⑥	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	H. C WOOD	KITCHEN ACCESS TO DINING (SECOND FLR.)	SECOND FLOOR PLAN @ 1/A-2	
⑦	2'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD	PANTRY (SECOND FLOOR)	SECOND FLOOR PLAN @ 1/A-2	
⑧	8'-8"	7'-0"	PER MANUF.	LIFT-UP / REMOTE CONTROL	METAL / ALUM.	GARAGE (SECOND FLOOR)	SECOND FLOOR PLAN @ 1/A-2	
⑨	2'-8"	7'-10"	PER MANUF.	SINGLE SWING	H. C WOOD	ALL BEDROOMS ENTRY, BATHRMS WC @ MASTER BATHRM., WALK-IN CLOSETS & LAUNDRY (FIRST FLOOR)	FIRST FLOOR PLAN @ 1/A-3	

SCHEDULE OF WINDOWS :

WINDOW SCHEDULE																				
WINDOW NUMBER	QUANTITY	EXISTING WIDTH X HEIGHT	NEW WIDTH X HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM THE STREET ? Y / N	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL) Y / N	KEEP EXISTING SILL & FRAME? Y / N	BUILD NEW SILL & FRAME? Y / N	EXISTING EDGE DETAIL	NEW EDGE DETAIL	BEDROOM ? Y / N	ENERGY EFFICIENT ? Y / N	TEMPERED GLASS ? Y / N	FIRE HAZARD ZONE ? Y / N	WINDOW WITHIN 18" ON FLOOR OR 40" OF DOOR ? Y / N	LOCATION
①	3	-	3'-0" X 6'-6"	-	FIBERGLASS	Y	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	LIVING ROOM (FRONT / EAST OF THE HOUSE) SECOND FLR.
②	1	-	5'-0" X 2'-6"	-	FIBERGLASS	Y	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	STAIRWAY (FRONT / EAST OF THE HOUSE) SECOND FLR.
③	1	-	5'-0" X 2'-6"	-	FIBERGLASS	Y	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	STAIRWAY (FRONT / EAST OF THE HOUSE) SECOND FLR.
④	2	-	3'-0" X 6'-6"	-	FIBERGLASS	N	-	CASEMENT W/ FIXED @ BOTTOM	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	LIVING ROOM (RIGHT SIDE / NORTH OF THE HOUSE) SECOND FLR.
⑤	2	-	5'-0" X 6'-6"	-	FIBERGLASS	N	-	CASEMENT W/ FIXED @ BOTTOM	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	DINING ROOM (RIGHT SIDE / NORTH OF THE HOUSE) SECOND FLR.
⑥	2	-	6'-0" X 8'-0"	-	FIBERGLASS	N	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	Y	DINING ROOM (REAR / WEST OF THE HOUSE) SECOND FLR.
⑦	2	-	2'-6" X 5'-0"	-	FIBERGLASS	N	-	LIFT-UP / TOP HANG	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	KITCHEN (REAR / WEST OF THE HOUSE) SECOND FLR.
⑧	3	-	2'-6" X 6'-6"	-	FIBERGLASS	N	-	CASEMENT W/ FIXED @ BOTTOM	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	FAMILY ROOM (REAR / WEST OF THE HOUSE) SECOND FLR.
⑨	2	-	2'-6" X 5'-0"	-	FIBERGLASS	N	-	LIFT-UP / TOP HANG	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	Y	FAMILY ROOM (REAR / WEST OF THE HOUSE) SECOND FLR.
⑩	6	-	3'-0" X 3'-6"	-	FIBERGLASS	N	-	LIFT-UP / TOP HANG	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	Y	GARAGE (REAR / EAST & LEFT SIDE / SOUTH OF THE HOUSE) SECOND FLOOR
⑪	2	-	3'-0" X 3'-0"	-	FIBERGLASS	Y	-	CASEMENT / SWING	BLOCK	N	-	Y	-	FLAT WOOD	Y	Y	Y	Y	N	BEDROOM # 2 (RIGHT SIDE / NORTH OF THE HOUSE) FIRST FLR.
⑫	2	-	3'-0" X 8'-0"	-	FIBERGLASS	N	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	Y	Y	Y	Y	Y	BEDROOM # 2 (REAR / WEST OF THE HOUSE) FIRST FLR.
⑬	2	-	3'-0" X 2'-6"	-	FIBERGLASS	N	-	CASEMENT	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	BATH # 3 & # 4 (REAR / WEST OF THE HOUSE) FIRST FLR.
⑭	1	-	6'-0" X 6'-6"	-	FIBERGLASS	N	-	CASEMENT W/ FIXED @ BOTTOM	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	MASTER BATHRM. NEAR FREE STANDING TUB (REAR / WEST OF THE HOUSE) FIRST FLR.
⑮	1	-	3'-0" X 8'-0"	-	FIBERGLASS	N	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	Y	Y	Y	Y	Y	MASTER BEDRM. (REAR / WEST OF THE HOUSE) FIRST FLR.
⑯	1	-	3'-3" X 6'-4"	-	FIBERGLASS	N	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	Y	ENTRY ABOVE DOOR 1 (FRONT / EAST OF THE HOUSE) SECOND FLR.

DOORS & WINDOWS NOTE :

- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS & SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE WINDOW UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- ALL WINDOWS & DOORS GLAZINGS SHALL BE TEMP. GLASS.
- FOR WINDOWS & DOORS U-FACTOR & SHGC SEE T24 SHEET
- PROVIDE CODE COMPLIANT RESCUE WINDOWS IN ALL SLEEPING ROOMS.
- ALL DOOR HARDWARES SHALL BE METAL & RATING WITH CODE COMPLIANT
- ALL BATHROOM'S WINDOWS TO BE OBSCURED TEMP. GLASS TYPE
- ALL WINDOWS SHALL MEET THE CITY OF GLENDALE'S SECURITY ORDINANCE

NOTES CONT. :

- SINGLE - AND MULTIPLE - STATION ALARMS SHALL BE LISTED TO COMPLY WITH UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH UL 2075. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 720 AND THE MANUFACTURE'S INSTALLATION INSTRUCTIONS. (R315.3)
- A COPY OF ANY EVALUATION REPORT AND / OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R310.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R301.1)
- SMOKE ALARMS INSTALLED SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE OR SHALL BE REPLACED IF THE DATE OF MANUFACTURE CANNOT BE DETERMINED. (R314.3.2)
- BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
  - FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLEHOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- REPLACED ALL EXISTING WINDOW IN SIMILAR SIZED & MATERIAL PER PROPOSED FLOOR PLAN (IN ALUMINUM FRAMED). SEE SCHED. OF WINDOWS. ALL WINDOW GLAZED ARE TO BE IN DUAL GLAZED, UNLESS OTHERWISE STATED.

NOTES CONT. :

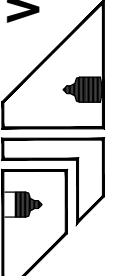
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) R308.4 :
  - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIPOLD DOOR ASSEMBLIES.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24- INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
    - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
    - BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
    - TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
    - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
  - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
  - GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER EDGE.
  - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- PROTECTION OF WOOD AND WOOD BASE PRODUCTS FROM DECAY SHALL BE PROVIDED IN LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE - TREATED IN CCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED ON SECTION 2 OF AWPA U1.
- FOR STEPS / STAIR, TREAD AND RISER DIMENSIONS (7.75" MAX. RISER / 10" MIN. TREAD) (CBC R317.4.4)
- EXTERIOR DOOR SHALL MEET ONE OF THE FOLLOWING :
  - NONCOMBUSTIBLE CONSTRUCTION OR
  - SOLID WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4 IN. THICK OR
  - MINIMUM 20-MINS. RATED OR
  - MEET SFM 12-7A-1
- UNDERFLOOR AREAS SHALL BE ENCLOSED TO GRADE WITH EXTERIOR WALLS, EXCEPT AS FOLLOWS :
  - IGNITION-RESISTANT MATERIAL CONSTRUCTION OR
  - HEAVY TIMBER CONSTRUCTION.
- ATDC VENTILATION SHALL NOT BE LOCATED IN SOFFITS, IN EAVE OVERHANG, BETWEEN RAFTERS AT EAVES OR IN OTHER OVERHANG AREAS. GABLE ENDS & DORMER VENTS SHALL BE LOCATED AT LEAST 10 FEET FROM PROPERTY LINE. VENTILATION OPENINGS SHALL BE LOCATED AS CLOSE AS TO GRADE AS POSSIBLE.
- BATHTUB AND SHOWER FLOORS, WALL ABOVE BATHTUB WITH A SHOWER HEAD, AND SHOWER COMPARTMENT SHALL BE FINISHED WITH A NONABSORBENT SURFACE SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
- PROVIDE ULTRA LOW FLOW WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SINKER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- FOR CLOTHES DRYER A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.2)
- FOR CLOTHES DRYER A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6 FT. AND CANNOT BE CONCEALED (CMC 504.3.2.1)
- GAS WATER HEATER INSTALLED IN A GARAGE SHALL BE ELEVATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR. GAS WATER HAEATER INSTALLED ON THE GROUND SHALL BE SET ON LEVEL CONCRETE OR OTHER APPROVED BASE NOT LESS THAN 3-INCHES ABOVE THE ADJOINING GROUND (CFC 508.14, 508.3; CMC 507.1)
- PROVIDE SEISMIC STRAPPING TO WATER HEATER. (CPC 508.2)
- FOR WATER HEATER A T & P RELIEF VALVE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS IS REQUIRED. (CPC 505.6)
- WATER HEATERS WITH OUTDOOR COMBUSTION AIR SHALL PROVIDE TWO OPENINGS WITHIN 12 INCHES OF THE TOP AND BOTTOM OF THE ENCLOSURE. EACH OPENING SHALL BE SIZED AT 1 SQUARE INCH / 4000 BTU / H IF THE COMBUSTION AIR IS DIRECTLY FROM OUTDOOR WITHOUT DUCTS (CPC 507.4) FOR ALL OTHER INSTALLATION, COMBUSTION AIR SHALL COMPLY WITH CPC 507.
- INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM IN THE ENTIRE HOUSE.
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)

NOTES :

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- GRESS DOORS SHALL BE OPENED SEPARATELY FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
- ENTRY & EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AN SCREEN DOOR ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)
- PROVIDE 15' MIN. BETWEEN THE CENTER OF WATER CLOSET. TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) SEPARATE PLUMBING PERMIT IS REQUIRED).
- FINISH MATERIAL POLLUTANT CONTROL. SEC. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL : THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTION 4.504 THROUGH 4.504.5 :
  - ADHESIVES, SEALANTS AND CAULKS, PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND AVATORIES, BATHTUBS, SHOWERS, BIDET, LAUNDRY TUBS AND WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
- DOORS, WINDOWS, GLASS & GLAZING :
  - WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED.
  - GLAZINGS IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3 (6), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOEER FLOOR (CBC 2406.3(5), OR WITHIN 5" OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10) SHALL BE TEMPERED.
- GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3(6), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOWER FLOOR (CBC 2406.3(5), OR WITHIN 5" OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10) SHALL BE TEMPERED.
- COMPLY WITH THE CITY OF GLENDALE BUILDING AND SAFETY CODE & THE NEW 2013 CBC.
- ALL NEW WINDOW GLAZED SHALL BE TEMPERED GLASS REQUIRED (HIGH FIRE HAZARD ZONE)
- SEPARATE PERMIT FOR MECH/L PLUMBING & ELECTRICAL
- NO NEW ROOF TOP EQUIPMENT.
- PROVIDE NO. 26 GALVANIZED SHEET GAGE WEEP SCREENED WITH 3-1/2" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4-INCHES ABOVE EARTH OR 2-INCHES ABOVE PAVED AREAS. (CMC 251.2.1.2)
- 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT. THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
- PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT. THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE - FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWE POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC. OR TO THE LOCATION OF THE WORK - UP - THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE THE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM. (R306.3)
- KITCHEN SINKS, LAVATORIES, BATH TUBS, SHOWERS, BIDET, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION OFR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

Revisions	By

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**V J & ASSOCIATES**  
building design • planning • interior

1224 E. BROADWAY, SUITE 202,  
Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : ARCH PLACE, GLENDALE, CA.

OWNER : ARCH PLACE, GLENDALE, CA.

DRWG. TITLE (HOUSE ADDITION) SCHED. OF DOORS & WINDOWS, NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**MARCH 15, 2023**

Scale  
**1/4" = 1'-0"**

Job No.

Sheet No.  
**A-10**

of Sheets







LEGENDS :

W

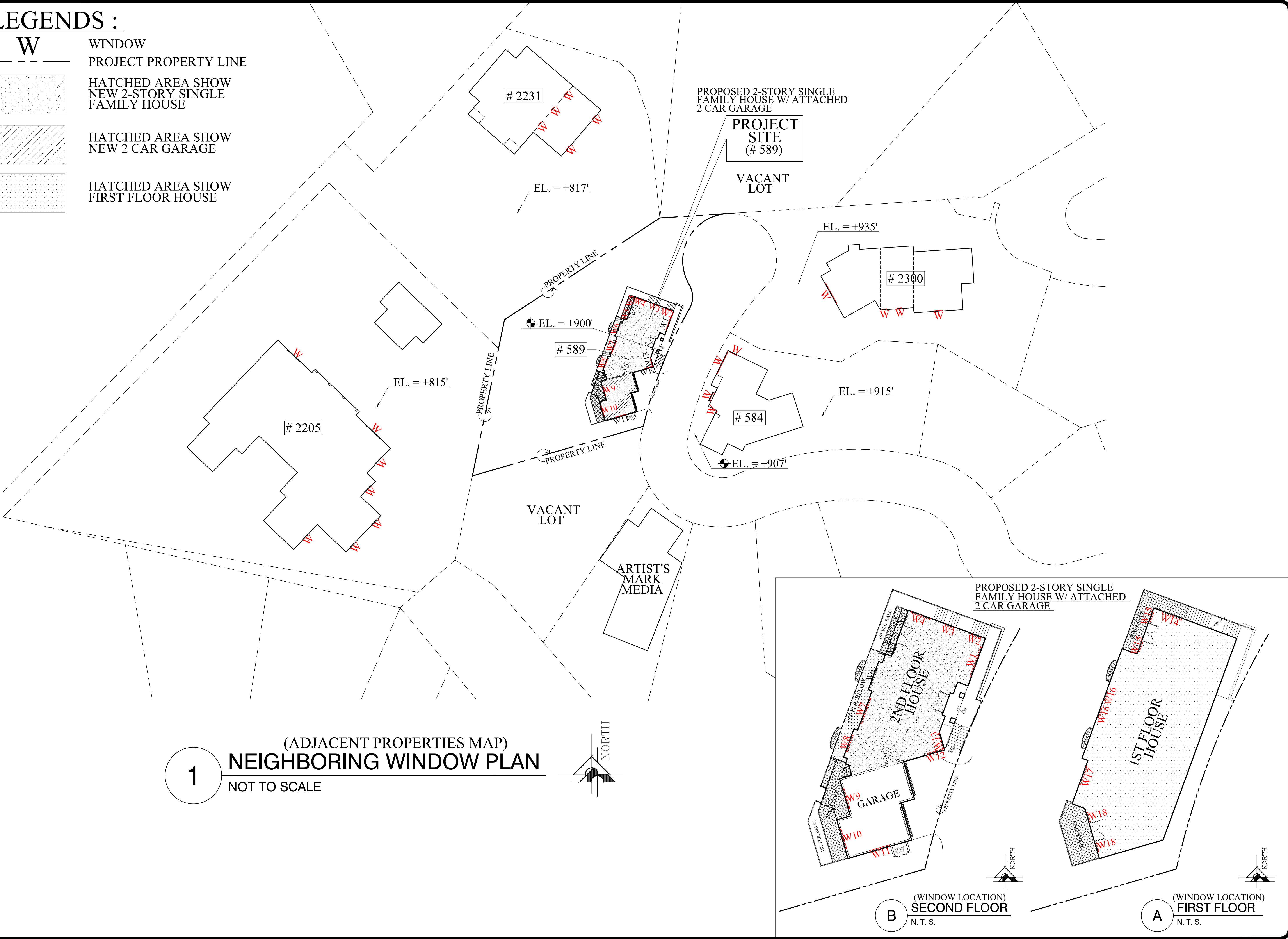
— — —

WINDOW  
PROJECT PROPERTY LINE

HATCHED AREA SHOW  
NEW 2-STORY SINGLE  
FAMILY HOUSE

HATCHED AREA SHOW  
NEW 2 CAR GARAGE

HATCHED AREA SHOW  
FIRST FLOOR HOUSE



Revisions	By

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1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE  
PROJ. ADDR : 589 ARCH PLACE, GLENDALE, CA. 91206  
OWNER : 589 ARCH PLACE, GLENDALE, CA 91206  
DRWG. TITLE : (ADJACENT PROPERTIES MAP) NEIGHBORING WINDOW PLAN, (WINDOW LOCATION) FIRST & SECOND FLOOR, LEGENDS

Drawn by NEIL A.
Checked by V. J.
Date APRIL 4, 2023
Scale N. T. S.
Job No.
Sheet No. A-12
of Sheets



589 ARCH PLACE - GLENDALE, CA



Disclaimer:  
This Drawing is neither a legally recorded map nor a survey,  
and is not intended to be used as such. The information  
displayed is a compilation of records, information and data  
obtained from various sources, including the City of Glendale  
which is not responsible for its accuracy or timeliness.

Sources:  
Base Map: City of Glendale PW BNG  
Planimetric: City of Glendale PW BNG  
Topo: LA County - 2017  
Aerial Photography: LA County - 2020

Map Prepared by  
Mapping & Real Property  
W.F. A'Hearn, Sr. GIS Proj. Mgr.  
22 March 2023

Scale  
0 10 20 40  
Feet

**LEGEND**

589 Arch Place

City Boundary (Lines in White)

City Boundary

ROW-Track Lines

Lot Lines

City Lot Split Lines

County Lot Split Lines

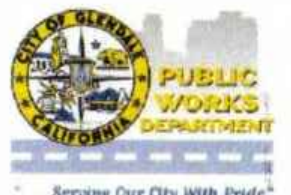
Street Centerline

2020 - Aerial Photo

Red: NONE

Green: NONE

Blue: NONE



1

SATELLITE MAP

NOT TO SCALE

PUBLIC WORKS . ENG'G. CONDITIONS :

PUBLIC WORKS ENGINEERING Land Development Section	
<input checked="" type="checkbox"/> Comments/Conditions	<input type="checkbox"/> No Comments
<p>1. The project shall comply with all National Pollutants Discharge Elimination System (NPDES) requirements.</p> <p>2. Drainage from roof and on-site improvements shall be conveyed to the street via sheet flow/gravity flow through the driveway apron or cast-iron pipes/parkway drains from the property line and exiting through the curb. Show how onsite drainage will be discharged into the street. No concentrated drainage shall be allowed downstream from the site.</p> <p>3. The proposed concrete sidewalk and driveway apron may need to be supported with piles and retaining walls. Additional guard rails may need to be installed along the street frontage of the property.</p> <p>4. Show the limits of construction in the public right-of-way. Label all proposed improvements in the public right-of-way. Additional comments may be forthcoming once this is confirmed.</p> <p>5. Provide street cross-sections across the proposed driveway apron and additional cross-sections above and below the driveway apron. Additional comments may be forth coming upon submittal of the cross sections.</p> <p>6. Street improvement plans shall be required for this project. Broken street pavements, curb, and gutter may need to be replaced. Plan check fees shall apply.</p> <p>7. All retaining walls and/or lateral support systems supporting the street, sidewalk, and driveway apron, shall be constructed on private property, and maintained by the applicant or owner.</p> <p>8. Submit a topographic map showing additional surface items (with labels) in the public right-of-way that includes existing guardrails, pavement, edge of pavement, street signs, curb and gutter on both sides of the street, fire hydrant, street signs, utilities, manholes, utility valves, rectangular concrete vault, trees, etc. Label the type of trees in the right-of-way to verify if they are indigenous trees or not. Additional comments may be forth coming after the submittal of the topographic map.</p> <p>9. The wastewater shall discharge by gravity flow through the sewer lateral from the property towards the existing sewer main on Arch Place.</p> <p>10. The proposed driveway apron shall be constructed per SPPWC Standard Plan No. 110-2. The driveway apron shall slope downwards from the property line towards the street.</p> <p>11. The roadway pavement within the vicinity of the property shall be inspected after the completion of the project. In the event of damage, because of construction-related activities, the applicant may be required to perform additional street improvement repairs, up to the reconstruction of the asphalt concrete pavement.</p> <p>12. The applicant shall bear all costs involved in the relocation/reconstruction and/or adjustment to new finished grade of all utilities (underground and overhead) within the public right-of-way and easement that may be affected by the project and shall coordinate all such work with the respective utility companies.</p> <p>13. All existing street appurtenances including traffic striping, street signs, curb paintings, tree wells, utilities, and all other improvements within the public right-of-way and easement that were damaged, removed, or relocated during construction shall be restored to the satisfaction of the Director of Public Works.</p> <p>14. Separate permits are required for all work within the public-right-of-way. The applicant shall bear all fees for the necessary permits and construction inspections for work within the public right-of-way.</p> <p>15. Comments from Traffic Section shall be provided separately.</p> <p>16. Additional requirements may apply after the submittal of engineering plans for building plan check.</p>	
Page 1 of 2	
Case No.: <b>PVAR-001654-2023</b>	
Address: <b>589 Arch Place</b>	
Case Planner: <b>Aileen Babakhani</b>	
Signature:  Date: <b>8/8/23</b>	
Yazdan T. Emrani, P.E. Director of Public Works	
Page 2 of 2	

Revisions	By

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**1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570**

**PROJ. TITLE: PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

**PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206**

**OWNER: ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA 91206**

**DRWG. TITLE: SATELLITE MAP, PUBLIC WORKS ENG'G. CONDITIONS**

Drawn by <b>NEIL A.</b>
Checked by <b>V. J.</b>
Date <b>AUG. 15, 2023</b>
Scale <b>N. T. S.</b>
Job No.
Sheet No. <b>A-12a</b>
of Sheets



CCAM LEGEND	
	Horizontal / Vertical Control
	Flag Pole Post
	Light Pole
	Post
	Power Pole Anchor
	Power Pole
	Traffic Signal
	Street Lights
	Large Sign
	Small Sign
	Callbox
	Catch Basin
	Left Turn Arrow
	Right Turn Arrow
	Misc Valve Cover
	Water Valve
	Water Meter
	Handicap Parking
	Fire Hydrant
	Manhole
	Utility Box
	Transmission Tower
	Rail Road Signal
	Palm
	Tree
	Tree Line
	Brush Line
	Dirt Road
	Edge of Asphalt
	Concrete
	Waterline
	Trail
	Curb
	Gutter

**Central Coast Aerial Mapping, Inc.**  
710 Fiero Ln. #24  
San Luis Obispo, California 93401  
Tel: (805)543-4307 Fax: (805)543-7257  
mail@airial-maps.com

We comply with map accuracy standards from ASPRS and American Congress on surveying and mapping printed by U.S. Department of the Interior, except where ground is not visible, like areas of heavy trees, clear areas in-between trees with no stereo images, heavy brush, heavy shadow, or blind areas in the back of some structures

Photography Date: 07-10-2020      Job # 2020-134



LEGEND:	
	CONCRETE WALL
	BLOCK WALL
	STONE WALL
	STUCCO WALL
	CHAIN LINK FENCE
	WOODEN FENCE
	CENTER LINE
	LOT LINE
	CONCRETE
	TREE
	BEGIN OF CURVE
	END OF CURVE
	EDGE OF GUTTER
	EDGE OF PAVEMENT
	FLOWLINE
	NATURAL GRADE
	POINT ON CURVE
	POINT ON LINE
	TOP OF WALL
	TOP OF SLOPE
	MAIL BOX
	WATER METER
	ELECTRICAL METER
	ELECTRICAL BOX
	PULL BOX
	MEASURED DISTANCE
	COMPUTED DISTANCE
	RECORDED DISTANCE

**NOTES:**  
A. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.  
B. IN PROVIDING THIS SURVEY NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY EXISTED ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.  
C. NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. ALL DOCUMENTS OF RECORD REVIEWED ARE NOTED HEREON. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL OF LAND.  
D. THE PROFESSIONAL SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

**LEGAL DESCRIPTION:**  
LOT 7 OF TRACT NO. 10036, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 141, PAGES 32 THROUGH 35 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY AND A PORTION OF VACATED LILAH PLACE.

A.P.N. 5666-004-019.

**BASIS OF BEARINGS:**  
THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING N73°38'E OF A COURSE IN THE SOUTHERLY LINE OF ARCH PLACE, AS SHOWN ON THE MAP OF TRACT NO. 10036, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 141, PAGES 32 THROUGH 35 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

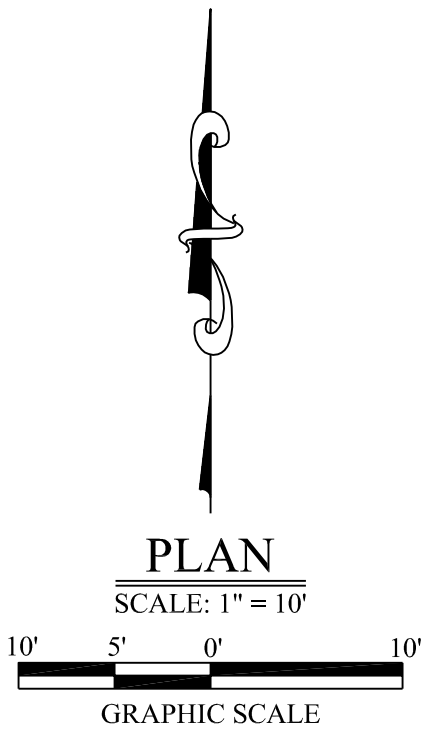
**BENCHMARK:** FD. SPK. & C. OF G. W. PER C.E.T.B. 370, PG. 75. EL. 902.69'.

**DATE OF SURVEY:**  
JULY 2, 2020.

**SITE ADDRESS:**  
ADDRESS NOT ASSIGNED,  
GLENDALE, CA 91206.

COPIES OF THIS PLAN WITHOUT AN ORIGINAL SIGNATURE AND WITHOUT WET SEAL ARE NOT VALID.

**AVERAGE SLOPE CALCULATIONS:**  
A=13,147 SQ. FT. = 0.3018 AC  
1 = 1'  
L = 9736.6'  
S = 0.00229 x 1 x L / A = 0.00229 x 1' x 9,736.6' / 0.3018 = 73.88 %



PREPARED EXCLUSIVELY FOR:


SHEET TITLE  
TOPOGRAPHIC SURVEY MAP

DATE  
08-12-2020  
SHEET NO.  
1  
JOB NO.



Revisions	By

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**VJ & ASSOCIATES**  
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1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

**PROJ. TITLE:** PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE

**PROJ. ADDR:** 589 ARCH PLACE, GLENDALE, CA. 91206

**OWNER:** ARSEN AGAJANIAN

**DRWG. TITLE:** 589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE:

Drawn by  
**NEIL A. LARSEN**

Checked by  
**EL**

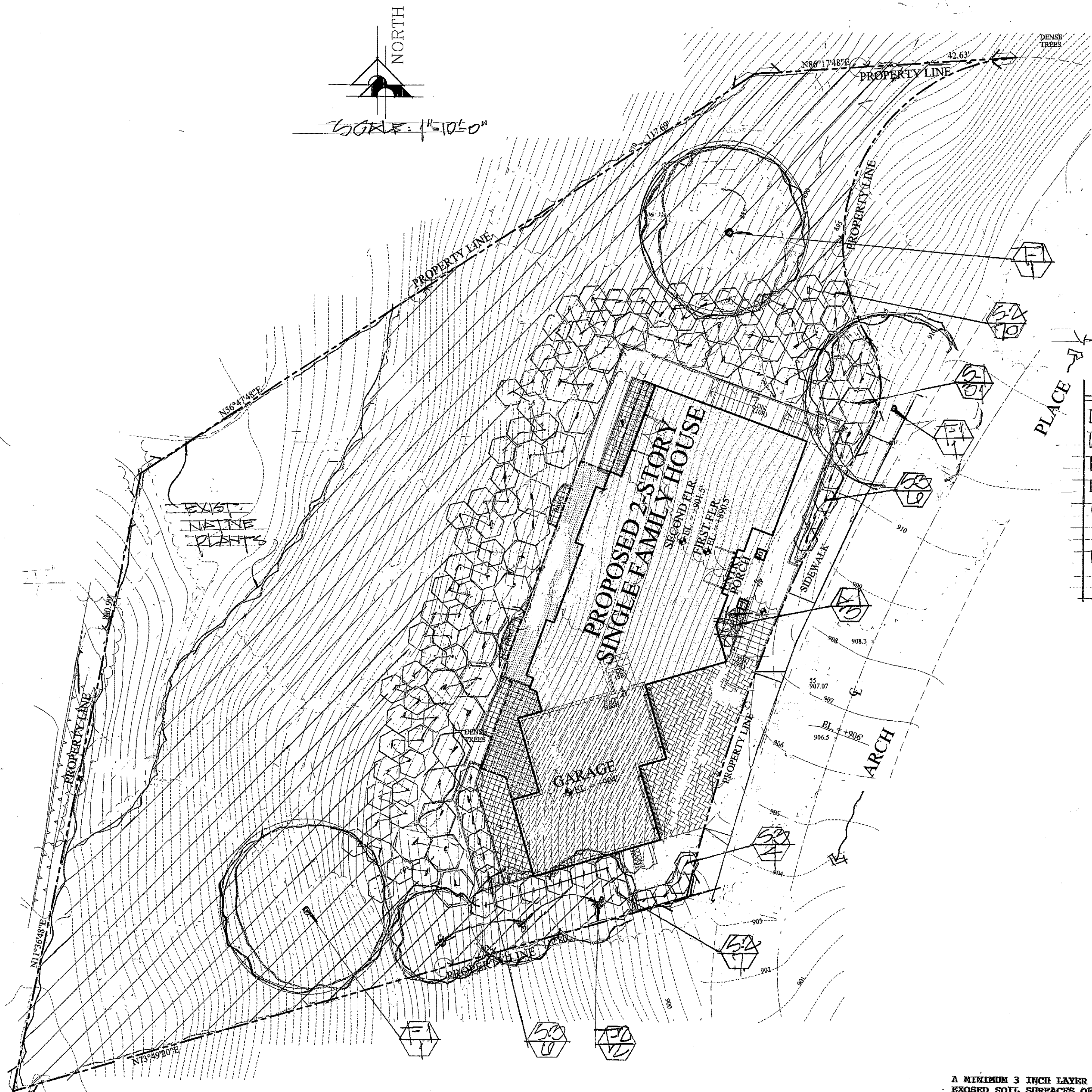
Date  
**8-14-83**

Scale  
**1" = 10'-0"**

Job No.  
**—**

Sheet No.  
**1-1**

of  
**1**  
Sheets



WATER USAGE (HUGGLES)


PLACE


**PLANT LIST**


SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
T-1	QUERCUS AGRIIFOLIA	COAST REDWOOD	24"X 3'	3	—
T-2	HETEROPHYLLA ARENIFOLIA	TOYON / NINEBARK	24"X 3'	3	—
S-1	PHACELIA CALIFORNICA	CALIF. CLOVER	56"X 31"	8'00"	—
S-2	CENOTHUS PROSTRATA	CARNE CREEPER	56"X 31"	4'00"	—
S-3	CISTUS X PURPURA	ORCHID BUSH	56"X 31"	3'00"	—
A-1	FESTUCA CALIFORNICA	CALIF. FESCUE	56"X 31"	3'00"	—
G	GROUNDCOVER = RAGGARDIS TWIN-PEAKS	COYOTE BUSH	FLATS	16	2'00"


- 1. L.V. = LOW WATER USAGE / P.F. = 3
- 2. INSTALL FIVE RETARDANT JUTE MESH ON ALL SLOPE AREAS TO BE PLANTED
- 3. LANDSCAPE AREA = 4,970 SQ. FT.


**LEGEND**


 PROPOSED TREE


 PROPOSED SHRUB


 PROPOSED ACCENT


 PROPOSED GROUNDCOVER


 PLANT SYMBOL QUANTITY







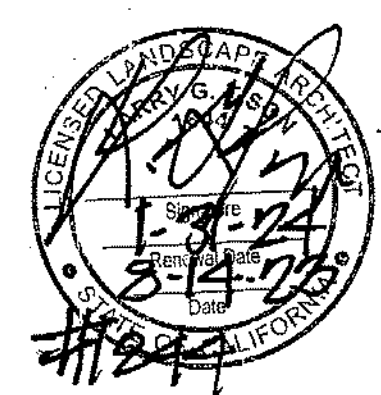




A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS; EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

MELLO COMPLIANCE

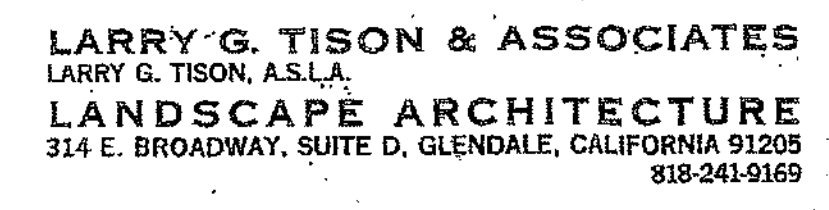
I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES  
LARRY G. TISON, A.S.L.A.  
LANDSCAPE ARCHITECTURE  
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205  
818-241-9169

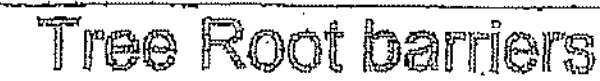
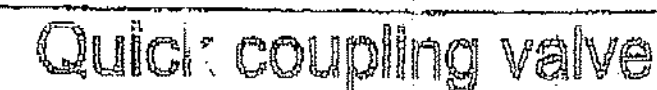
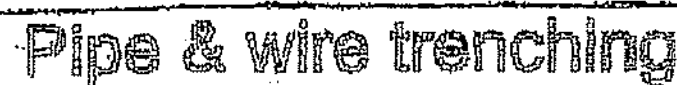
## PLANTING PLAN





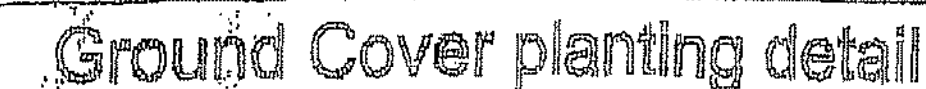
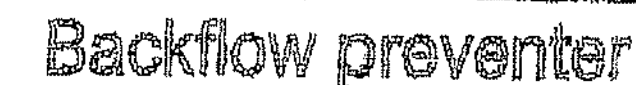
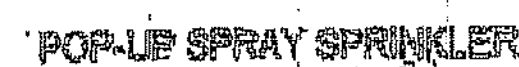
Drawn by <b>NEIL A</b> / <i>LA</i>
Checked by
Date <i>8-14-23</i>
Scale <b>1" = 10'-0"</b>
Job No.
Sheet No.
<b>L-2</b>
of <i>—</i> Sheets



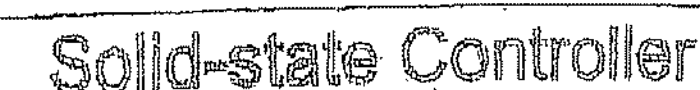
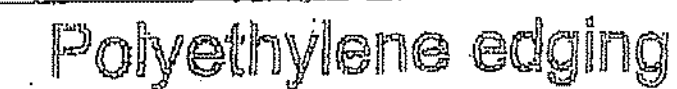
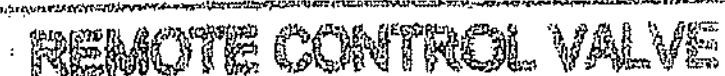
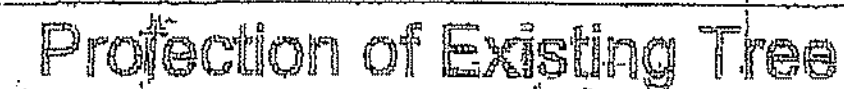
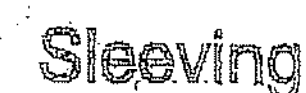
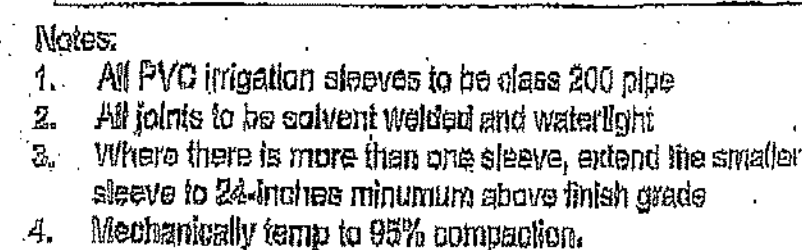
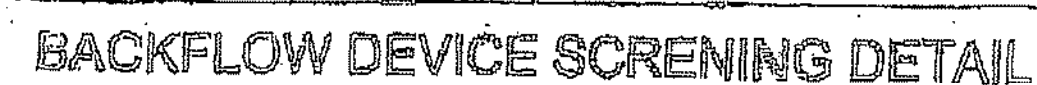


- ## Landscape Notes

## Soil characteristics



- ## Irrigation notes











**RENDERING #1**



**VARTAN JANGOZIAN &  
ASSOCIATES**  
design • planning • interior





**RENDERING #2**



**VARTAN JANGOZIAN &  
ASSOCIATES**  
design • planning • interior





**RENDERING #3**



**VARTAN JANGOZIAN &  
ASSOCIATES**  
design planning + interior





VARTAN JANGOZIAN &  
ASSOCIATES  
design • planning • interior

**RENDERING #4**