

GENERAL NOTES :

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

LEGENDS :

-  PROPERTY LINE
-  HATCHED AREA SHOW SINGLE FAMILY HOUSE SECOND FLOOR
-  HATCHED AREA SHOW SINGLE FAMILY HOUSE PART OF FIRST FLOOR
-  HATCHED AREA SHOW 2 CAR GARAGE
-  HATCHED AREA SHOW PERMEABLE STONE PAVING FINISH SEE DET.

FD. SPK. & C. OF G. W. PER C.E.T.B. 370, PG. 75.

1 SITE DEVELOPMENT PLAN W/ SURVEY
SCALE : 1" = 10'-0"

Revisions	By

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V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 105,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE: **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER: ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE: SITE DEVELOPMENT PLAN WITH SURVEY, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

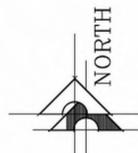
Date
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Scale
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Job No.

Sheet No.
A-1

of Sheets



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LEGENDS :

- PROPERTY LINE
- HATCHED AREA SHOW SINGLE FAMILY HOUSE SECOND FLOOR AND PART OF FIRST FLOOR
- HATCHED AREA SHOW HARDSCAPE
- HATCHED AREA SHOW LANDSCAPE

FD. SPK. & C. OF G. W. PER C.E.T.B. 370, PG. 75.

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PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206
OWNER : ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE : SITE DEVELOPMENT PLAN WITH SURVEY, LEGENDS & NOTES

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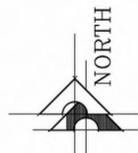
Date
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LEGENDS :

- PROPERTY LINE
- GRADING AREA 23.8% OF THE LOT
- UNGRADED AREA 76.2% OF THE LOT

NOTE:
CUT AND FIL 800 CU.YD.

FD. SPK. & C. OF G. W.
PER C.E.T.B. 370, PG. 75.

1 SITE DEVELOPMENT PLAN W/ SURVEY
SCALE : 1" = 10'-0"

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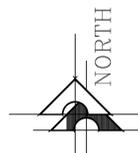
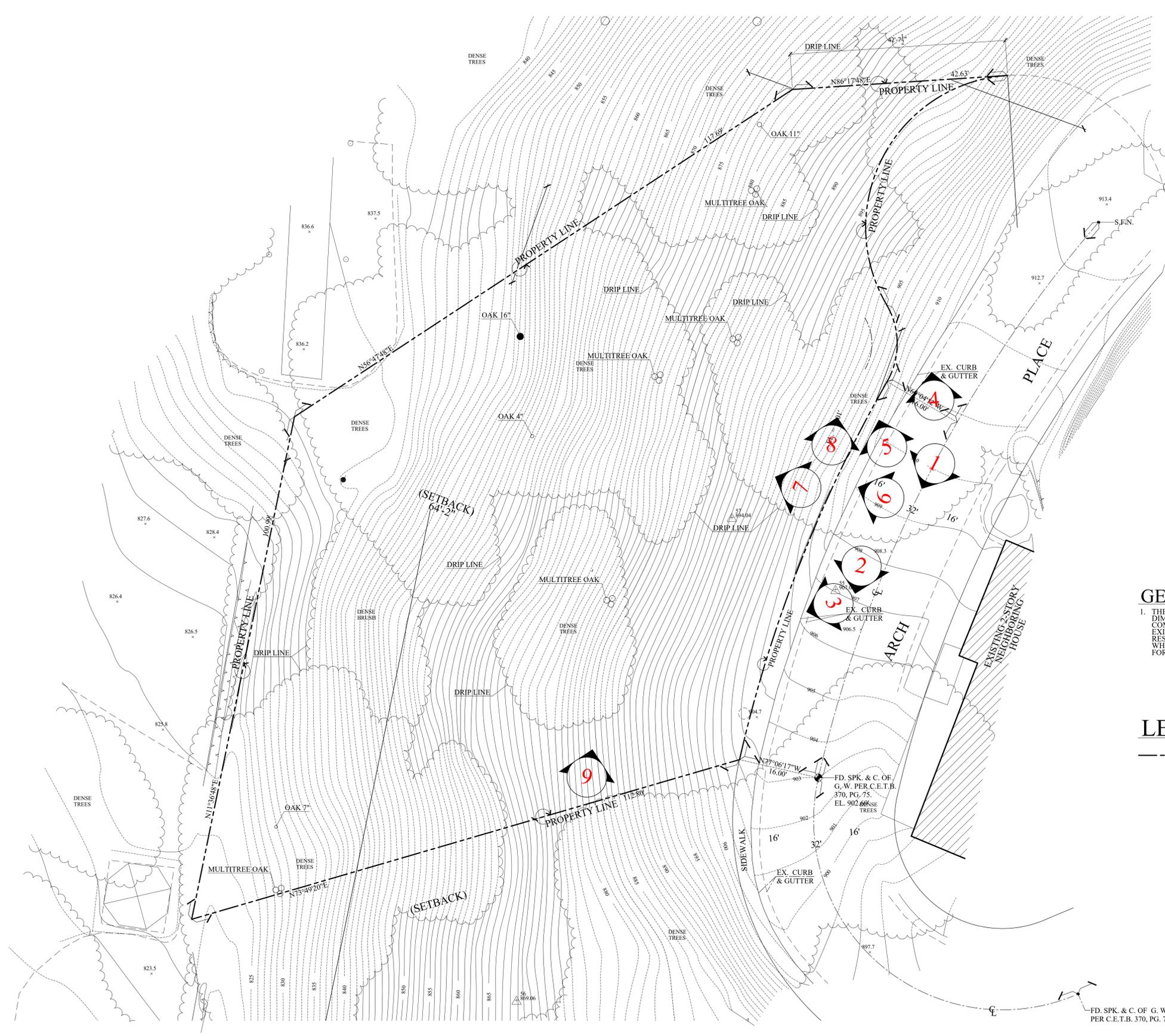
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LEGENDS :

----- PROPERTY LINE

1 KEY MAP FOR PHOTOGRAPHS
SCALE : 1" = 10'-0"

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OWNER: ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE: KEYMAP FOR PHOTOGRAPHS

Drawn by
NEIL A.

Checked by
V. J.

Date
JULY 3, 2024

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PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206
 OWNER: ARSEN AGAJANIAN
 589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE: FLOOR AREA & LOT COVERAGE DIAGRAM & CALCULATIONS

Drawn by
NEIL A.

Checked by
V. J.

Date
AUG. 11, 2023

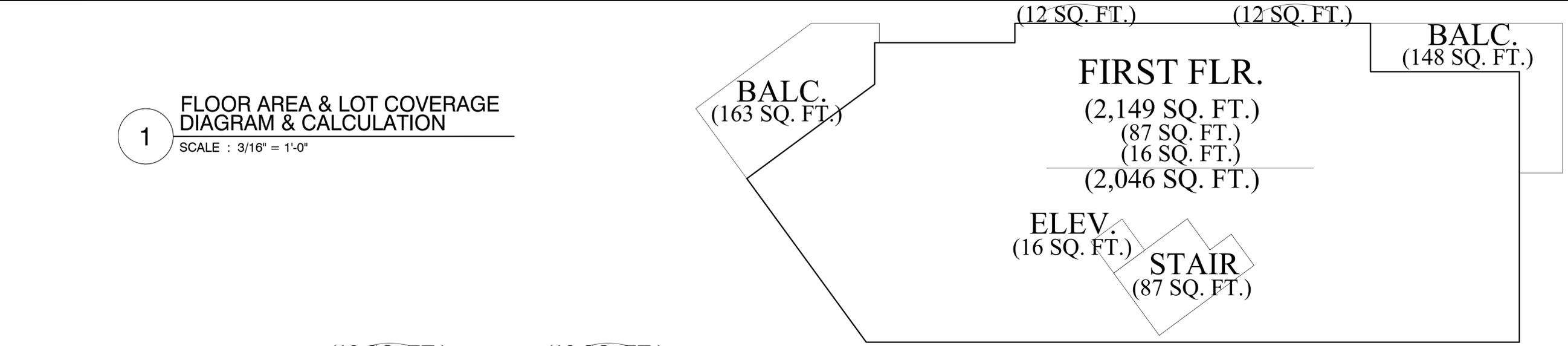
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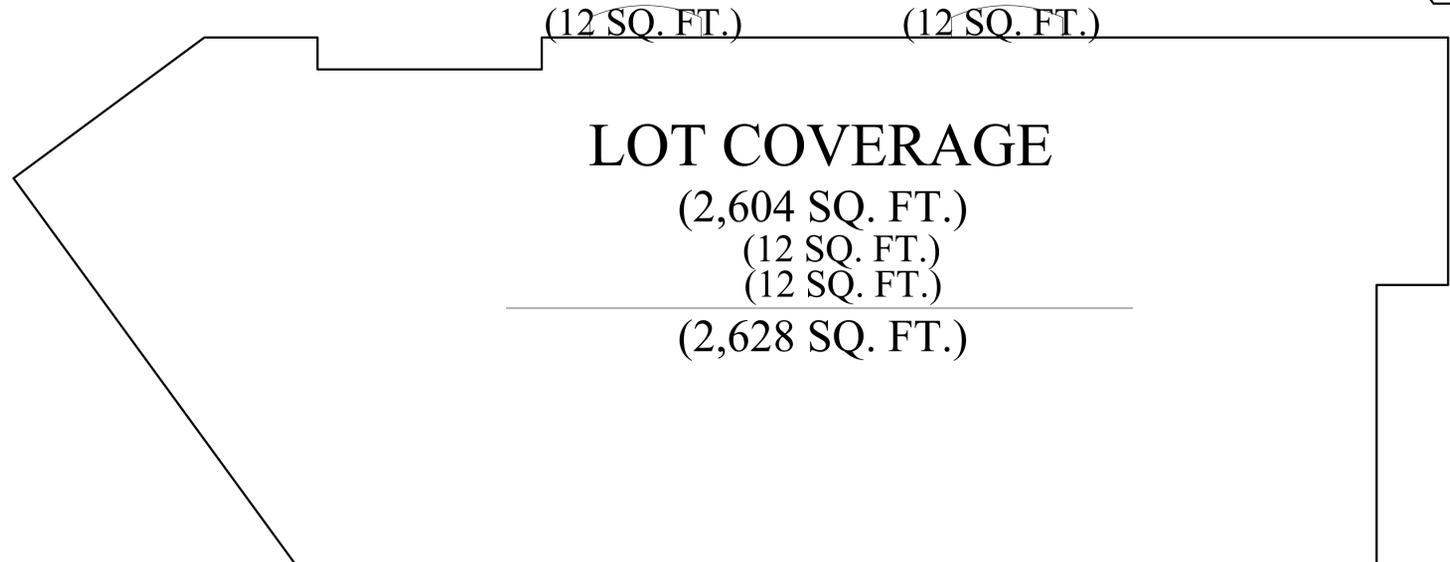
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1 FLOOR AREA & LOT COVERAGE DIAGRAM & CALCULATION
 SCALE : 3/16" = 1'-0"



TOTAL FIRST FLR. AREA : (2,046 SQ. FT.)



LOT COVERAGE
 (2,604 SQ. FT.)
 (12 SQ. FT.)
 (12 SQ. FT.)
(2,628 SQ. FT.)

AREA SUMMARY :

LOT AREA : 13,053 SQ. FT.

FIRST FLR. AREA : (2,046 SQ. FT.)
 SECOND FLOOR AREA : + (1,239 SQ. FT.)
 OVERALL TOTAL AREA : (3,285 SQ. FT.)

2 CAR GARAGE : 519 SQ. FT. (500 SQ. EXEMPT) = 19 SQ. FT.

TOTAL F.A.R. = 2,046 SQ. FT. + 1,239 SQ. FT. + 19 SQ. FT. =
 3,304 SQ. FT. / 13,053 SQ. FT. = 25.31 %

TOTAL LOT COVERAGE : 2,628 SQ. FT. / 13,053 SQ. FT. = 20.13 %
 FOOTPRINT OF NEW (SFD) : 2,469 SQ. FT. / 13,053 SQ. FT. = 18.91 %

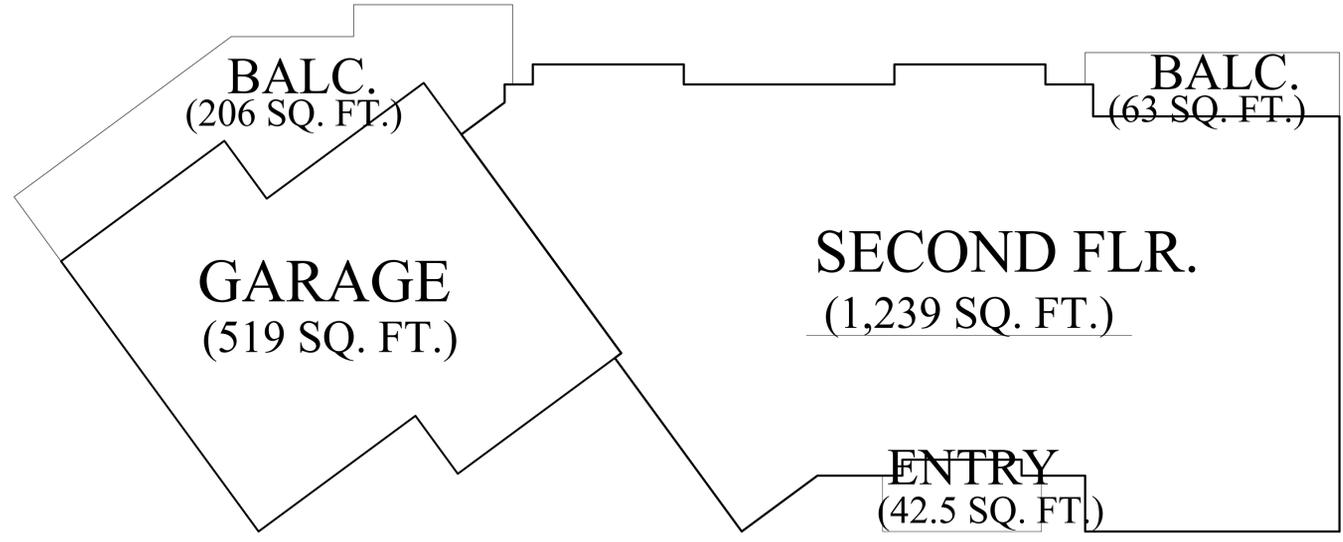
ENTRY PORCH : (42.5 SQ. FT.)

FIRST FLR. BALCONY : (148 SQ. FT.)
 (163 SQ. FT.)
 (12 SQ. FT.)
 (12 SQ. FT.)

TOTAL FIRST FLR. BALC. : (335 SQ. FT.)

SECOND FLR. BALCONY : (206 SQ. FT.)
 (63 SQ. FT.)

TOTAL 2ND FLR. BALC. : (269 SQ. FT.)



TOTAL SECOND FLR. AREA : (1,239 SQ. FT.)

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LEGENDS :

-  PROPERTY LINE
-  HATCHED AREA SHOW LANDSCAPE AREA
-  HATCHED AREA SHOW GRADING AREA

SUMMARY :

LOT AREA : 13,053 SQ. FT.
LANDSCAPE AREA :

- (A) (1,963 SQ. FT.)
- (B) (1,898 SQ. FT.)
- (C) (3,306 SQ. FT.)
- (D) (2,847 SQ. FT.)
- (E) (318 SQ. FT.) +
- (F) (18 SQ. FT.)

(10,353 SQ. FT.) TOTAL LANDSCAPE AREA
 $10,353 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 79.31 \%$

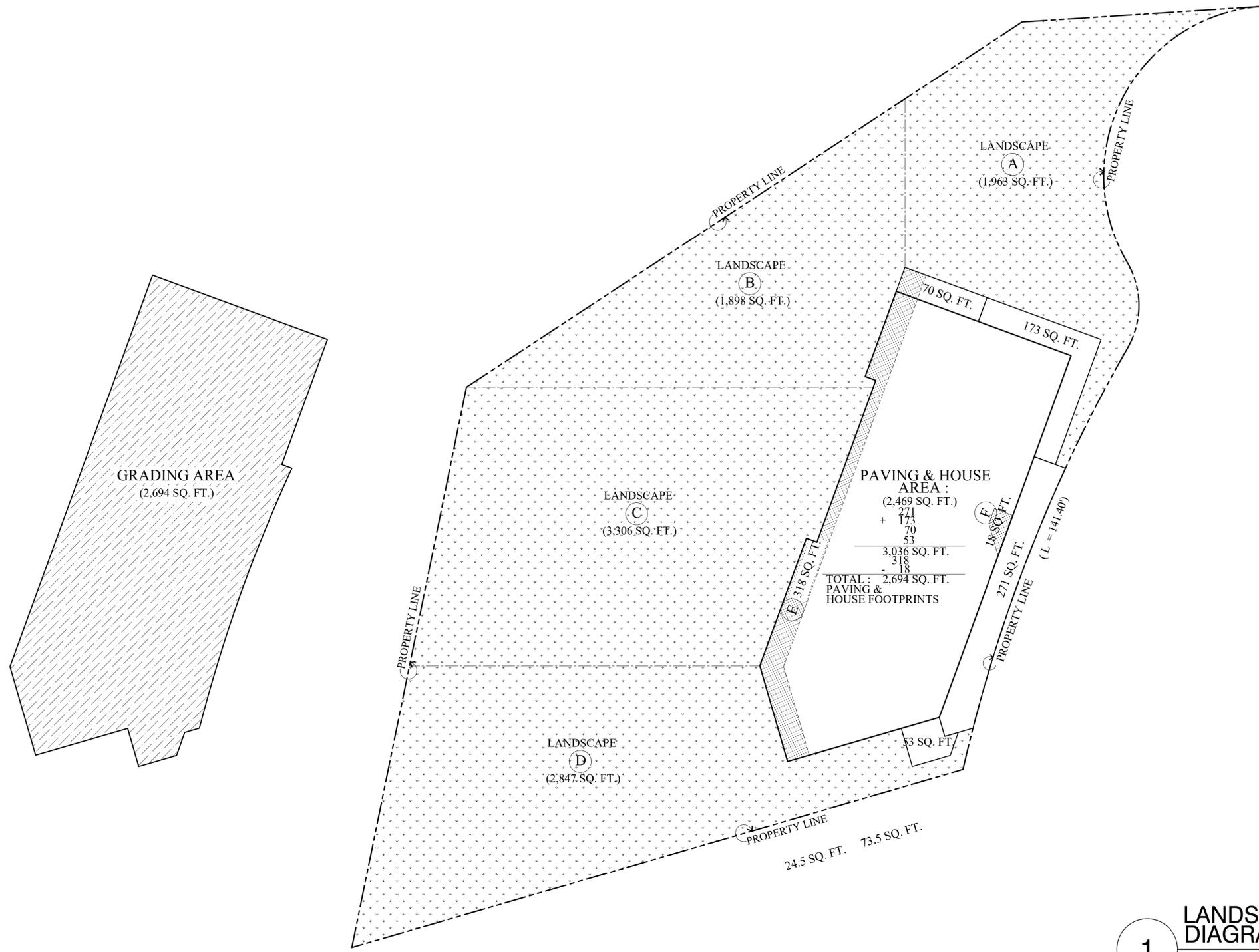
TOTAL HOUSE & PAVING AREA : 2,694 SQ. FT.
 $2,694 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 20.64 \%$

TOTAL GRADING AREA : 2,694 SQ. FT.
 $2,694 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 20.64 \%$

NOTE :

AVERAGE CALCULATIONS :
A = 13,147 SQ. FT. = 0.3018 AC
I = 1'
L = 9,736.6'
S = $0.00229 \times 1 \times 1 / A = 0.00229 \times 1' \times 9,736.6' / 0.3018 = 73.88 \%$

GRADING CUT & FILL WORK :
APPROX. TOTAL = 800 CY.



1 LANDSCAPE & GRADING AREA DIAGRAM & CALCULATION
SCALE : 1/8" = 1'-0"

Revisions	By

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PROJ. TITLE: **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**
PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206
OWNER: ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA. 91206
DRWG. TITLE: LANDSCAPE & GRADING AREA DIAGRAM & CALCULATION

Drawn by
NEIL A.
Checked by
V. J.
Date
AUG. 11, 2023
Scale
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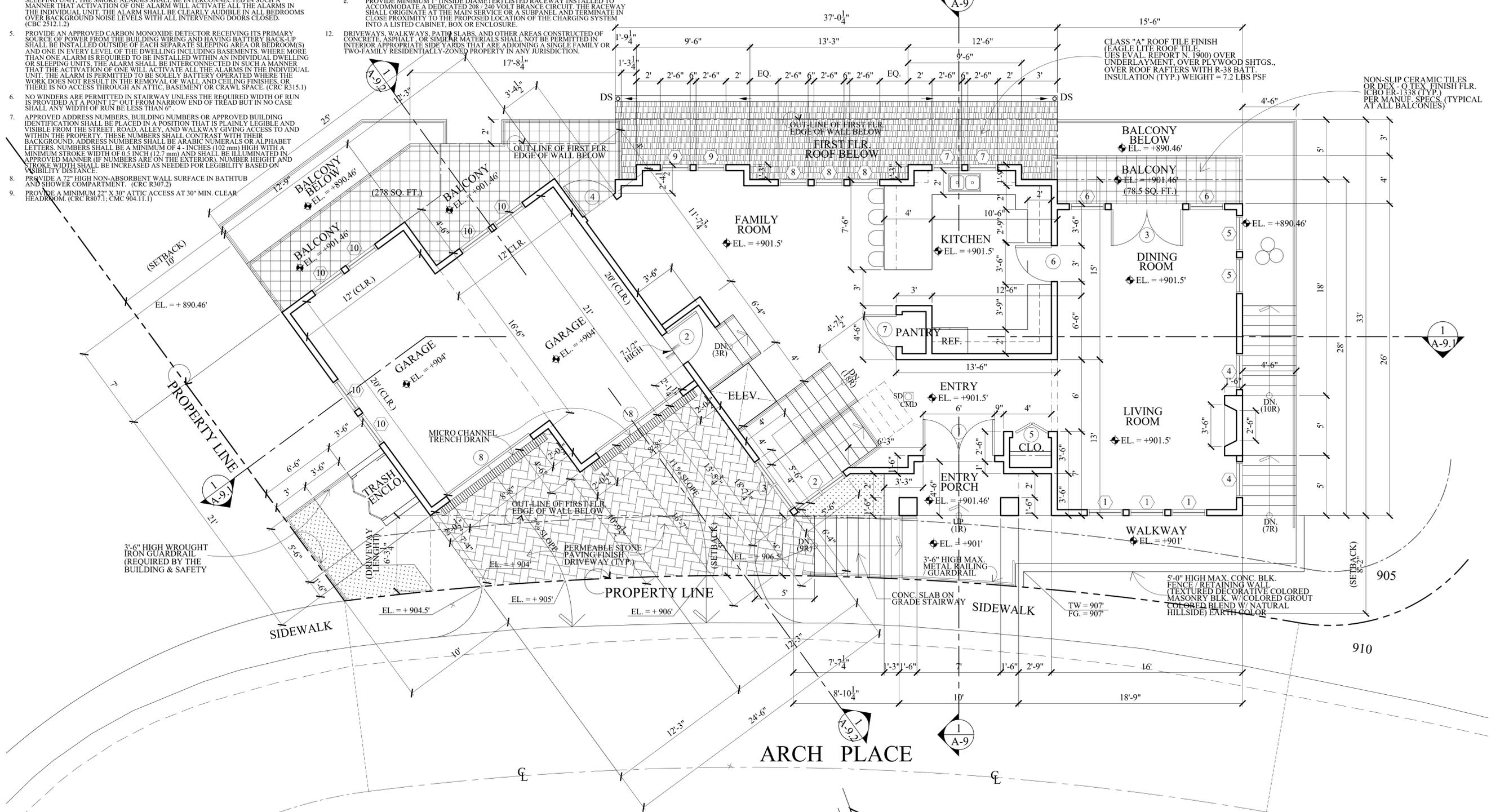
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- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
- FLOOR VOLUMES FOR LOW-CONSUMPTION AND WATER SAVER WATER CLOSETS SHALL BE PROVIDED WITH A MAXIMUM 1.28 GALLONS OF WATER PER FLUSHED. (CPC 402.1, 402.2)
- 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
- PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
- NO WINDERS ARE PERMITTED IN STAIRWAY UNLESS THE REQUIRED WIDTH OF RUN IS PROVIDED AT A POINT 12" OUT FROM NARROW END OF TREAD BUT IN NO CASE SHALL ANY WIDTH OF RUN BE LESS THAN 6".
- APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR), NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
- PROVIDE A 72" HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB AND SHOWER COMPARTMENT. (CRC R307.2)
- PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM. (CRC R807.1, CMC 904.1.1)

- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325
- FOR FUTURE ELECTRIC VEHICLE CHARGING STATION IN ONE OR TWO FAMILY DWELLINGS AND TOWNHOUSES, PROVIDE:
 - ONE 208 / 240 V 40AMP, GROUNDED AC OUTLET, FOR EACH DWELLING UNIT; OR
 - PANEL CAPACITY AND CONDUIT FOR THE FUTURE INSTALLATION OF A 208 / 240 40 AMP, GROUNDED AC OUTLET FOR EACH DWELLING UNIT.
 THE ELECTRIC OUTLET OR CONDUIT TERMINATION SHALL BE LOCATED WITHIN THE PARKING AREA. (4.106.6)
- SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED
- A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND NEXT TO THE RACEWAY TERMINATION POINT.
- PROVIDE MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY INSTALLED TO ACCOMMODATE A DEDICATED 208 / 240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
- DRIVEWAYS, WALKWAYS, PATIO SLABS, AND OTHER AREAS CONSTRUCTED OF CONCRETE, ASPHALT, OR SIMILAR MATERIALS SHALL NOT BE PERMITTED IN INTERIOR APPROPRIATE SIDE YARDS THAT ARE ADJOINING A SINGLE FAMILY OR TWO-FAMILY RESIDENTIALLY-ZONED PROPERTY IN ANY JURISDICTION.

LEGENDS :

- CMD CO / CM DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 3 BELOW
- SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE. CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH. (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT). (9.306.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM. (100 CFM FOR KITCHEN)
- SD S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4 BELOW).
- STUD WALL (2" X 6" @ 16" O.C. STUDS) SEE STRUCTL.
- SHADED AREA SHOW NON SLIP CERAMIC FLOOR TILES OR DEX-O TEX. FINISH FLR. @ BALCONY / DECK
- SHADED AREA SHOW CLASS "A" ROOF TILES FINISH
- PERMEABLE STONE PAVING FINISH



1 SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"

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PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

Date
AUG. 15, 2023

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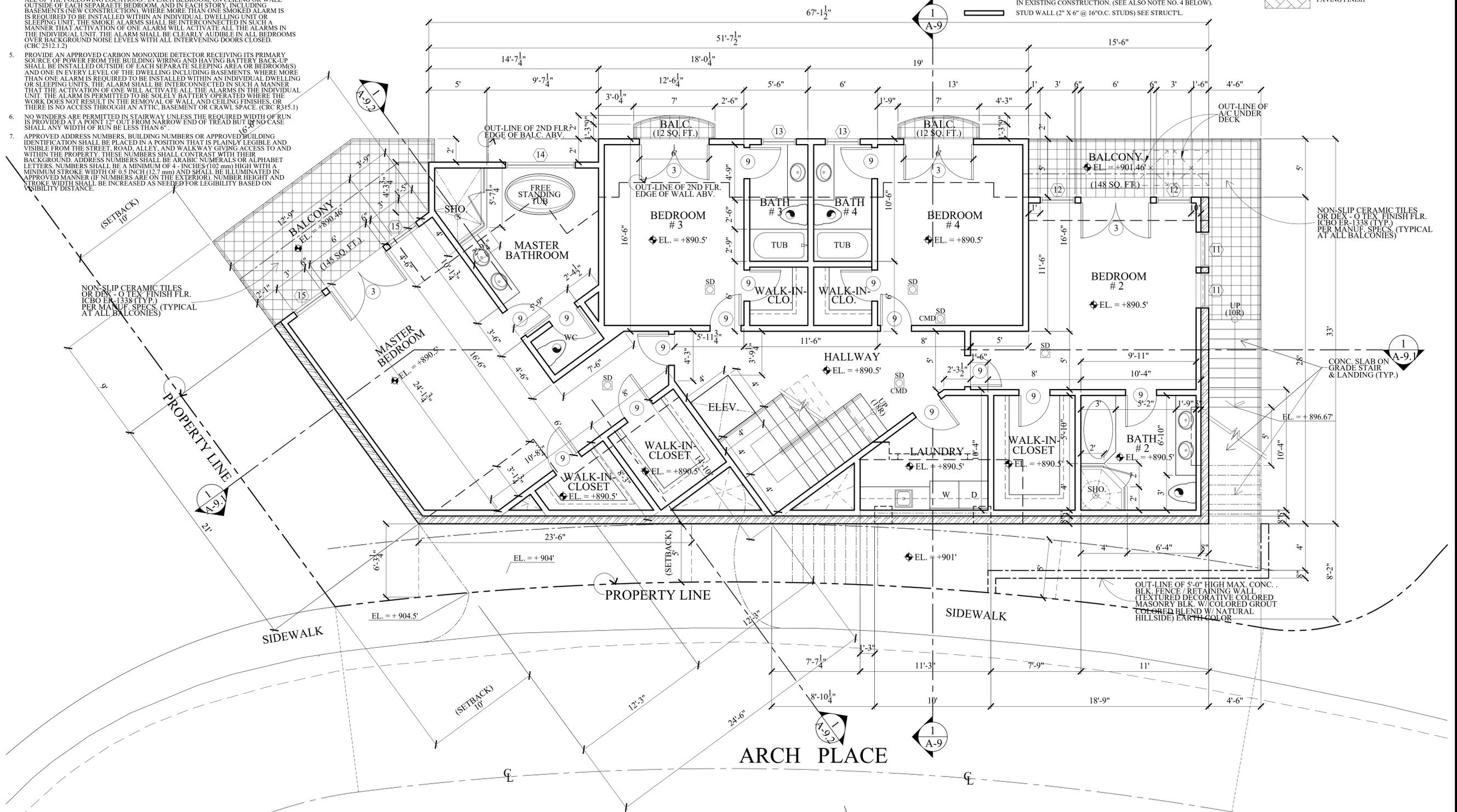
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- FLOSH VOLUMES FOR LOW-CONSUMPTION AND WATER SAVER WATER CLOSETS SHALL BE PROVIDED WITH A MAXIMUM 1.28 GALLONS OF WATER PER FLUSHED. (CPC 402.1, 402.2)
- 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
- PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CBC R315.1)
- NO WINDERS ARE PERMITTED IN STAIRWAY UNLESS THE REQUIRED WIDTH OF RUN IS PROVIDED AT A POINT 12" OUT FROM NARROW END OF TREAD BUT IN NO CASE SHALL ANY WIDTH OF RUN BE LESS THAN 6".
- APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

- PROVIDE A 7' HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB AND SHOWER COMPARTMENT. (CRC R307.2)
- PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM. (CRC R807.1, CMC 904.11.1)

LEGENDS :

- CMD CO/CM DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 5 BELOW
- SD SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT). (9.506.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM. (100 CFM FOR KITCHEN)
- SD SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4 BELOW).
- STUD WALL (2" X 6" @ 16" O.C. STUDS) SEE STRUCT.
- SHADED AREA SHOW NON SLIP CERAMIC FLOOR TILES OR DEX-O TEX FINISH FLR. @ BALCONY / DECK
- SHADED AREA SHOW CLASS "A" ROOF TILES FINISH
- PERMEABLE STONE PAVING FINISH



1 FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"



Revisions	By

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1224 E. BROADWAY, SUITE 105,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADDR : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : **FIRST FLOOR PLAN, LEGENDS & NOTES**

Drawn by
NEIL A.

Checked by
V. J.

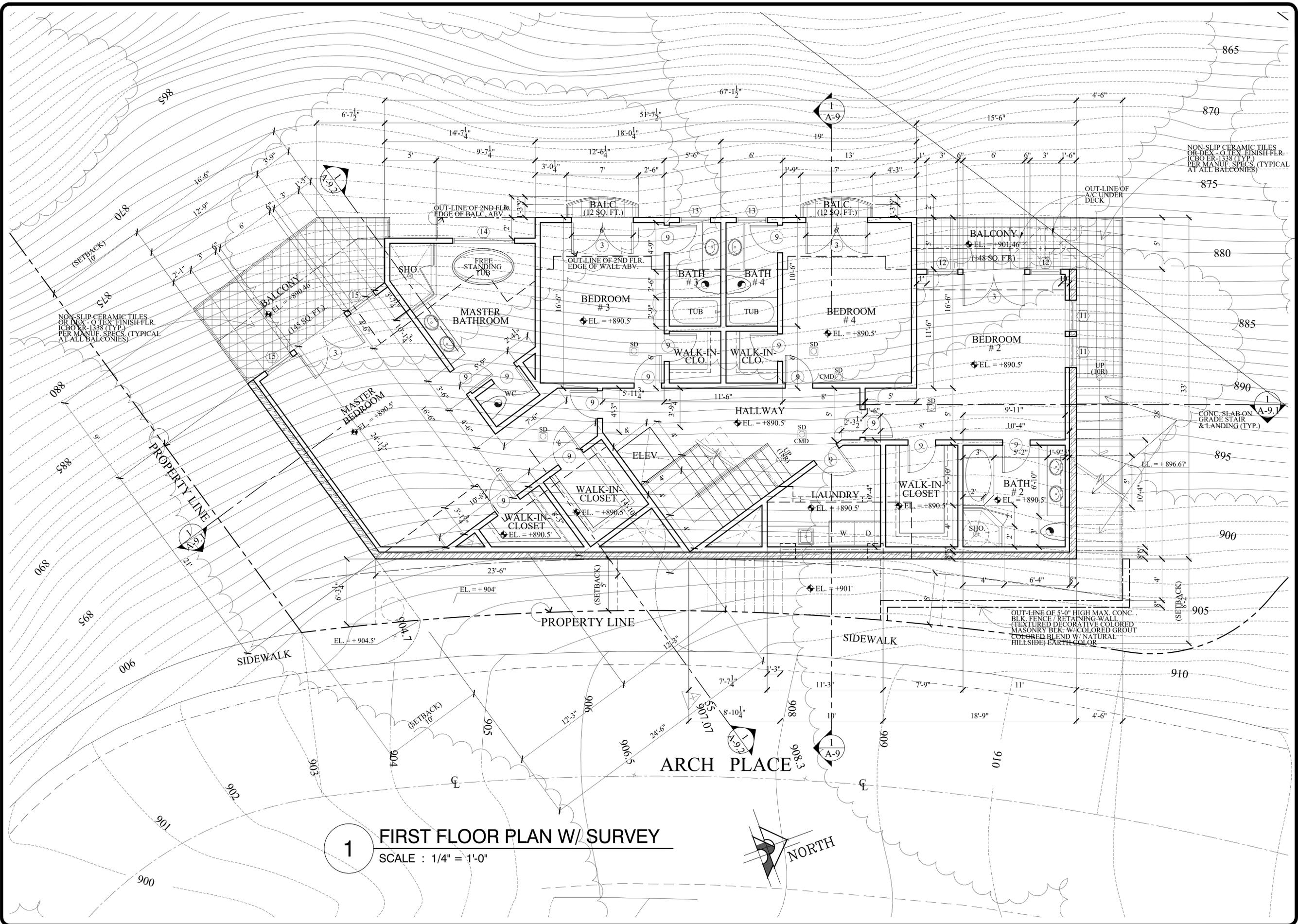
Date
AUG. 15, 2023

Scale
1/4" = 1'-0"

Job No.

Sheet No.
A-3

of Sheets



1 FIRST FLOOR PLAN W/ SURVEY
 SCALE : 1/4" = 1'-0"

Revisions	By

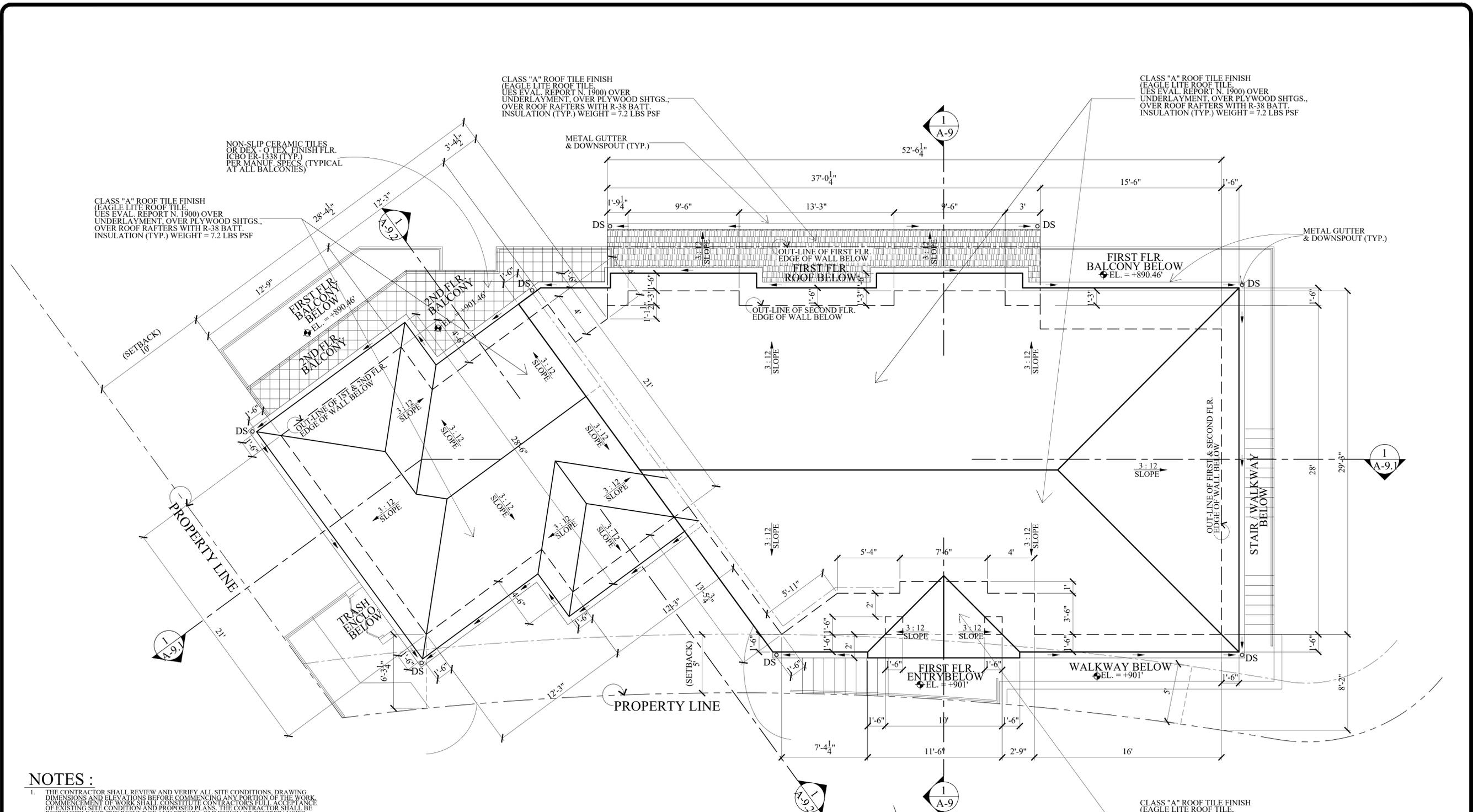
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Drawn by
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 V. J.
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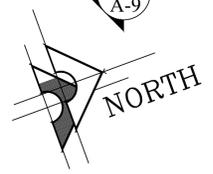
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LEGENDS :

DS DOWNSPOUT

1 ROOF PLAN
SCALE : 1/4" = 1'-0"



CLASS "A" ROOF TILE FINISH
(EAGLE LITE ROOF TILE,
UES EVAL. REPORT N. 1900) OVER
UNDERLAYMENT, OVER PLYWOOD SHTGs.,
OVER ROOF RAFTERS WITH R-38 BATT
INSULATION (TYP.) WEIGHT = 7.2 LBS PSF

CLASS "A" ROOF TILE FINISH
(EAGLE LITE ROOF TILE,
UES EVAL. REPORT N. 1900) OVER
UNDERLAYMENT, OVER PLYWOOD SHTGs.,
OVER ROOF RAFTERS WITH R-38 BATT
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DRWG. TITLE : **FIRST FLOOR PLAN, LEGENDS & NOTES**

Drawn by
NEIL A.

Checked by
V. J.

Date
AUG. 15, 2023

Scale
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Job No.

Sheet No.
A-4

of Sheets

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DRWG. TITLE: BUILDING ELEVATION, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V J

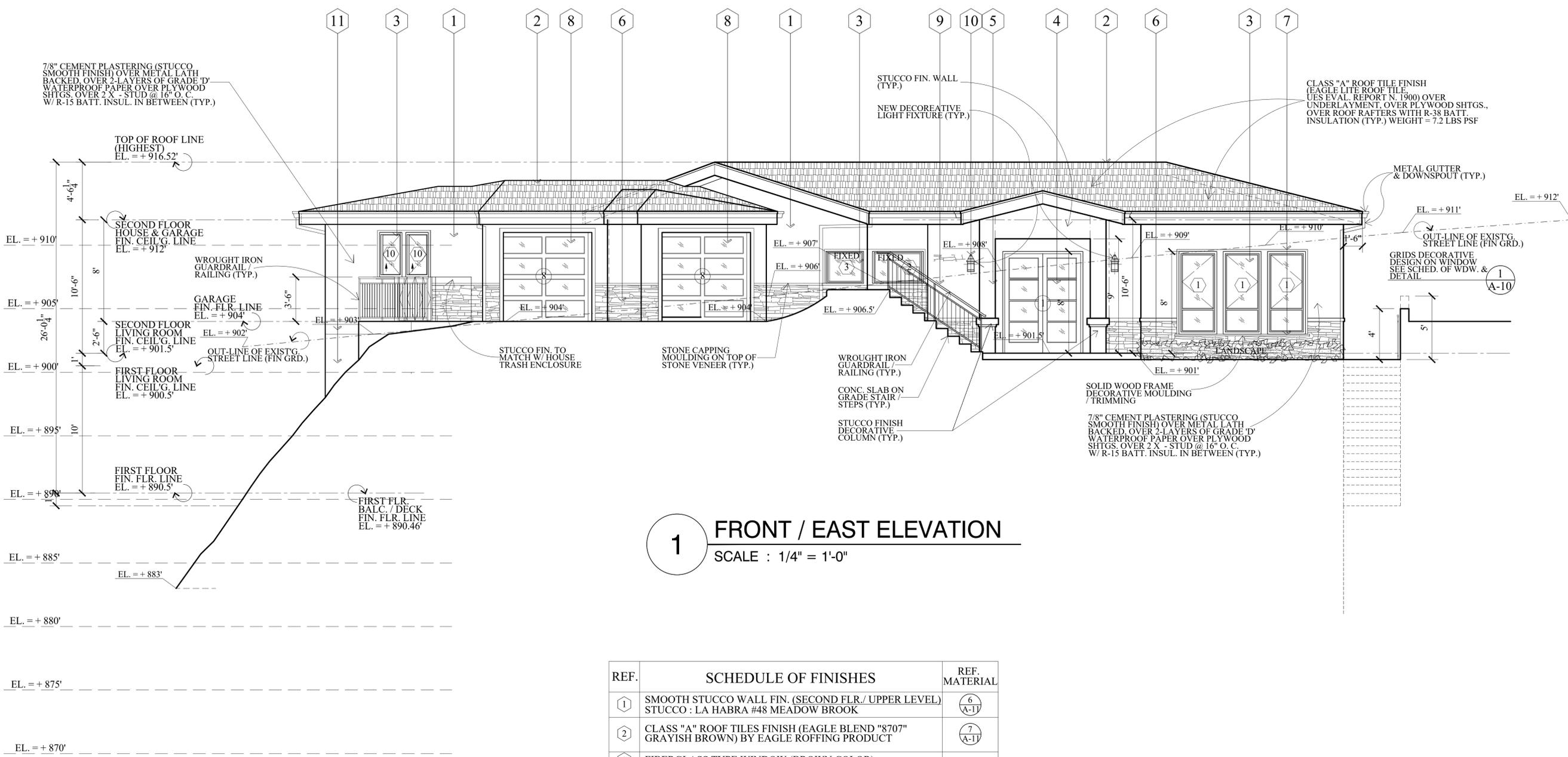
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JULY 3, 2024

Scale
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Job No.

Sheet No.
A-5

of Sheets

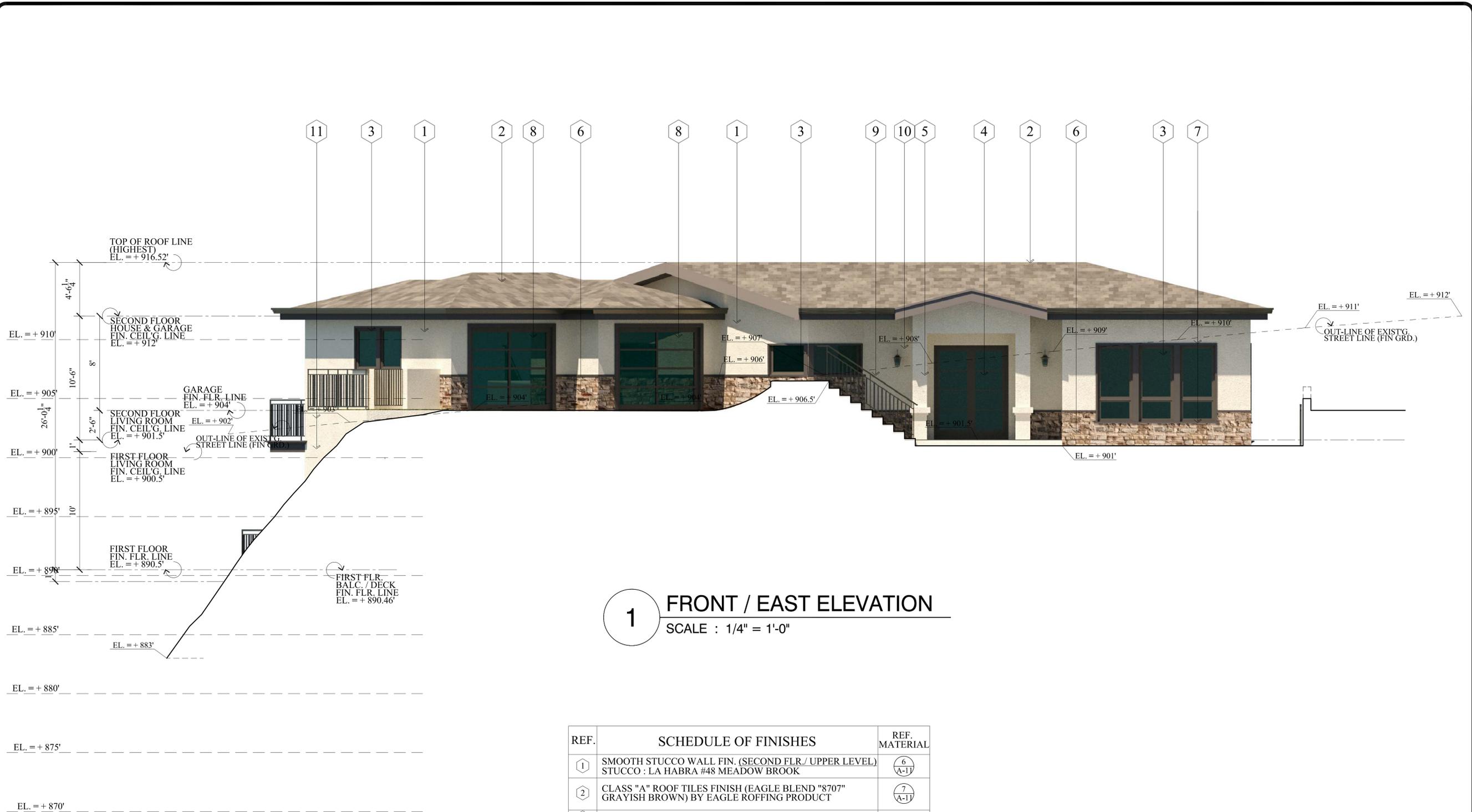


1 FRONT / EAST ELEVATION
 SCALE : 1/4" = 1'-0"

REF.	SCHEDULE OF FINISHES	REF. MATERIAL
①	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-11)
②	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	⑦ (A-11)
③	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
④	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
⑤	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-11)
⑥	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	⑧ (A-11)
⑦	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	① (A-11)
⑧	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
⑨	WROUGHT IRON GUARDRAIL / RAILING	④ (A-11)
⑩	DECORATIVE WALL LIGHT	⑤ (A-11)
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a (A-11)

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SCALE : 1/4" = 1'-0"

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②	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	⑦ (A-11)
③	FIBERGLASS TYPE WINDOW (BROWNCOLOR) W/ TEMPERED GLASS	
④	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
⑤	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-11)
⑥	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	⑧ (A-11)
⑦	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	① (A-11)
⑧	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
⑨	WROUGHT IRON GUARDRAIL / RAILING	④ (A-11)
⑩	DECORATIVE WALL LIGHT	⑤ (A-11)
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a (A-11)

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OWNER : ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V J

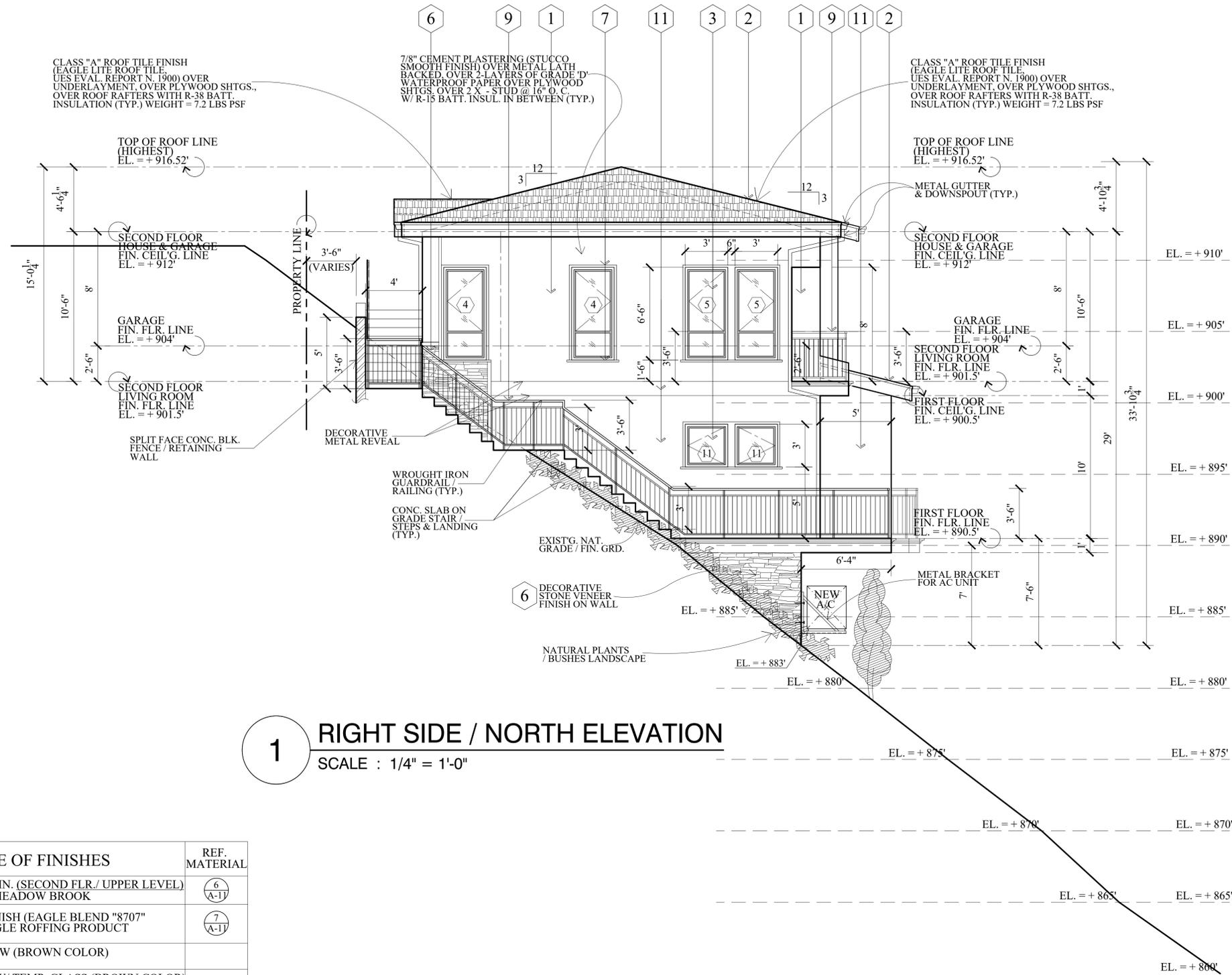
Date
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Scale
1/4" = 1'-0"

Job No.

Sheet No.
A-5.1

of Sheets



1 RIGHT SIDE / NORTH ELEVATION
SCALE : 1/4" = 1'-0"

REF.	SCHEDULE OF FINISHES	REF. MATERIAL
①	SMOOTH STUCCO WALL FIN. (SECON D FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-1)
②	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	⑦ (A-1)
③	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
④	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
⑤	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-1)
⑥	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	⑧ (A-1)
⑦	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	① (A-1)
⑧	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
⑨	WROUGHT IRON GUARDRAIL / RAILING	④ (A-1)
⑩	DECORATIVE WALL LIGHT	⑤ (A-1)
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a (A-1)

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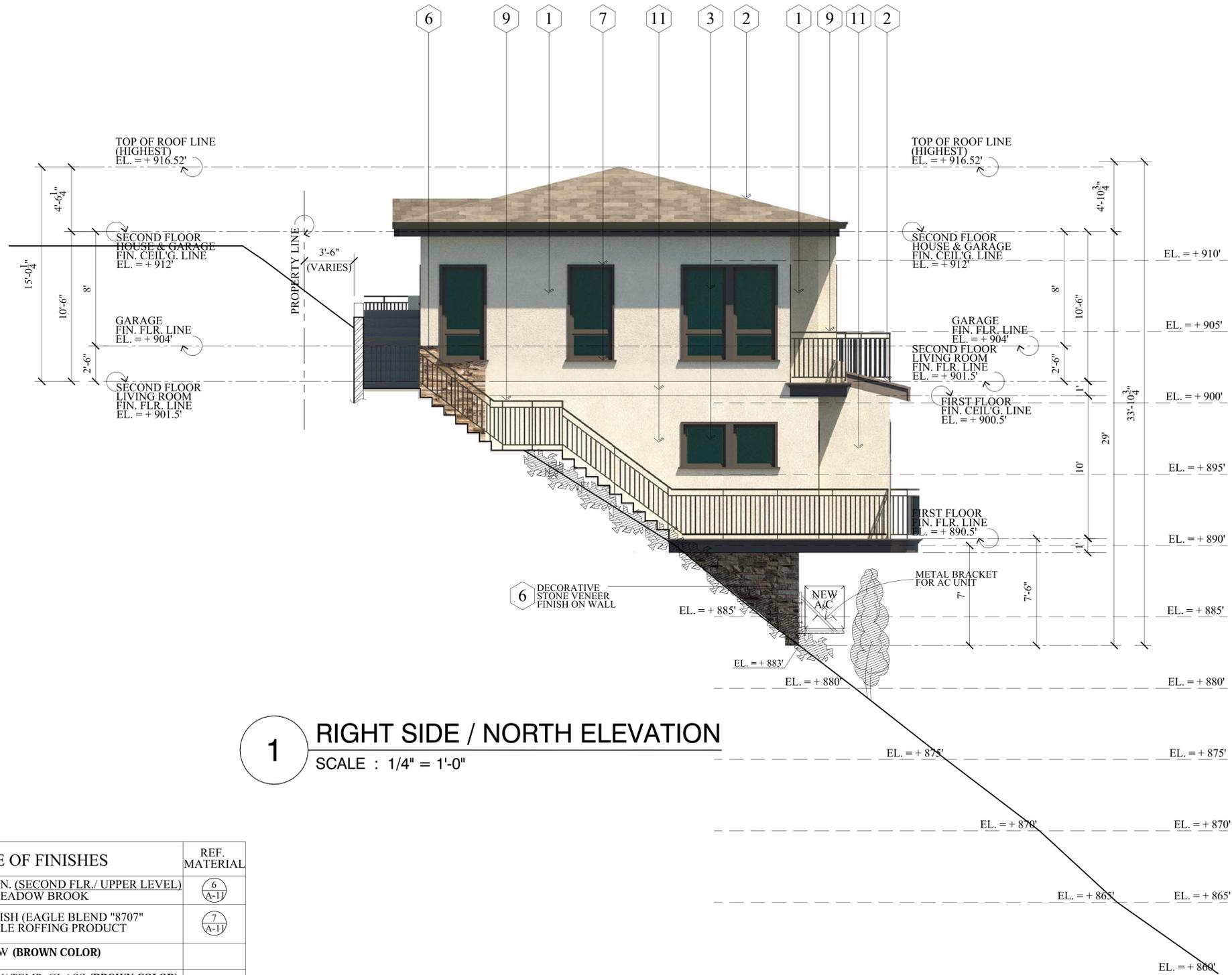
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Scale
1/4" = 1'-0"

Job No.

Sheet No.
A-6

of Sheets



1 RIGHT SIDE / NORTH ELEVATION
SCALE : 1/4" = 1'-0"

REF.	SCHEDULE OF FINISHES	REF. MATERIAL
1	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
2	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	7 (A-1)
3	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
4	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
5	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
6	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	8 (A-1)
7	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	1 (A-1)
8	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
9	WROUGHT IRON GUARDRAIL / RAILING	4 (A-1)
10	DECORATIVE WALL LIGHT	5 (A-1)
11	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	6a (A-1)

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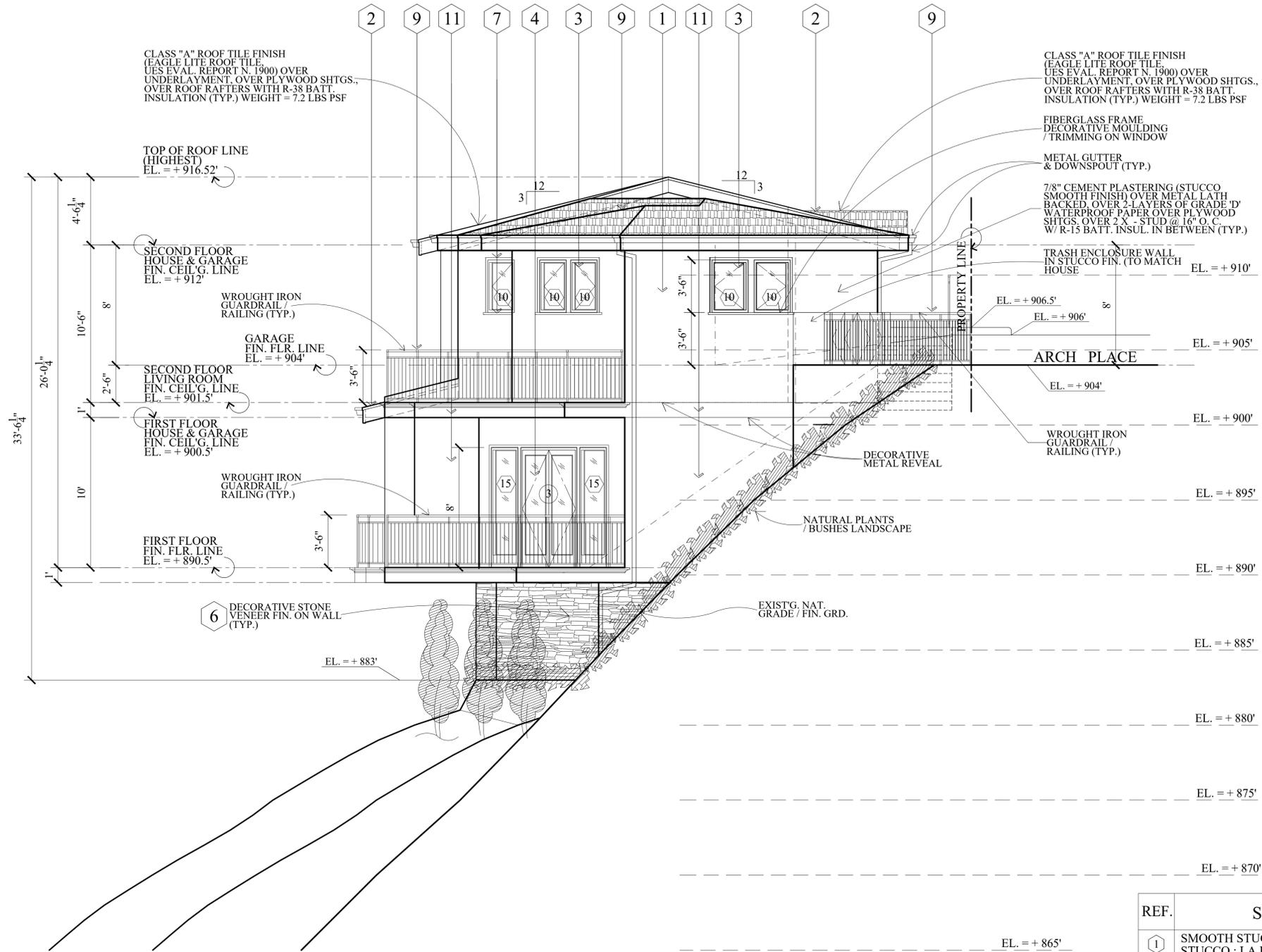
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of Sheets



1 LEFT SIDE / SOUTH ELEVATION
SCALE : 1/4" = 1'-0"

NOTES :

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REF.	SCHEDULE OF FINISHES	REF. MATERIAL
①	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-1)
②	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	⑦ (A-1)
③	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
④	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
⑤	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	⑥ (A-1)
⑥	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	⑧ (A-1)
⑦	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	① (A-1)
⑧	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
⑨	WROUGHT IRON GUARDRAIL / RAILING	④ (A-1)
⑩	DECORATIVE WALL LIGHT	⑤ (A-1)
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a (A-1)

Revisions	By

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V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 105,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V J

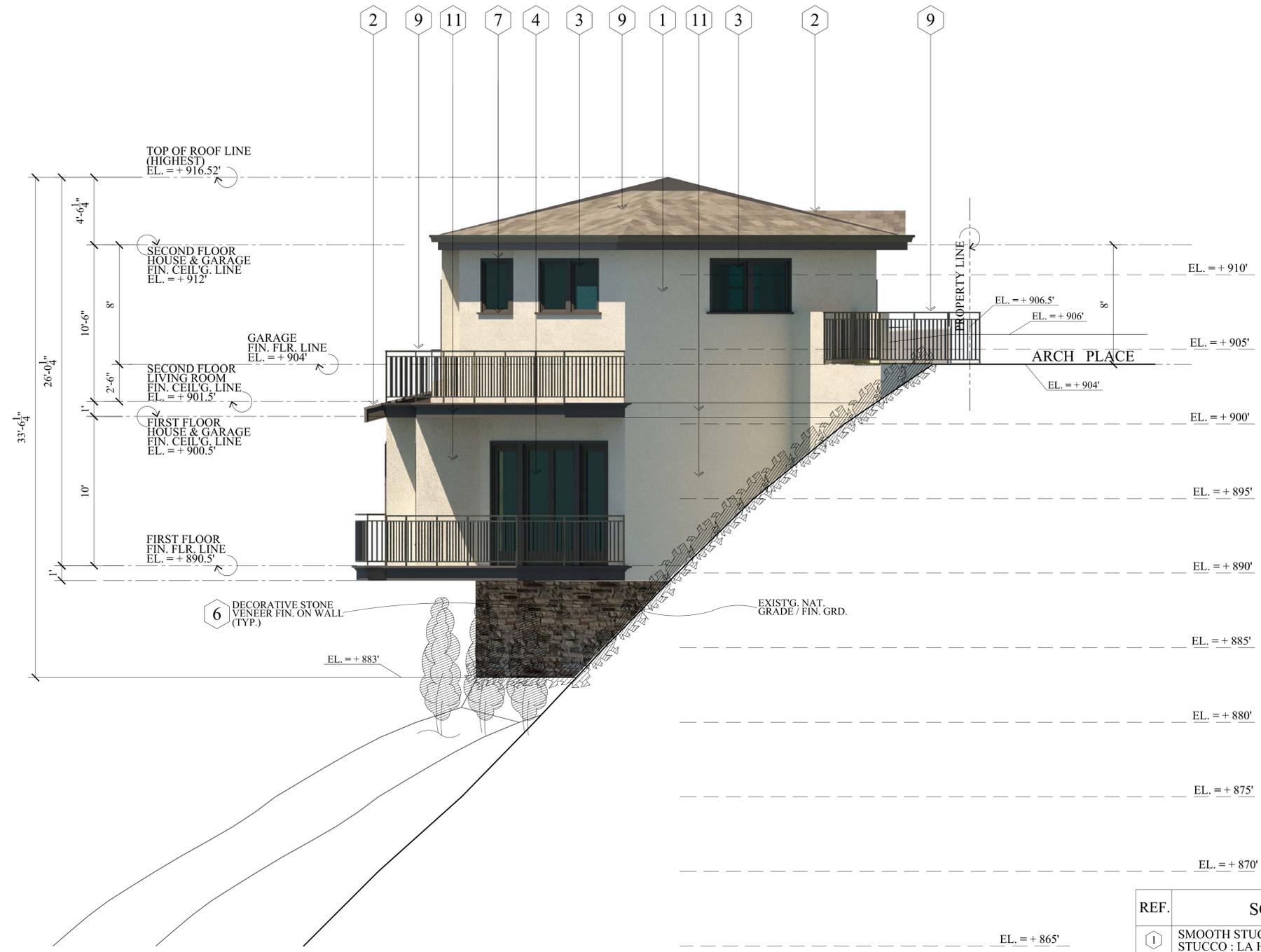
Date
JULY 3, 2024

Scale
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Job No.

Sheet No.
A-7

of Sheets



1 LEFT SIDE / SOUTH ELEVATION
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⑩	DECORATIVE WALL LIGHT	⑤ (A-1)
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a (A-1)

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Drawn by
NEIL A.

Checked by
V J

Date
AUG. 15, 2023

Scale
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Job No.

Sheet No.
A-7.1

of
Sheets

Revisions	By



1 REAR / WEST ELEVATION
SCALE : 1/4" = 1'-0"

REF.	SCHEDULE OF FINISHES	REF. MATERIAL
①	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	⑥ A-11
②	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	⑦ A-11
③	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
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⑦	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	① A-11
⑧	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
⑨	WROUGHT IRON GUARDRAIL / RAILING	④ A-11
⑩	DECORATIVE WALL LIGHT	⑤ A-11
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a A-11

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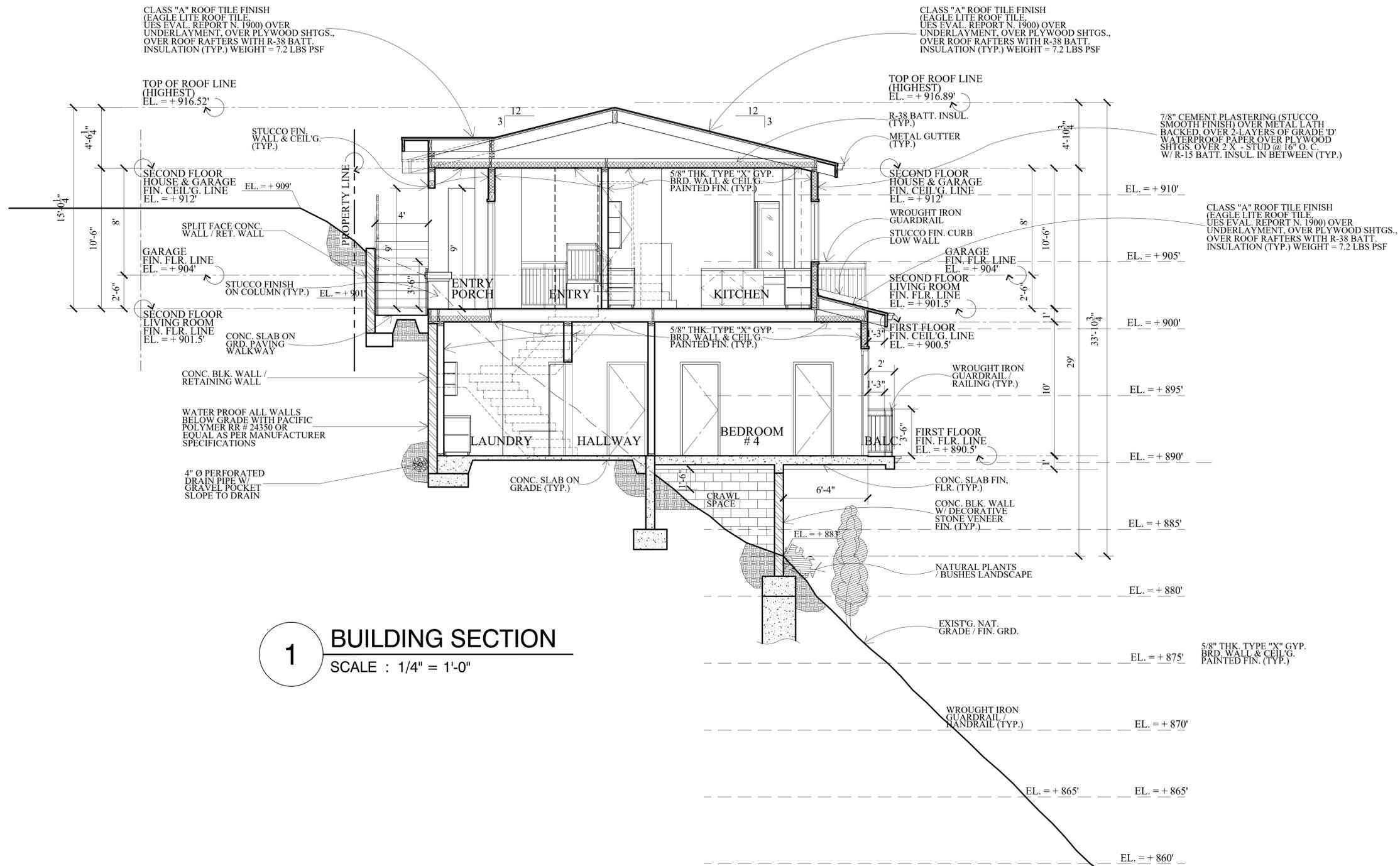
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Scale
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Job No.

Sheet No.
A-8

of Sheets



1 BUILDING SECTION
SCALE : 1/4" = 1'-0"

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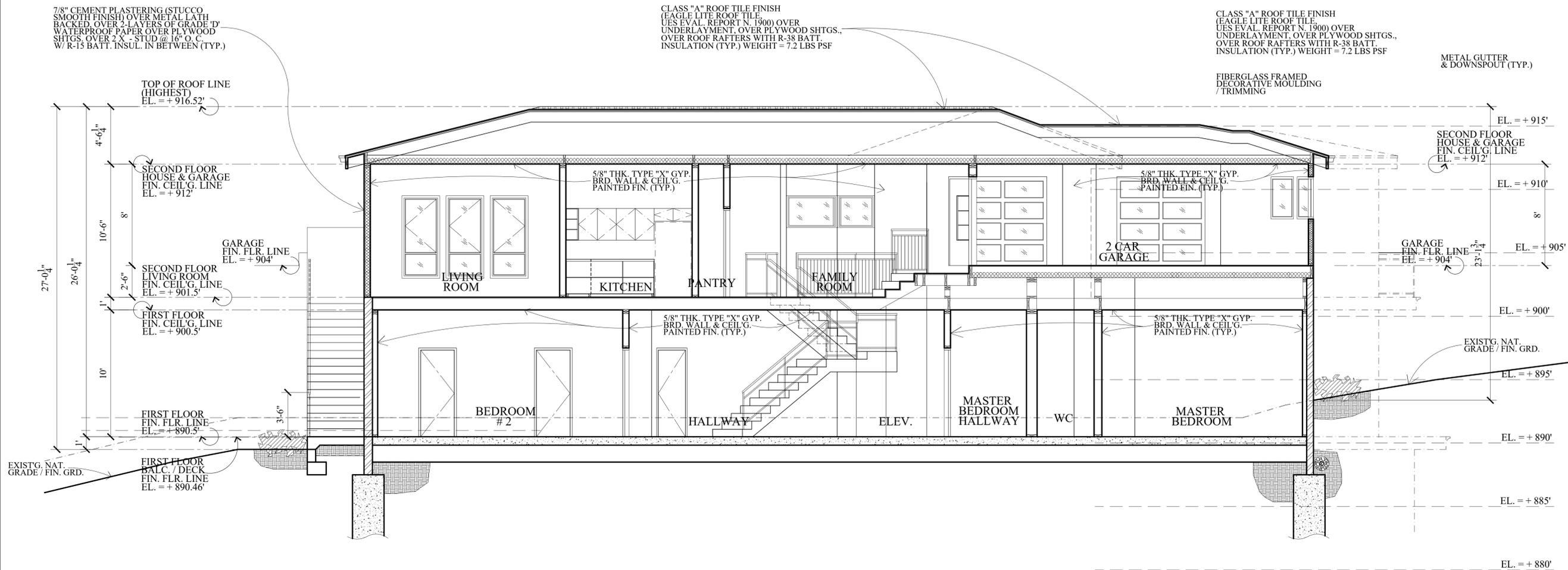
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A-9

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SCHEDULE OF DOORS :

DOOR SCHEDULE							
DOOR NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
1	6'-0"	7'-10"	PER MANUF.	DOUBLE LEAF SWING	FIBERGLASS	ENTRY (SECOND FLOOR) FRONT / EAST OF THE HOUSE	FRONT / EAST ELEV. @ 1/A-5, & SECOND FLOOR PLAN @ 1/A-2 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
2	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	SOLID WOOD W/ 20 MINS. FIRE RATED	HOUSE ACCESS TO 2 CAR GARAGE (FIRST FLOOR)	SELF CLOSING & LATCHING. SECOND FLOOR PLAN @ 1/A-2
3	6'-0"	7'-10"	PER MANUF.	DOUBLE LEAF SWING	FIBERGLASS W/ TEMP. GLASS	DINING ROOM @ FIRST FLR. (SECOND FLOOR) MASTER BEDRM. #3 & #4 @ (FIRST FLR.)	REAR / WEST ELEV. @ 1/A-8, & FIRST & SECOND FLOOR PLAN @ 1/A-2 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
4	3'-0"	7'-10"	PER MANUF.	SINGLE SWING	FIBERGLASS W/ TEMP. GLASS	FAMILY ROOM (SECOND FLR.) REAR / WEST OF THE HOUSE	REAR / WEST ELEV. @ 1/A-8, & SECOND FLOOR PLAN @ 1/A-2 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
5	3'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H. C WOOD	CLOSET ALONG ENTRY (SECOND FLR.)	SECOND FLOOR PLAN @ 1/A-2
6	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	H. C WOOD	KITCHEN ACCESS TO DINING (SECOND FLR.)	SECOND FLOOR PLAN @ 1/A-2
7	2'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD	PANTRY (SECOND FLOOR)	SECOND FLOOR PLAN @ 1/A-2
8	8'-8"	7'-0"	PER MANUF.	LIFT-UP / REMOTE CONTROL	METAL / ALUM.	GARAGE (SECOND FLOOR)	SECOND FLOOR PLAN @ 1/A-2
9	2'-8"	7'-10"	PER MANUF.	SINGLE SWING	H. C WOOD	ALL BEDROOMS ENTRY, BATHROOMS WC @ MASTER BATHRM., WALK-IN CLOSETS & LAUNDRY (FIRST FLOOR)	FIRST FLOOR PLAN @ 1/A-3

SCHEDULE OF WINDOWS :

WINDOW SCHEDULE																				
WINDOW NUMBER	QUANTITY	EXISTING WIDTH X HEIGHT	NEW WIDTH X HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM THE STREET ? Y / N	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (S/D)	KEEP EXISTING SILL & FRAME?	BUILD NEW SILL & FRAME?	EXISTING EDGE DETAIL	NEW EDGE DETAIL	BEDROOM ? Y / N	ENERGY EFFICIENT ? Y / N	TEMPERED GLASS ? Y / N	FIRE HAZARD ZONE ? Y / N	WINDOW WITHIN 18" ON FLOOR OR 40" OF DOOR ? Y / N	LOCATION
1	3	-	3'-0" X 6'-6"	-	FIBERGLASS	Y	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	LIVING ROOM (FRONT / EAST OF THE HOUSE) SECOND FLR.
2	1	-	5'-0" X 2'-6"	-	FIBERGLASS	Y	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	STAIRWAY (FRONT / EAST OF THE HOUSE) SECOND FLR.
3	1	-	5'-0" X 2'-6"	-	FIBERGLASS	Y	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	STAIRWAY (FRONT / EAST OF THE HOUSE) SECOND FLR.
4	2	-	3'-0" X 6'-6"	-	FIBERGLASS	N	-	CASEMENT W/ FIXED @ BOTTOM	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	LIVING ROOM (RIGHT SIDE / NORTH OF THE HOUSE) SECOND FLR.
5	2	-	5'-0" X 6'-6"	-	FIBERGLASS	N	-	CASEMENT W/ FIXED @ BOTTOM	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	DINING ROOM (RIGHT SIDE / NORTH OF THE HOUSE) SECOND FLR.
6	2	-	6'-0" X 8'-0"	-	FIBERGLASS	N	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	Y	DINING ROOM (REAR / WEST OF THE HOUSE) SECOND FLR.
7	2	-	2'-6" X 5'-0"	-	FIBERGLASS	N	-	LIFT-UP / TOP HANG	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	KITCHEN (REAR / WEST OF THE HOUSE) SECOND FLR.
8	3	-	2'-6" X 6'-6"	-	FIBERGLASS	N	-	CASEMENT W/ FIXED @ BOTTOM	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	FAMILY ROOM (REAR / WEST OF THE HOUSE) SECOND FLR.
9	2	-	2'-6" X 5'-0"	-	FIBERGLASS	N	-	LIFT-UP / TOP HANG	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	FAMILY ROOM (REAR / WEST OF THE HOUSE) SECOND FLR.
10	6	-	3'-0" X 3'-6"	-	FIBERGLASS	N	-	LIFT-UP / TOP HANG	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	Y	GARAGE (REAR / EAST & LEFT SIDE SOUTH OF THE HOUSE) SECOND FLOOR
11	2	-	3'-0" X 3'-0"	-	FIBERGLASS	Y	-	CASEMENT / SWING	BLOCK	N	-	Y	-	FLAT WOOD	Y	Y	Y	Y	N	BEDROOM # 2 (RIGHT SIDE / NORTH OF THE HOUSE) FIRST FLR.
12	2	-	3'-0" X 8'-0"	-	FIBERGLASS	N	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	Y	Y	Y	Y	Y	BEDROOM # 2 (REAR / WEST OF THE HOUSE) FIRST FLR.
13	2	-	3'-0" X 2'-6"	-	FIBERGLASS	N	-	CASEMENT	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	BATH # 3 & # 4 (REAR / WEST OF THE HOUSE) FIRST FLR.
14	1	-	6'-0" X 6'-6"	-	FIBERGLASS	N	-	CASEMENT W/ BOTTOM	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	N	MASTER BATHRM. NEAR FREE STANDING TUB (REAR / WEST OF THE HOUSE) FIRST FLR.
15	1	-	3'-0" X 8'-0"	-	FIBERGLASS	N	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	Y	Y	Y	Y	Y	MASTER BEDRM. (REAR / WEST OF THE HOUSE) FIRST FLR.
16	1	-	3'-3" X 6'-4"	-	FIBERGLASS	N	-	FIXED	BLOCK	N	-	Y	-	FLAT WOOD	N	Y	Y	Y	Y	ENTRY ABOVE DOOR 1 (FRONT / EAST OF THE HOUSE) SECOND FLR.

DOORS & WINDOWS NOTE :

1. THE NFRC TEMPORARY LABEL DISPLAYS ON WINDOWS & SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE WINDOW UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
2. ALL WINDOWS & DOORS GLAZINGS SHALL BE TEMP. GLASS.
3. FOR WINDOWS & DOORS U-FACTOR & SHGC SEE T24 SHEET
4. PROVIDE CODE COMPLIANT RESCUE WINDOWS IN ALL SLEEPING ROOMS.
5. ALL DOOR HARDWARES SHALL BE METAL & RATING WITH CODE COMPLIANT
6. ALL BATHROOM'S WINDOWS TO BE OBSCURED TEMP. GLASS TYPE
7. ALL WINDOWS SHALL MEET THE CITY OF GLENDALE'S SECURITY ORDINANCE

NOTES CONT. :

37. SINGLE - AND MULTIPLE - STATION ALARMS SHALL BE LISTED TO COMPLY WITH UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH UL 3075. INSTALLATION SHALL BE IN ACCORDANCE WITH NEPA 720 AND THE MANUFACTURE'S INSTALLATION INSTRUCTIONS. (R315.3)
38. A COPY OF ANY EVALUATION REPORT AND / OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
39. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION 101. OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R301.1)
40. SMOKE ALARMS INSTALLED SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE OR THE DATE OF THE DATE OF MANUFACTURE CANNOT BE DETERMINED. (R314.3)
41. BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
 - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 - ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLEHOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
42. REPLACED ALL EXISTING WINDOW IN SIMILAR SIZED & MATERIAL PER PROPOSED FLOOR PLAN (IN ALUMINUM FRAMED). SEE SCHEDULE OF WINDOWS. ALL WINDOW GLAZED ARE TO BE IN DUAL GLAZED, UNLESS OTHERWISE STATED.

NOTES CONT. :

20. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) R308.4:
 - a. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIPOLD DOOR ASSEMBLIES.
 - b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24- INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
 - c. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - 1.) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - 2.) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - 3.) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - 4.) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
 - d. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - e. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER EDGE.
 - f. GLAZING ADJACENT TO STAIRWAYS, LANDING AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
21. PROTECTION OF WOOD AND WOOD BASE PRODUCTS FROM DECAY SHALL BE PROVIDED IN LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE - TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED ON SECTION 2 OF AWPA U1.
22. FOR STEPS / STAIR, TREAD AND RISER DIMENSIONS (7.75" MAX. RISER / 10" MIN. TREAD) (CBC R317.4)
23. EXTERIOR DOOR SHALL MEET ONE OF THE FOLLOWING:
 - a. NONCOMBUSTIBLE CONSTRUCTION OR
 - b. SOLID WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 IN. THICK WITH INTERIOR PANEL, THICKNESS NOT LESS THAN 1-1/4 IN. THICK, OR
 - c. MINIMUM 20-MINS. RATED OR
 - d. MEET SFM 12-7A-1
24. UNDERFLOOR AREAS SHALL BE ENCLOSED TO GRADE WITH EXTERIOR WALLS, EXCEPT AS FOLLOWS:
 - a. IGNITION-RESISTANT MATERIAL CONSTRUCTION OR
 - b. HEAVY TIMBER CONSTRUCTION
25. ATTIC VENTILATION SHALL NOT BE LOCATED IN SOFFITS, IN GAVE OVERHANG, BETWEEN RAFTERS AT LEAVES, OR IN OTHER OVERHANG AREAS. GABLE ENDS & DORMER VENTS SHALL BE LOCATED AT LEAST 10 FEET FROM PROPERTY LINDING VENTILATION OPENINGS SHALL BE LOCATED AS CLOSE AS TO GRADE AS POSSIBLE.
26. BATHTEB AND SHOWER FLOORS, WALL ABOVE BATHTEB WITH A SHOWER HEAD, AND SHOWER COMPARTMENT SHALL BE FINISHED WITH A NONABSORBENT SURFACE SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
27. PROVIDE ULTRA LOW FLOW WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SINKS, TUBS AND TOILETS SHALL BE ADAPTED FOR LOW WATER CONSUMPTION.
28. PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE". (R308)
29. FOR CLOTHES DRYER A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.2)
30. FOR CLOTHES DRYER A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6 FT. AND CANNOT BE CONCEALED (CMC 504.3.2.1)
31. GAS WATER HEATER INSTALLED IN A GARAGE SHALL BE ELEVATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR. GAS WATER HEATER INSTALLED ON THE GROUND SHALL REST ON LEVEL CONCRETE OR OTHER APPROVED BASE NOT LESS THAN 3-INCHES ABOVE THE ADJOINING GROUND (CFC 508.14; 508.5; CMC 307.1)
32. PROVIDE SEISMIC STRAPPING TO WATER HEATER. (CPC 508.2)
33. FOR WATER HEATER A T & P RELIEF VALVE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS IS REQUIRED. (CPC 505.6)
34. WATER HEATERS WITH OUTDOOR COMBUSTION AIR SHALL PROVIDE TWO OPENINGS WITHIN 12 INCHES OF THE TOP AND BOTTOM OF THE ENCLOSURE. EACH OPENING SHALL BE SIZED AT 1 SQUARE INCH (4000 BTU) IF THE COMBUSTION AIR IS DIRECTLY FROM OUTDOOR WITHOUT DUCTS (CPC 507.4) FOR ALL OTHER INSTALLATION, COMBUSTION AIR SHALL COMPLY WITH CPC 507.
35. INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM IN THE ENTIRE HOUSE.
36. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)

NOTES :

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL ACCEPT RESPONSIBILITY FOR VERIFYING ALL DIMENSIONS OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR CALLED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
2. GLASS DOORS SHALL BE PROVIDED WITH THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
3. ENTRY & EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AN SCREEN DOOR ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)
4. PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSET, TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170158) SEPARATE PLUMBING PERMIT IS REQUIRED).
6. FINISH MATERIAL POLLUTANT CONTROL. SEC. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTION 4.504 THROUGH 4.504.5:
 - ADHESIVES, SEALANTS AND CAULKS, PAINTS AND COATINGS, CARPET SYSTEMS, KITCHEN SINKS & LAVATORIES, BATH TUBS, SHOWERS, BIDET, LAUNDRY TUBS AND WASHING MACHINE OUTLETS FLOORING, AND COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
7. DOORS, WINDOWS, GLASS & GLAZING:
 - WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED.
 - GLAZINGS IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3 (6), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOWER FLOOR (CBC 2406.3(5), OR WITHIN 5" OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10) SHALL BE TEMPERED.
8. GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3(6), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOWER FLOOR (CBC 2406.3(5), OR WITHIN 5" OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10) SHALL BE TEMPERED.
9. COMPLY WITH THE CITY OF GLENDALE BUILDING AND SAFETY CODE & THE NEW 2013 CBC.
10. ALL NEW WINDOW GLAZED SHALL BE TEMPERED GLASS REQUIRED (HIGH FIRE HAZARD ZONE)
11. SEPARATE PERMIT FOR MECH PLUMBING & ELECTRICAL
12. NO NEW ROOF TOP EQUIPMENT.
13. PROVIDE NO. 26 GALVANIZED SHEET GAGE WEEP SCREED WITH 3-1/2" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4-INCHES ABOVE EARTH OR 2-INCHES ABOVE PAVED AREAS. (CMC 251.1.2)
14. 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
15. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CBC R315.1)
16. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE - FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC. OR TO THE LOCATION OF THE BLOW - UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE THE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.
17. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM. (R306.3)
18. KITCHEN SINKS, LAVATORIES, BATH TUBS, SHOWERS, BIDET, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. (R306.4)
19. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION OF A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

Revisions	By

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1224 E. BROADWAY, SUITE 202,
 Glendale, CA 91205
 (818) 956-0570

PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE

PROJ. TITLE: ARCH PLACE, GLENDALE, CA.
 PROJ. ADD: ARCH PLACE, GLENDALE, CA.
 OWNER: ARCH PLACE, GLENDALE, CA.
 DRWG. TITLE (HOUSE ADDITION) SCHED. OF DOORS & WINDOWS, NOTES

Drawn by
NEIL A.

Checked by
V. J.

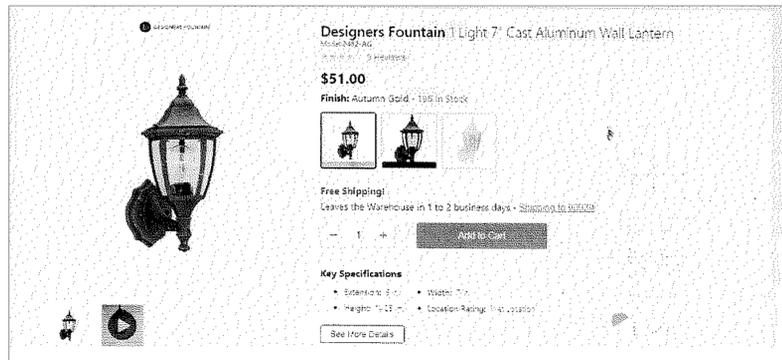
Date
MARCH 15, 2023

Scale
1/4" = 1'-0"

Job No.

Sheet No.
A-10

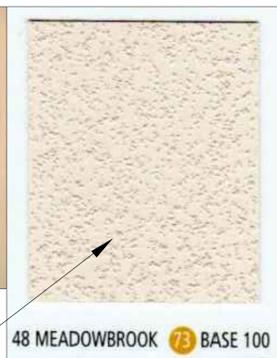
of Sheets



5 TYP. DECORATIVE WALL LIGHT
NOT TO SCALE



REFERENCE COLOR :
STUCCO FINISH COLOR
SMOOTH FINISH
(SECOND FLOOR / UPPER
LEVEL)



48 MEADOWBROOK 75 BASE 100



434 FALLBROOK 42 BASE 200

REFERENCE COLOR :
STUCCO FINISH COLOR
SMOOTH FINISH
(FIRST FLOOR / LOWER
LEVEL)

6 SMOOTH STUCCO WALL FINISH
NOT TO SCALE

6a SMOOTH STUCCO WALL FINISH
NOT TO SCALE



REFERENCE COLOR :
EAGLE BLEND "8707"
GRAYISH BROWN
BY EAGLE ROOFING



PROPOSED CLASS "A"
ROOF TILES

7 CLASS "A" ROOF TILES FINISH
NOT TO SCALE

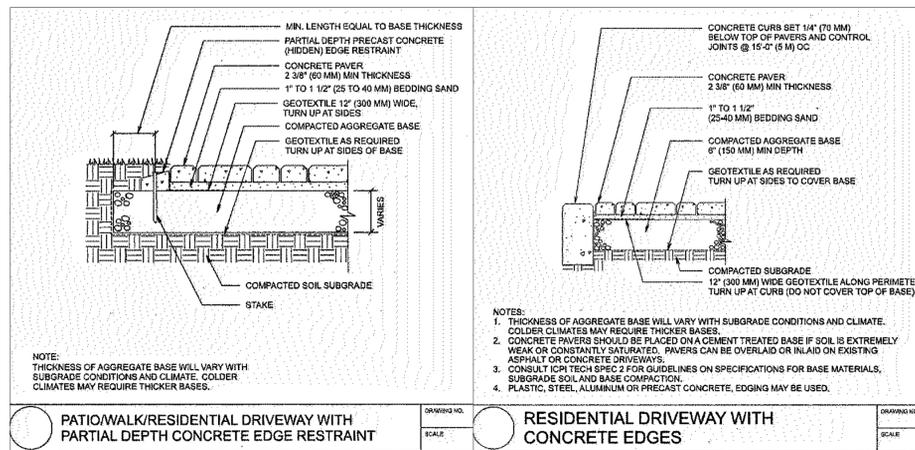
REFERENCE COLOR :
CLASSIC SERIES COUNTRY
LEDGESTONE "SHALE COUNTRY
LEDGESTONE (CSV 20044)
BY OWENS CORNING



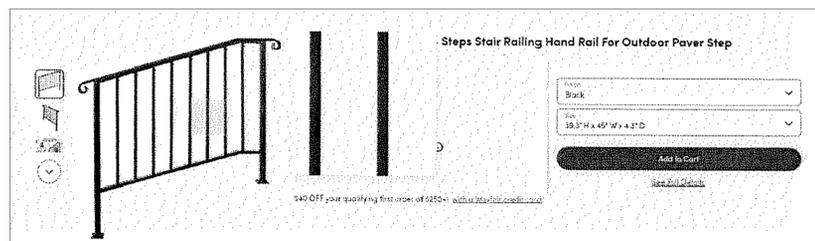
8 STONE VENEER FIN.
ON BASE COLUMN
NOT TO SCALE



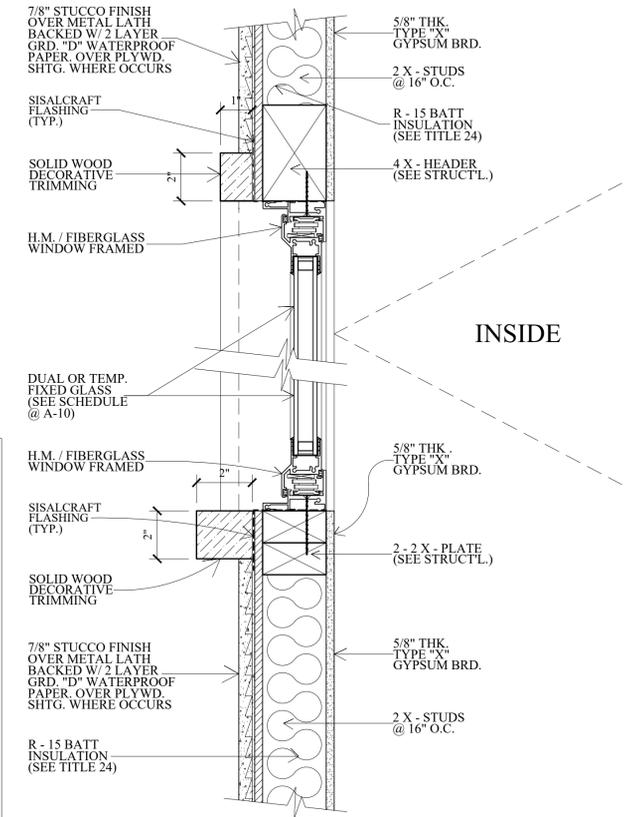
3 DRIVEWAY PERMEABLE STONE PAVING FINISH
NOT TO SCALE



3a DRIVEWAY PERMEABLE STONE PAVING DETAILS
NOT TO SCALE

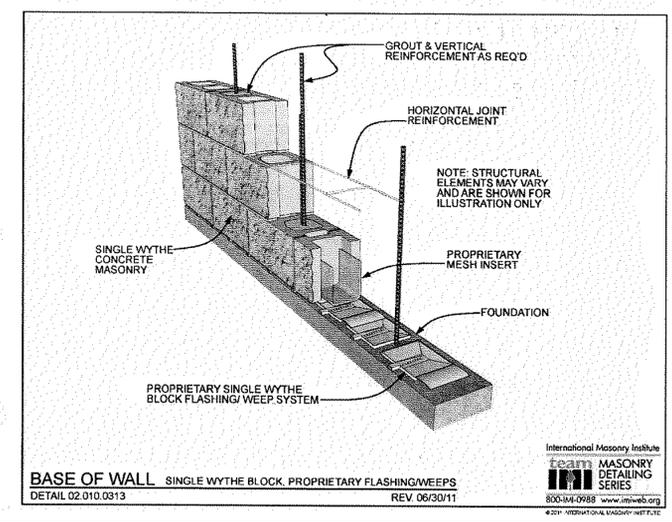


4 TYP. WROUGHT IRON RAILING / GUARDRAIL
NOT TO SCALE



1 TYP. BLOCK FRAME WINDOW SECTION
NOT TO SCALE

Retaining Wall Section – material to be textured decorative colored masonry block with colored grout where grout is used to blend with the color of the natural hillside



2 CONCRE BLOCK WALL FENCE & RET. WALL.
NOT TO SCALE

FENCE / RETAINING WALL
(TEXTURED DECORATIVE COLORED
MASONRY BLK. W/ COLORED GROUT
COLORED BLEND W/ NATURAL
HILLSIDE) "EARTH COLOR"

Revisions	By

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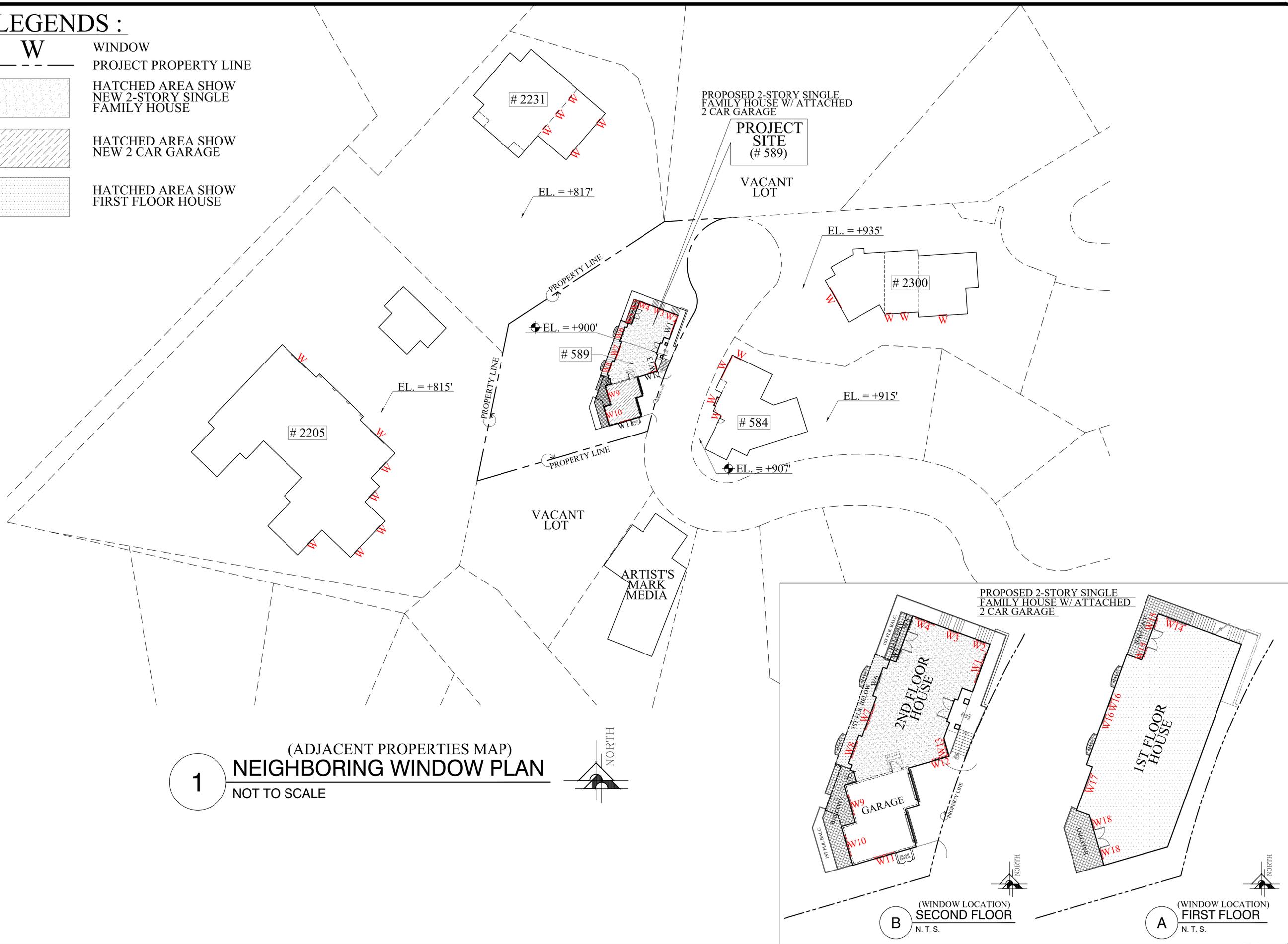
PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**
PROJ. ADDR : 589 ARCH PLACE, GLENDALE, CA. 91206
OWNER : ARSEN AGAJANIAN
589 ARCH PLACE, GLENDALE, CA. 91206
DRWG. TITLE : DETAILS & SAMPLE MATERIALS

Drawn by
NEIL A.
Checked by
V. J.
Date
MAY 26, 2023
Scale
N. T. S.
Job No.

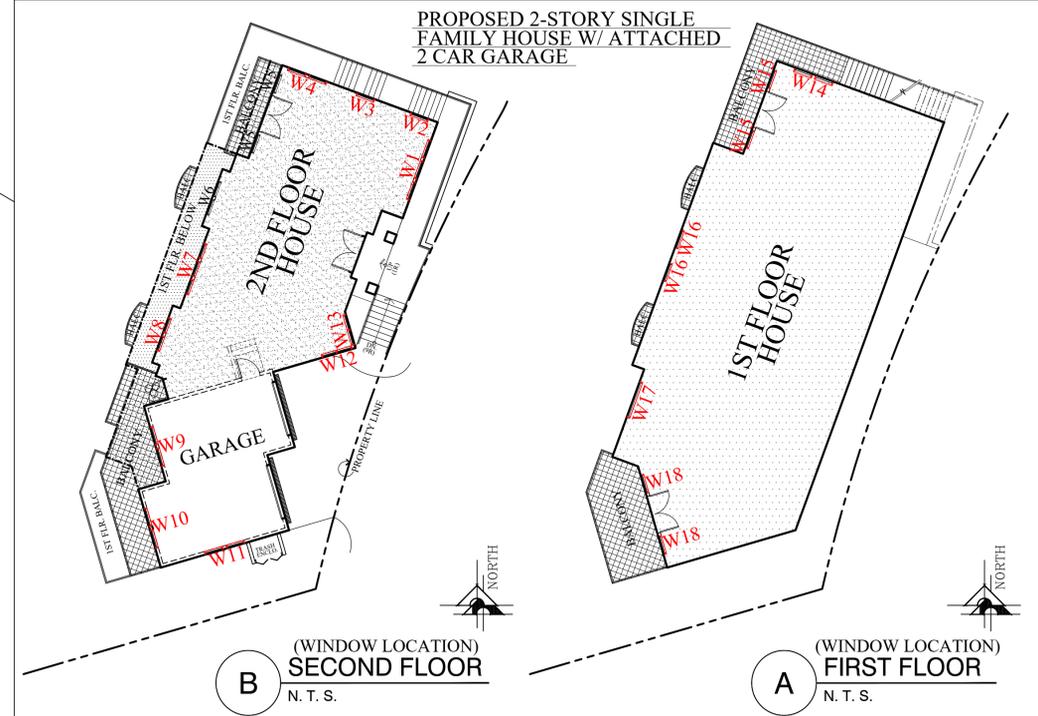
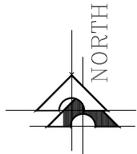
Sheet No.
A-11
of
Sheets

LEGENDS :

- W** WINDOW
- PROJECT PROPERTY LINE
-  HATCHED AREA SHOW NEW 2-STORY SINGLE FAMILY HOUSE
-  HATCHED AREA SHOW NEW 2 CAR GARAGE
-  HATCHED AREA SHOW FIRST FLOOR HOUSE



(ADJACENT PROPERTIES MAP)
1 NEIGHBORING WINDOW PLAN
 NOT TO SCALE



B (WINDOW LOCATION)
 2ND FLOOR HOUSE
 N. T. S.

A (WINDOW LOCATION)
 1ST FLOOR HOUSE
 N. T. S.

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PROJ. TITLE: **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER: 589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE: (WINDOW LOCATION) FIRST & SECOND FLOOR LEGENDS

Drawn by
NEIL A.

Checked by
V. J.

Date
APRIL 4, 2023

Scale
N. T. S.

Job No.

Sheet No.
A-12

of _____ Sheets

589 ARCH PLACE - GLENDALE, CA



Disclaimer: This Drawing is neither a legally recorded map nor a survey, and is not intended to be used as such. The information displayed is a compilation of records, information and data obtained from various sources, including the City of Glendale, which is not responsible for its accuracy or timeliness.

Sources: City of Glendale PW ENG
 Parametric - City of Glendale PW ENG
 Topo - LA County - 2017
 Aerial Photography - LA County - 2020



LEGEND	
589 Arch Place	Cadastral Base-map (Lines in White)
City Boundary	2022 Aerial Photo
ROW-Tract Lines	Red: NONE
Lot Lines	Green: NONE
City Lot Split Lines	Blue: NONE
Other	
County Lot Split Lines	
Street Centerline	



1 SATELLITE MAP NOT TO SCALE

PUBLIC WORKS . ENG'G. CONDITIONS :

PUBLIC WORKS ENGINEERING Land Development Section	
<input checked="" type="checkbox"/> Comments/Conditions	<input type="checkbox"/> No Comments
<p>1. The project shall comply with all National Pollutants Discharge Elimination System (NPDES) requirements.</p> <p>2. Drainage from roof and on-site improvements shall be conveyed to the street via sheet flow/gravity flow through the driveway apron or cast-iron pipes/parkway drains from the property line and exiting through the curb. Show how onsite drainage will be discharged into the street. No concentrated drainage shall be allowed downstream from the site.</p> <p>3. The proposed concrete sidewalk and driveway apron may need to be supported with piles and retaining walls. Additional guard rails may need to be installed along the street frontage of the property.</p> <p>4. Show the limits of construction in the public right-of-way. Label all proposed improvements in the public right-of-way. Additional comments may be forthcoming once this is confirmed.</p> <p>5. Provide street cross-sections across the proposed driveway apron and additional cross-sections above and below the driveway apron. Additional comments may be forthcoming upon submittal of the cross sections.</p> <p>6. Street improvement plans shall be required for this project. Broken street pavements, curb, and gutter may need to be replaced. Plan check fees shall apply.</p> <p>7. All retaining walls and/or lateral support systems supporting the street, sidewalk, and driveway apron, shall be constructed on private property, and maintained by the applicant or owner.</p> <p>8. Submit a topographic map showing additional surface items (with labels) in the public right-of-way that includes existing guardrails, pavement, edge of pavement, street signs, curb and gutter on both sides of the street, fire hydrant, street signs, utilities, manholes, utility valves, rectangular concrete vault, trees, etc. Label the type of trees in the right-of-way to verify if they are indigenous trees or not. Additional comments may be forthcoming after the submittal of the topographic map.</p> <p>9. The wastewater shall discharge by gravity flow through the sewer lateral from the property towards the existing sewer main on Arch Place.</p> <p>10. The proposed driveway apron shall be constructed per SPPWC Standard Plan No. 110-2. The driveway apron shall slope downwards from the property line towards the street.</p> <p>11. The roadway pavement within the vicinity of the property shall be inspected after the completion of the project. In the event of damage, because of construction-related</p>	

Page 1 of 2

activities, the applicant may be required to perform additional street improvement repairs, up to the reconstruction of the asphalt concrete pavement.

12. The applicant shall bear all costs involved in the relocation/reconstruction and/or adjustment to new finished grade of all utilities (underground and overhead) within the public right-of-way and easement that may be affected by the project and shall coordinate all such work with the respective utility companies.

13. All existing street appurtenances including traffic striping, street signs, curb paintings, tree wells, utilities, and all other improvements within the public right-of-way and easement that were damaged, removed, or relocated during construction shall be restored to the satisfaction of the Director of Public Works.

14. Separate permits are required for all work within the public-right-of-way. The applicant shall bear all fees for the necessary permits and construction inspections for work within the public right-of-way.

15. Comments from Traffic Section shall be provided separately.

16. Additional requirements may apply after the submittal of engineering plans for building plan check.

Case No.: **PVAR-001654-2023**
 Address: **589 Arch Place**
 Case Planner: **Aileen Babakhani**

Signature: Date: **8/8/23**
 Yazdan T. Enrani, P.E.
 Director of Public Works

Page 2 of 2

Revisions	By

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 (818) 956-0570

PROJ. TITLE: **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**
 PROJ. ADDR: **589 ARCH PLACE, GLENDALE, CA. 91206**
 OWNER: **ARSEN AGAJANIAN**
 589 ARCH PLACE, GLENDALE, CA 91206
 DRWG. TITLE: **SATELLITE MAP, PUBLIC WORKS ENG'G. CONDITIONS**

Drawn by
NEIL A.
 Checked by
V. J.
 Date
AUG. 15, 2023
 Scale
N. T. S.
 Job No.

Sheet No.
A-12a
 of _____ Sheets

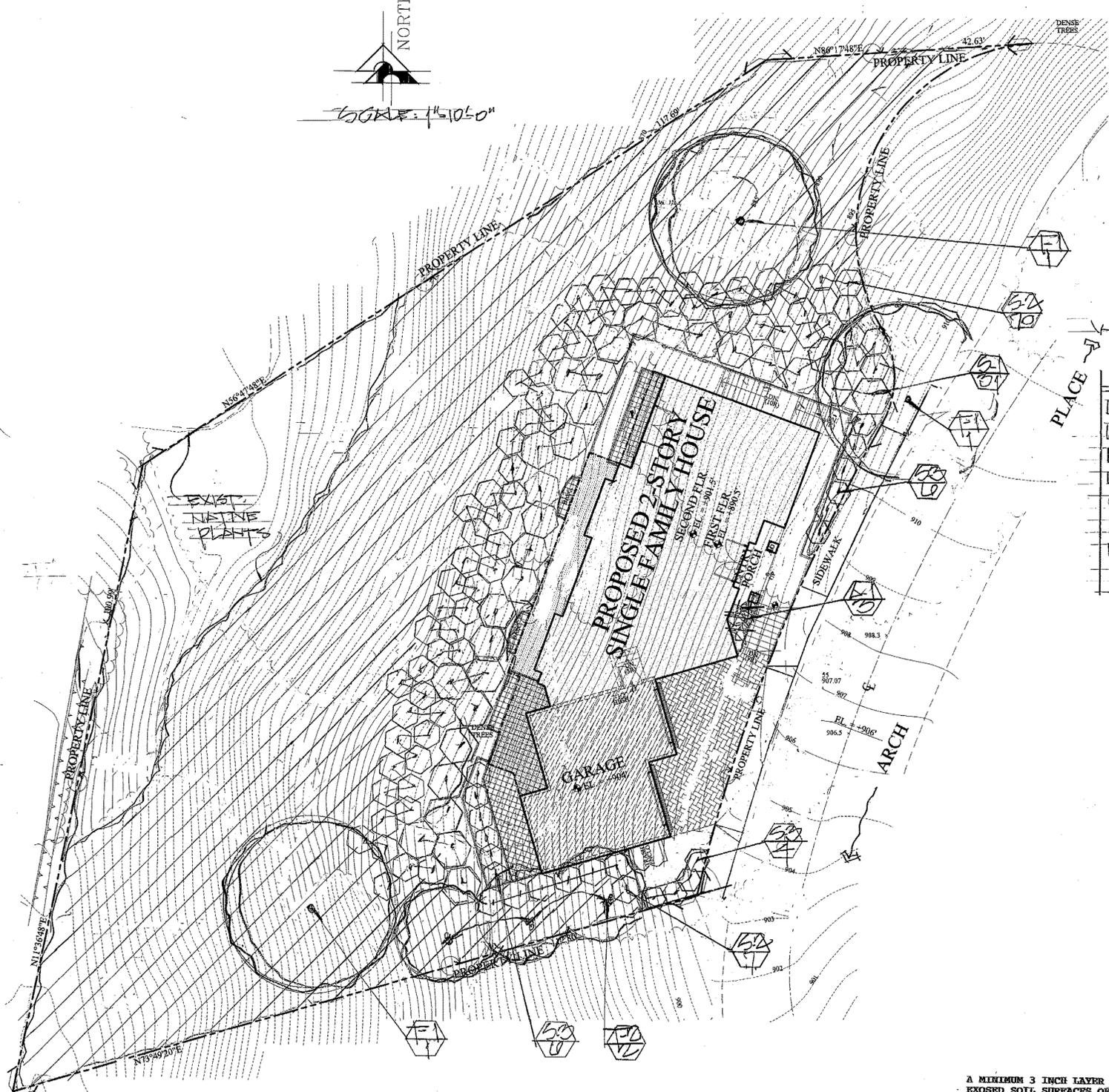
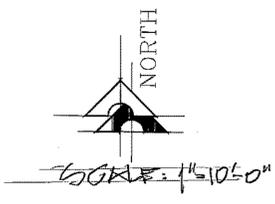
Revisions	By

ALL PLANT MATERIALS AND PLANTING AREAS REPRESENTED BY THIS PLAN SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

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 PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206
 OWNER: ARSEN AGAJANIAN
 589 ARCH PLACE, GLENDALE, CA 91206
 DRWG. TITLE:

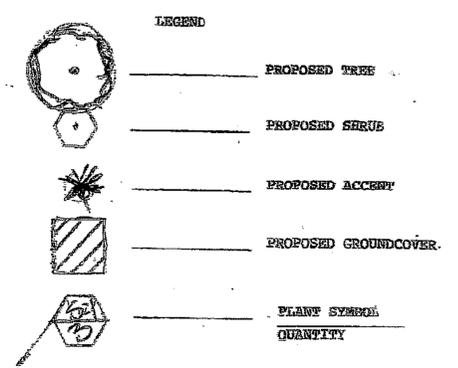
Drawn by: **NEIL A. LEAT**
 Checked by: **EL**
 Date: **8-14-83**
 Scale: **1" = 10'-0"**
 Job No.:
 Sheet No.:
 of 1 Sheets



WATER USAGE (WUGGS) PLACE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SYMBOL
W T-1	QUERCUS AEGIFOLIA	COAST LIVEOAK	24" X 3'	-	
W T-2	HETEROPHELLIS ARBUTIFOLIA	TOXON/MANTEL	24" X 3'	-	
W S-1	PHANANIS CALIFORNICA	CAVE CLOVER	5 GAL 31	8' OC.	
W S-2	CENOTHUS PROSTRATA	CARNE CREEPER	5 GAL 27	4' OC.	
W S-3	CISTUS X PURPURIENSIS	ORCHID BUSH	5 GAL 10	3' OC.	
W A-1	FESTUCA CALIFORNICA	CAVE FESCUE	5 GAL 3	RANDOM	
W	GROUNDCOVER = BACCHARIS TWIN-PEAKS!	COYOTE BUSH	FLATS 16	2' OC.	

- 1. LIVE LOW WATER USAGE / P.F. = 3
- 2. INSTALL FINE RETARDANT JUTE MESH ON ALL SLOPS AREAS TO BE PLANTED
- 3. LANDSCAPE AREA = 4,105 SQ. FT.



A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS; EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

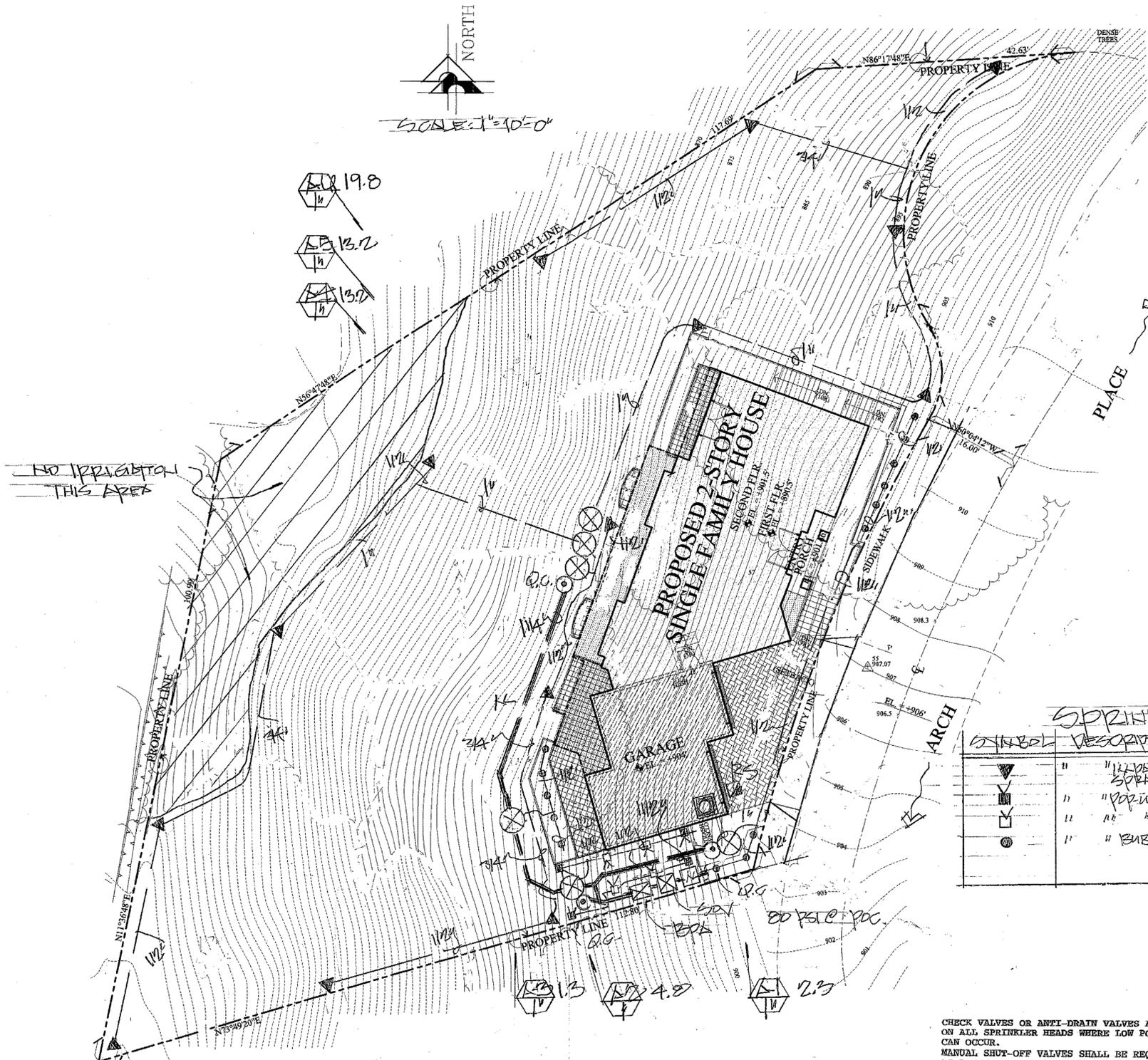
MELLO COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

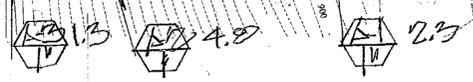
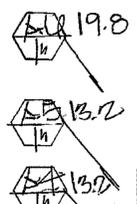


LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169

PLANTING PLAN



NO IRRIGATION THIS AREA



Reference Evapotranspiration (ET_o) / 43.7

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PFRE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
A-1	.3	S	.81	.37	145	53.7	1,455
A-2	.3	S	.81	.37	750	276.75	2,493
A-3	.3	S	.81	.37	80	29.7	202
A-4	.3	S	.75	.4	7,000	2,520	21,670
A-5	.3	S	.75	.4	1,150	400.5	2,455
A-6	.3	S	.75	.4	4,200	1,445.4	21,170
Totals (A)						10,105	26,053
Special Landscape Areas							
[Redacted]						1	40
[Redacted]						1	40
[Redacted]						1	40
[Redacted]						1	40
[Redacted]						1	40
Totals (C)						5	200
ETWU Total							26,253
Maximum Allowed Water Allowance (MAWA)							26,253

Hydrozone #/Planting Description E.g.
 1) front lawn
 2) low water use plantings
 3) medium water use plantings

Irrigation Method
 (S) overhead spray or drip
 (B) BUBBLER

Irrigation Efficiency (IE)
 0.75 for spray head
 0.81 for drip

ETWU (Annual Gallons Required) = ET_o x 0.62 x ETAF x Area
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

(43.7) (0.122) (.55) (0.1225) + (0)
 MAWA = 99,912 GPY
 ETWU = 26,253 GPY

SPRINKLER HEADS

SYMBOL	DESCRIPTION	MODEL NO.	SPACING	DEPTH	PSI
▲	"1/2" PACT SPRAY	20457-1441PWH	3.5	38"	35
▼	"1/2" PACT SPRAY	1812-1041PWH	3.9	10'	30
□	"1/2" PACT SPRAY	1812-1041PWH	3.9	10'	30
○	" BUBBLER	1812-1401	.85	-	30

- LEGEND
- ☐ WEATHER BASED CONTROLLER (RAINBIRD ESP-LXME 8 STATION)
 - ☒ RAIN SENSOR (RAINBIRD RSD+BEX)
 - ☒ BACKFLOW PREVENTER (FERCO 825-Y-1 1/2")
 - ☉ QUICK-COUPLER (RAINBIRD 44LC)
 - ⊗ VALVE (RAINBIRD PEB SERIES)
 - ⬡ VALVE NO. / GPM VALVE SIZE
 - LATERAL LINE / SCHD 40 PVC
 - MAINLINE / SCHD 40 PVC
 - ☒ SHUT-OFF VALVE
 - ⊞ IRRIGATION METER

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.
 MANUAL SHUT-OFF VALVES SHALL BE REQUIRED; AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY. TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.
 PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
 A DIAGRAM OF THE IRRIGATION PLAN; SHOWING HYDROZONES SHALL BE KEPT WITHIN THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
 A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS; IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
 AT THE TIME OF THE FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
 RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.



IRRIGATION PLAN

LARRY G. TISON & ASSOCIATES
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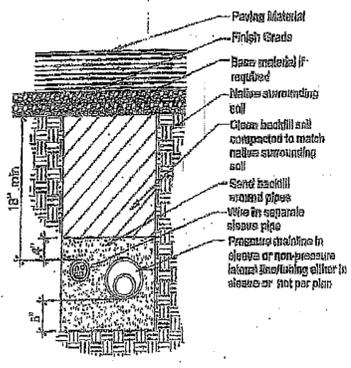
Revisions	By

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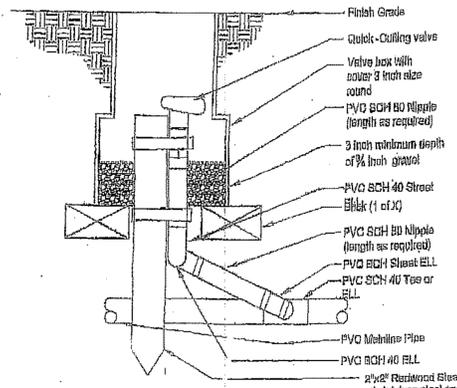
VJ & ASSOCIATES
 building design • planning • interior
 1224 E. BROADWAY, SUITE 105,
 Glendale, CA 91205
 (818) 956-0570

PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE
 ARSEN AGAJANIAN
 589 ARCH PLACE, GLENDALE, CA 91206
 PROJ. TITLE: PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE
 PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206
 OWNER: ARSEN AGAJANIAN
 589 ARCH PLACE, GLENDALE, CA 91206
 DRWG. TITLE:

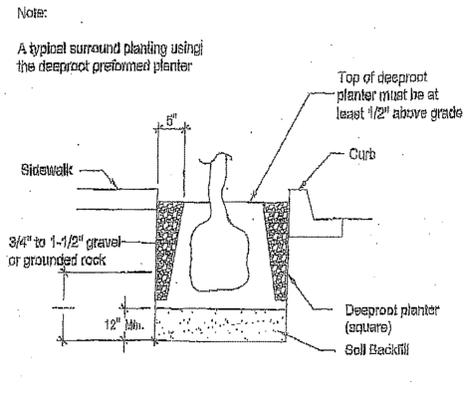
Drawn by NEIL A. LUT
Checked by
Date 8-14-23
Scale 1" = 10'-0"
Job No.
Sheet No. L-2
of 1 Sheets



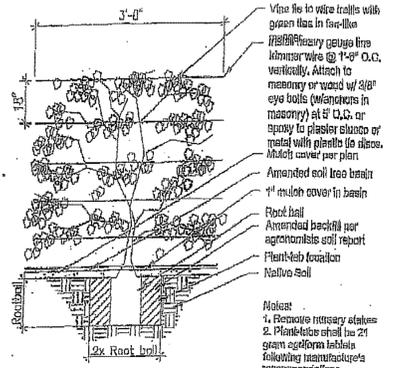
Pipe & wire trenching



Quick coupling valve



Tree Root barriers



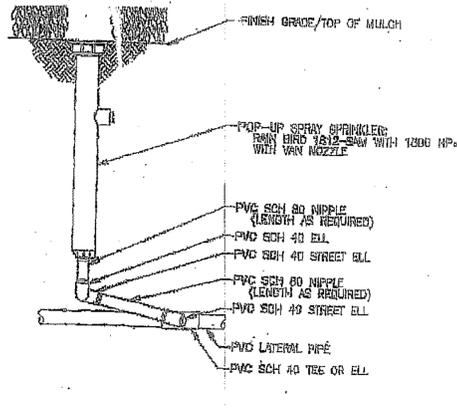
Vine Planting detail

- Contractor shall verify plant count for bidding purposes.
 - Ground cover indicated by shall be continuous under shrub.
 - Planting areas which have no cover indicated shall receive 3" min. fine redwood bark as a ground cover.
 - Contractor shall guarantee plant material for 90 days after installation and replace any diseased or damaged materials during that one year period.
 - The following amendments shall be uniformly broadcast and thoroughly incorporate to a depth of 12" min. by rotor/tiler equal amount per 1,000 sq.ft.
 - Cu. yd. (2") nitrogen stabilized organic amendment from redwood sawdust, fir dust, or finely ground bark 5 lbs. ammonium sulfate.
- Note: This formula is a Std. mix and will change if there are any unusual soil conditions at the site. Compacted backfill shall be 100% on site soil.

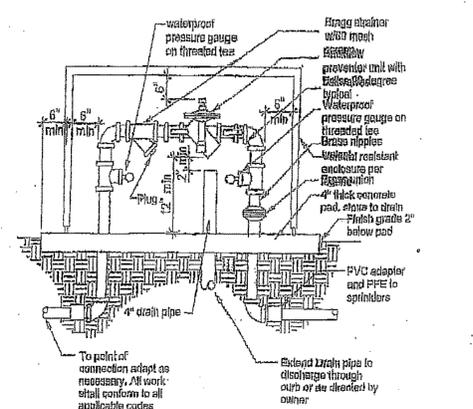
Landscape Notes

Soil Texture	Loadings rate (lb/1000 sq ft)							
	Over	Rise	Clear	Rise	Over	Side	Clear	Side
Coarse Sandy Soil	2.00	2.00	2.00	1.50	1.50	1.00	1.00	0.50
Coarse sandy soil over compacted layer	1.75	1.50	1.25	1.00	1.00	0.75	0.75	0.40
Light Sandy	1.75	1.00	1.00	0.50	0.50	0.50	0.75	0.40
Light Sandy (compacted subsoil)	1.25	0.75	1.00	0.50	0.75	0.40	0.50	0.50
Uniform Soil	1.00	0.50	0.50	0.40	0.50	0.30	0.40	0.20
Light over compact soil	0.50	0.50	0.50	0.25	0.40	0.15	0.30	0.10
Light clay over	0.20	0.15	0.15	0.10	0.12	0.05	0.10	0.05

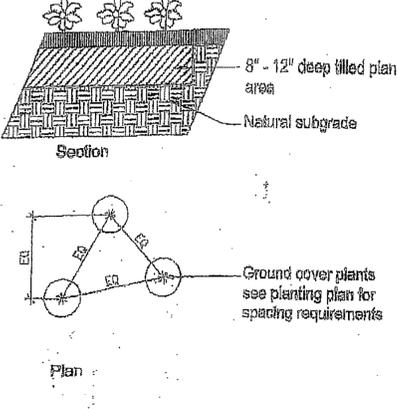
Soil characteristics



POP-UP SPRAY SPRINKLER



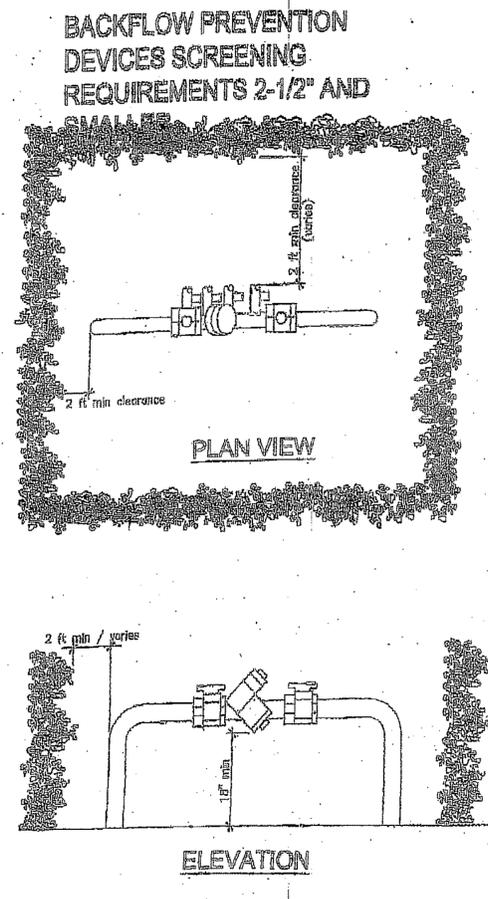
Backflow preventer



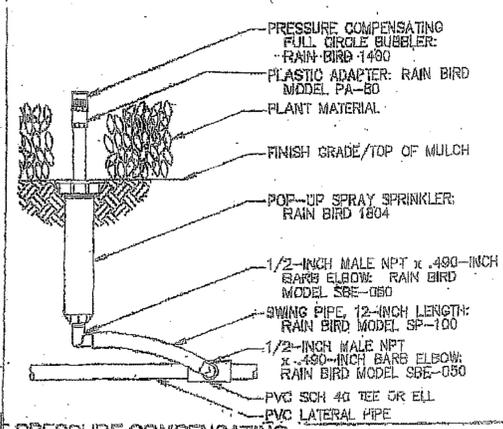
Ground Cover planting detail

- All irrigation lines under drives to be installed in pvc sleeve @ 18" depth min.
 - Locate all RCV's and HB's in planting areas. (typ.)
 - Jet all lines and trenches under paving 90% min.
 - Install remote control valve in amsted 12" box or equal (one valve per box) & marked "irrigation", located boxes in ground cover areas whenever possible and a min. 12" from paving or curbs.
 - The contractor shall provide owner with a completely operation system and clean set of marked prints as "as-built" drawing. Reference all trenches with dimensions to nearest building or paving.
 - The contractor shall warrant that the system will be a free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
- Note: All other requirements to be per city standards and specifications.

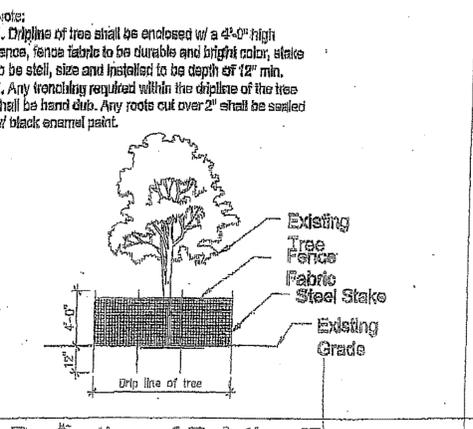
Irrigation notes



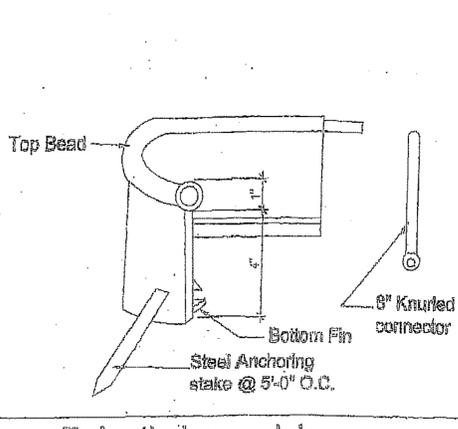
BACKFLOW DEVICE SCREENING DETAIL



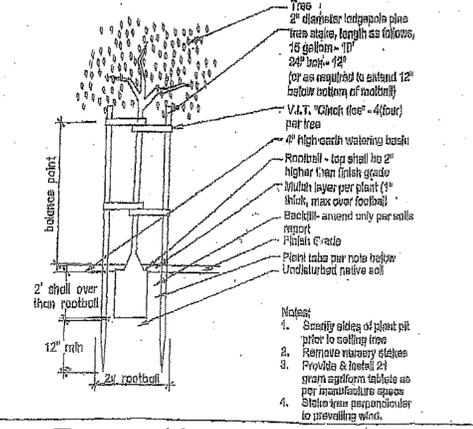
PRESSURE COMPENSATING FULL-CIRCLE BUBBLER



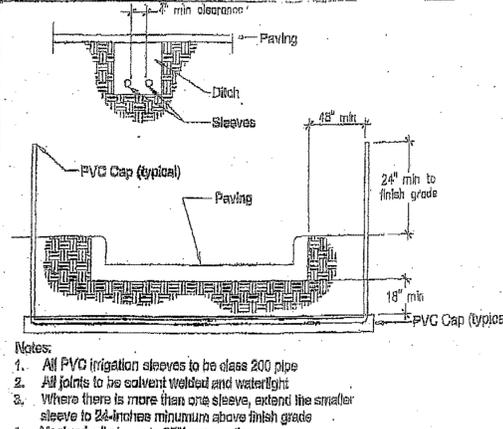
Projection of Existing Tree



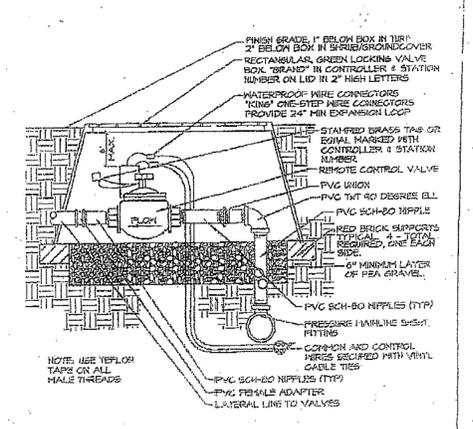
Polyethylene edging



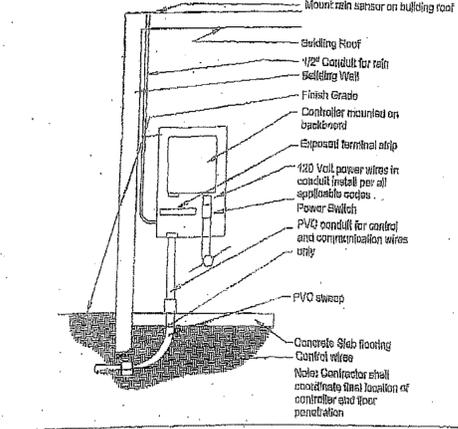
Tree staking detail



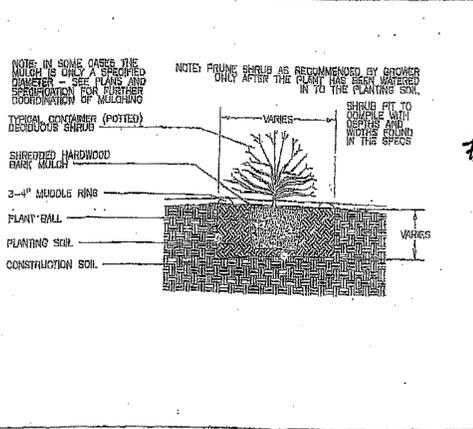
Sleeving



REMOTE CONTROL VALVE



Solid-state Controller



CONTAINER SHRUB PLANTING DETAIL

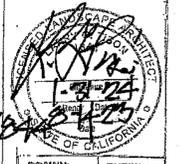
Revisions

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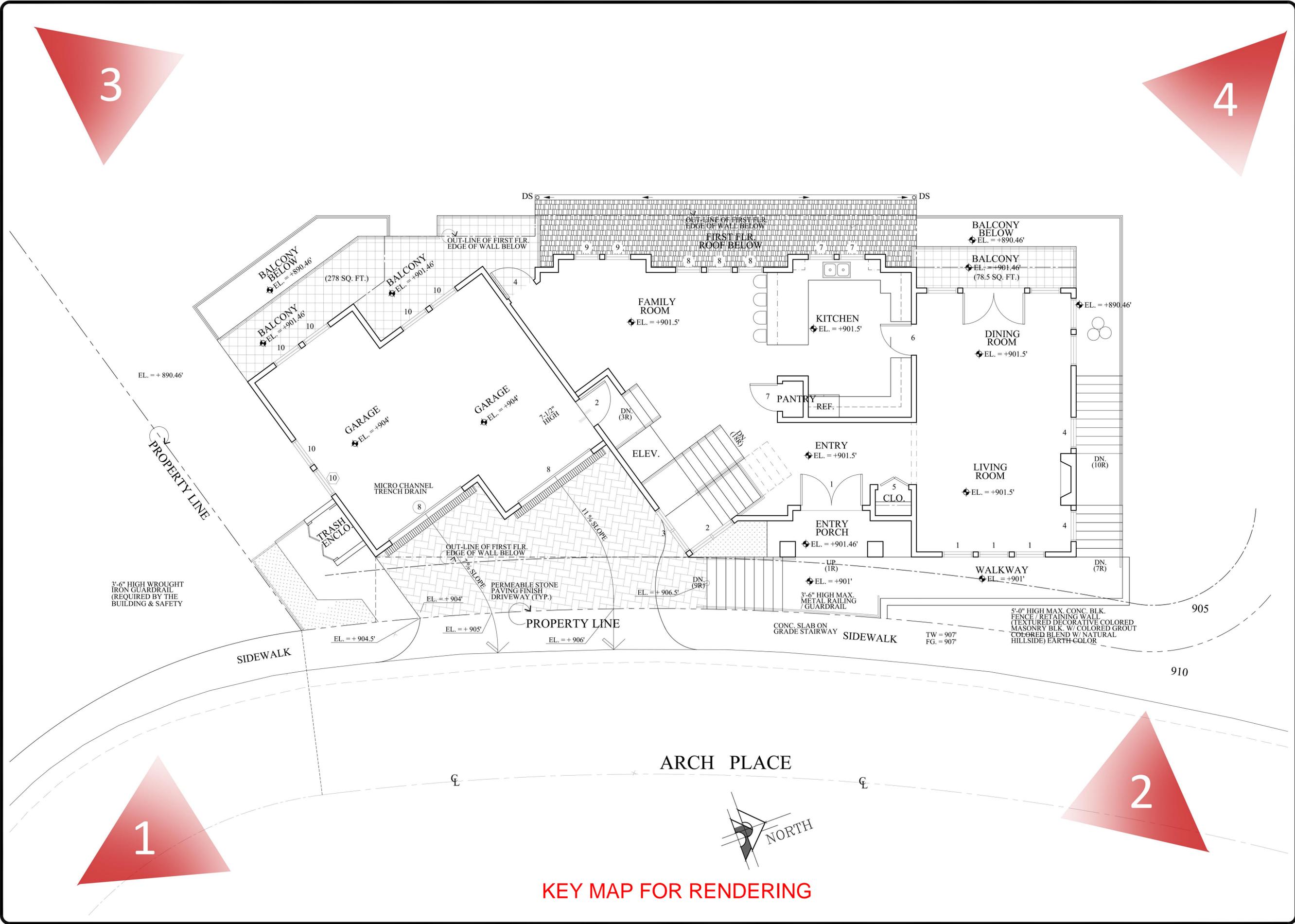
LANDSCAPE ARCHITECTURE
 514 E. Broadway Suite 1000
 San Francisco, CA 94133
 (415) 441-1717
 larry@larrytison.com

Note: use details as applicable to this project only.

LANDSCAPE DETAIL & SPECIFICATION PLAN



DRAWN: L.G.T.
 CHECKED: [Signature]
 DATE: [Blank]
 JOB NO.: [Blank]
 SHEET: [Blank]



Revisions	By

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V J & ASSOCIATES
 building design • interior

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 (818) 956-0570

PROJ. TITLE: **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER: ARSEN AGAJANIAN
 589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE: SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

Date
AUG. 15, 2023

Scale
1/4" = 1'-0"

Job No.

Sheet No.

of _____ Sheets



RENDERING #1



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RENDERING #2



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RENDERING #3



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RENDERING #4