



# EXHIBIT 3

## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

<b>April 18, 2024</b> <i>Decision Date</i>	<b>1239 Rossmoyne Avenue, CA 91207</b> <i>Address</i>
<b>Historic Preservation Commission</b> <i>Review Type</i>	<b>5646-002-008</b> <i>APN</i>
<b>PDR-003119-2024</b> <i>Case Number</i>	<b>Edgar Markosyan, ArcSTEM Inc.</b> <i>Applicant</i>
<b>Eric Ji</b> <i>Case Planner</i>	<b>Ani Malkhasyan</b> <i>Owner</i>

#### Project Summary

The applicant is proposing a two-story addition at the rear façade and the enclosure of a balcony at the front façade. A total of 489 square feet (SF) will be added to the first floor and 599 SF at the second floor. The two-story single family house was built in 1927 and contains 2,413 SF. The 10,920 SF lot is zoned R1-HD (Floor Area District II). The project also includes a 377 SF addition to the existing detached two-car garage, a new detached covered patio, and a 62 SF detached accessory building. The property is identified as a contributor to the Rossmoyne Historic District.

#### Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because it is a minor addition to an existing building. It is also exempt as a Class 31 "Historic Restoration or Rehabilitation" pursuant to Section 15331 of the State CEQA Guidelines because the project, if approved by the Historic Preservation Commission (HPC), will remain a contributor to the North Cumberland Heights Historic District.

#### Existing Property/Background

The project site is a 10,920 SF, irregularly shaped interior lot with frontage on Rossmoyne Avenue. Originally developed in 1927, the site currently features a two-story, 2,413 SF single-family dwelling with a 363 SF detached, two-car garage. In 1977 a 238 SF 2-story addition was approved at the rear. The project site is accessed via an existing driveway along Rossmoyne Avenue that will be maintained.

The subject property is a contributor to Rossmoyne Historic District. It retains many of its original character-defining features and maintains high historic integrity.

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**Last Date Reviewed / Decision**

First time submittal for final review.

**Zone: RI FAR District: II**

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

None.

**Site Slope and Grading**

None proposed.

**Neighborhood Survey**

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	7,557 SF	5,760 – 12,288 SF	10,920 SF
Setback	28'	20' – 57'	25'-10"
House size	2,272 SF	1,569 SF – 3,283 SF	3,603 SF
Floor Area Ratio	30%	25% - 26%	33%
Number of stories	1-2	1 – 2 (6 one-story houses, 11 two-story houses)	2-stories

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**DESIGN ANALYSIS**

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**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography

**Garage Location and Driveway**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If "no" select from below and explain:*

- ☐ Predominant pattern on block

- ☒ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

The pavers for the driveway and front walkway are not appropriate to the style and period of the house. The existing “Hollywood” driveway is damaged but should be either repaired or replaced in kind to maintain the early appearance of the house.

## Landscape Design

- ☐ yes   ☒ n/a   ☐ no

*If “no” select from below and explain:*

- ☐ Complementary to building design
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

## Walls and Fences

- ☐ yes   ☒ n/a   ☐ no

*If “no” select from below and explain:*

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

## Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the site planning is appropriate with the two-story addition appropriately setback from the interior property lines. The expanded garage footprint, new covered patio and accessory buildings will be located at the rear behind the existing house. The property will remain accessible from Rossmoyne Avenue and the main entrance will remain as-is.
- The placement of the addition at the rear façade is in keeping with the recommendations of the Historic District Design Guidelines.
- The existing detached two-car garage will be extended towards the rear to accommodate the zoning code required third parking space. The addition will not be visible from the street and the garage form, location and overall design will be preserved.
- The existing landscaping is proposed to remain and the partially enclosed patio at the rear, new swimming pool, and garage extension creates a courtyard landscape that complements the Spanish Colonial Revival style of the house

## Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

### Building Relates to its Surrounding Context

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

### Building Relates to Existing Topography

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

### Consistent Architectural Concept

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Concept governs massing and height

### Scale and Proportion

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

### Roof Forms

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

## Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The immediate neighborhood surrounding the subject property features one- and two- story homes. The existing residence is two stories and the applicant’s proposal

to expand the existing two-story house is consistent with the neighborhood and existing conditions of the site.

- At the first floor, the addition is proposed to be built in line with the existing walls. The new two-story addition at the rear portion of the house will extend towards the north. The massing will be broken up using recessed building forms, with the second-floor setback approximately 1 foot from the first floor along the east and west facades. A new shed roof is also proposed that visually breaks up the massing of the first and second floor addition.
- The addition will feature gabled roof forms that match the existing single-family residence and the use of a 4:12 roof pitch is consistent throughout.

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## Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

### Overall Design and Detailing

☐ yes   ☐ n/a   ☒ no

*If "no" select from below and explain:*

- ☒ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

The project plan proposes the enclosure of the existing second story balcony facing Rossmoyne Avenue to create a sunroom. As this area appears to have originally been an uncovered terrace, with a tile-clad roof added at a later date, its further modification to create a feature that was never part of this house does not meet the Secretary of the Interior's Standards for Rehabilitation or the district design guidelines and this portion of the project should not be approved. The plan also proposes the covering of the existing decorative vents on the front and side wall. Staff is recommending a condition that the enclosure of the second-floor balcony be omitted and the vents be retained.

### Entryway

☐ yes   ☒ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

### Windows

☒ yes   ☐ n/a   ☒ no

*If "no" select from below and explain:*

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

The proposed aluminum-clad wood windows may be appropriate for replacing the existing wood windows but the drawings do not provide enough information to determine how closely they replicate the appearance of the existing. Alternatively, the Commission may consider requiring that the existing wood windows at the front, and

portions of the side, façade be retained and the proposed windows be used only at more distant side façade openings and at the addition.

## Privacy

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

## Finish Materials and Color

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

## Paving Materials

☐ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

As noted above, the proposed pavers at the driveway and front walkway are not appropriate.

## Lighting, Equipment, Trash, and Drainage

☐ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☒ Vents, utility connections integrated with design, avoid primary facades

The project plan proposes to cover the existing decorative vents on the front and side wall visible from Rossmoyne Avenue. Staff is recommending a condition of approval to omit this from the scope and preserve these character defining features when they are visible from the street.

## Ancillary Structures

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

## Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed addition will be in keeping with the existing design and details including the use of red mission clay tiles, exposed rafter tails, decorative vents, smooth stucco in with a color that matches the existing house, and aluminum gutters and downspouts in bronze.
- The new windows will be bronze, aluminum-clad wood with a block frame installation and external grids. A condition is recommended calling for dimensioned drawings of the existing windows to allow staff to verify that the proposed will closely match the existing.
- Staff recommends an added condition to delete the front façade balcony enclosure unless the Commission finds that this work could mitigate the awkward appearance of the existing, likely non-original, roof structure above the balcony. Staff also recommends that the existing decorative gable vents be retained.

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## Glendale Historic District Design Guidelines and Rehabilitation Standards Analysis

### ***Glendale Historic District Design Guidelines Analysis***

Staff believes that the proposed project can meet the Historic District Design Guidelines if the recommended conditions are imposed. With regard to the two-story rear addition, the Massing & Additions section for Spanish Colonial Revival style properties suggests that the addition is appropriately located at the rear of the property and away from the primary façade. The asymmetrical rear volumes, gabled roof forms, and exposed rafter tails are in keeping with the existing house. The guidelines support staff's recommendation that the existing front balcony not be enclosed, going so far as to say that balconies that have been enclosed should be restored back to their open state. Depending on the Commission's decision regarding the proposed windows, staff will ensure that windows at all locations will match the existing wood windows as closely as possible.

### ***Secretary of the Interior's Standards for Rehabilitation Analysis***

Staff believes the proposed work can comply with the Rehabilitation Standards if the recommended conditions are imposed, as follows:

*1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

- The property was developed as a single-family residence and will remain a single-family residence.

*2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

- If the recommended conditions are approved, the proposed changes at the front balcony and gable vents will be deleted from the proposal and the character of the front façade will be retained. If the Commission chooses to call for the existing wood windows to be retained at specific locations, this standard will be better met.



*3. Each property shall be recognized as a physical record of its time, place, and use.*

*Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

- The addition will be a straightforward design and will read as an addition because of the offset side walls. Enclosing the front balcony would violate this standard by adding a conjectural feature; staff's recommendation to not approve the enclosure design would avoid this.

*4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

- It appears that the roof structures at the front entry and the second floor balcony are not original and staff believes they have not acquired significance over the years. They were, however, in place when the historic district survey consultant determined the property to be a contributor, so their presence does not diminish the overall historic character of the property.

*5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

- If the recommended conditions are approved, staff believes that the property's character-defining features will largely be retained at a level that allows for ongoing contributing status if the historic district is approved.

*6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

- Keeping the wood windows at the front and partial side elevations will help better meet this standard.

*7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

- Not applicable.

*8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

- Not applicable.

*9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

- The construction of the two-story addition will not cause any character-defining features or materials that characterize the property to be destroyed or removed. The existing massing will obviously be altered and the addition will be visible when viewed from the side. The second-floor offset of the addition will allow the original rear corners of the house to remain exposed and provide a subtle marker indicating the addition is not an original feature of the property.



*10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

- The single-family residence could be returned to its original size and shape in the future. The two-story addition at the rear could be removed and, with the reconstruction of the rear facade, the existing condition could be restored.

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**Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

**Conditions**

1. The enclosure of the second-floor balcony and removal of the existing decorative vents should be omitted from the proposal.
2. The proposed driveway and front walkway pavers are not appropriate to the style and period of the house. The damaged “Hollywood” driveway should be either repaired or replaced in kind. The existing front walkway is not original but can be retained due to its unobtrusive visual character.
3. Provide additional information, including dimensioned drawings of the existing windows for staff verification regarding the closeness of their appearance. The Commission may also consider requiring that the wood windows at the front façade and side facades that are closer to the street be retained, and that the new windows be limited to the addition and less visible portions of the side facades.

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**Attachments**

1. Submitted Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. DPR Survey Form







WINDOW SCHEDULE																			
Window Number	Existing Width x Height	New Width x Height	Phase Created	Quantity	Existing Material	New Material	Visible from the street	Operation	New Frame Type	External Grid (SDL)	Keep Existing Sill & Frame	Build New Sill & Frame	Existing / New Edge Detail	Bedroom	Energy Efficient	Temp ered Glass	Fire Hazard Zone	Window within 18" of floor or 40" of door	
1	24" x 36"	NO CHANGE	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Single_Right	BLOCK FRAME	YES	YES		STUCCO		YES	YES	NO		
2	24" x 72"	NO CHANGE	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Single_Left	BLOCK FRAME	YES	YES		STUCCO		YES	YES	NO		
3	24" x 72"	NO CHANGE	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Single_Right	BLOCK FRAME	YES	YES		STUCCO		YES	YES	NO		
4	18" x 54"	NO CHANGE	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Casement-Single_Left	BLOCK FRAME	YES	YES		STUCCO		YES	YES	NO		
5	18" x 54"	REMOVED	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Casement-Single_Right	BLOCK FRAME	YES	NEW	YES	STUCCO		YES	YES	NO		
8	42" x 72"	NO CHANGE	Existing	2	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Double	BLOCK FRAME	YES	YES		STUCCO		YES	YES	NO		
9	18" x 36"	NO CHANGE	Existing	2	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Single-Hung	BLOCK FRAME	YES	YES	YES	STUCCO		YES	YES	NO		
10	39" x 54"	NO CHANGE	Existing	2	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Casement-Double	BLOCK FRAME	YES	YES	YES	STUCCO		YES	YES	NO	YES	
11	24" x 54"	NO CHANGE	Existing	2	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Single_Left	BLOCK FRAME	YES	YES	YES	STUCCO	YES	YES	YES	NO		
12	24" x 54"	NO CHANGE	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Single_Right	BLOCK FRAME	YES	YES		STUCCO	YES	YES	YES	NO		
13	36" x 72"	NO CHANGE	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Double	BLOCK FRAME	YES	YES		STUCCO	YES	YES	YES	NO		
14	42" x 54"	NO CHANGE	Existing	2	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Double	BLOCK FRAME	YES	YES		STUCCO	YES	YES	YES	NO		
15	12" x 24"	REMOVED	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Single_Right	BLOCK FRAME	YES	N/A		STUCCO		YES	YES	NO		
16	12" x 24"	REMOVED	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Casement-Single_Left	BLOCK FRAME	YES	N/A		STUCCO		YES	YES	NO		
17	44" x 44"	REMOVED	Existing	2	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Casement-Double	BLOCK FRAME	YES	N/A		STUCCO		YES	YES	NO		
18	14" x 34"	REMOVED	Existing	4	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Single-Hung	BLOCK FRAME	YES	N/A		STUCCO		YES	YES	NO		
19	36" x 84"	NO CHANGE	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	YES	Window-Arch-Head	BLOCK FRAME	YES	YES		STUCCO		YES	YES	NO		
20	48" x 36" x 18"	REMOVED	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Bay-Casement-45_Degree_Angle	BLOCK FRAME	YES	N/A		STUCCO		YES	YES	NO		
21	58" x 48"	REMOVED	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Casement-Triple	BLOCK FRAME	YES	N/A		STUCCO		YES	YES	NO		
22	36" x 48"	REMOVED	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Casement-Double	BLOCK FRAME	YES	N/A		STUCCO		YES	YES	NO		
23	44" x 31"	REMOVED	Existing	1	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Single-Hung	BLOCK FRAME	YES	N/A		STUCCO		YES	YES	NO		
24	42" x 48"	REMOVED	Existing	2	WOOD	ALUMINU CLAD W/ WOOD	NO	Window-Casement-Double	BLOCK FRAME	YES	YES		STUCCO		YES	YES	NO		

Grand total: 32

WINDOW SCHEDULE (N) WINDOWS																			
Window Number	New Width x Height	Phase Created	Quantity	Existing Material	New Material	Visible from the street	Operation	New Frame Type	External Grid (SDL)	Keep Existing Sill & Frame	Build New Sill & Frame	Existing / New Edge Detail	Bedroom	Energy Efficient	Temp ered Glass	Fire Hazard Zone	Window within 18" of floor or 40" of door		

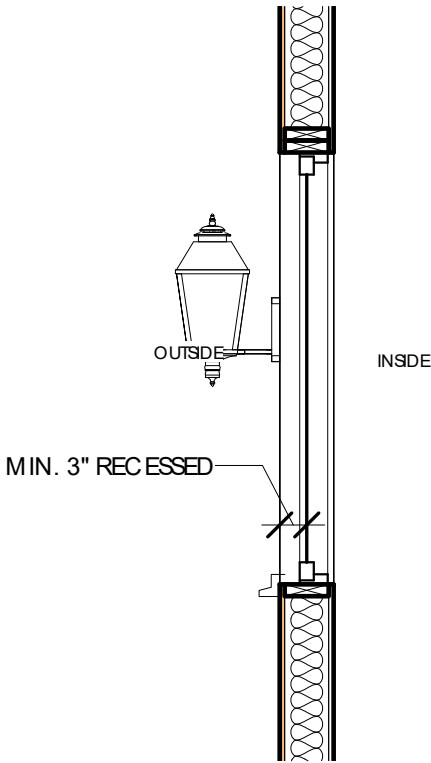
5	18" x 54"	New Construction	1		ALUMINU CLAD W/ WOOD	NO	Window-Casement-Single_Right	BLOCK FRAME	YES	YES	YES	STUCCO		YES	YES	NO			
6	18" x 48"	New Construction	1		ALUMINU CLAD W/ WOOD	NO	Window-Casement-Single_Left	BLOCK FRAME	YES	YES	YES	STUCCO		YES	YES	NO			
7	18" x 48"	New Construction	1		ALUMINU CLAD W/ WOOD	NO	Window-Casement-Single_Right	BLOCK FRAME	YES	NEW	YES	STUCCO		YES	YES	NO			
10	39" x 54"	New Construction	3		ALUMINU CLAD W/ WOOD	NO	Window-Casement-Double	BLOCK FRAME	YES	YES	YES	STUCCO		YES	YES	NO		YES	
24	42" x 48"	New Construction	5		ALUMINU CLAD W/ WOOD	NO	Window-Casement-Double	BLOCK FRAME	YES	NEW	YES	STUCCO		YES	YES	NO			
25	24" x 48"	New Construction	1		ALUMINU CLAD W/ WOOD	YES	Window-Casement-Single_Right	BLOCK FRAME	YES	NEW	YES	STUCCO	YES	YES	YES	NO			
26	77" x 48"	New Construction	1		ALUMINU CLAD W/ WOOD	YES	Window-Casement-Double	BLOCK FRAME	YES	NEW	YES	STUCCO		YES	YES	NO			
27	117" x 48"	New Construction	1		ALUMINU CLAD W/ WOOD	YES	Window-Casement-Triple	BLOCK FRAME	YES	NEW	YES	STUCCO		YES	YES	NO			
28	18" x 36"	New Construction	1		ALUMINU CLAD W/ WOOD	NO	Window-Casement-Single_Left	BLOCK FRAME	YES	NEW	YES	STUCCO		YES	YES	NO			

Grand total: 15

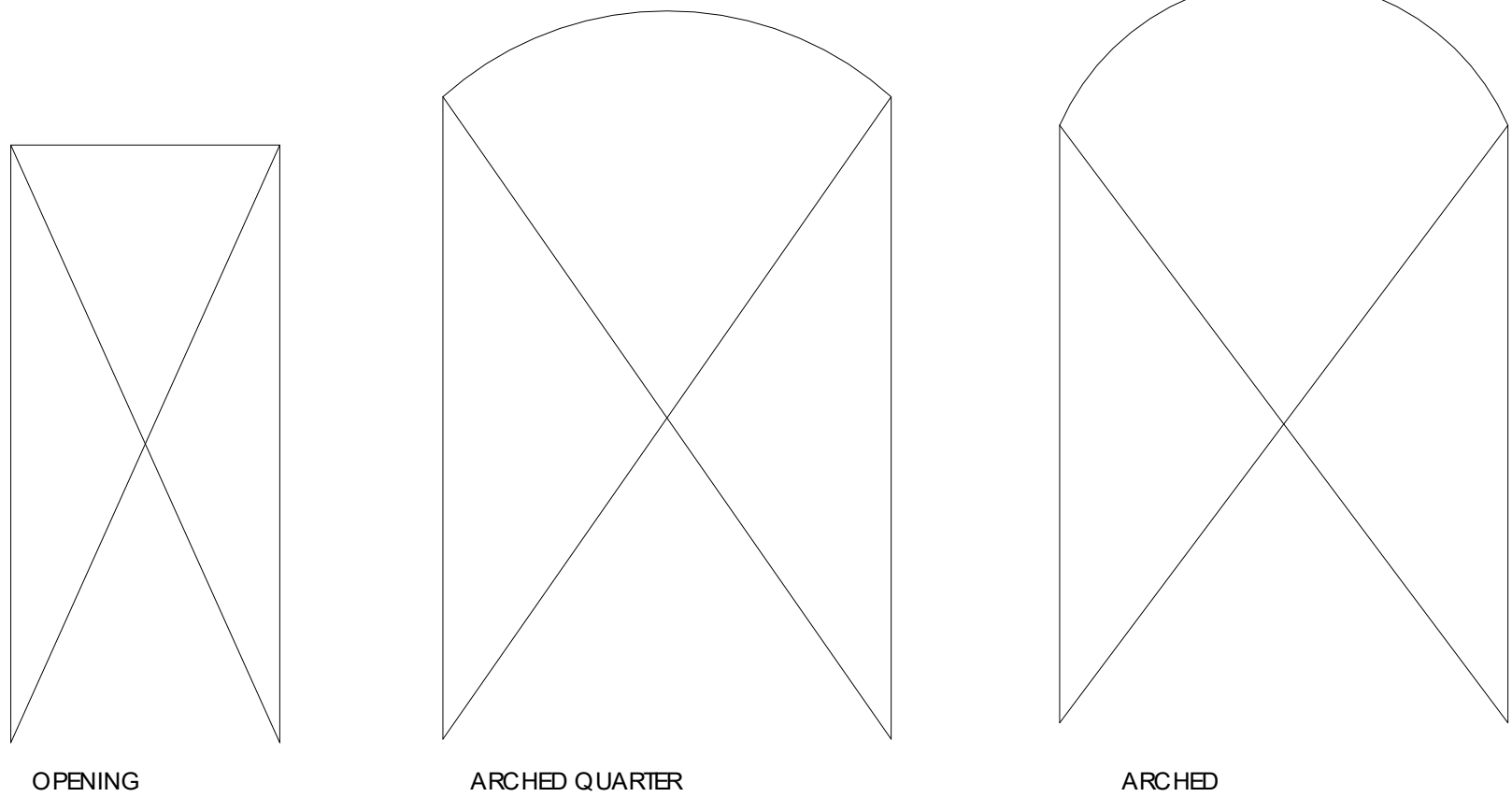
NOTE: ALL NEW WINDOWS VISIBLE FROM STREET TO BE MADE OF STYLE AS EXISTING.

DOOR SCHEDULE										
Type Mark	Type	Count	Family	Width	Height	Phase Created	Phase Demolished	Tempered		
1	40" x 80"	1	40x80Arched_Wood_amp_Iron_Entry_Door_11390	3' - 4"	6' - 8"	Existing	None			
2	30" x 80"	6	Single-Flush	2' - 6"	6' - 8"	Existing	New Construction			
3	34" x 80"	1	Single-Flush	2' - 10"	6' - 8"	Existing	None			
3	32" x 84"	9	Single-Flush	2' - 8"	7' - 0"	New Construction	None			
4	30" x 80"	2	Door-Opening	0' - 0"	0' - 0"	Existing	New Construction			
5	60" x 80"	1	Door-Opening ARCHED quarter	0' - 0"	0' - 0"	Existing	New Construction			
6	51" x 80"	1	Door-Opening ARCHED quarter	0' - 0"	0' - 0"	Existing	New Construction			
7	33" x 80"	1	Door-Opening ARCHED quarter	0' - 0"	0' - 0"	Existing	New Construction			
8	30" x 80"	1	Door-Interior-Single-Full Glass-Wood	2' - 6"	6' - 8"	Existing	New Construction			
8	32" x 80"	1	Single-Flush	2' - 8"	6' - 8"	New Construction	None			
9	24" x 80"	5	Single-Flush	2' - 0"	6' - 8"	Existing	New Construction			
10	138" x 84"	1	Door-Opening	0' - 0"	0' - 0"	Existing	New Construction			
11	36" x 80"	1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	3' - 0"	6' - 8"	Existing	None			
11	36" x 80"	1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	3' - 0"	6' - 8"	New Construction	None			
12	30" x 80"	1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	2' - 6"	6' - 8"	Existing	New Construction			
13	28" x 80"	7	Single-Flush	2' - 4"	6' - 8"	Existing	New Construction			
14	68" x 80"	1	Door-Double-Sliding	5' - 8"	6' - 8"	Existing	New Construction			
15	178" x 84"	1	Door-Garage-Flush_Panel	14' - 10"	7' - 0"	Existing	None			
16	32" x 72"	1	Door-Interior-Single-Full Glass-Wood	2' - 8"	6' - 0"	Existing	New Construction			
17	48" x 80"	1	Door-Interior-Double-Sliding-2_Panel-Wood	4' - 0"	6' - 8"	Existing	New Construction			
18	72" x 80"	1	Door-Interior-Double-Sliding-2_Panel-Wood	6' - 0"	6' - 8"	Existing	New Construction			
19	30" x 72"	1	Door-Interior-Single-Full Glass-Wood	2' - 6"	6' - 0"	Existing	New Construction			
20	168" x 96"	1	Door-French-PlyGem_Mira-Quad_Inswing	14' - 0"	8' - 0"	New Construction	None			
21	48" x 96"	1	Door-Interior-Double-Full Glass-Wood	4' - 0"	8' - 0"	New Construction	None			
22	96" x 90"	1	Door-Interior-Double-Sliding-1 Panel-Wood Without Trip	8' - 0"	7' - 6"	New Construction	None			
23	144" x 96"	1	Door-Opening	0' - 0"	0' - 0"	New Construction	None			
24	30" x 80"	2	Door-Interior-Single-Full Glass-Wood SINGLE LINE	2' - 6"	6' - 8"	Existing	None			
25	68" x 82"	1	Door-Opening ARCHED quarter	0' - 0"	0' - 0"	Existing	New Construction			
25	68" x 82"	2	Door-Opening ARCHED quarter	0' - 0"	0' - 0"	New Construction	None			
26	60" x 82"	2	Door-Opening ARCHED quarter	0' - 0"	0' - 0"	New Construction	None			
27	72" x 84"	2	Door-Interior-Double-Full Glass-Wood	6' - 0"	7' - 0"	New Construction	None			
28	32" x 84"	1	Door-Interior-Single-Full Glass-Wood	2' - 8"	7' - 0"	New Construction	None			
29	32" x 96"	3	Single-Flush	2' - 8"	8' - 0"	New Construction	None			

Grand total: 63



① WINDOW SECTION  
1/2" = 1'-0"



② OPENINGS  
1/2" = 1'-0"



OWNER: LERMONT AKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207  
**EXHIBIT 3**

PROJECT TITLE:  
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ALTERATION**

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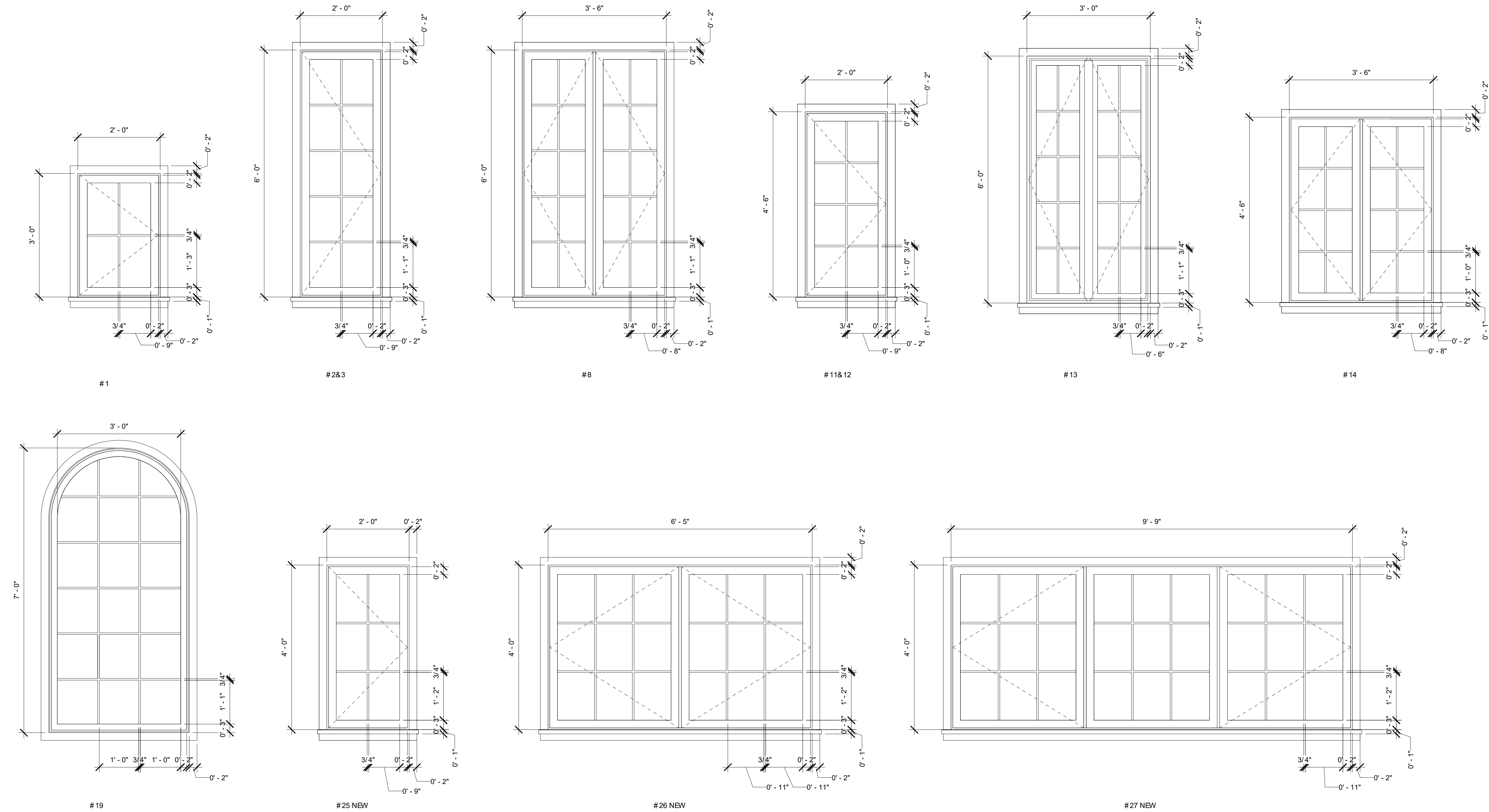
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOBSITE AND REPORT ANY DISCREPANCIES TO ARCSTEM.

PAGE TITLE:

**SCHEDULES**

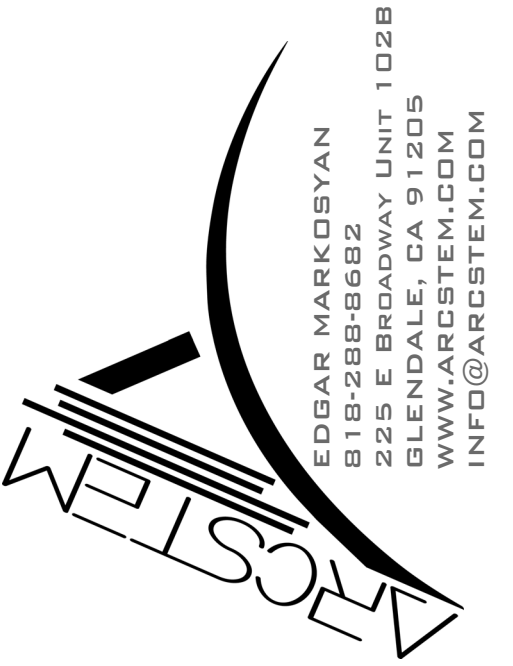
PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
CHECKED BY:	Checker

**A-01**



○ WINDOW ELEVATIONS  
3/4" = 1'-0"

NOTE: SPECS FOR ALL WINDOWS EXISTING AND NEW  
WINDOW TRIM - 2" ALL AROUND  
WINDOW SASH - TOP AND SIDES 2", 3" AT THE BOTTOM  
MUNTIN WIDTH 3/4"  
WINDOW SILL 1"



OWNER: LERMONT AKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207  
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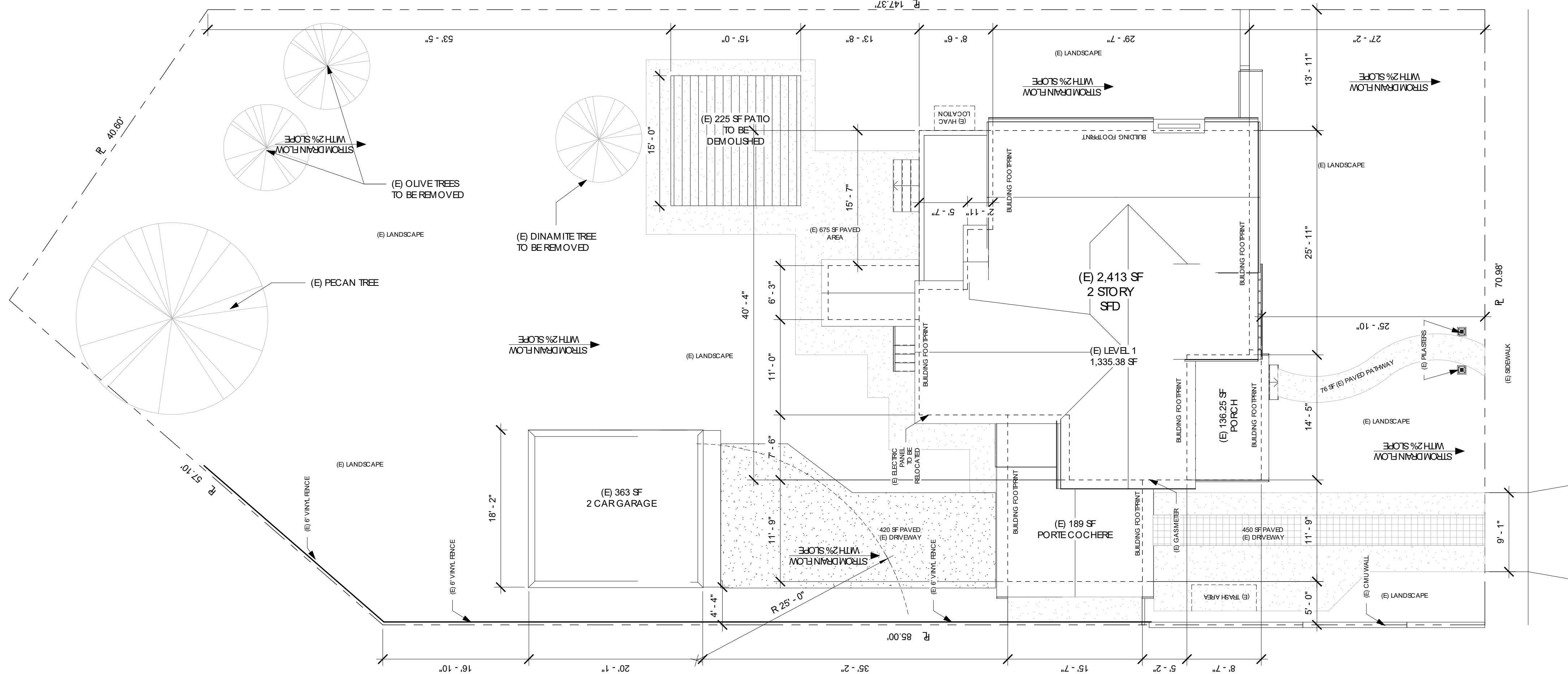
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PAGE TITLE:  
WINDOW  
ELEVATIONS

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
CHECKED BY:	Checker

A-01.1

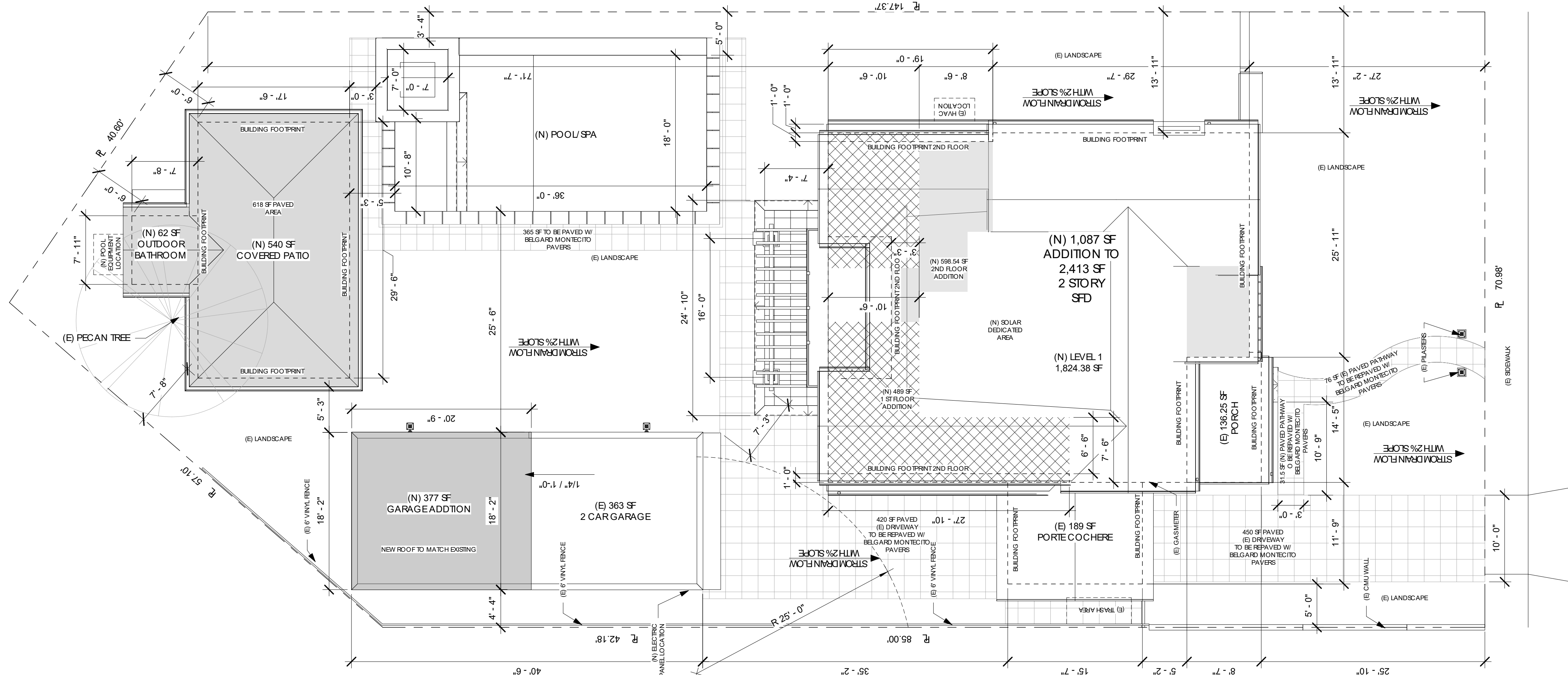




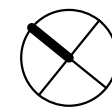
ROSSMOYNE AVE



1 SITE PLAN (E)  
1/8" = 1'-0"



ROSSMOYNE AVE



2 SITE PLAN (N)  
1/8" = 1'-0"

LEGEND

- BUILDING FOOTPRINT
- STORM DRAIN FLOW
- NEW ADDITION
- SOLAR DEDICATED AREA
- PAVED AREA
- LANDSCAPED AREA



OWNER: LERMONT AKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207

EXHIBIT 3

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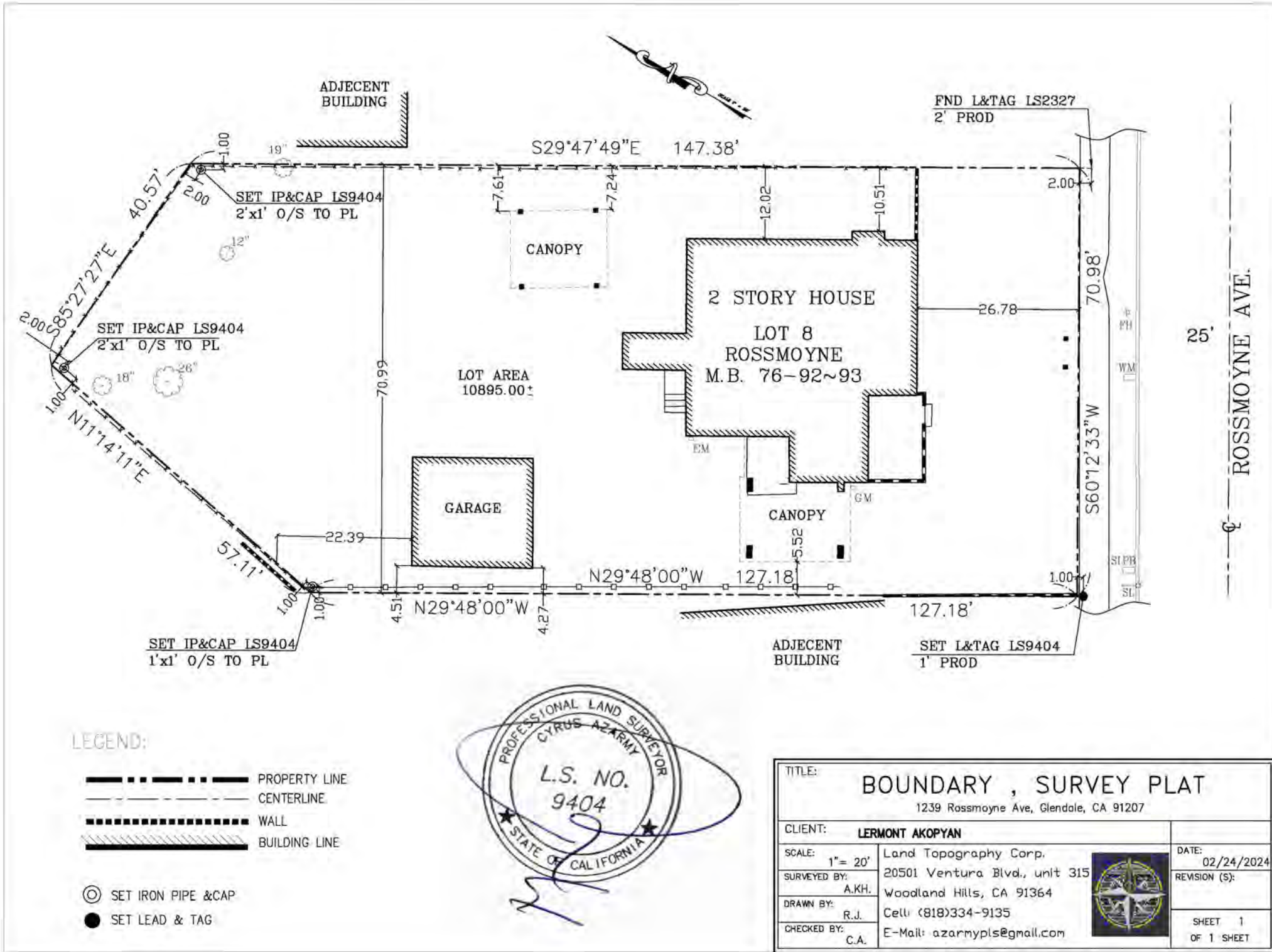
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PAGE TITLE:

SITE PLAN

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
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A-02



OWNER: LERMONT AKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207  
**EXHIBIT 3**

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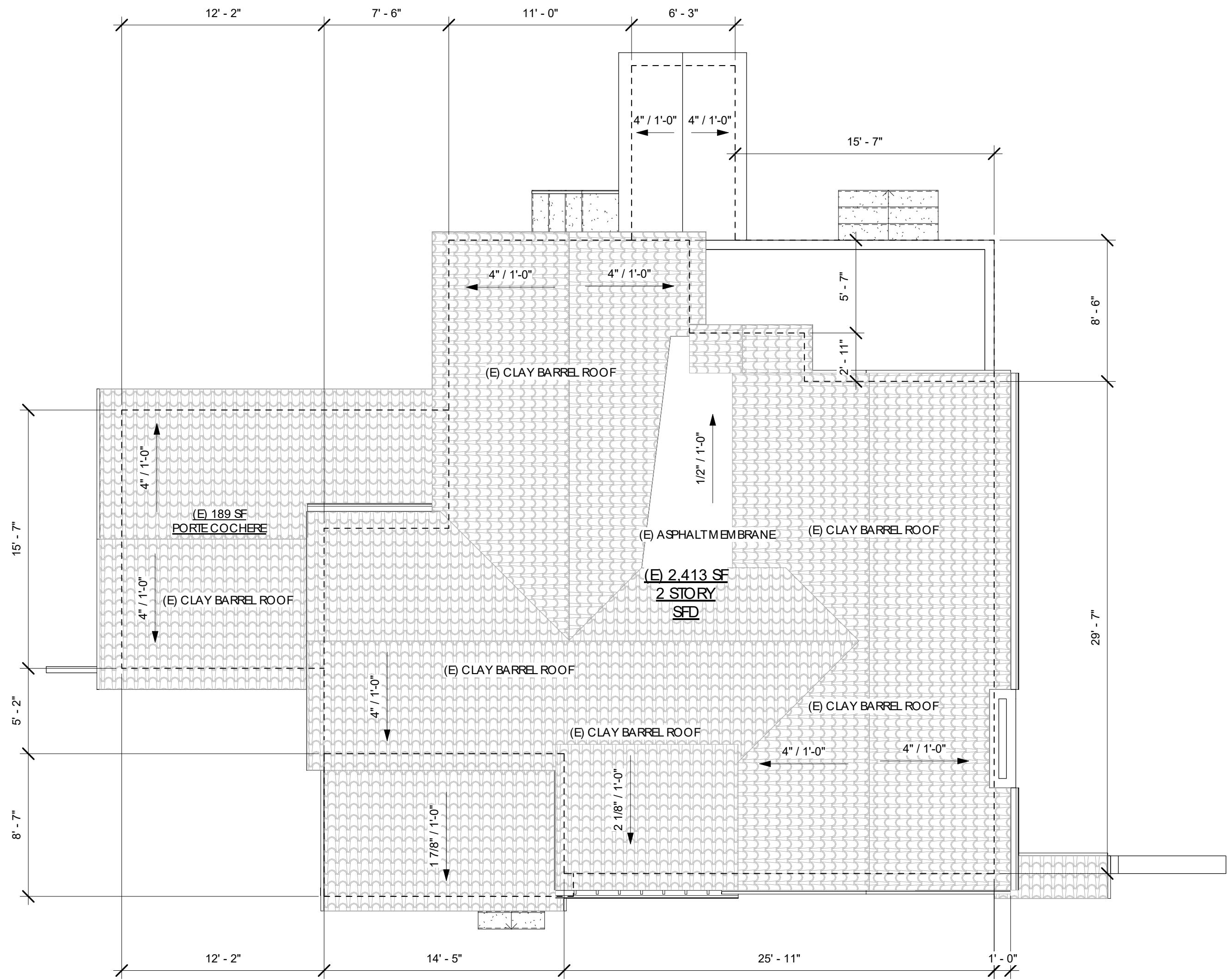
PAGE TITLE:

SITE SURVEY

PROJECT NUMBER: 0000099  
DATE: 03/19/2024  
DRAWN BY: Author  
CHECKED BY: Checker

A-02.1





1 ROOF PLAN (E)  
3/16" = 1'-0"

ROOF MATERIAL SPECS

VEREA CLAY ROOF TILE  
COLOR CARIBBEAN S ROOF TILE RED  
SPES  
SPANISH S  
LENGTH: 19.5"  
WIDTH: 11"  
WEIGHT: 7.8 LBS

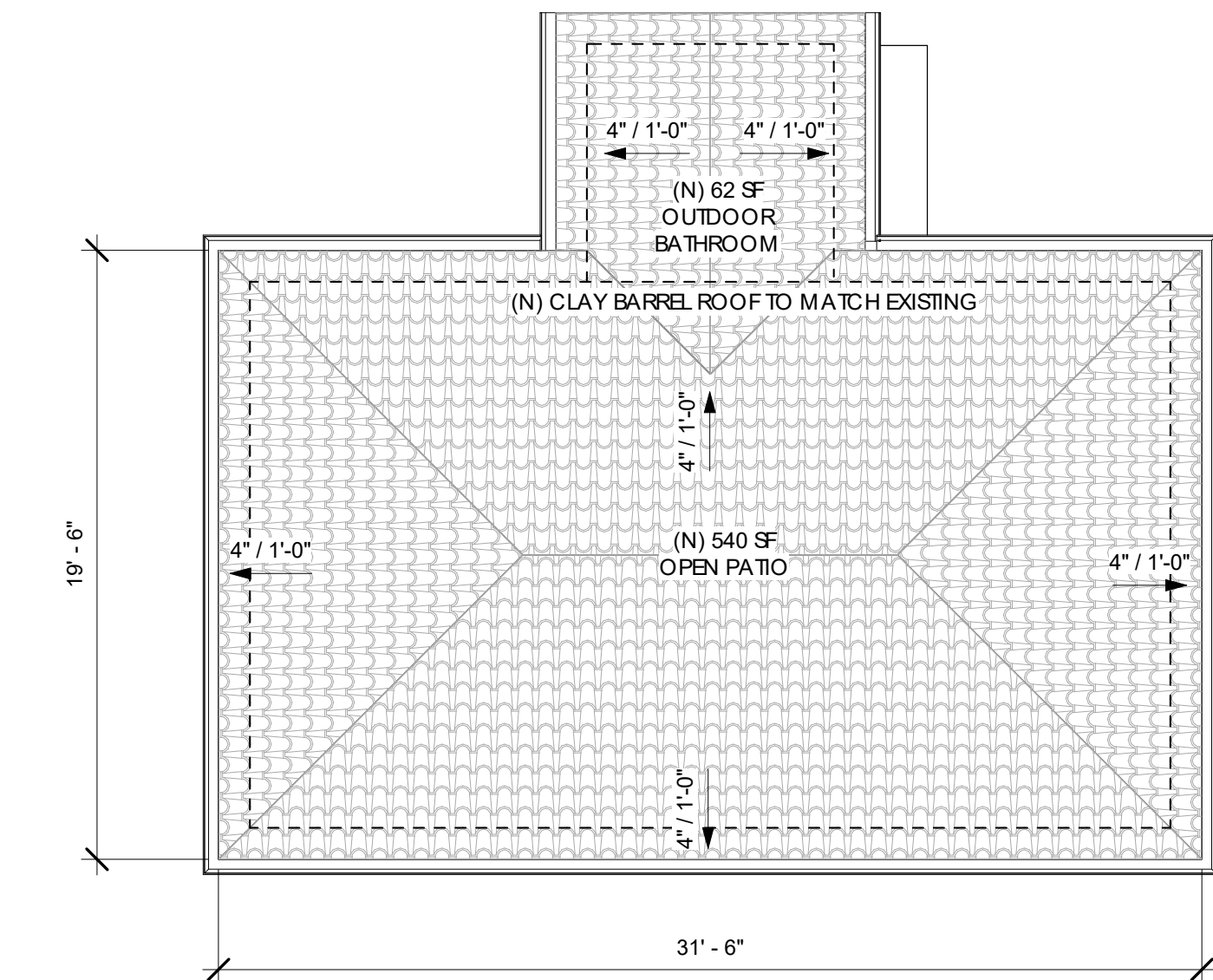
CLASS A ASPHALT MEMBRANE

ATTIC VENTILATION CALC.

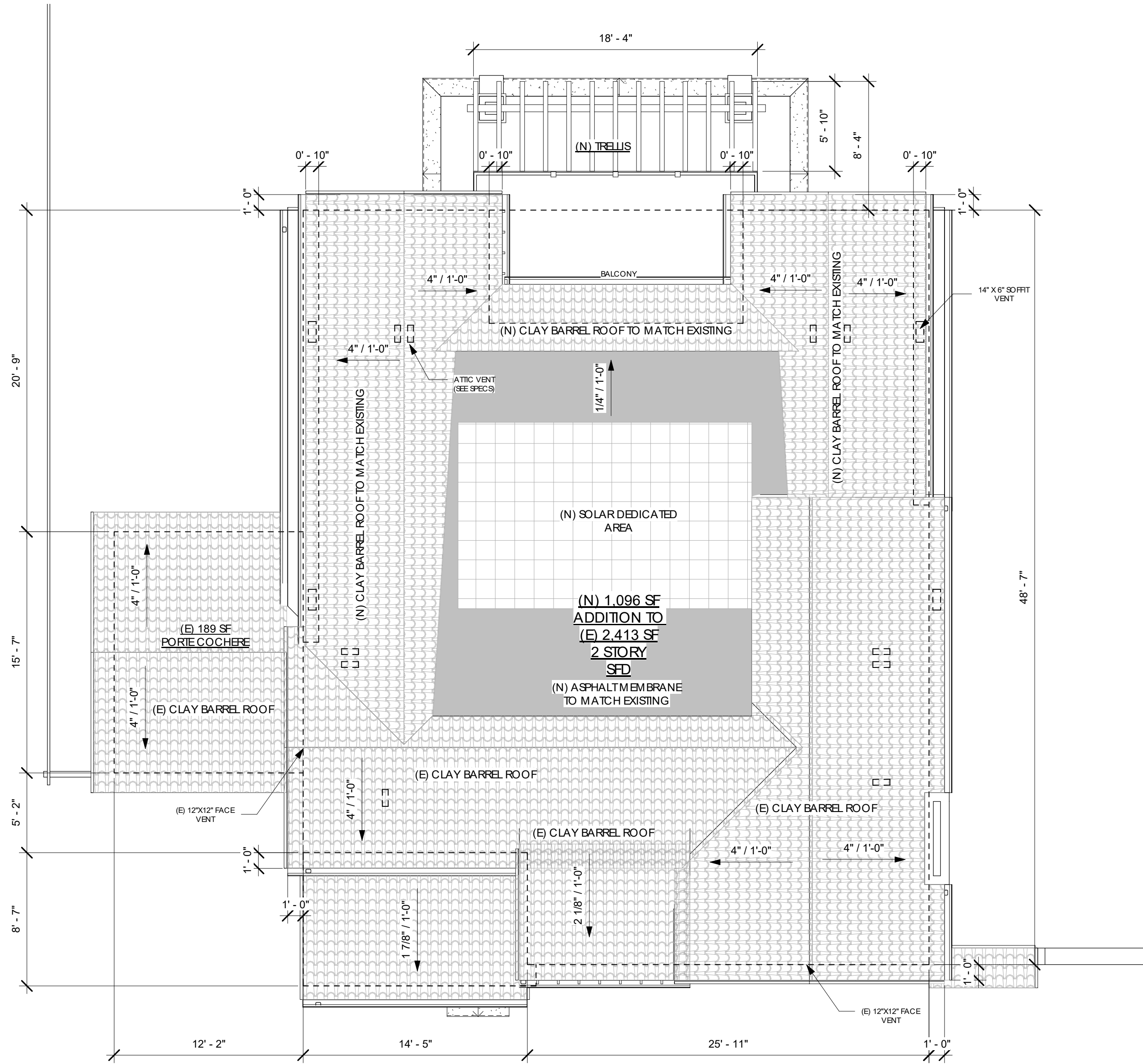
TOTAL VENTILATED ATTIC AREA: 1,610.0 SQ. FT.  
1,610.0 SQ. FT. / 150 = 10.7 SQ. FT. OR 1,540.8 SQ. IN. VENTILATION REQUIRED  
PROVIDED: 862.5 SQ. IN. ATTIC VENTS  
792.0 SQ. IN. SOFFIT VENTS  
TOTAL VENTILATION PROVIDED 2,016 SQ. IN.

VENTILATION SPECS

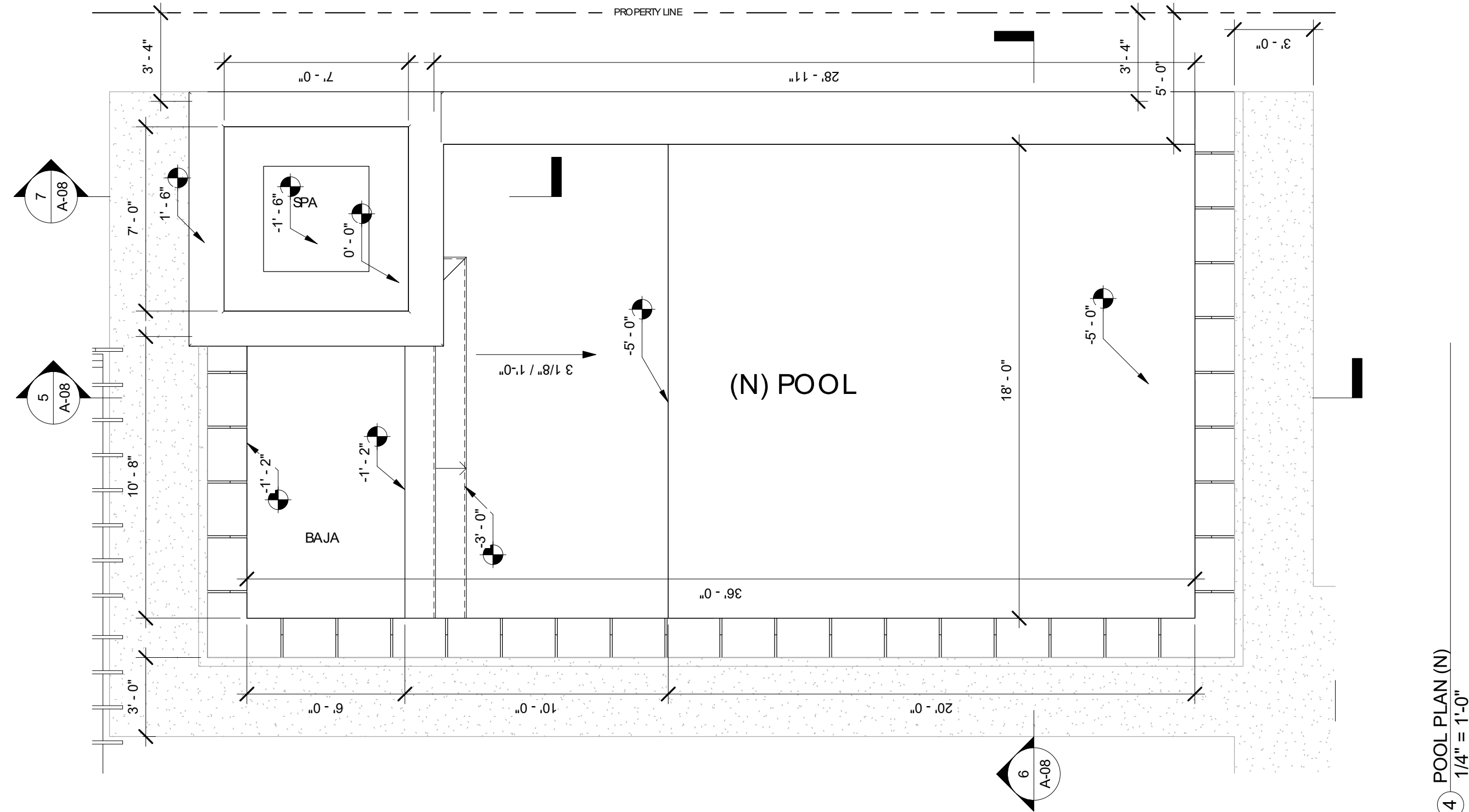
ATTIC:  
O'HAGIN BARREL ROOF VENTS  
NFVA: 86.25 SQ. IN.  
SOFFIT: 12"X12" FACE VENTS 288.0 SQ. IN.  
14"X6" SOFFIT SCREENS 504.0 SQ. IN.



3 ROOF PLAN PATIO (N)  
3/16" = 1'-0"



2 ROOF PLAN (N)  
3/16" = 1'-0"



4 POOL PLAN (N)  
1/4" = 1'-0"



OWNER: LERMONT AKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207  
EXHIBIT 3

PROJECT TITLE:  
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ALTERATION

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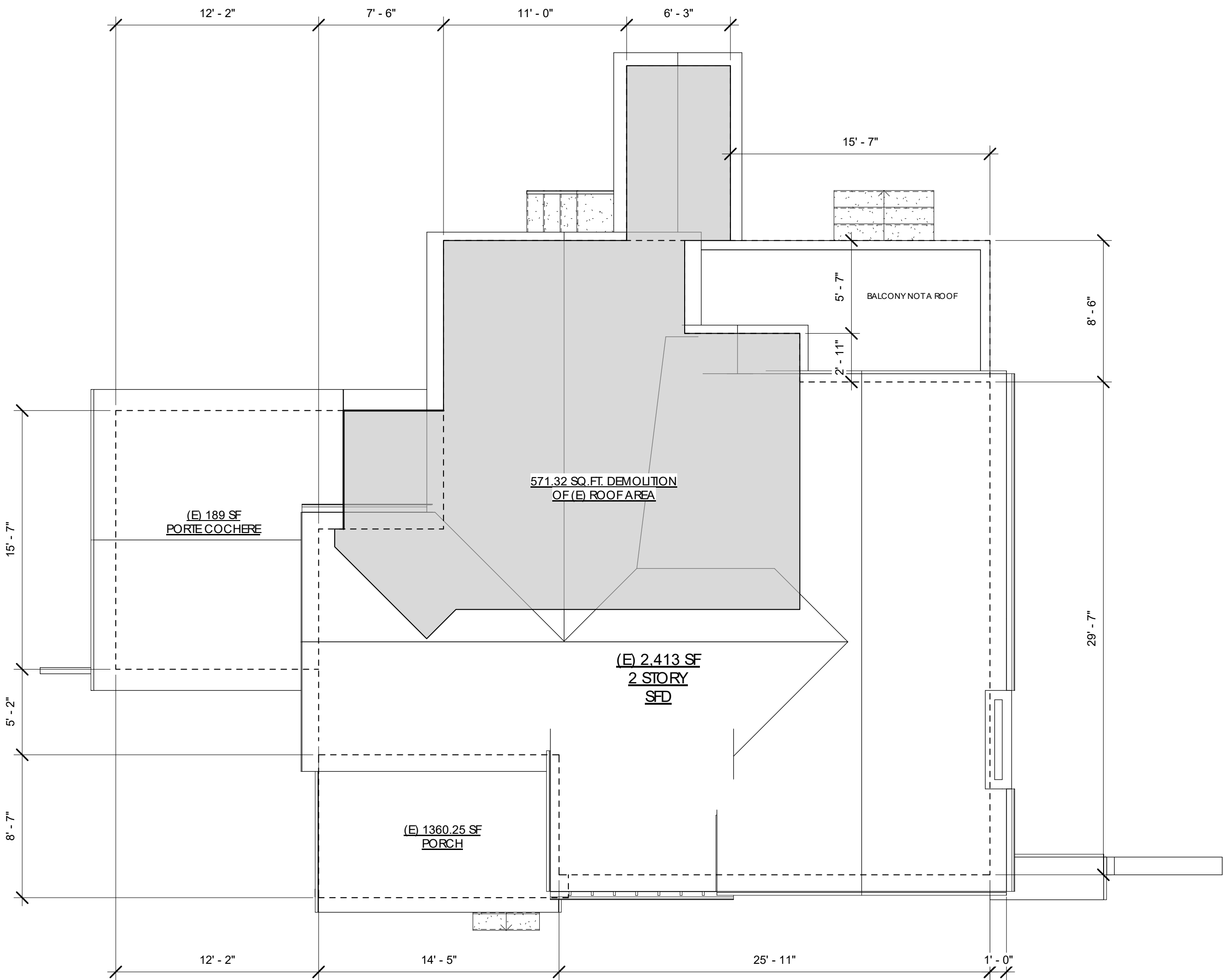
PAGE TITLE:

ROOF/ POOL  
PLAN(S)

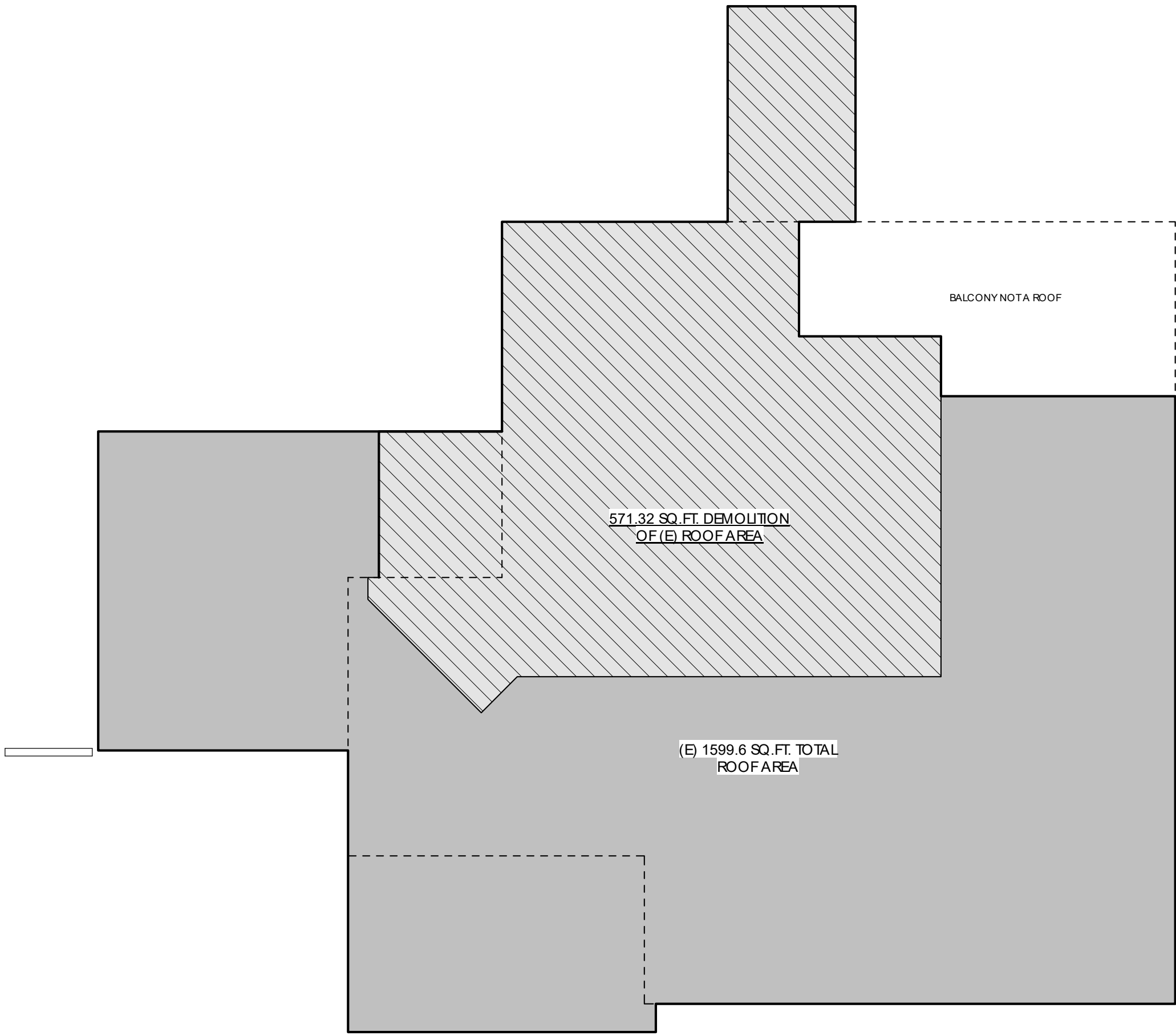
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DATE: 03/19/2024  
DRAWN BY: Author  
CHECKED BY: Checker

A-03





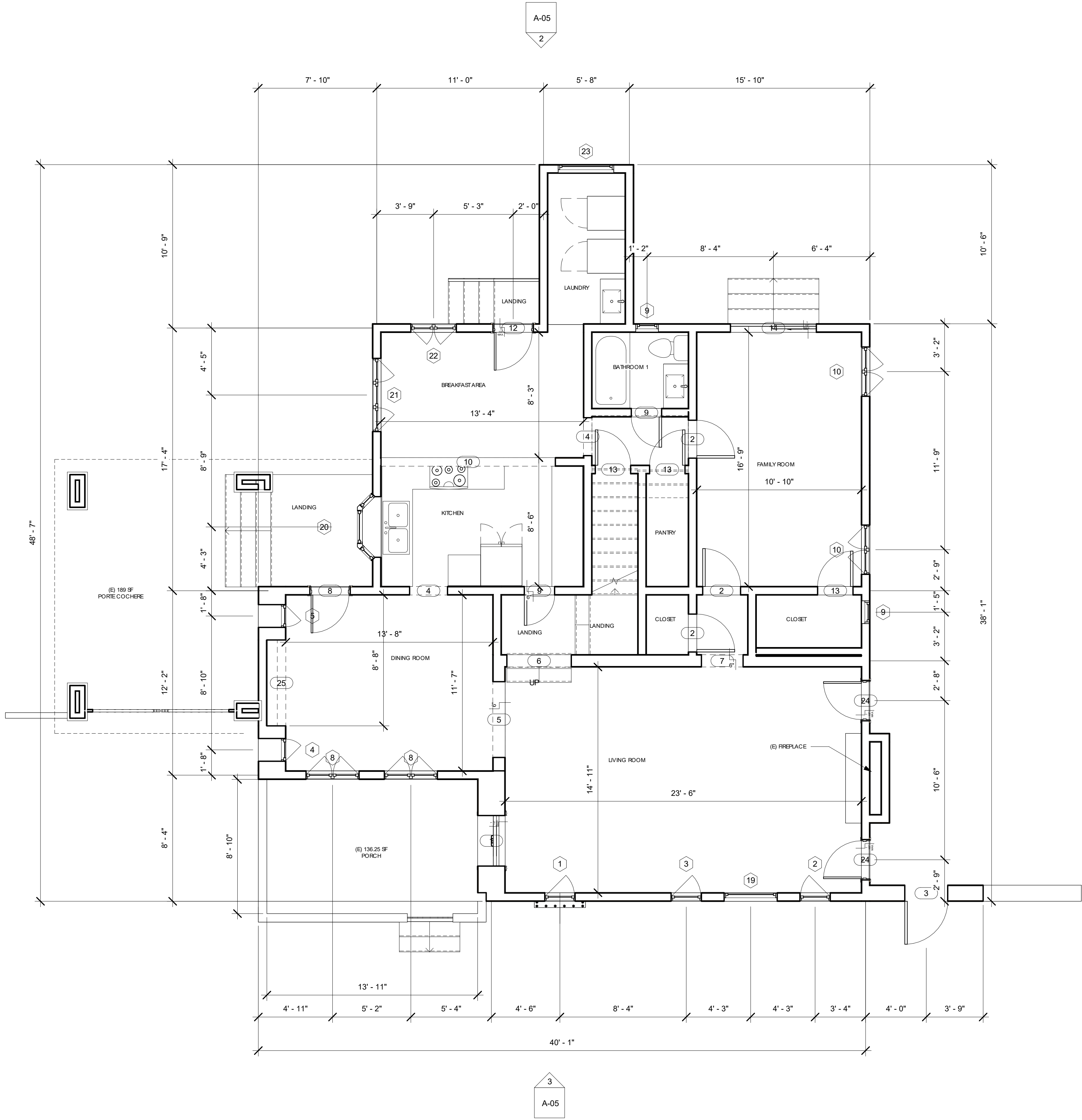
① ROOF DEMO PLAN (E)  
3/16" = 1'-0"



② ROOF DEMO PLAN DIAGRAM (E)  
3/16" = 1'-0"

1 LEVEL 1 @ FLOOR (E)  
1/4" = 1'-0"

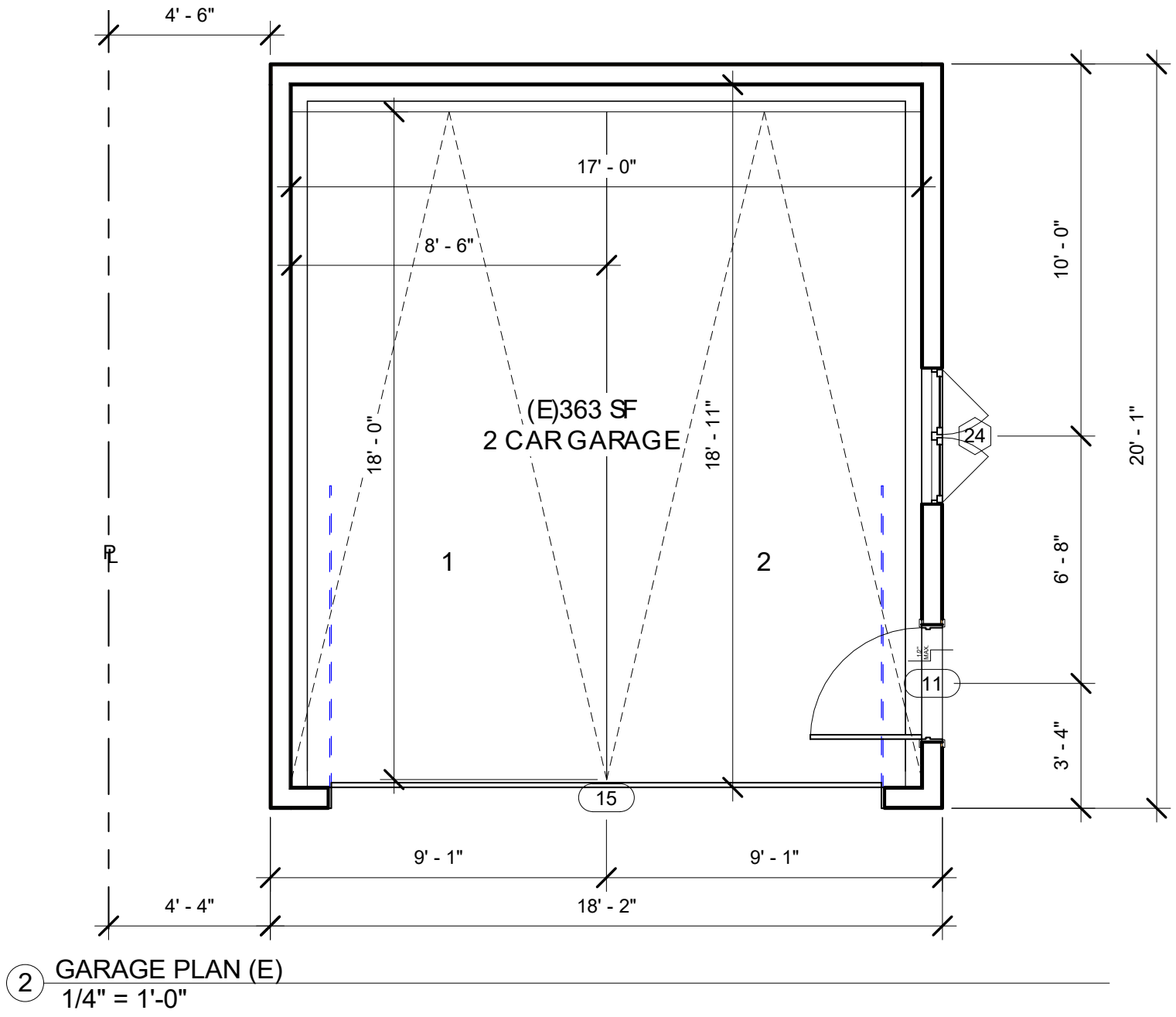
(E) FLOOR AREA 1,335.38 SF



1 A-05

A-05.1 3

WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	DEMOLISHED WALLS
	1 HR FIRE RATED WALL
	12" CONCRETE FOUNDATION



OWNER:  
**LERMONTAKOPYAN**  
**1239 ROSSMOYNE AVE,**  
**GLENDALE, CA 91207**

PROJECT TITLE:  
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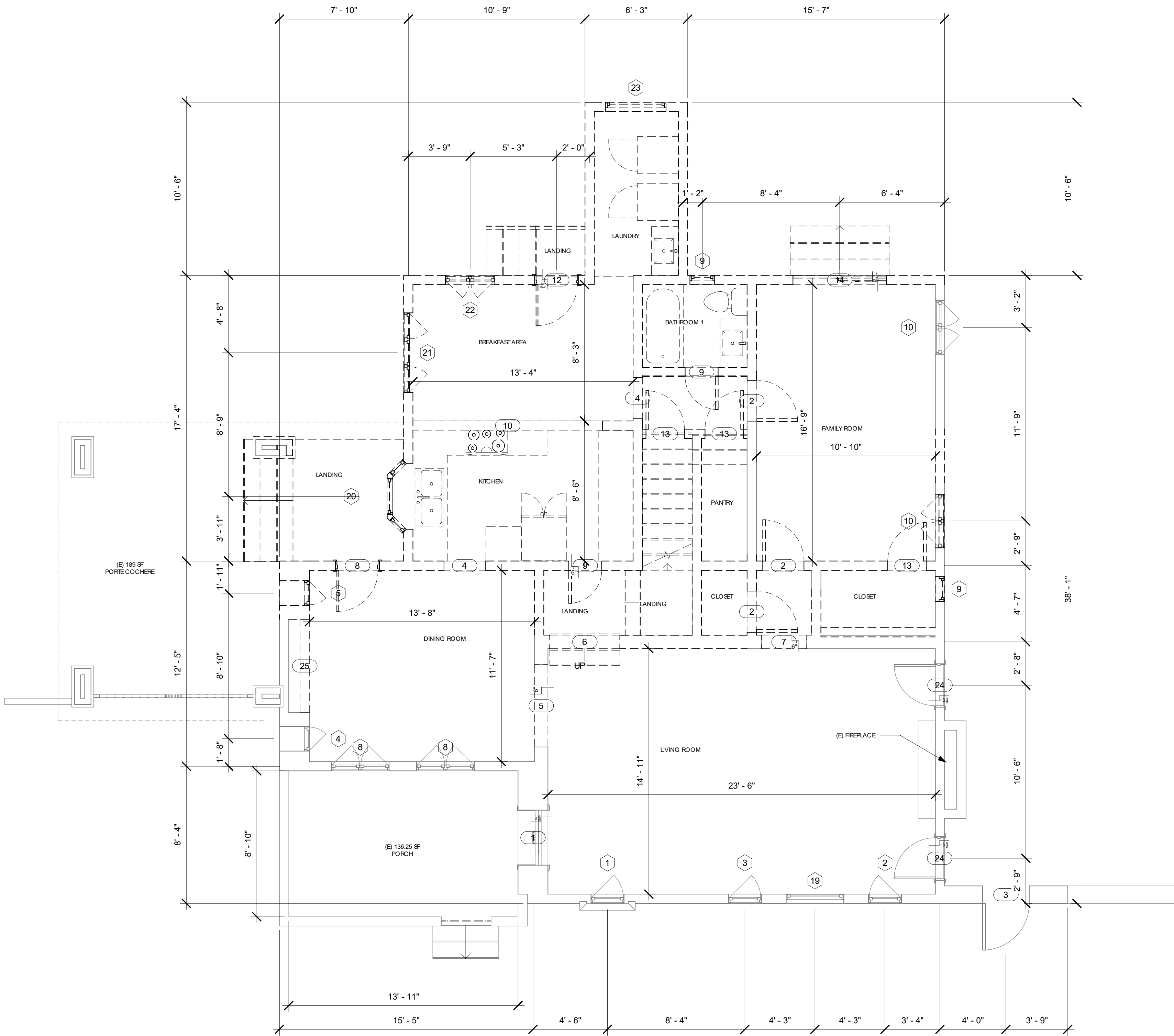
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PAGE TITLE:  
**(E) FLOOR  
PLAN(S)**

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
CHECKED BY:	Checker

A-04

1 LEVEL 1 @ FLOOR (E) DEMO  
1/4" = 1'-0"



DEMO CALCULATIONS

DEMO: 68.6 LINEAR FT TO BE DEMOLISHED

REMAIN: 99.16 LINEAR FT TO REMAIN

TOTAL EXISTING WALLS 167.76 FT

WALL LEGEND

	EXISTING WALLS
	NEW WALLS
	DEMOLISHED WALLS
	1 HR FIRE RATED WALL
	12\" CONCRETE FOUNDATION

OWNER:  
LERMONT AKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207

EXHIBIT 3

PROJECT TITLE:

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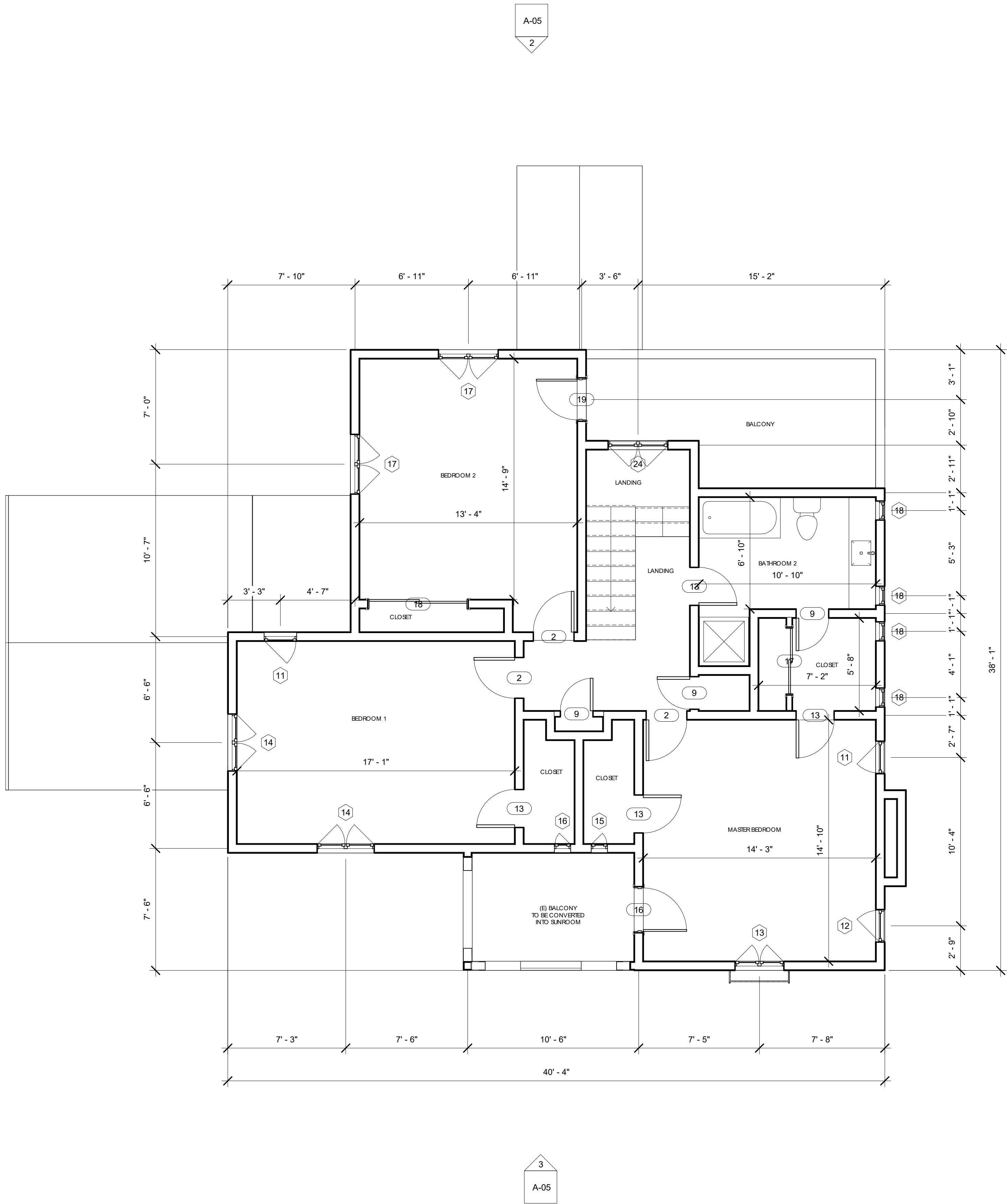
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PAGE TITLE:

DEMO PLAN

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
CHECKED BY:	Checker

A-04.1



1 LEVEL 2 @ FLOOR  
1/4" = 1'-0"  
(E) FLOOR AREA 1,077.62 SF

WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	DEMOLISHED WALLS
	1 HR FIRE RATED WALL
	12" CONCRETE FOUNDATION

OWNER:  
LERMONTAKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207

EXHIBIT 3

PROJECT TITLE:  
ADDITION/  
ALTERATION

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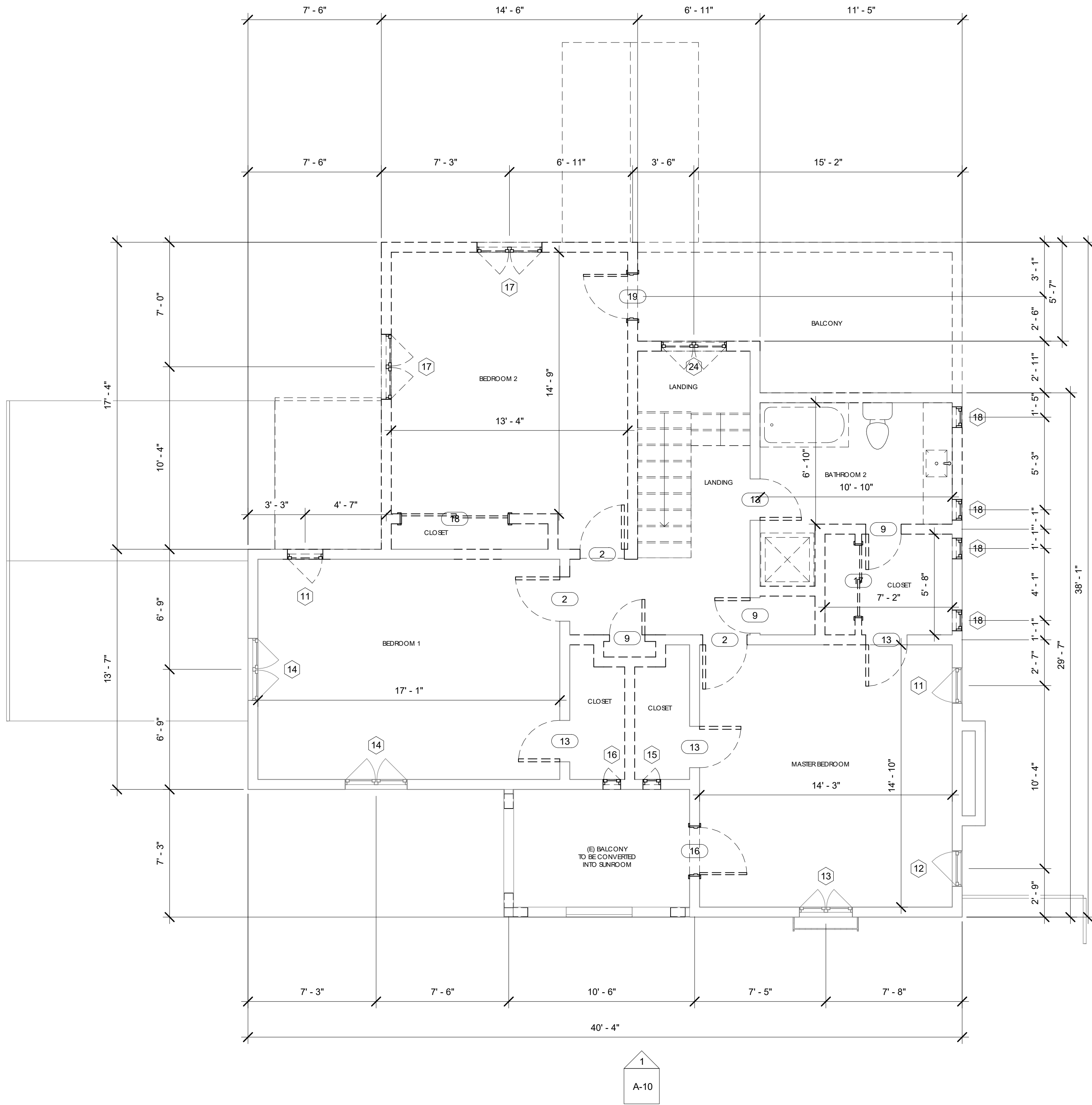
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PAGE TITLE:  
(E) FLOOR  
PLAN(S)

PROJECT NUMBER:	0000099
DATE:	03/19/2024
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A-04.2





1 LEVEL 2 @ FLOOR (E) DEMO  
1/4" = 1'-0"

DEMO CALCULATIONS

DEMO: 44.33 LINEAR FT TO BE DEMOLISHED

REMAIN: 112.58 LINEAR FT TO REMAIN

TOTAL EXISTING WALLS 156.91 FT

OWNER: LERMONTAKOPYAN  
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**EXHIBIT 3**

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ALTERATION

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PAGE TITLE:

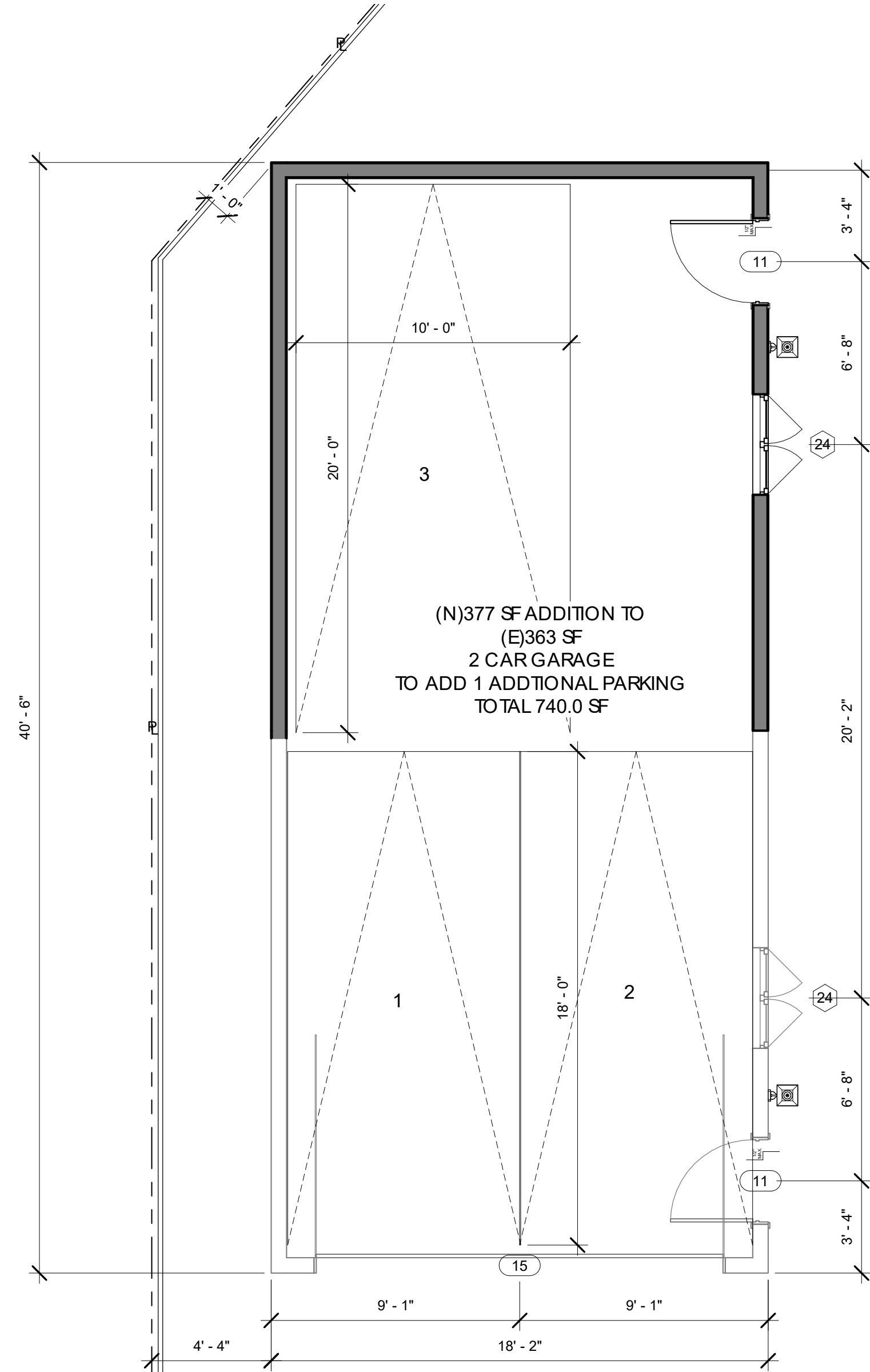
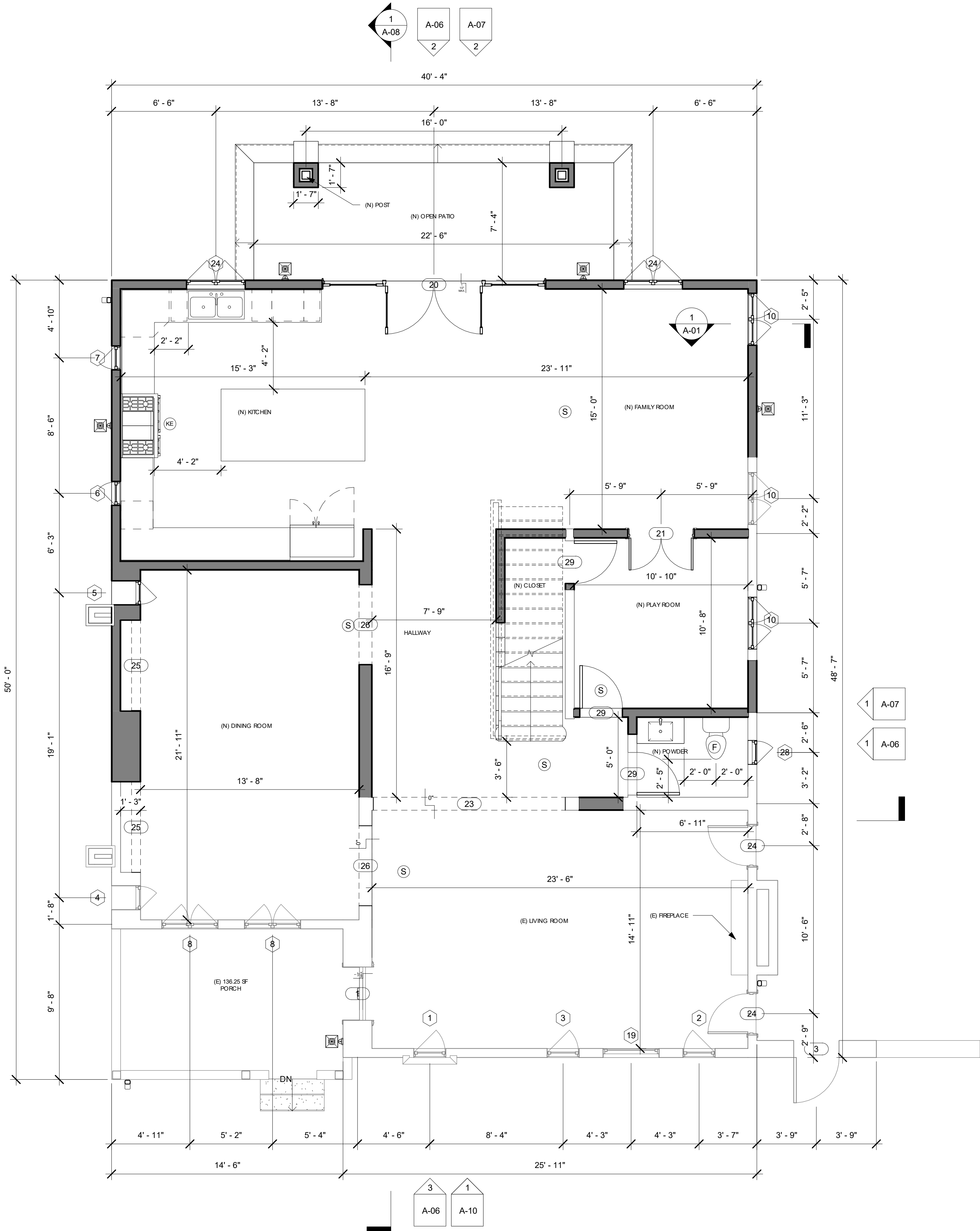
DEMO PLAN

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
CHECKED BY:	Checker

A-04.3

1 LEVEL 1 @ FLOOR (N)  
1/4" = 1'-0"

(N) FLOOR ADDITION 489.0 SF



2 GARAGE PLAN (N)  
1/4" = 1'-0"

(N) GARAGE ADDITION 377.0 SF

WALL LEGEND

- EXISTING WALLS
- NEW WALLS
- DEMOLISHED WALLS
- 1 HR FIRE RATED WALL
- 12" CONCRETE FOUNDATION

OWNER:  
**LERMONTAKOPYAN**  
**1239 ROSSMOYNE AVE,**  
**GLENDALE, CA 91207**

PROJECT TITLE:  
**ADDITION/  
ALTERATION**

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PAGE TITLE:

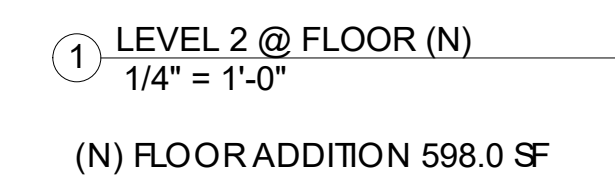
(N) FLOOR  
PLAN

PROJECT NUMBER:	0000099
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DRAWN BY:	Author
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A-04.4



EDGAR MARKOSYAN  
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225 E BROADWAY UNIT 102B  
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**EXHIBIT 3**

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PAGE TITLE:

(N) FLOOR  
PLAN

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
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# A-04.5





**EXHIBIT 3**

NER:  
LERMONTAKOPYAN  
1239 ROSSMOYNEAVE,  
GLENDALE, CA 91207

PROJECT TITLE:  
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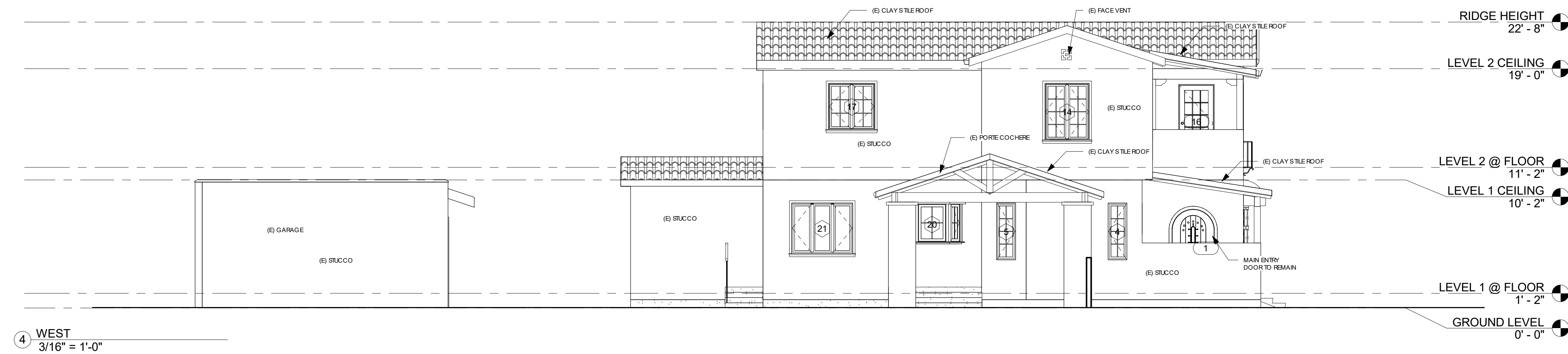
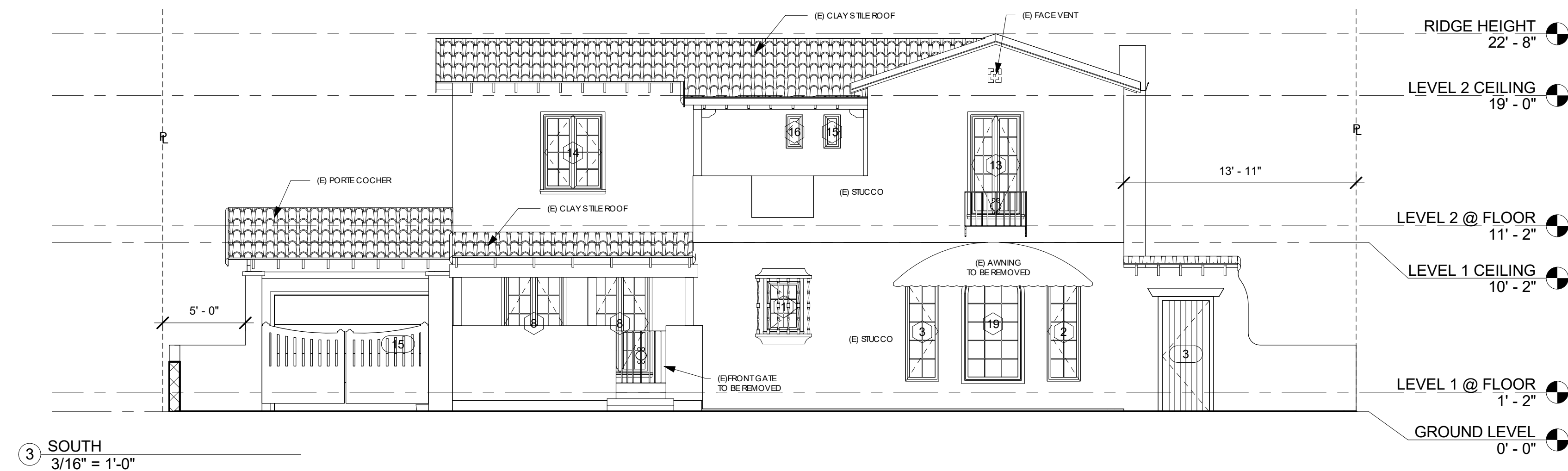
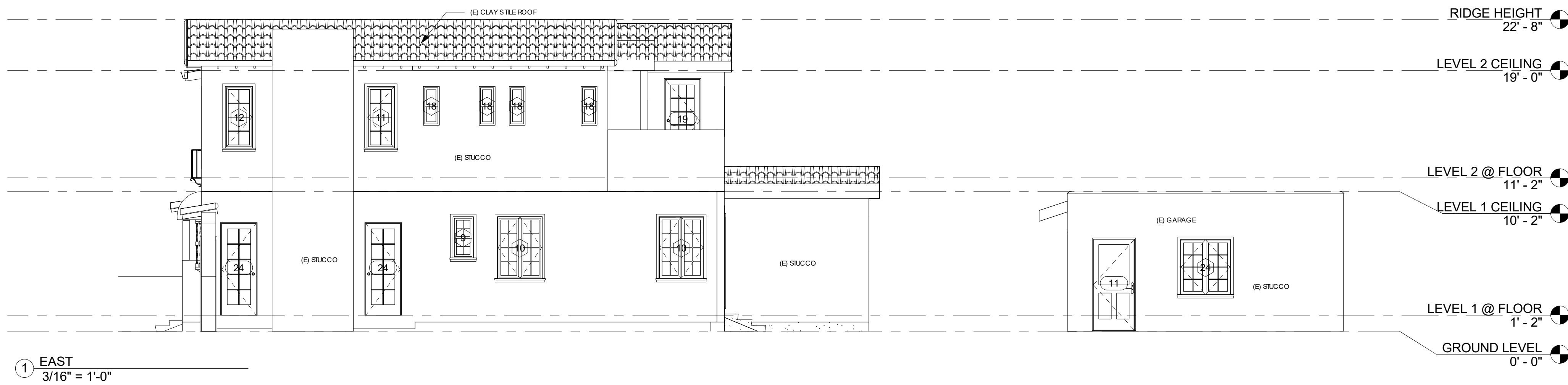
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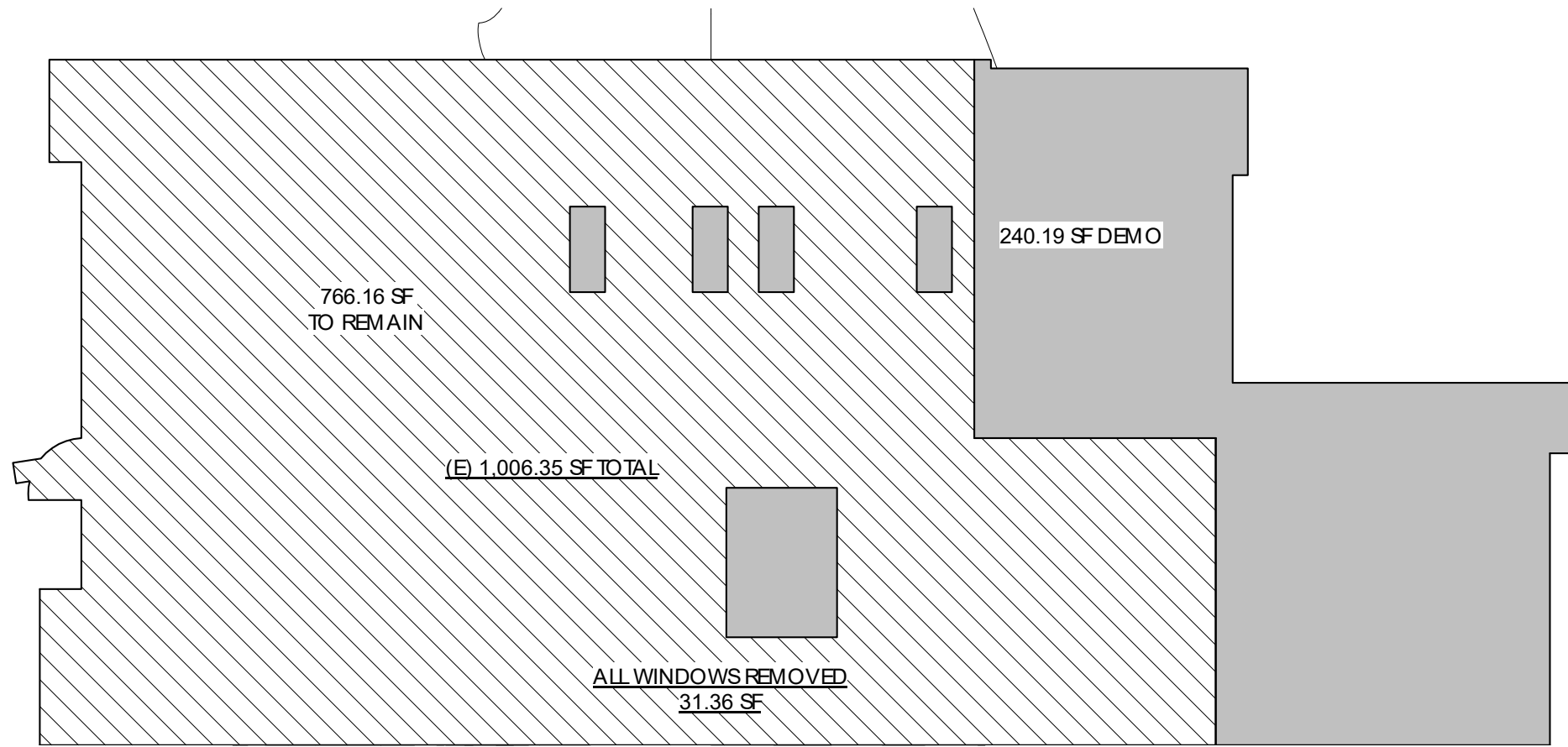
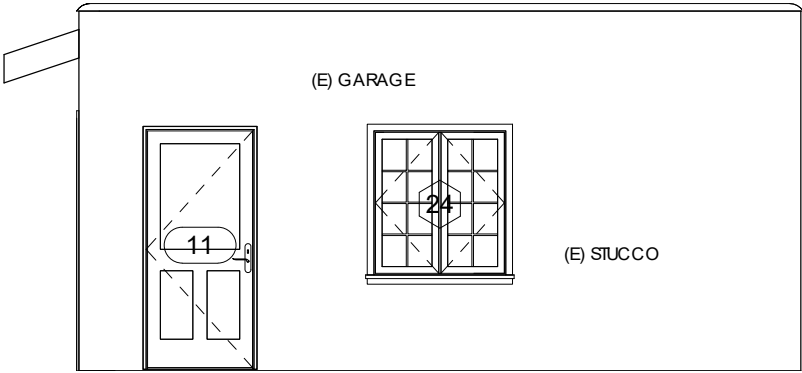
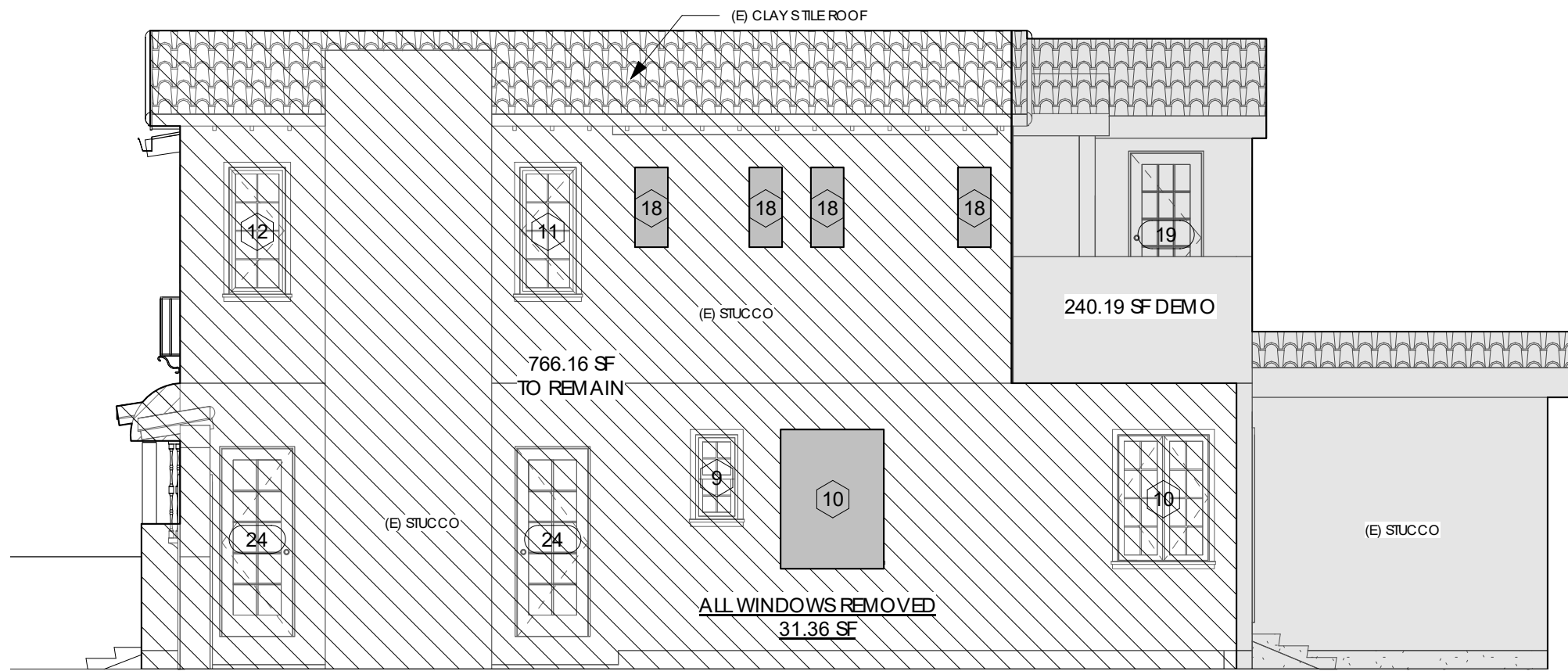
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(E) ELEVATIONS

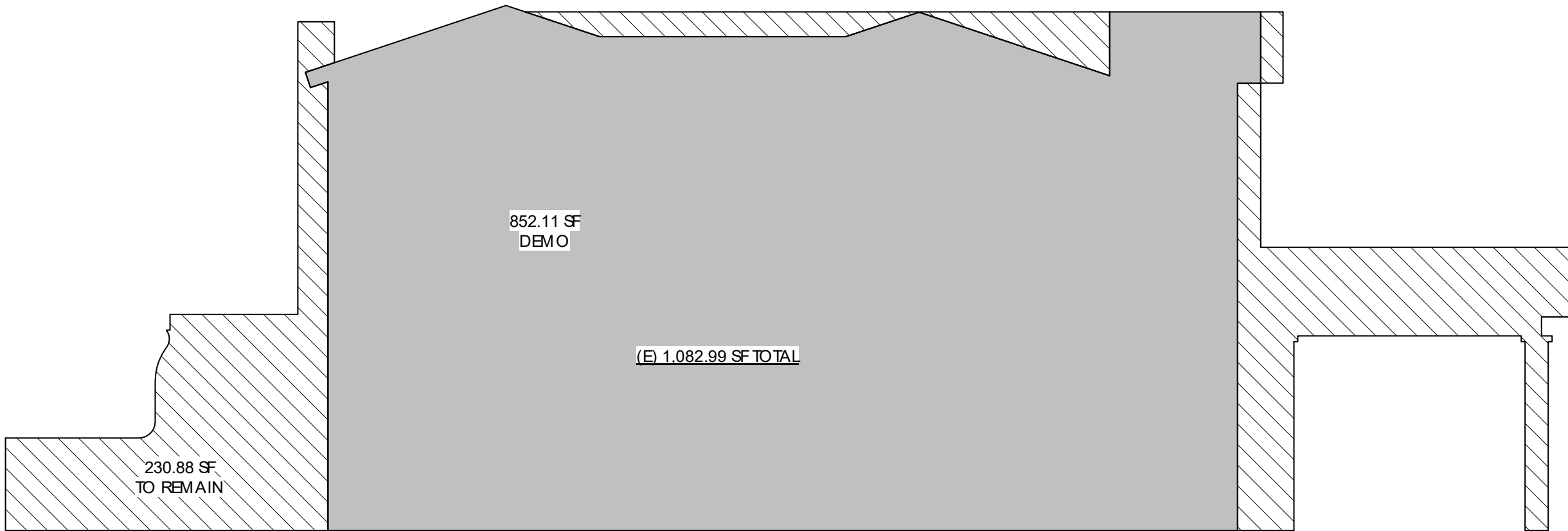
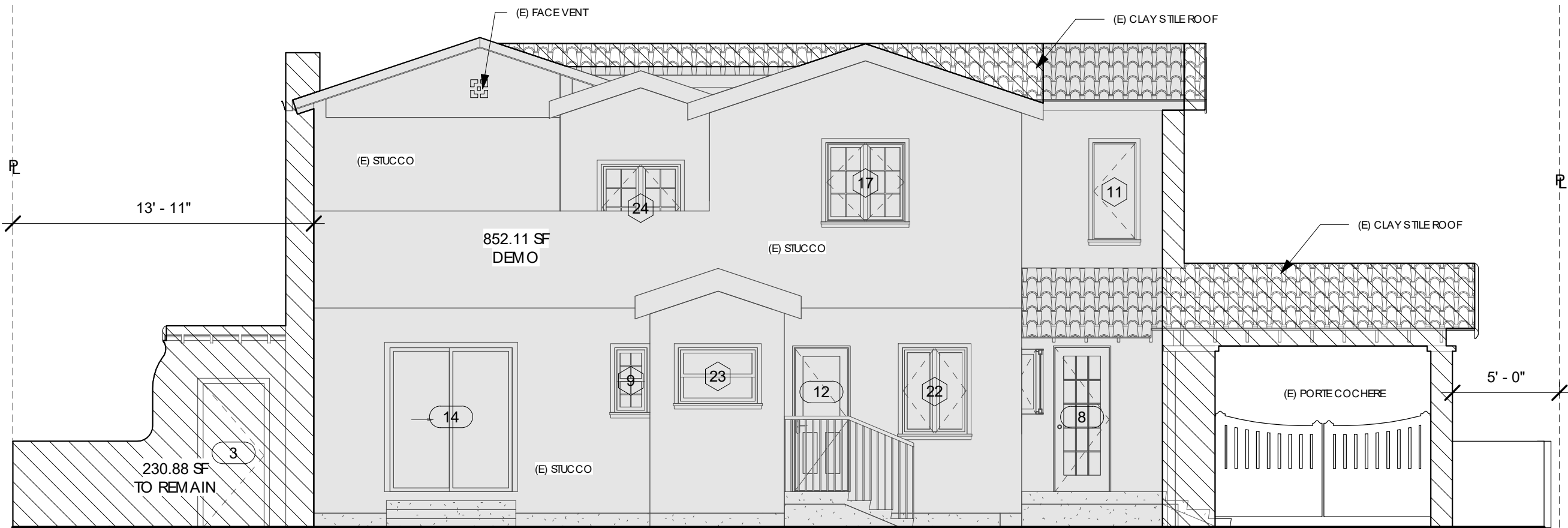
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# A-05

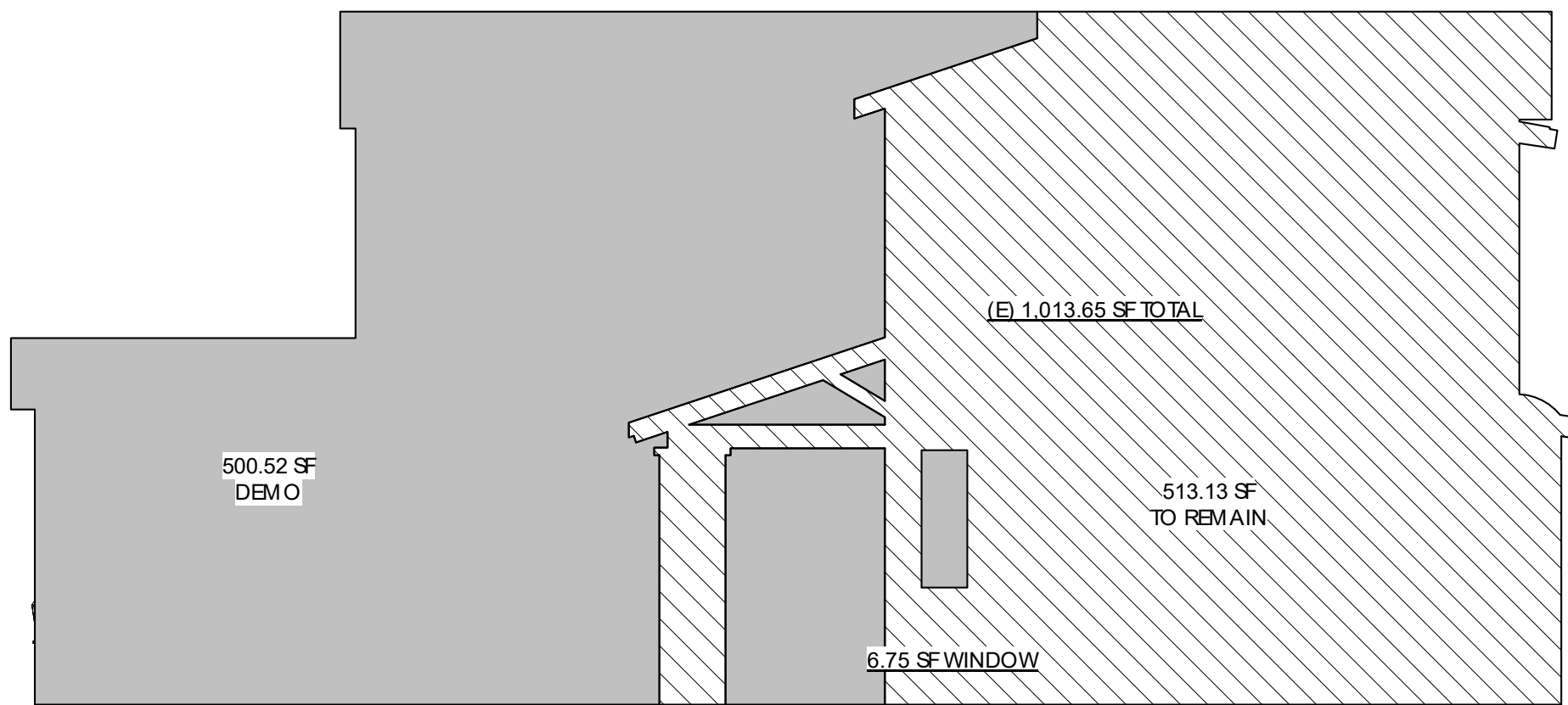
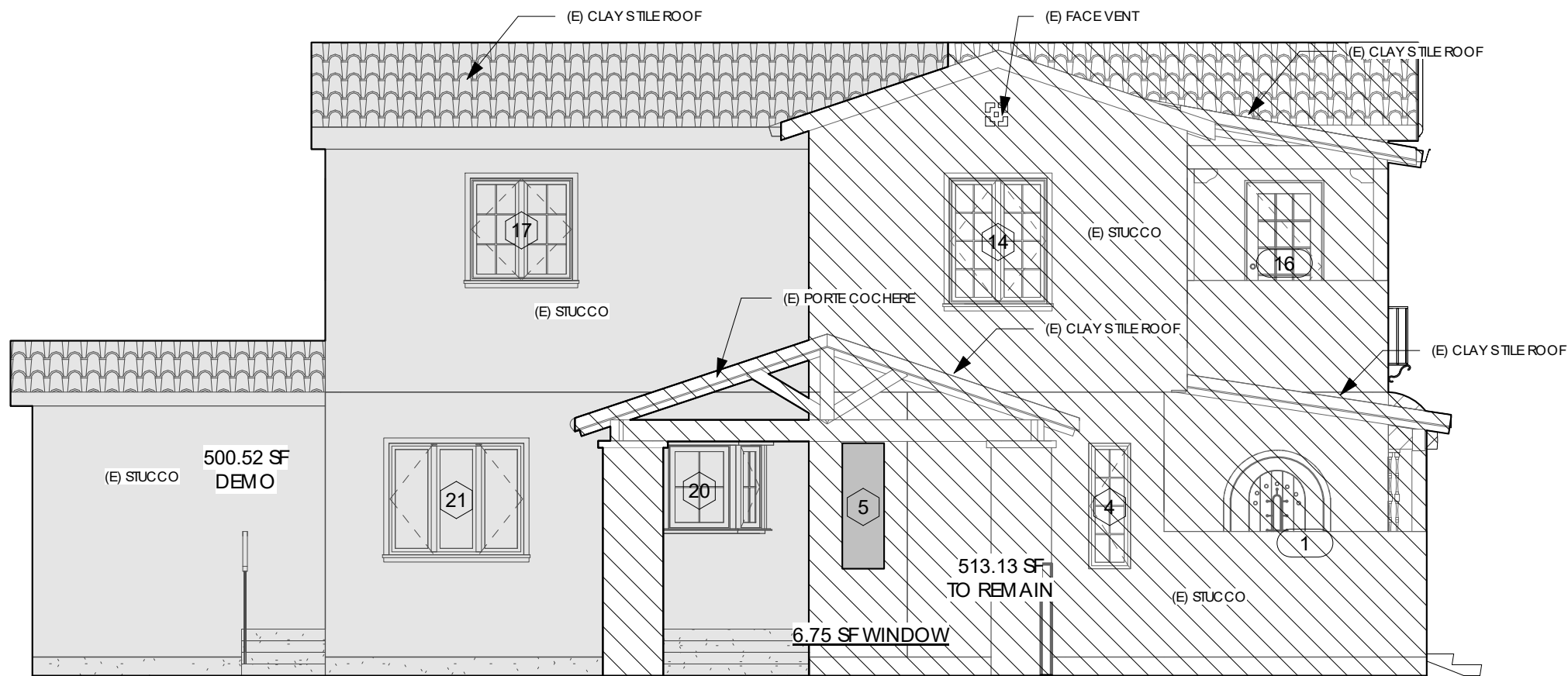
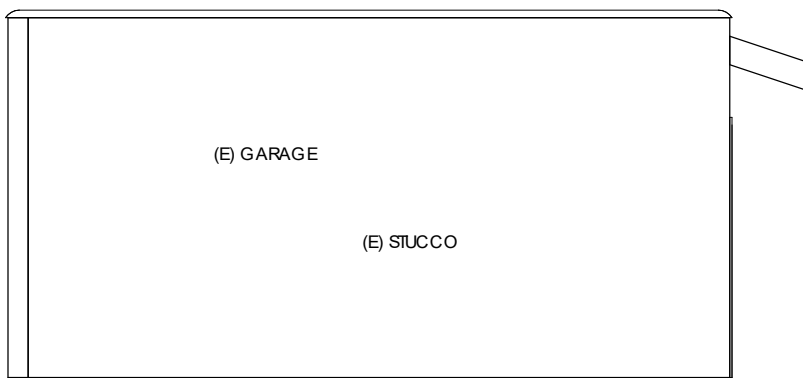




1 EAST (E) DEMO  
3/16" = 1'-0"



2 NORTH (E) DEMO  
3/16" = 1'-0"



3 WEST (E) DEMO  
3/16" = 1'-0"

NOTE NO WALLS ARE BEING DEMOLISHED ON (E) SOUTH ELEVATION



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OWNER:  
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**EXHIBIT 3**

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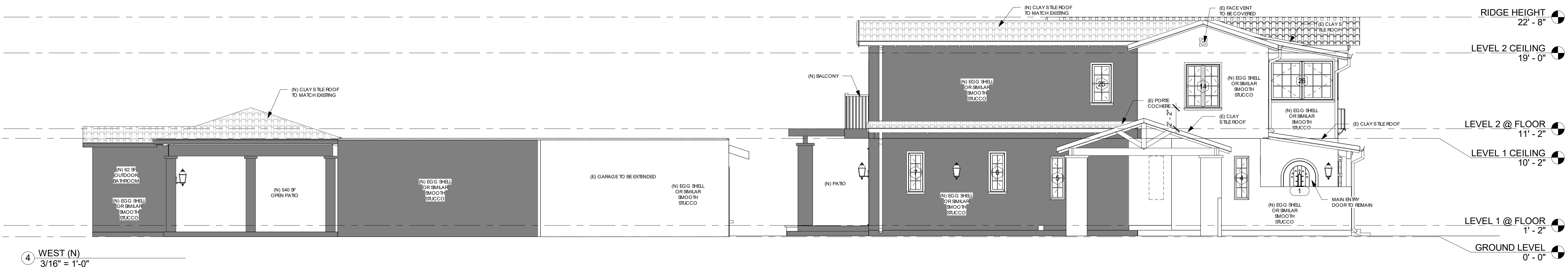
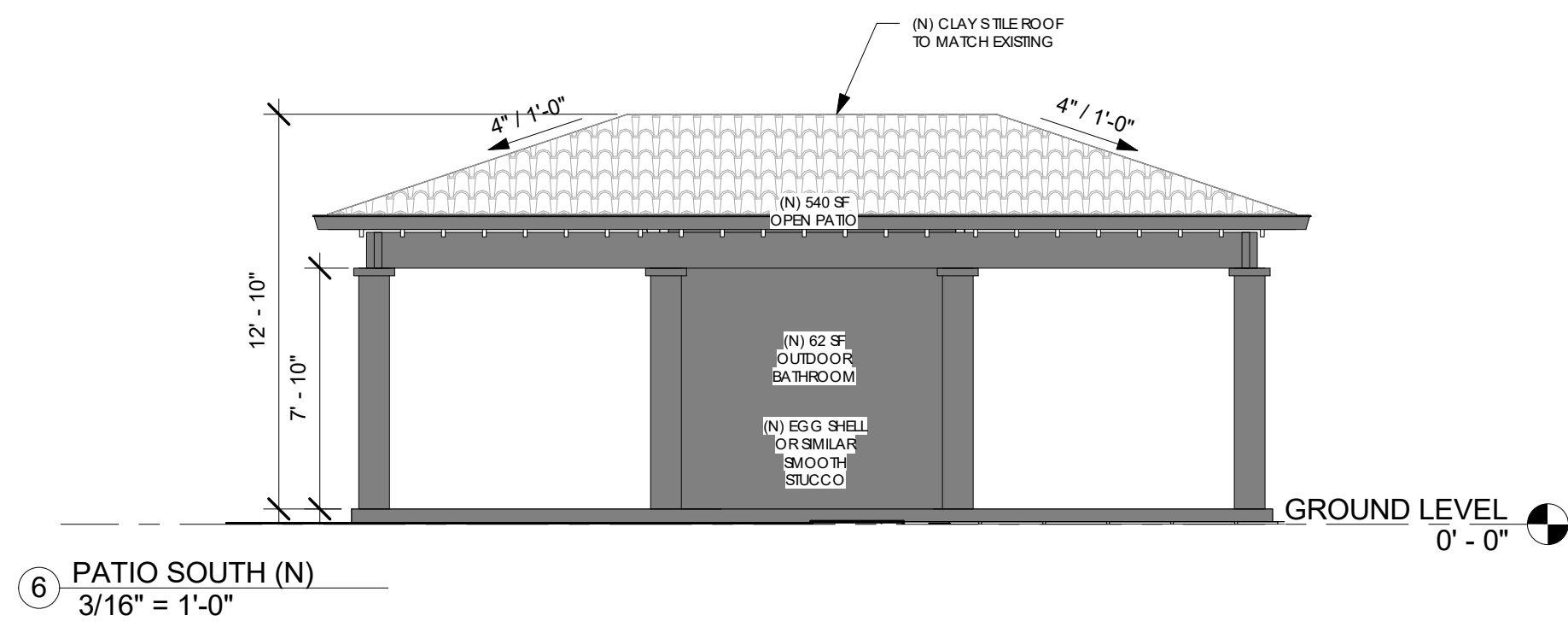
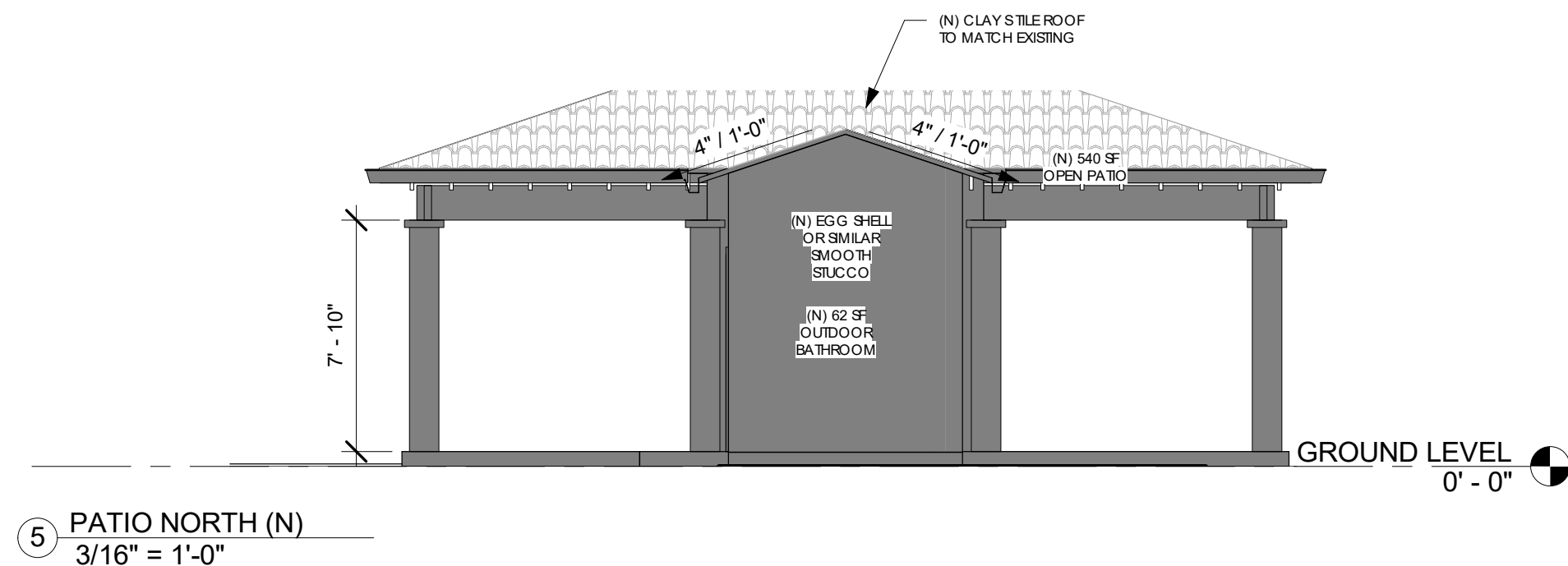
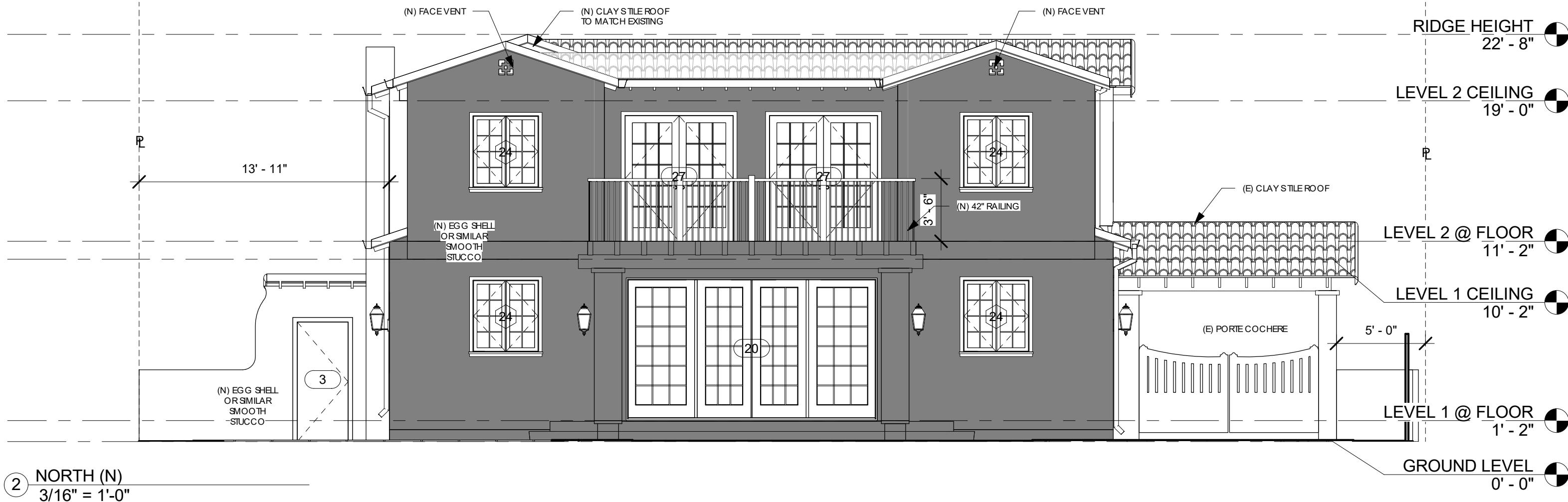
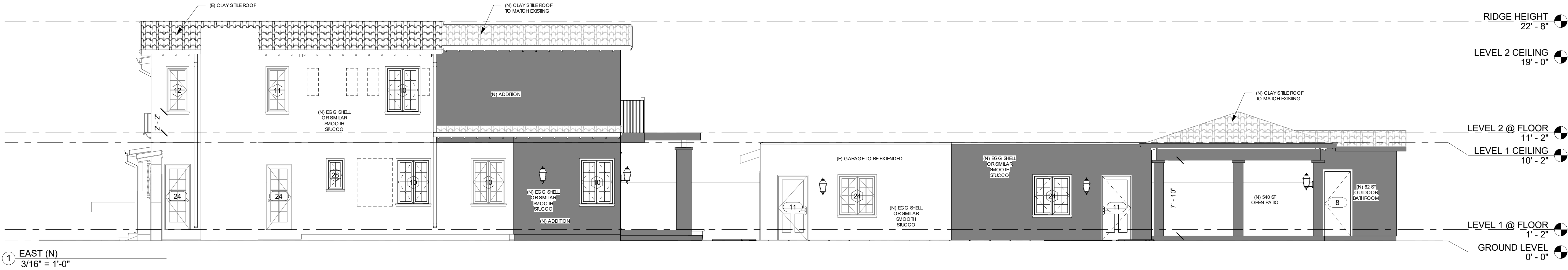
PAGE TITLE:

**(E) ELEVATIONS  
DEMO**

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
CHECKED BY:	Checker

**A-05.1**





OWNER: LERMONTAKOPYAN  
1239 ROSSMOYNEAVE,  
GLENDALE, CA 91207  
EXHIBIT 3

PROJECT TITLE:  
ADDITION/  
ALTERATION

THE DRAWINGS AND SPECIFICATIONS AND DESIGNS REPRESENTED HEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCSTEM, AND NO PART THEREOF SHALL BE USED OR REPRODUCED FOR ANY PURPOSE OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCSTEM.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOBSITE AND REPORT ANY DISCREPANCIES TO ARCSTEM.

PAGE TITLE:

(N) ELEVATIONS

PROJECT NUMBER: 0000099  
DATE: 03/19/2024  
DRAWN BY: Author  
CHECKED BY: Checker

A-06





1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207

# EXHIBIT 3

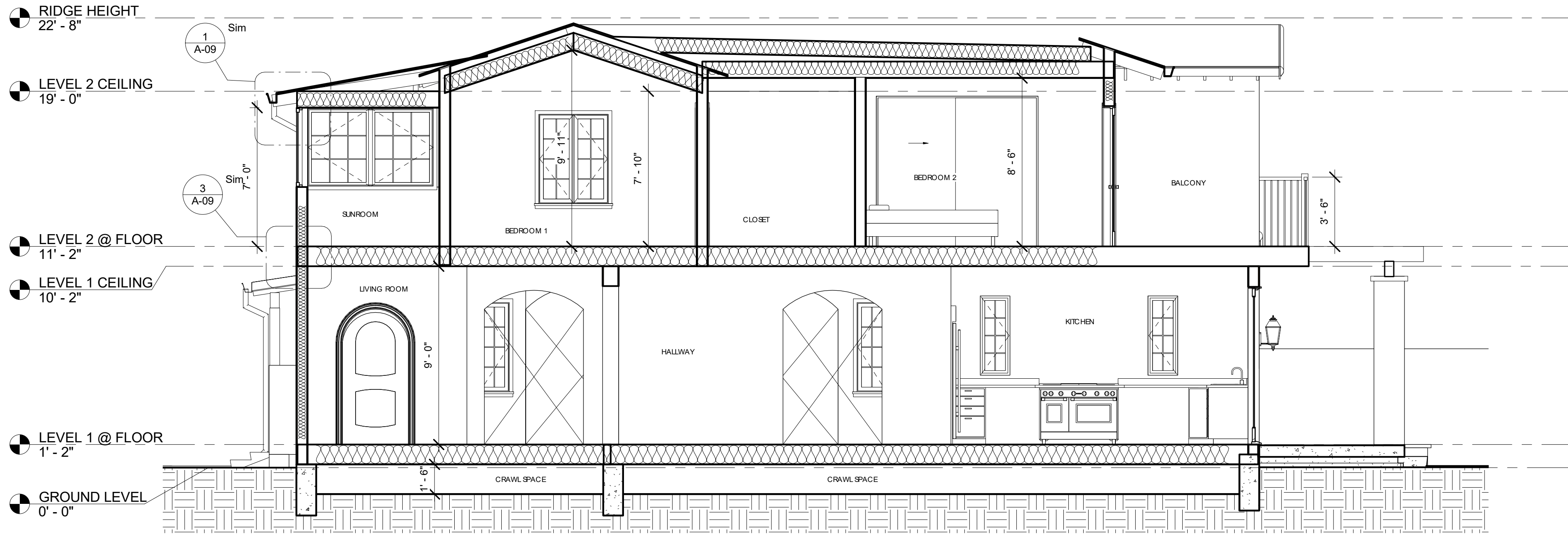
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## COLORED ELEVATIONS

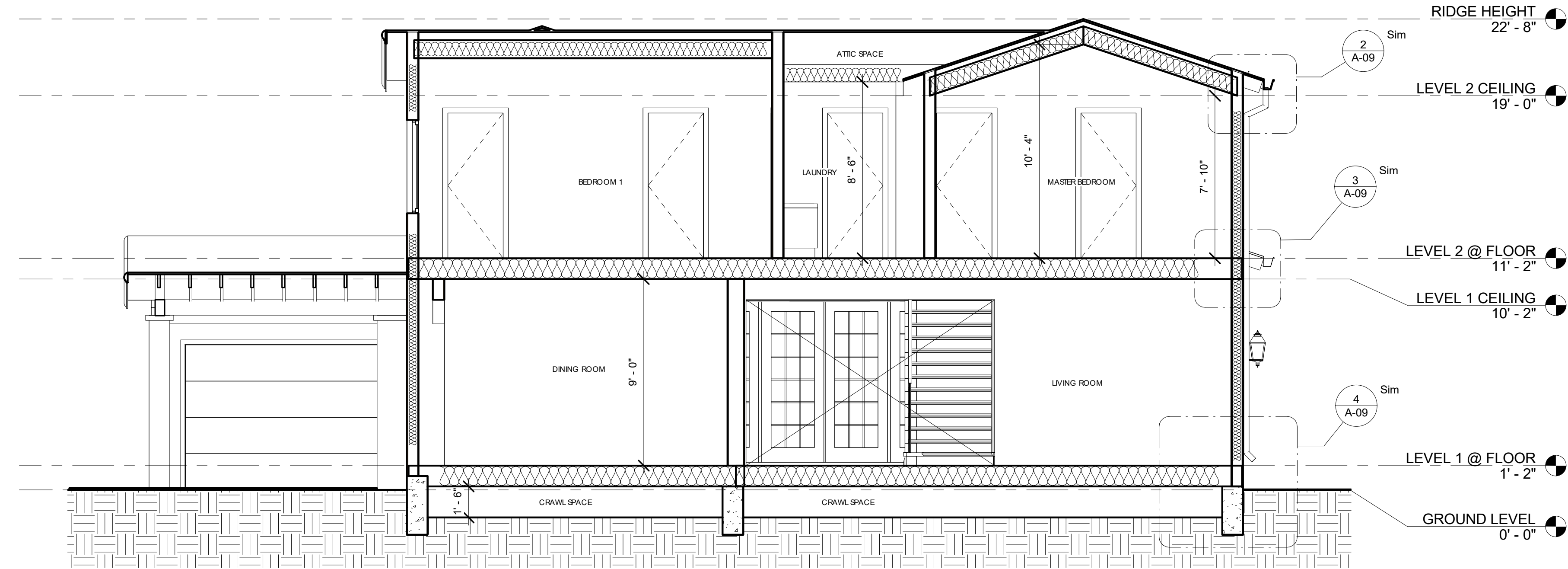
A-07



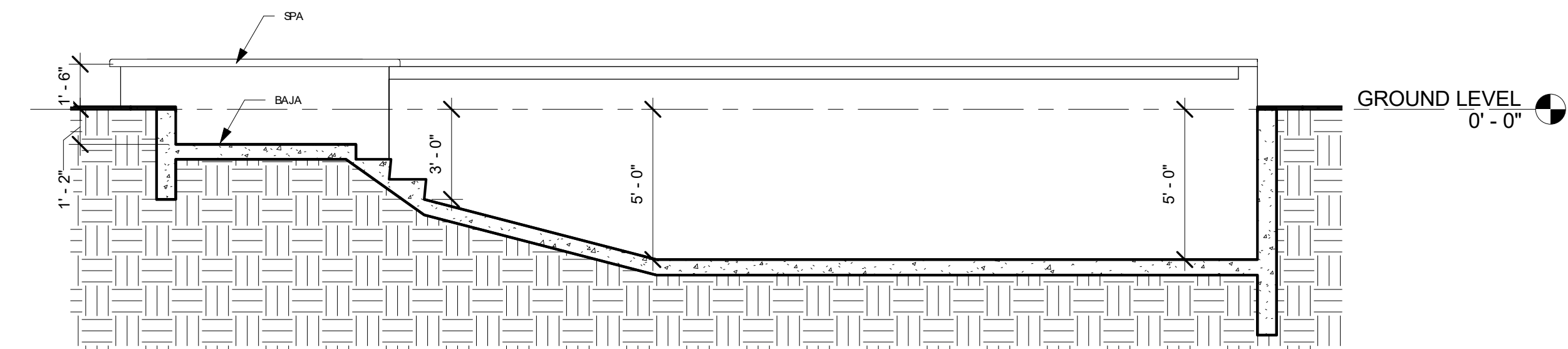




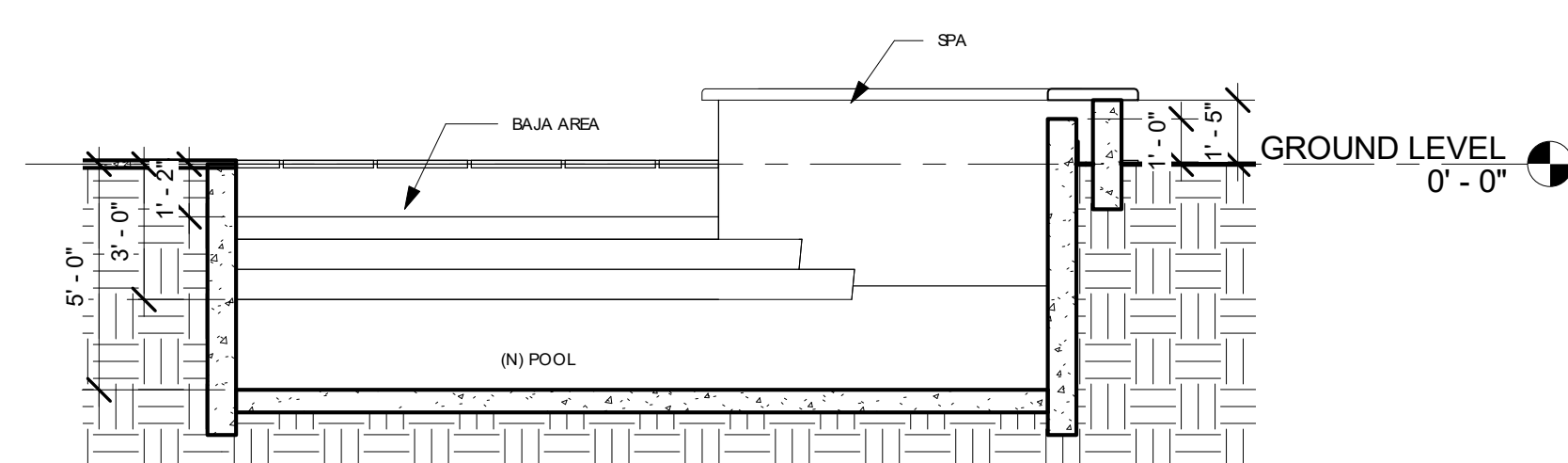
1 SECTION 1  
1/4" = 1'-0"



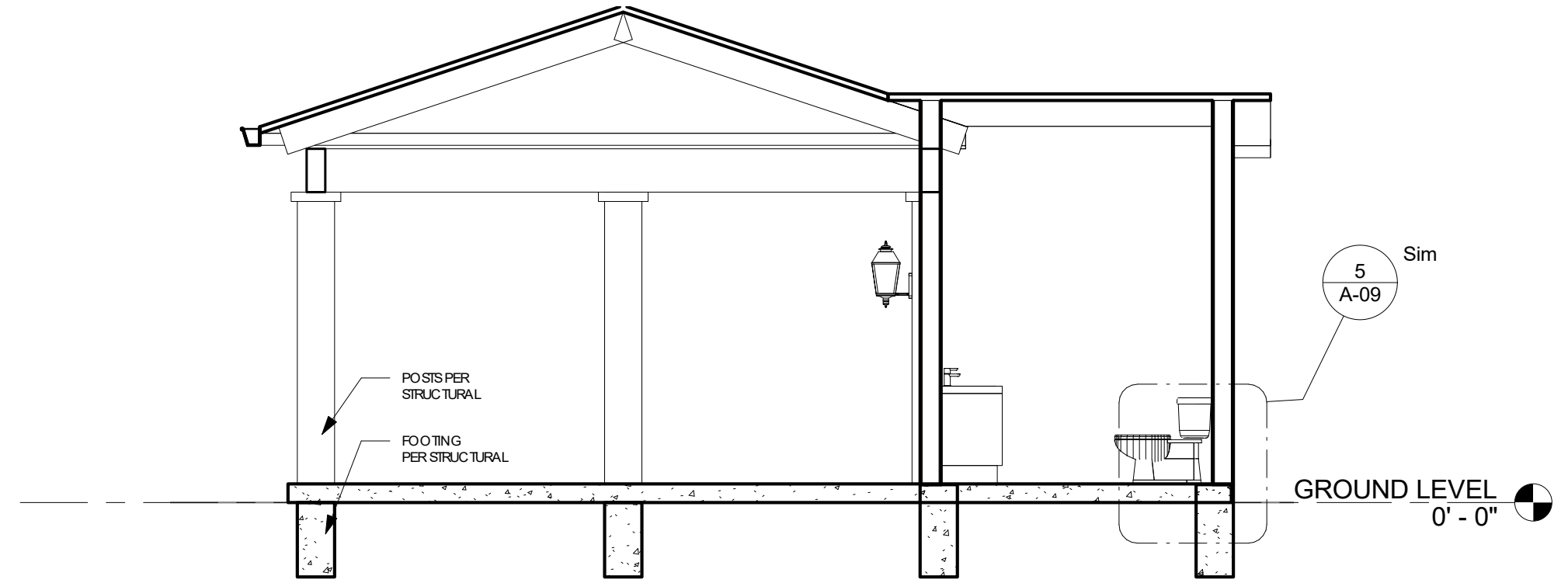
3 SECTION 2  
1/4" = 1'-0"



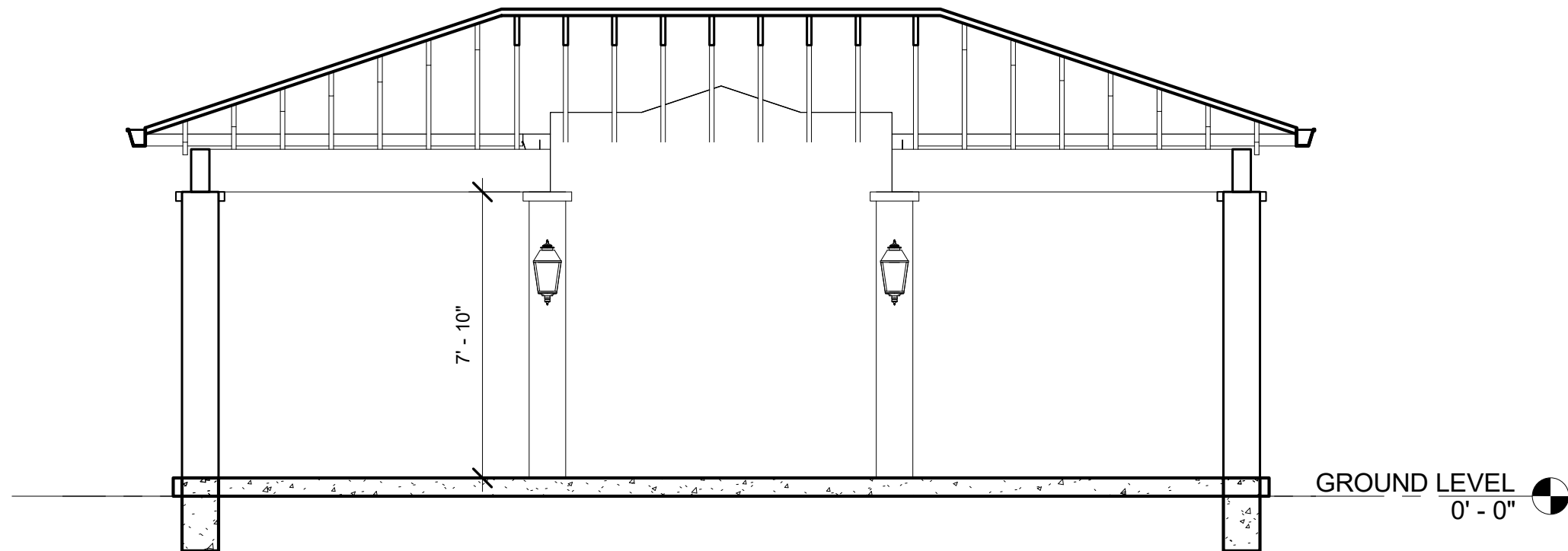
5 POOL SECTION  
1/4" = 1'-0"



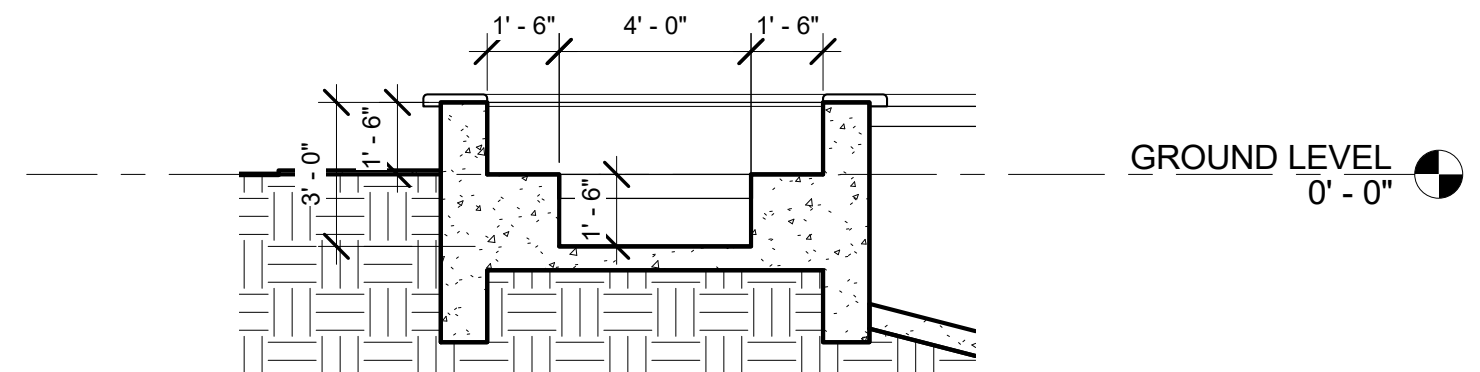
6 POOL SECTION 2  
1/4" = 1'-0"



2 PATIO SECTION 1  
1/4" = 1'-0"



4 PATIO SECTION 2  
1/4" = 1'-0"



7 SPA SECTION  
1/4" = 1'-0"



OWNER: LERMONTAKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207

EXHIBIT 3

PROJECT TITLE:  
ADDITION/  
ALTERATION

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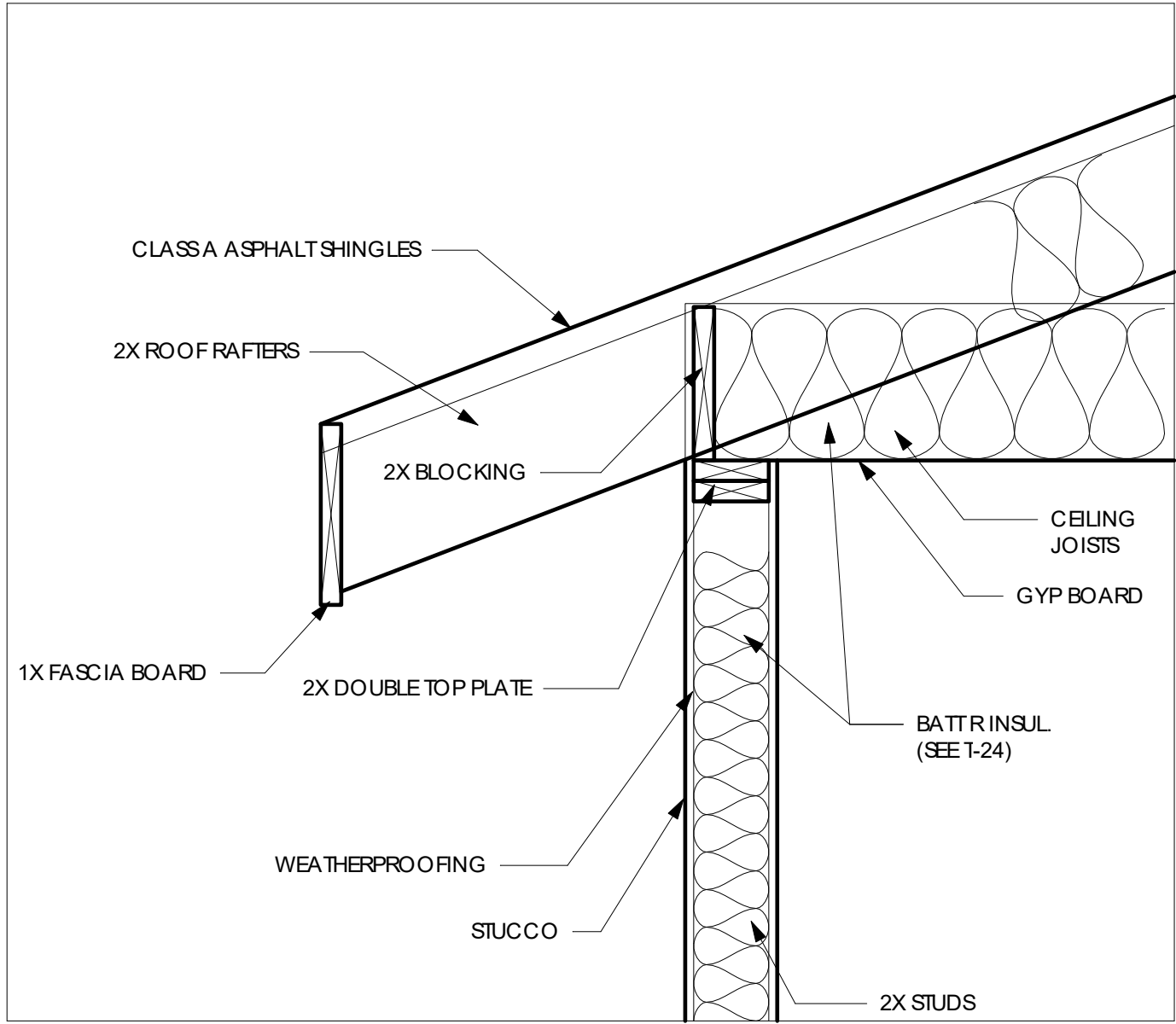
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PAGE TITLE:

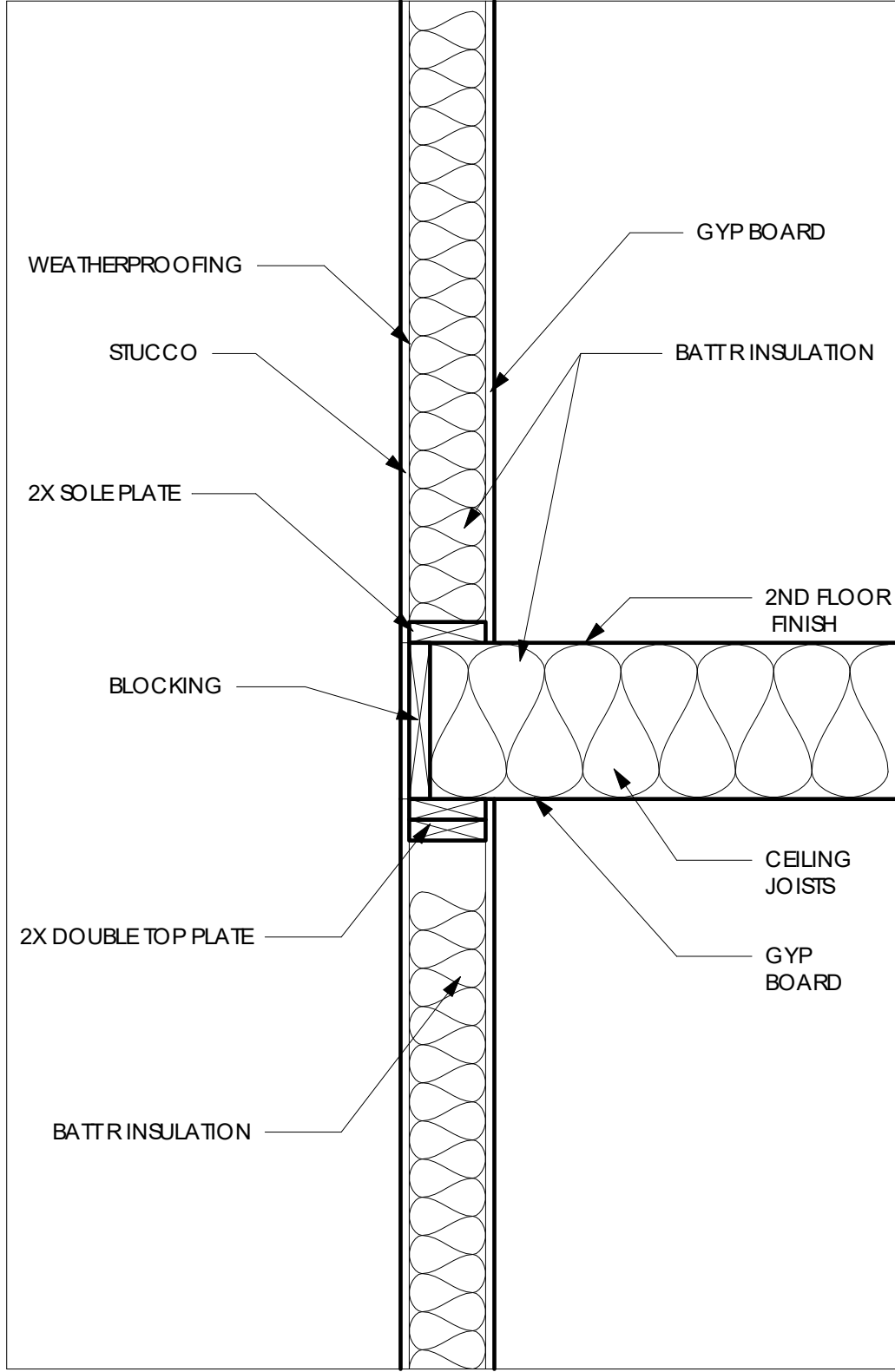
SECTIONS

PROJECT NUMBER:	0000099
DATE:	03/19/2024
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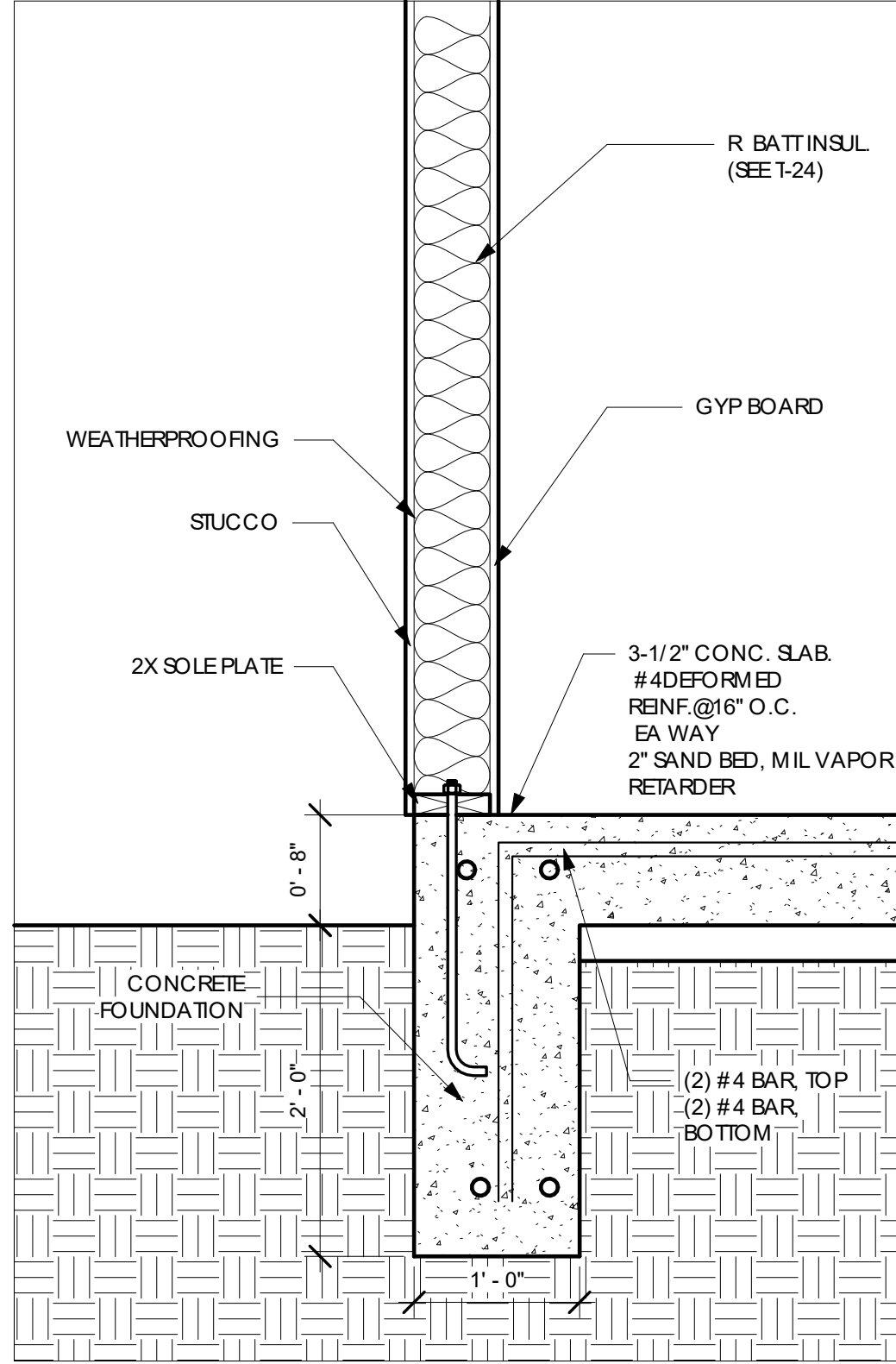
A-08



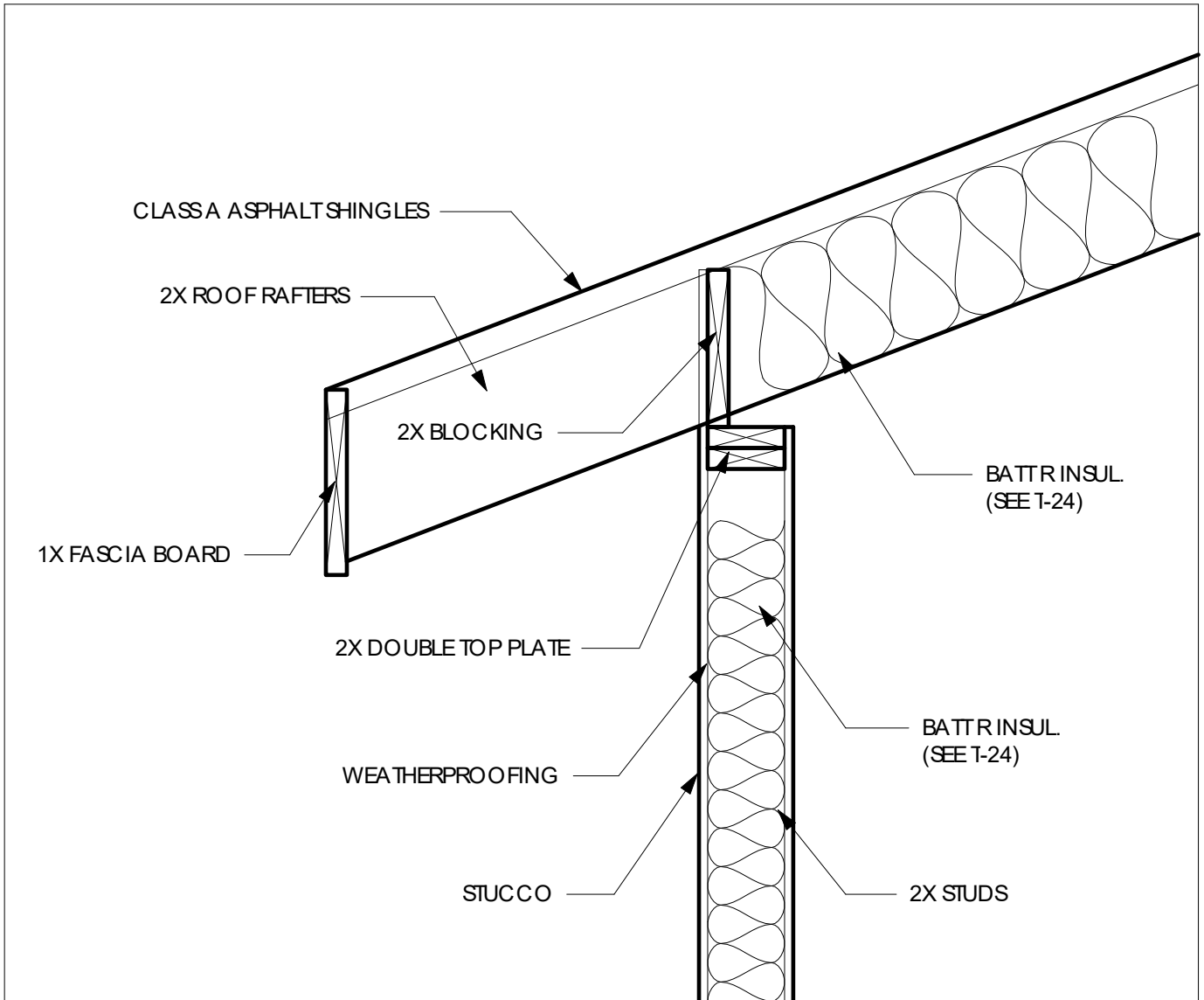
1 ROOF DETAIL  
1" = 1'-0"



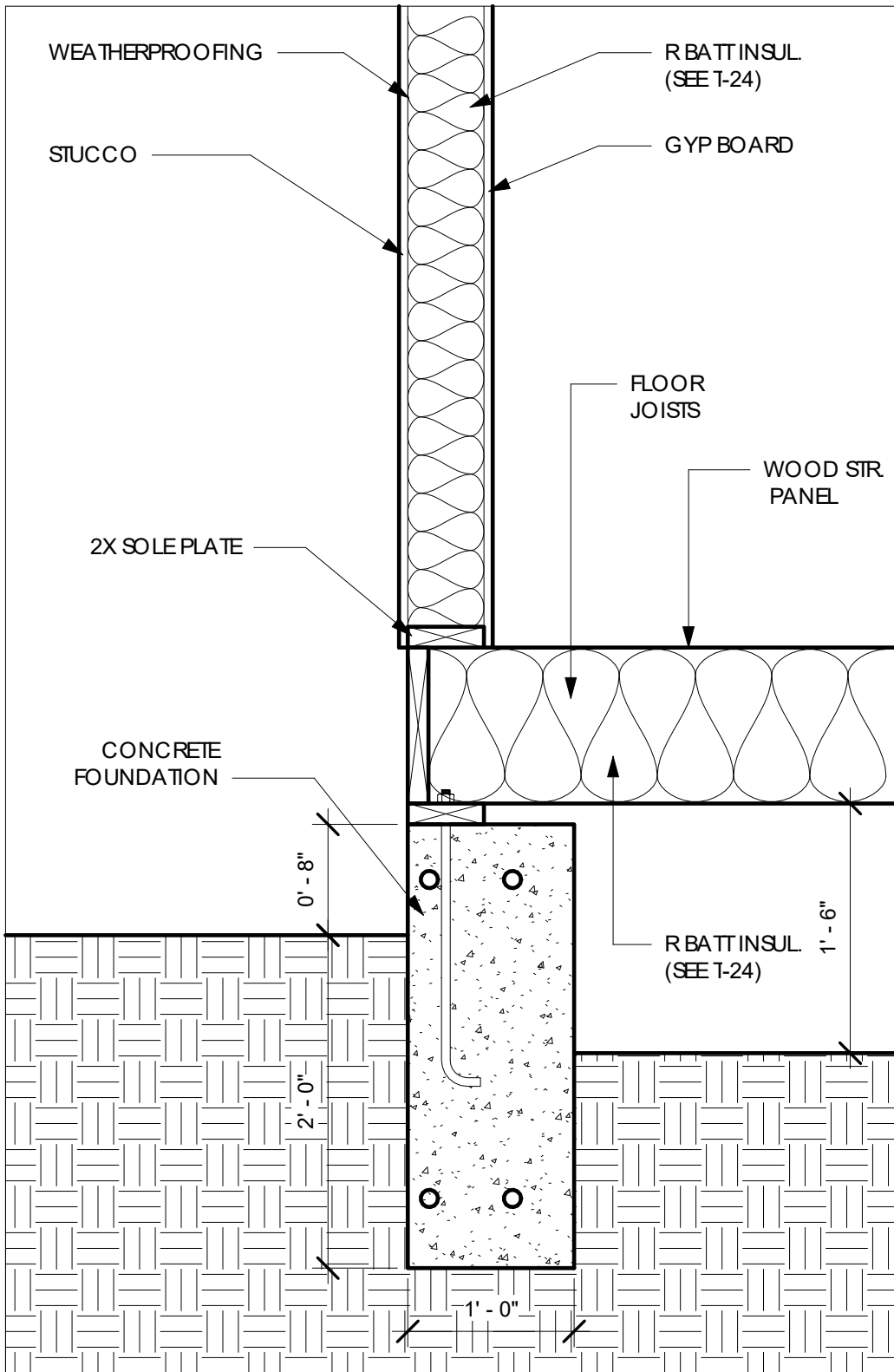
3 FIRST TO SECOND FLOOR DETAIL  
1" = 1'-0"



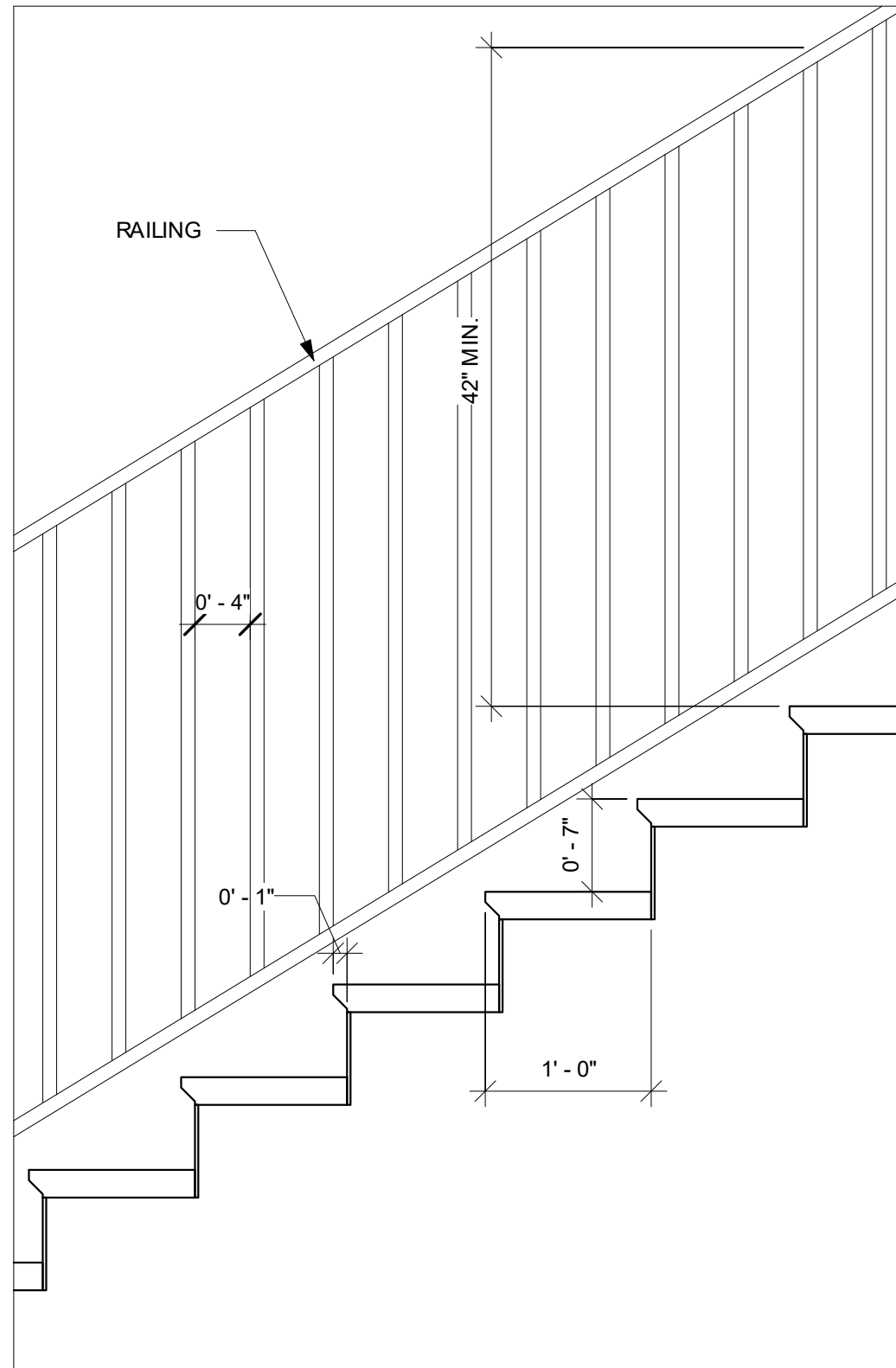
5 SLAB ON GRADE  
1" = 1'-0"



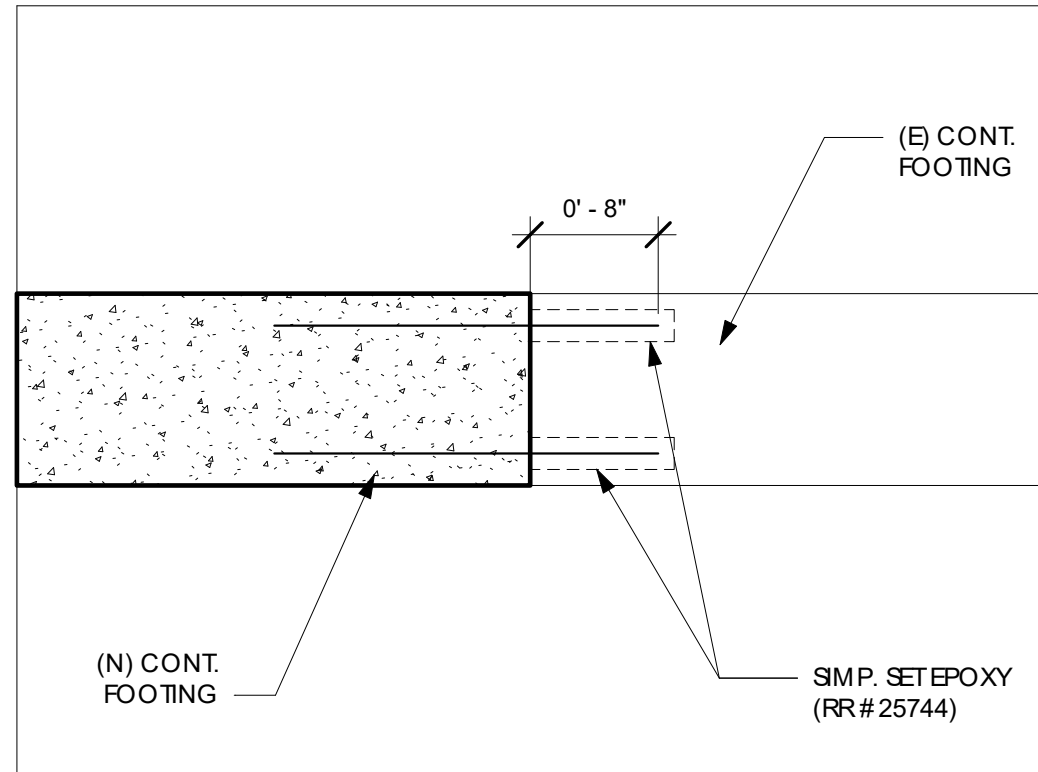
2 VOAULTED CEILING DETAIL  
1" = 1'-0"



4 RAISED FOUNDATION  
1" = 1'-0"



6 STAIRS DETAIL  
1" = 1'-0"



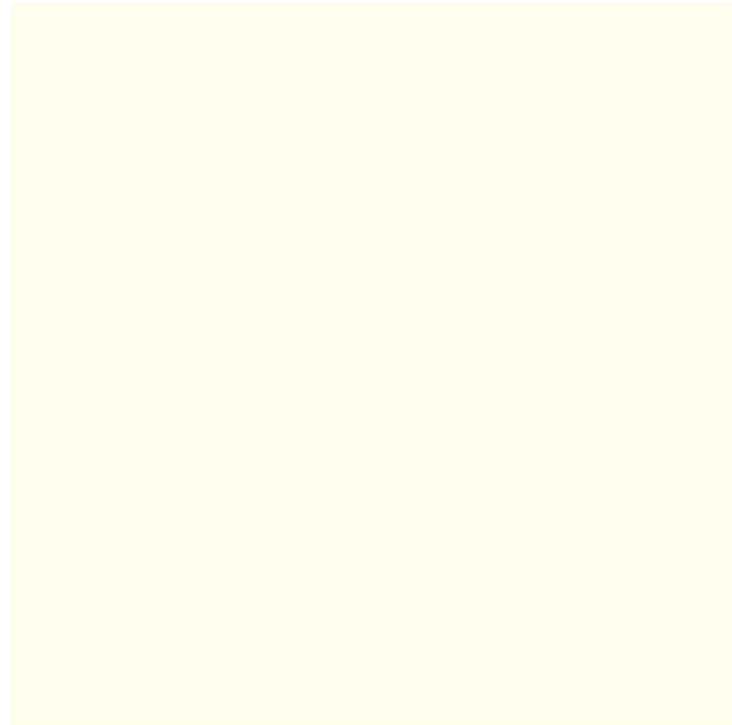
7 FOUNDATION CONNECTION DETAIL  
1" = 1'-0"





① SOUTH (N) CLORED CMATERIAL BOARD  
1/4" = 1'-0"

MATERIALS



LA HABRA  
Egg Shell 73 (76) Base 100



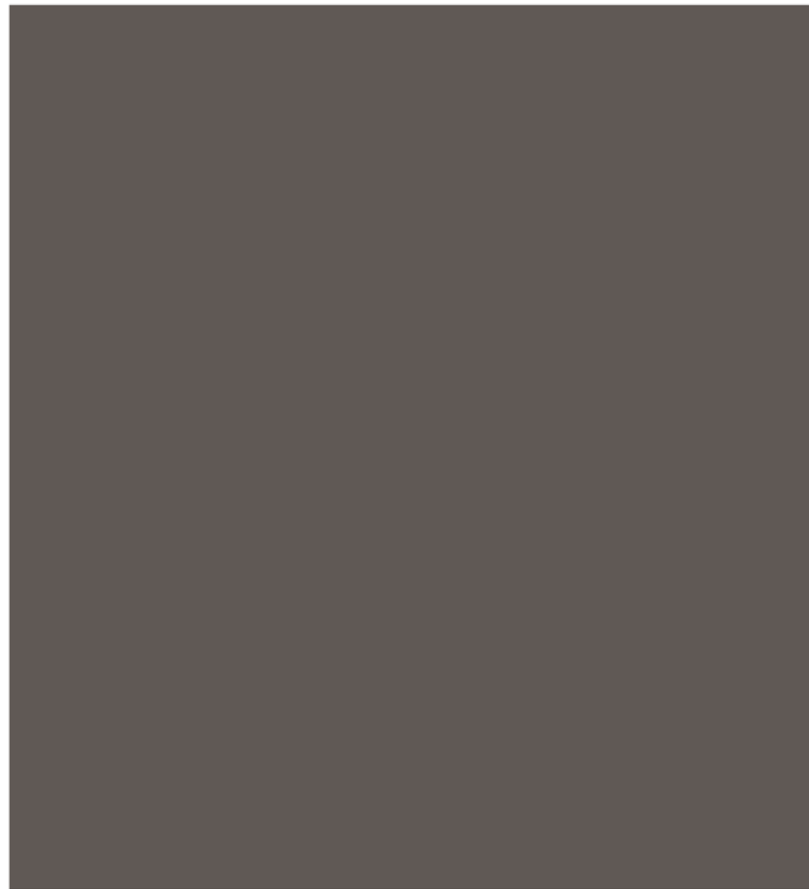
MCA CLAY ROOF TILE  
Classic "S" Mission™ Tile  
Item Code: CS01



SPECTRA METALS  
5 in. x 8 ft. K-Style  
Musket Brown  
Aluminum Gutter AND  
Downspout



JELD - WEN  
STELINE® Clad-Wood  
Window BRONZE



DUNN EDWARDS  
Antique Bronze DEB002



BELGARD  
Catalina Brana: Color  
Montecito



ELK HOME  
Collection: Temple Hill  
Item #: EK8111EW65  
SKU: 8111EW/65  
COLOR: BRONZE OR BLACK

ELEVATION LEGEND

- 1 LA HABRA EGG SHELL SMOOTH
- 2 MCA CLAY ROOF TILE
- 3 SPECTRA METALS MUSKET BROWN
- 4 JELD-WEN ALUMINUM CLAD BRONZE
- 5 DUNN EDWARDS ANTIQUE BRONZE
- 6 EXTERIOR WALL SCENCE TEMPLE HILL



OWNER: LERMONT AKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207  
EXHIBIT 3

PROJECT TITLE:  
ADDITION/  
ALTERATION

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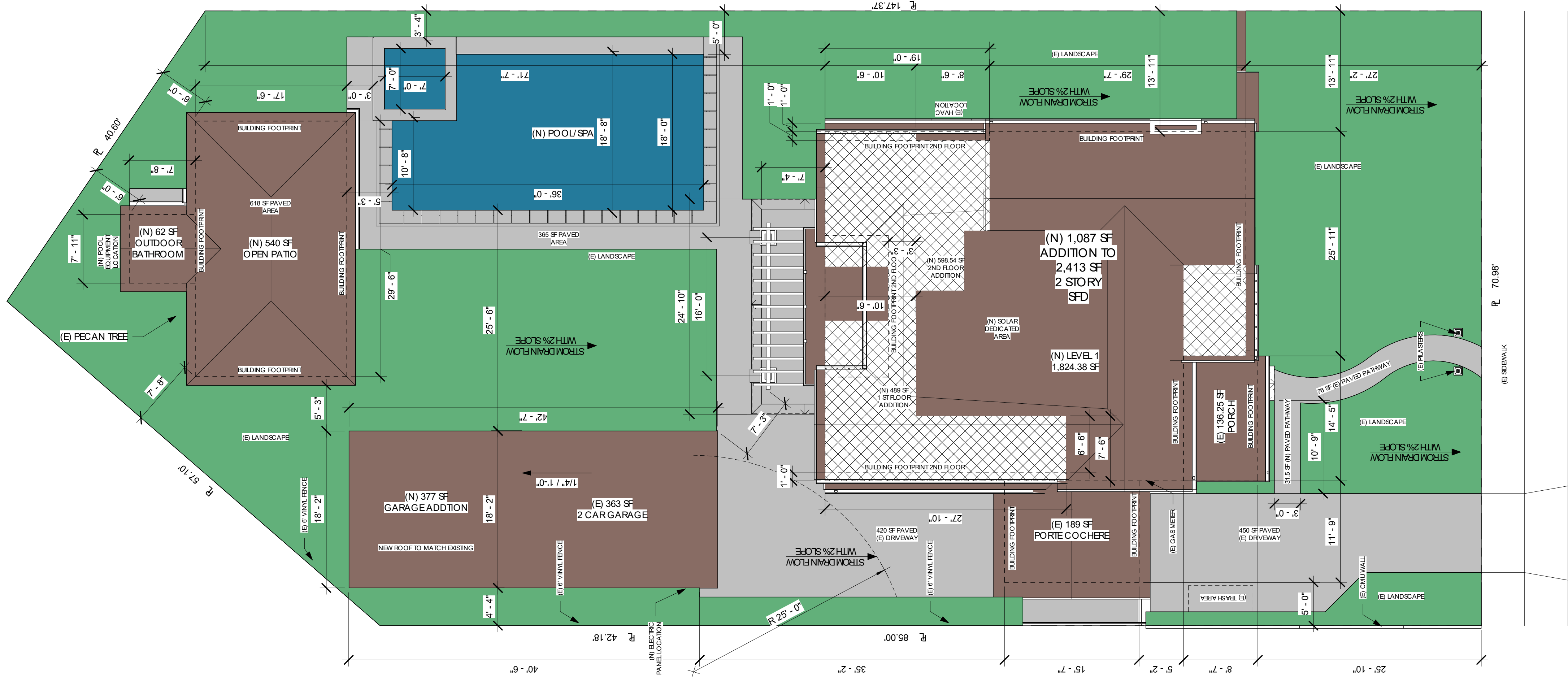
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PAGE TITLE:  
COLORED  
MATERIAL  
BOARD

PROJECT NUMBER: 0000099  
DATE: 03/19/2024  
DRAWN BY: Author  
CHECKED BY: Checker

A-10





ROSSMOYNEAVE

1 SITE PLAN (N) COLORED  
1/8" = 1'-0"

LEGEND

- BUILDING FOOTPRINT
- STORM DRAIN FLOW
- NEW ADDITION
- SOLAR DEDICATED AREA
- PAVED AREA
- LANDSCAPED AREA
- BUILDINGS
- POOL & SPA

OWNER:  
LERMONTAKOPYAN  
1239 ROSSMOYNEAVE,  
GLENDALE, CA 91207

PROJECT TITLE:  
ADDITION/  
ALTERATION

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PAGE TITLE:

COLORED SITE  
PLAN

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
CHECKED BY:	Checker

A-11



EXHIBIT 3





① AERIAL  
12" = 1'-0"



② SOUTH ELEVATION  
12" = 1'-0"



③ SOUTH EAST ELEVATION  
12" = 1'-0"



④ SOUTH WEST ELEVATION  
12" = 1'-0"





① NORTH ELEVATION  
12" = 1'-0"



② NORTH EAST ELEVATION  
12" = 1'-0"



③ NORTH WEST ELEVATION  
12" = 1'-0"



④ PATIO VIEW  
12" = 1'-0"



OWNER: LERMONT AKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207  
EXHIBIT 3

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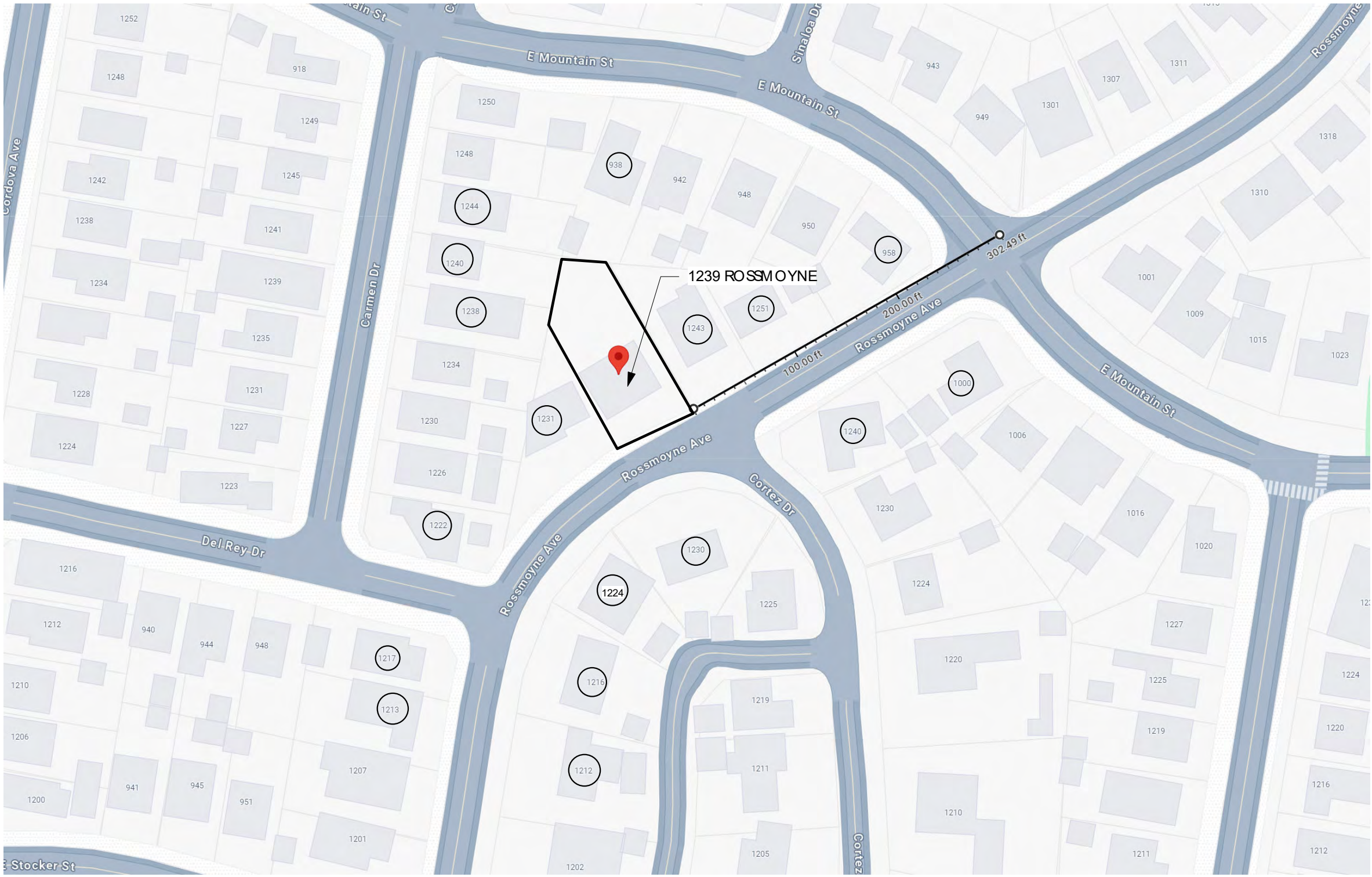
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PAGE TITLE:  
RENDERED  
PERSPECTIVES

PROJECT NUMBER:	0000099
DATE:	03/19/2024
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A-12.1





938 E MOUNTAIN ST



958 E MOUNTAIN ST



1000 E MOUNTAIN ST



1212 ROSSMOYNE AVE



1213 ROSSMOYNE AVE



1231 ROSSMOYNE AVE



1216 ROSSMOYNE AVE



1222 CARMEL DR



1217 ROSSMOYNE AVE



1240 ROSSMOYNE AVE



1243 ROSSMOYNE AVE



1238 CARMEL DR



1240 CARMEL DR



1230 ROSSMOYNE AVE



1251 ROSSMOYNE AVE



1244 CARMEL DR



OWNER: LERMONTAKOPYAN  
1239 ROSSMOYNE AVE,  
GLENDALE, CA 91207  
**EXHIBIT 3**

PROJECT TITLE:  
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PAGE TITLE:

PHOTOGRAPHS

PROJECT NUMBER:	0000099
DATE:	03/19/2024
DRAWN BY:	Author
CHECKED BY:	Checker

A-13





**EXHIBIT 3**



**EXHIBIT 3**



**EXHIBIT 3**





**EXHIBIT 3**



**EXHIBIT 3**

# EXHIBIT 3



# EXHIBIT 3



# EXHIBIT 3





# EXHIBIT 3





**EXHIBIT 3**