

DRAWING INDEX ISSUED RECORD

SET	DATE	DESCRIPTION	ISSUED	RECORD
SET 1/2/23			x	x
SET 09/20/2023			x	x
SET 03/20/2024			x	x
SET 10/22/2024			x	x

ARCHITECTURAL	STRUCTURAL	LANDSCAPE	CIVIL
A-0.00 COVER SHEET			
A-1.00 TOPOGRAPHIC SURVEY			
A-1.10 PROPOSED SITE PLAN			
A-1.11 EXISTING-PROPOSED SITE PLAN			
A-1.12 PROPOSED SITE SECTION			
A-1.20 NEIGHBORING PROPERTIES			
A-2.00 PROPOSED FIRST FLOOR PLAN			
A-2.10 PROPOSED SECOND FLOOR PLAN			
A-2.20 PROPOSED ROOF PLAN			
A-3.00 PROPOSED BUILDING ELEVATIONS			
A-3.10 PROPOSED BUILDING ELEVATIONS			
A-3.11 COLORED ELEVATIONS			
A-3.12 COLORED ELEVATIONS			
A-3.20 PROPOSED SECTIONS			
A-4.01 a PROPOSED GARAGE ELEVATION & PLAN			
A-4.02 PROPOSED GATE AND POSTS ELEVATION			
A-6.00 DOOR, WINDOW & FINISH SCHEDULE			
A-6.01 DOORS AND WINDOWS DETAILS			
A-6.02 MOOD BOARD			
A-6.03 DOORS AND WINDOWS SPECS			
X-1.00 3D RENDERING			
X-1.01 3D RENDERING			
X-1.02 3D RENDERING			
X-1.03 3D RENDERING			

PROJECT SUMMARY

PROJECT ADDRESS	652 ROBIN GLEN DR, GLENDALE CA 91202
ASSESSOR PARCEL NO. (APN)	5630009017
ZONE DESCRIPTION	RESIDENTIAL OPEN SPACE FAR DIST III
LEGAL DESCRIPTION	FOR DESC SEE ACCESSOR'S MAPS W 20 FT OF ROS III
ZONING	LOW RESIDENTIAL
GENERAL PLAN & USE	

EXISTING HOME	PROPOSED
2 STORY SINGLE FAMILY DWELLING WITH ATTACHED 2-CAR GARAGE.	30' - 11"
YEAR BUILT: 1977 TOTAL SIZE: 4,219 (SQ FT)	REQUIRED
	PROPOSED
	42'
	15'
	N/A
	10'
	MIN. 10'

SCOPE OF WORK

DEMOLITION OF EXISTING SINGLE FAMILY DWELLING AND DETACHED GAME ROOM THAT HAS TENNIS COURT ON TOP. A NEW TWO STORIES 9,756 SQ.FT SINGLE FAMILY DWELLING WITH DETACHED 5 CAR GARAGE AND RETAINING WALLS

PROPOSED:

7 BEDROOMS / 6.5 BATHS

RESIDENTIAL FLOOR AREA (FAR): 45% FOR THE 1ST 10,000 SQ.FT. OF LOT AREA + 0.10 FOR THE PORTION OF LOT THEREAFTER
 MAX. FAR: 4,500 + 8,900 = 13,400 SQFT

PROPOSED FIRST FLOOR AREA 4,773 SQ.FT
 PROPOSED PATIO 1,316 SQ. FT
 PROPOSED SECOND FLOOR AREA 4,565 SQ.FT
 PROPOSED GARAGE 1,118 SQ.FT

PROPOSED FAR : 4,773 + 4,565 + (1,118 - 700) = 9,756 SQ.FT
 PROPOSED FAR: 9,756 SQ.FT / 99,000 SQ.FT = 9.98%

LOT COVERAGE CALCULATIONS
 LOT SIZE : 99,000 (sq ft)

1ST FLOOR = 4,773 SQ. FT
 PATIO = 1,316 SQ.FT
 5 CAR GARAGE = 1,118 SQ. FT
 TOTAL = 7,207 SQ.FT
 MAX ALLOWED LOT COVERAGE = 40%
 PROPOSED LOT COVERAGE = 7,207 SQ.FT / 99,000 SQ.FT = 7.2%

LANDSCAPE CALCULATIONS
 PROPOSED NEW LANDSCAPE: 20,885.91 SQFT (rear yard) + 754.26 (pool) + 3,533.08 SQFT (grass by garage area) + 1,173.85 SQFT (retaining wall) = 26,347.10 SQFT
 ARTIFICIAL TURF AREA: 5,045.1 SQ. FT

UNGRADED (E) LANDSCAPE SITE AREA: 53,985.41 SQFT
 LANDSCAPE: 26,347.10 + 53,985.41 = 80,332.51/99,000 = 81%



Attachment # 1



APPLICABLE CODES

2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE
 2023 GLENDALE BUILDING AND SAFETY CODE (GBSC) - ORDINANCE 5998
 2023 GLENDALE REACH CODE (GRC) - ORDINANCE 5999

CUT AND FILL QUANTITIES:

DESCRIPTION	VOLUME (CY)
CUT	2,950
R&R	N/A
FILL	25
IMPORT	0
EXPORT	2,925

NOTE: THIS ESTIMATE IS FOR BONDING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO CALCULATE THE ACTUAL EARTHWORK QUANTITIES.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL; A SEPARATE APPLICATION AND PERMIT IS REQUIRED FOR:

- ELECTRICAL
- MECHANICAL
- PLUMBING

THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION;

LEGEND SYMBOL

CALLOUT SYMBOLS

ENLARGED PLAN / DETAIL	INTERIOR ELEVATIONS
BUILDING / WALL SECTION	BUILDING ELEVATION
DETAIL SECTION	REVISION CLOUD & DELTA

TYPICAL SYMBOLS

XX	COLUMN TAG
#	WINDOW TAG
###	FIXTURE / ACCESSORY TAG
#	DOOR TAG
##	WALL / FLOOR TYPE
NUM	ROOM NAME TAG
E->	KEYNOTE with modifier
STAIR#	STAIR TAG
ALIGN	ALIGN OR FLUSH
DN->	STAIR DIRECTION
6'-11" (51'12")	ELEVATION TARGET
##	FINISH ELEV. TARGET
27'-0 3/4"	FINISH TAG

FLOOR SYMBOLS

AREA DRAIN	EXIT SIGN & DIRECTION
FINISH TRANSITION	STEP TRANSITION
(E) TO NEW FINISH TRANSITION	CURB TRANSITION
FLUSH TRANSITION	DOOR
SLOPE TRANSITION	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP	CARBON MONOXIDE ALARM, HARD-WIRED W/BATTERY BACK-UP

HVAC SYMBOLS

MECH EXHAUST	MECH SUPPLY / TRANSFER	MECH RETURN
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LIFE SAFETY SYMBOLS

EXIT SIGN & DIRECTION	ROOM OCCUPANCY LOAD & ACCESSIBLE EXIT PATH	ROOM OCCUPANCY DETAILS
1 HOURS RATED FIREWALL	2 HOURS RATED FIREWALL	

ABBREVIATIONS

AC. TILE	ACUSTIC TILE	(N)	NEW
ADJ.	ADJACENT	NOM.	NOMINAL
ADJUST.	ADJUSTABLE	N.	NORTH
A.F.F.	ABOVE FINISH FLOOR	N.I.C.	NOT IN CONTRACT
AGGR.	AGGREGATE	N.T.S.	NOT TO SCALE
ALT.	ALYERNATE	NO.	NUMBER
ALUM.	ALUMINIUM	#	NUMBER
APPROX.	APPROXIMATE	P. PAIR	POINT
ARCH.	ARCHITECTURAL	PTD.	PAINTED DISPENSER
A.D.	AREA DRAIN	PTN.	PARTITION
ASB.	ASBESTOS	P. LAM.	PLASTIC LAMINATE
A.B.P	ASPHALTIC BUILDING PAPER	PT.	PLATE
ASPH.	ASPHALT	PLWD.	PLYWOOD
@	AT	P.T.	POINT
		POS	POINT OF SALE
		PRCST	PRECAST
BM.	BEAM	Q.T.	QUARRY TILE
BTUM.	BITUMINOUS		
BLKG.	BLOCKING	(R)	RELOCATE
BD.	BOARD	RAD	RADIUS
BOT.	BOTTOM	R.W.L	RAIN WATER LEADER
BLDG.	BUILDING	RDWD	REDWOOD
CAB.	CABINET	REF	REFERENCE
C.I.	CAST IRON	REFR	REFRIGERATOR
C.B.	CATCH BASIN	REG	REGISTER
CLKG.	CAULKING	REINF	REINFORCED
CLG.	CEILING	REQ	REQUIRED
CLK.	CHAIN LINK	RESIL	RESILENT
CEM.	CEMENT	R.	RISER
CTR.	CENTER	R.D.	ROOF DRAIN
CER.	CERAMIC	RM	ROOM
C.T.	CERAMIC TILE	R.O.	ROUGH OPENING
CLR.	CLEAR		
CL.	CLOSET	SCHED.	SCHEDULE
COL.	COLUMN	SECT.	SECTION
CONC.	CONCRETE	S.S.	SERVICE SINK
CONN.	CONNECTION	HDW.	SHEET
CONSTR.	CONSTRUCTION	SH.	SHelf
CONT.	CONTINUOUS	SHR.	SHOWER
CORR.	CORRIDOR	SIM.	SIMILAR
CNTR.	COUNTER	S.O.G.	SLAB ON GRADE
CTSK.	COUNTERSUNK	S.D.	SOAP DISPENSER
		S.C.	SOLID CORE
DBL.	DOUBLE	S.	SOUTH
DEPT.	DEPARTMENT	SPEC.	SPECIFICATION
DET.	DETAIL	SQ.	SQUARE
DIA.	DIAMETER	SST.	STAINLESS STEEL
DIM.	DIMENSION	S.T.D.	STANDARD
D.O.	DOOR OPENING	STA.	STATION
DN.	DOWN	STL.	STEEL
DS.	DOWNSPOUT	STOR.	STORAGE
DWR.	DRAWER	STRL	STRUCTURAL
DWG.	DRAWING	SUSP.	SUSPENDED
D.S.P.	DRY STANDPIPE	SYM.	SYMMETRICAL
(E)	EXISTING	TEL.	TELEPHONE
EACH	EACH	T.V.	TELEVISION
EAST	EAST	T.G.	TEMPERED GLAZING
E.W.C.	ELECTRIC WATER COOLER	TER.	TERRAZO
ELEC.	ELECTRICAL	THK.	THICK
E.B.	ELECTRICAL PANEL BOARD	T.P.D.	TOILET PAPER DISPENSER
EL.	ELEVATION	T&G	TONGUE AND GROOVE
ELEV.	ELEVATOR	T.J.I.	TRUSS JOIST I-BEAM
EMER.	EMERGENCY	T.O.	TOP OF
ENCL.	ENCLOSURE	T.O.C.	TOP OF CURB
EQ.	EQUAL	T.O.P.	TOP OF PAVEMENT
EQPT.	EQUIPMENT	T.O.S.	TOP OF SLAB
EXST.	EXISTING	T.O.STL	TOP OF STEEL
EXP.	EXPANSION	T.O.W.	TOP OF WALL
E.J.	EXPANSION JOINT	T.B.	TOWEL BAR
EXPO.	EXPOSED	TRD.	TREAD
EXT.	EXTERIOR	T.S.	TUBE STEEL
		TYP.	TYPICAL
F.O.S.	FACE OF STUDS	VERT.	VERTICAL
FIN.	FINISH	W.C.	WATER CLOSET
FT.	FEET	WP.	WATERPROOF
F.A.	FIRE ALARM	WT.	WEIGHT
F.E.	FIRE EXTINGUISHER	W.	WEST
F.E.C	FIRE EXTINGUISHER CABINET	W/	WITH
F.O.C.	FACE OF CONCRETE	W/O	WITHOUT
F.O.F.	FACE OF FINISH	WD.	WOOD
FPF.	FIREPROOF	W.O.	WHERE OCCURES
FLASH.	FLASHING		
FL.	FLOOR		
F.D.	FLOOR DRAIN		
FT.	FOOT		
FTG.	FOOTING		
FDN.	FOUNDATION		
FURR.	FURRING		
GALV.	GALVANIZED		
GA.	GAUGE		
GL.	GLASS		
G.B.	GRAB BAR		
G.R.	GRADE		
GND.	GROUND		
GSM.	GALVANIZED SHEET METAL		
GYP.	GYP SUM		
HDW.	HARDWARE		
HDWD.	HARD WOOD FLOOR		
HGT.	HEIGHT		
H.A.	HOLLOW CORE		
H.M.	HOLLOW METAL		
HORZ.	HORIZONTAL		
HB.	HOSE BIBB		
HR.	HOUR		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		
JB.	JOIST BEARING		
JT.	JOINT		
KT.	KITCHEN		
LAB.	LABORATORY		
LAM.	LAMINATE		
LAV.	LAVATORY		
LT.	LIGHT		
LKR.	LOCKER		
MH.	MANHOLE		
MFR.	MANUFACTURER		
M.O.	MASONRY OPENING		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
M.C.	MEDICINE CABINET		
MEMB.	MEMBRANE		
MTL.	METAL		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
M.R.	MOISTURE RESISTANT		
MTD.	MOUNTED NEW		

XID DESIGN BUILD LLC
 SUITE 800
 Beverly Hills, CA 90211
 T 917 319 2553

PROJECT ADDRESS
 652 Robin Glen Dr
 Glendale , CA 91207

OWNER
 Owner

STRUCTURAL
 Approver

CIVIL ENGINEERING
 Author

NUMBER	DATE	DESCRIPTION
4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
1	01/03/23	PLAN CHECK SET

ISSUE RECORD

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DRAWING TITLE
Cover Sheet

SCALE
 NTS

DATE
11/25/24

DRAWING NUMBER
A-0.00

652 Robin Glen Dr PLAN CHECK SET

FLOOR PLAN GENERAL NOTES

1. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK.
2. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND TOP UNDERLAYMENT UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES UNLESS NOTED OTHERWISE.
3. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED.
4. REFER TO SHEET A-0.00 FOR SYMBOLS, ABBREVIATIONS, AND WALL TYPE LEGEND.
5. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING.
6. (CONT) BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
7. ALL FINISH WALL SURFACES TO BE FLUSH U.N.O.
8. ALL GYP. BD WALLS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.N.O.
9. GREF. DOOR SCHEDULE A-9.00 FOR ALL HEAD, SILL, AND JAMB DETAILS.
10. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME.

SITE PLAN NOTES

- 1 (N) 6'-0" DEEP POOL PER STRUCTURAL(UNDER SEPARATE PERMIT).
 - 2 BARRELS PER CIVIL ENGINEER.
 - 3 ADJACENT NEIGHBORS, NOT IN SCOPE.
 - 4 PROPERTY LINE.
 - 5 STONE TBD PER OWNER.
 - 6 NEW CONCRETE PAVERS DRIVEWAY POROUS CONCRETE 372 SF OF PERMEABLE PAVEMENT @1FT SUB-BASE
 - 7 EX. 6" CURB : N/A
 - 8 ROOF DRAIN DOWNSPOUT TO CONNECT TO STORMWATER PLANTER UNDER PAVED WALKWAY.
 - 9 NEW ARTIFICIAL TURF.
 - 10 (N) DIGITAL SUN SMART SENSOR SPRINKLER SYSTEM (SEE SHEET AD-1.0 DETAIL #10 FOR SPECIFICATIONS). IRRIGATION CONTROLLERS MUST BE SOIL OR WEATHER BASED.
 - 11 EX. 6' HIGH BLOCK WALL.
 - 12 EX. FENCE. TO BE DEMOLISH
 - 13 EX. TREE TO REMAIN
A. CITRUS
B. FRUIT TREE
C. TREE
D. PEPPER TREE
- There are no oak, bay or sycamore trees on the lot or within twenty (20) feet of the site.
- 14 EXISTING APRON TO BE RESURFACED
 - 15 NEW CONCRETE. SIDE YARDS
 - 16 NEW AREA DRAIN.
 - 17 NEW WROUGHT IRON GATE
 - 18 NEW 6 FOOT COLUMNS WITH WROUGHT FENCING
 - 19 STONE PAVERS TBD BY OWNER

HATCH LEGEND

- ARTIFICIAL TURF
- WATER
- FLOWERS AND PLANTS
- STONE
- CONCRETE
- SLOPE
- EXISTING RETAINING WALL
- NEW RETAINING WALL
- PROPERTY LINE



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD LLC
SUITE 800
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T 917 319 2553

PROJECT ADDRESS

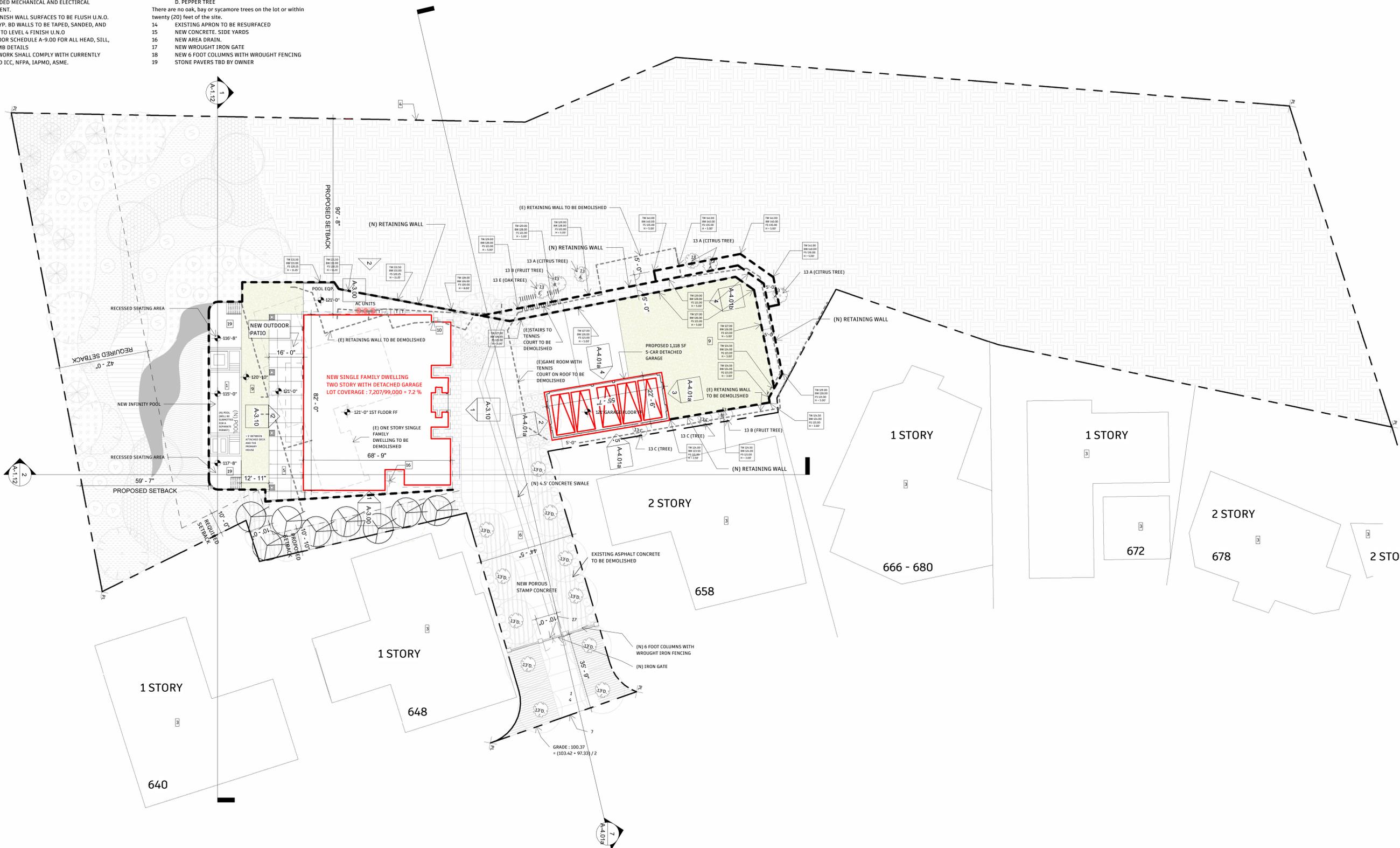
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Glendale, CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author



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DRAWING TITLE

Proposed Site Plan

SCALE	DRAWING NUMBER
3/64" = 1'-0"	
DATE	
11/25/24	A-1.10

652 Robin Glen Dr PLAN CHECK SET

- ▭ NEW SINGLE FAMILY DWELLING
TWO STORY WITH DETACHED GARAGE
LOT COVERAGE : 7,207/99,000 = 7.2 %
- - - EXISTING SINGLE FAMILY DWELLING
- - - EXISTING RETAINING WALL
- - - NEW RETAINING WALL
- - - LOT NEEDS TO BE GRADED



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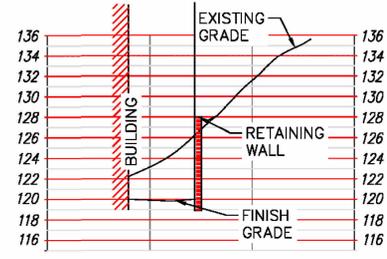
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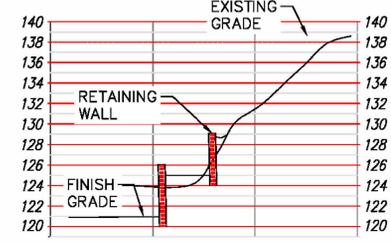
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CIVIL ENGINEERING

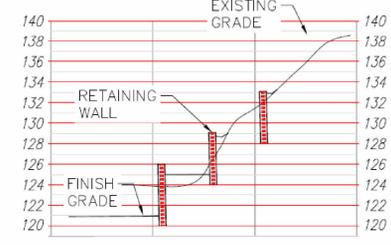
Author



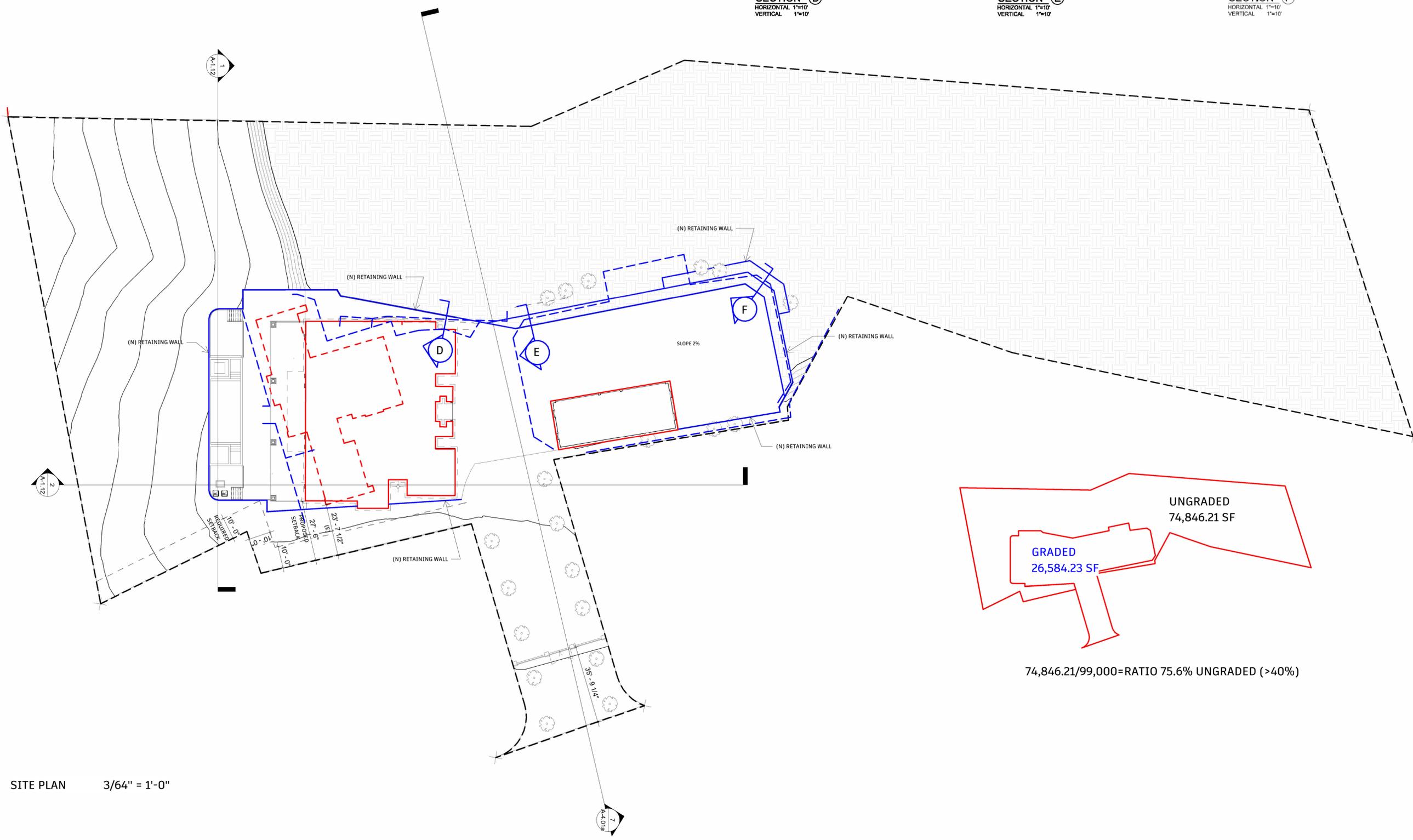
SECTION D
HORIZONTAL 1"=10'
VERTICAL 1"=10'



SECTION E
HORIZONTAL 1"=10'
VERTICAL 1"=10'



SECTION F
HORIZONTAL 1"=10'
VERTICAL 1"=10'



$74,846.21/99,000 = \text{RATIO } 75.6\% \text{ UNGRADED } (>40\%)$



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DRAWING TITLE

Existing -
Proposed Site Plan

SCALE As indicated

DRAWING NUMBER

DATE

11/26/24

DRAWING NUMBER

A-1.11

SITE PLAN 3/64" = 1'-0"

652 Robin Glen Dr PLAN CHECK SET



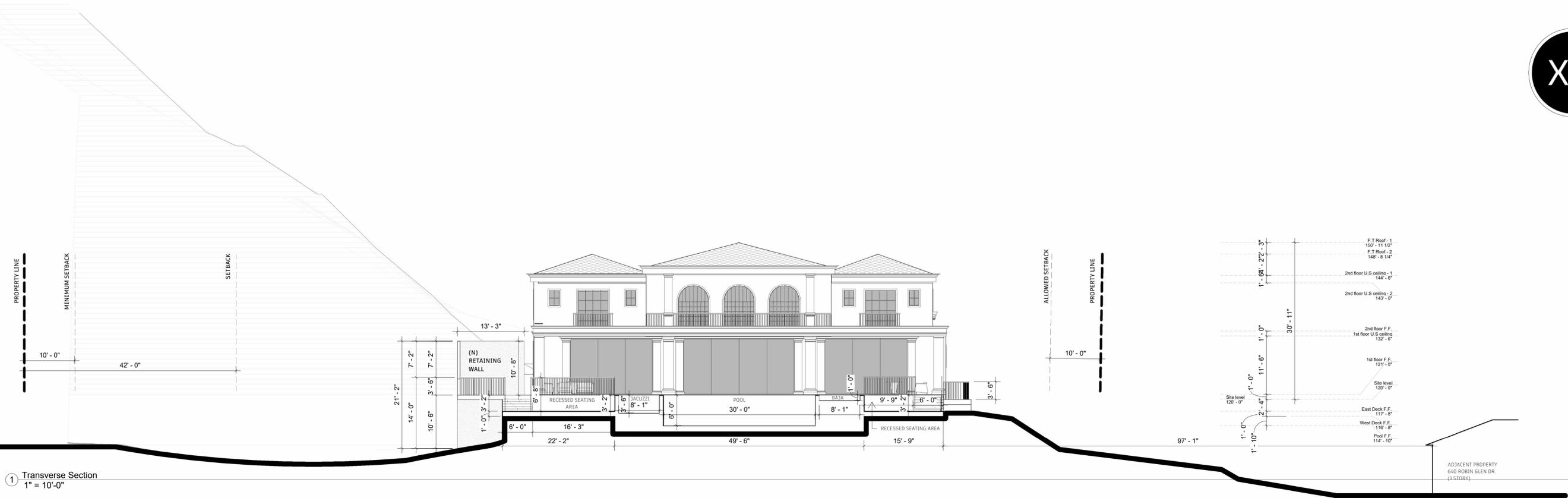
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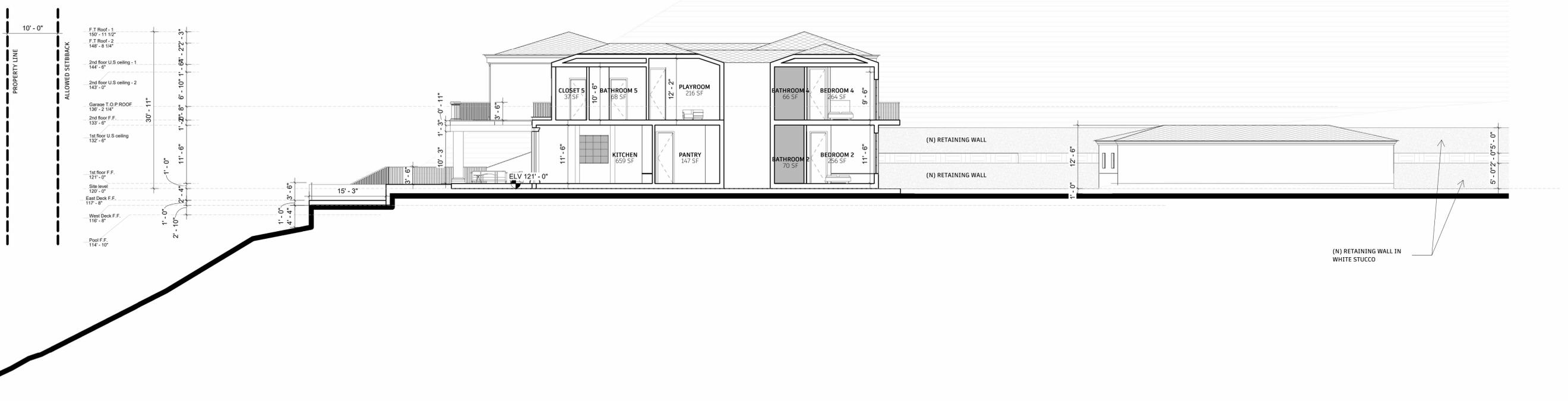
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CIVIL ENGINEERING
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PLAN CHECK SET



1 Transverse Section
 1" = 10'-0"



2 Longitudinal Section
 1" = 10'-0"

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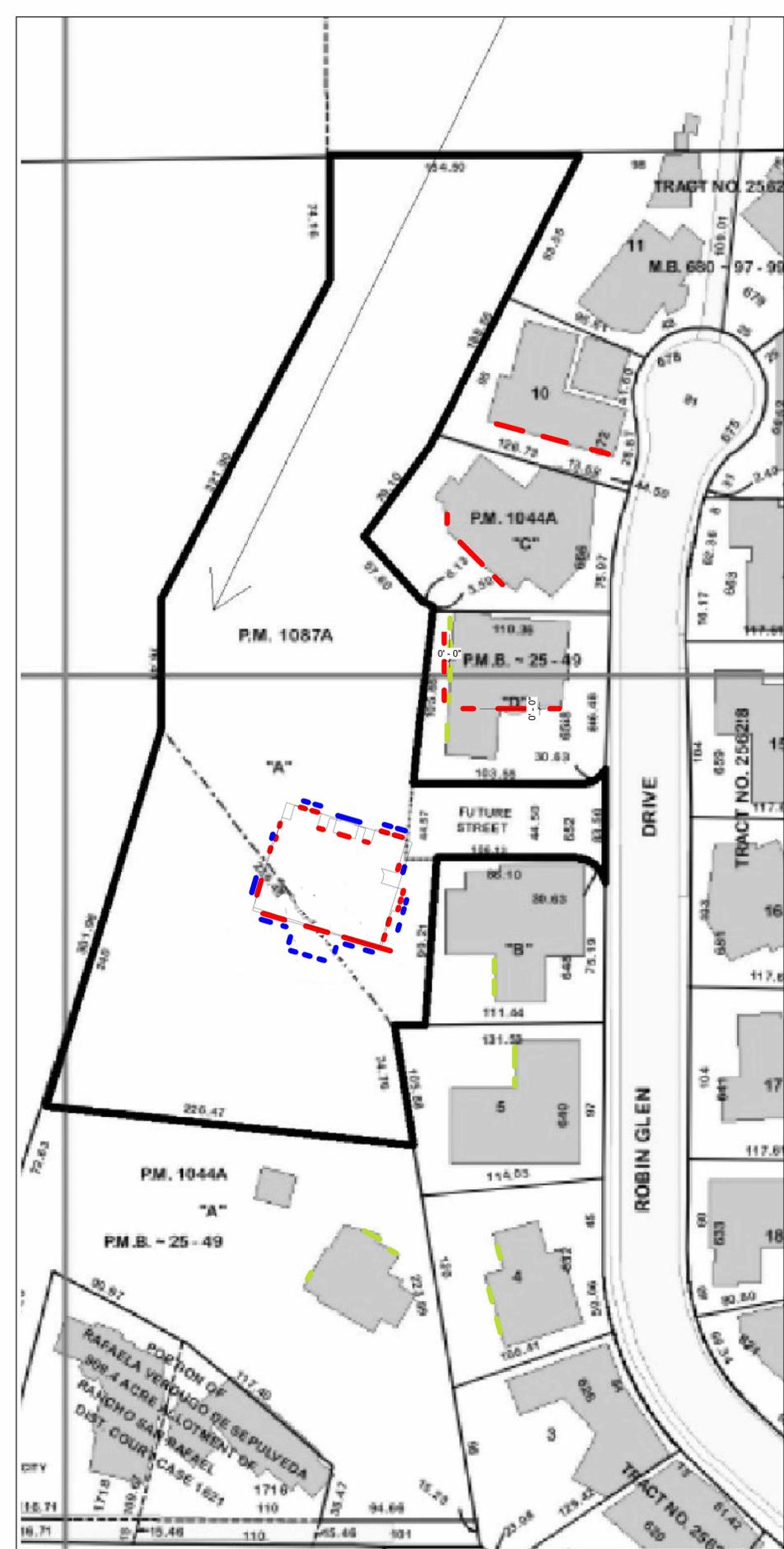
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DRAWING TITLE

Proposed Site Section

SCALE 1" = 10'-0"	DRAWING NUMBER
DATE 11/26/24	A-1.12

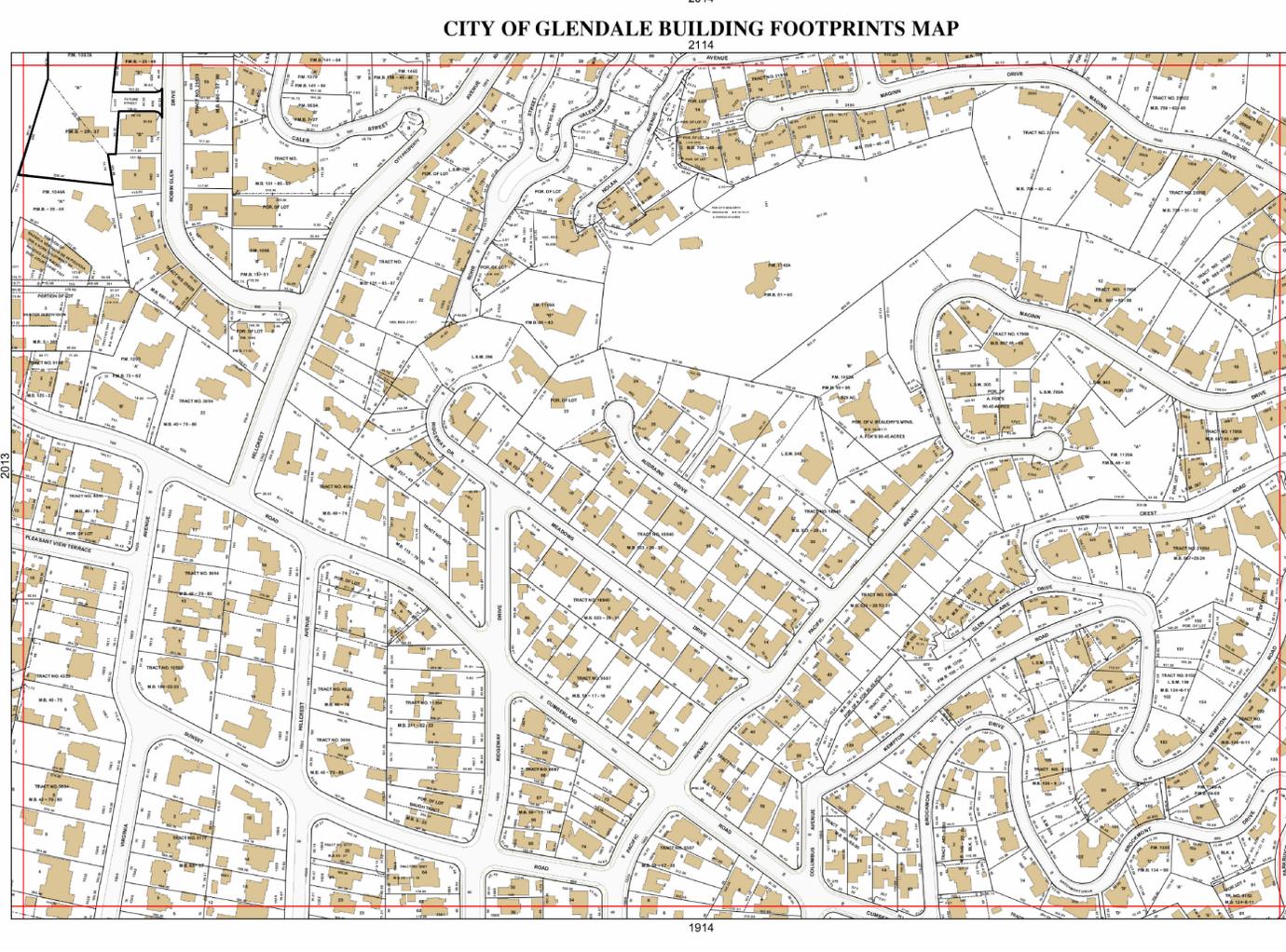
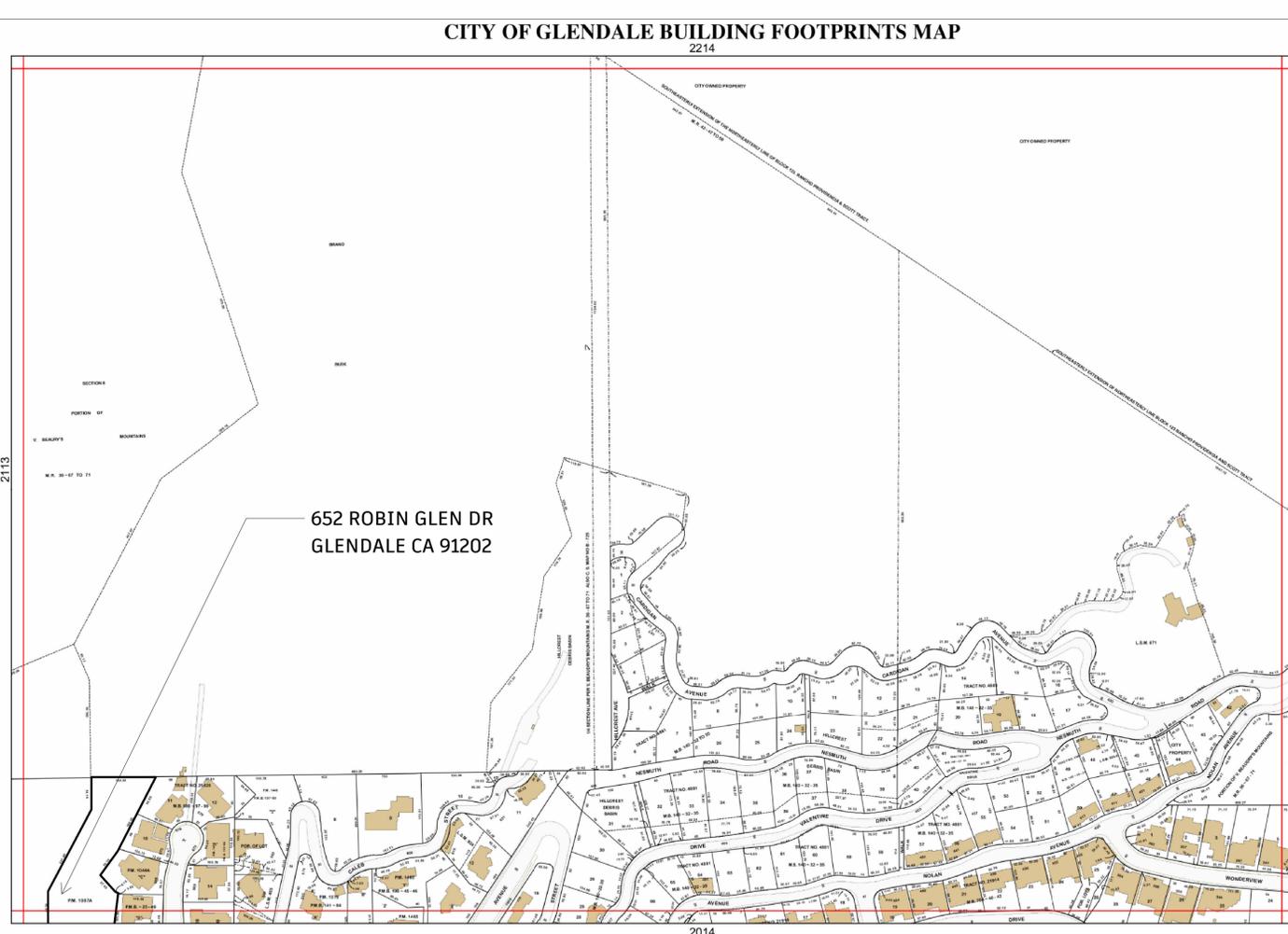
652 Robin Glen Dr



WINDOWS PLAN

— WINDOWS UNDER THE LEVEL OF THE PROJECT HOUSE
— FIRST FLOOR WINDOWS
— SECOND FLOOR WINDOWS

REGARDING THE ADJACENT PROPERTIES WE JUST SHOW THE WINDOWS ON ELEVATIONS FACING THE PROJECT



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STRUCTURAL

CIVIL ENGINEERING
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GLendale
 EDITION OF 2019
Preliminary
Map
2114
 November 18, 2019

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DRAWING TITLE
 Neighboring properties

SCALE	DRAWING NUMBER
DATE	A-1.20

652 Robin Glen Dr PLAN CHECK SET



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Neighboring properties

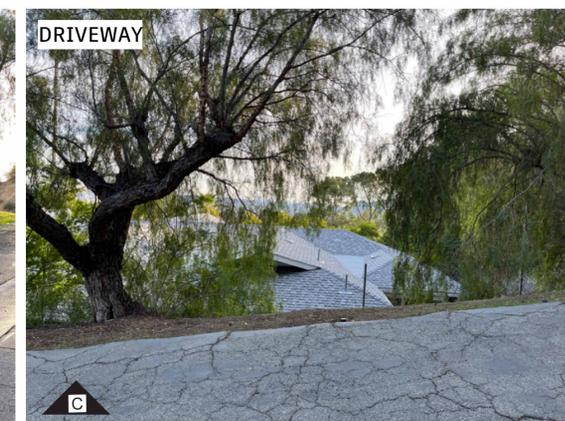
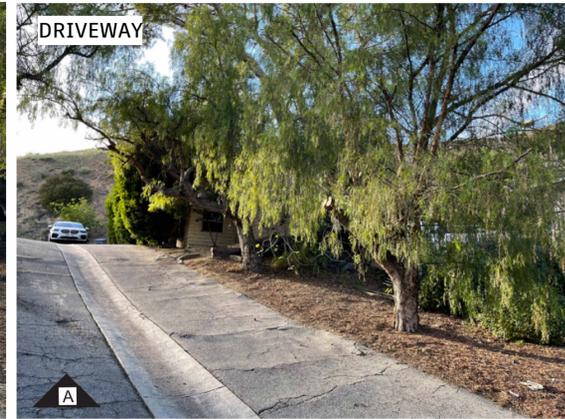
SCALE DRAWING NUMBER

DATE 11/25/24 A-1.21

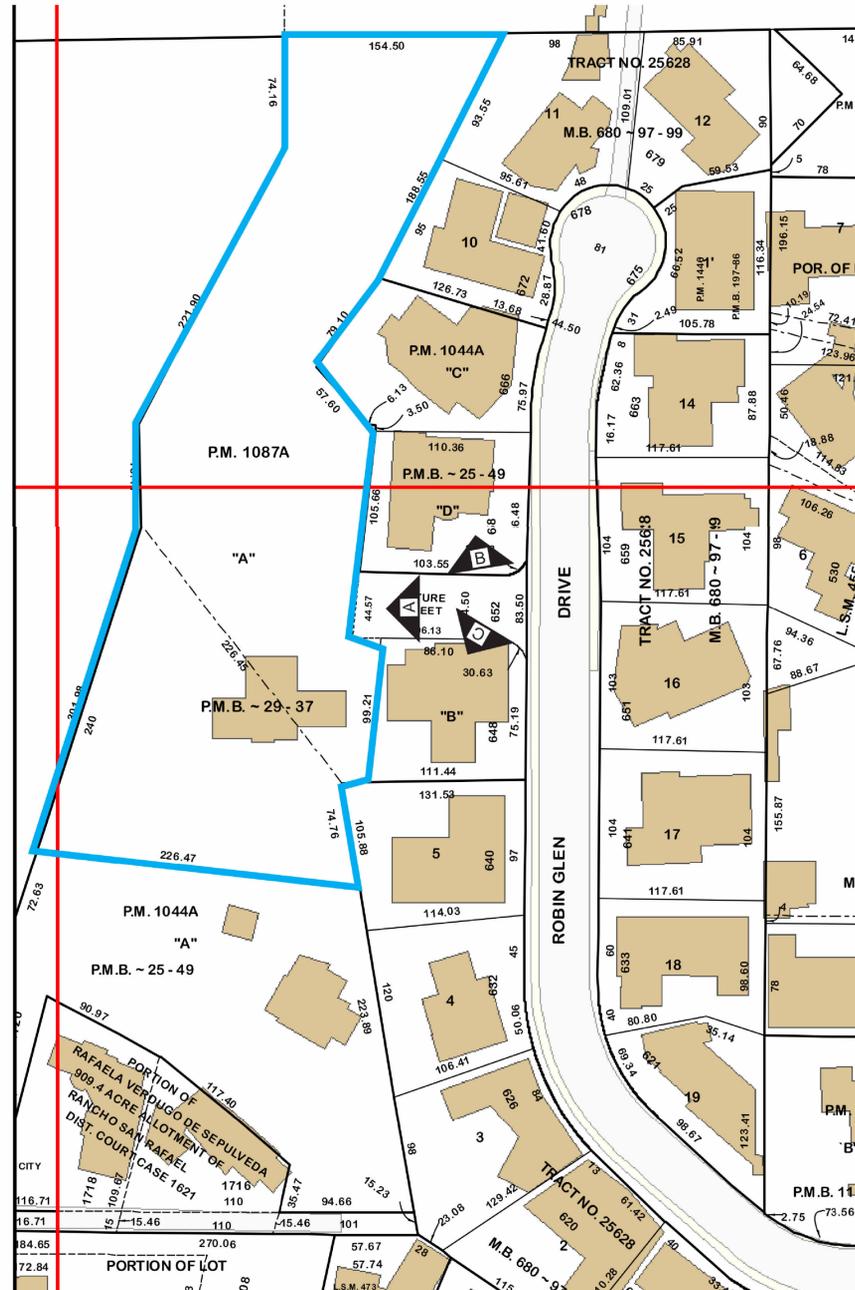
PLAN CHECK SET

652 Robin Glen Dr

DRIVEWAY



SITE PICTURES





TENNIS COURT & RECREATION ROOM (OUTSIDE AND INSIDE)

PROJECT ADDRESS

652 Robin Glen Dr
Glendale, CA 91207

OWNER

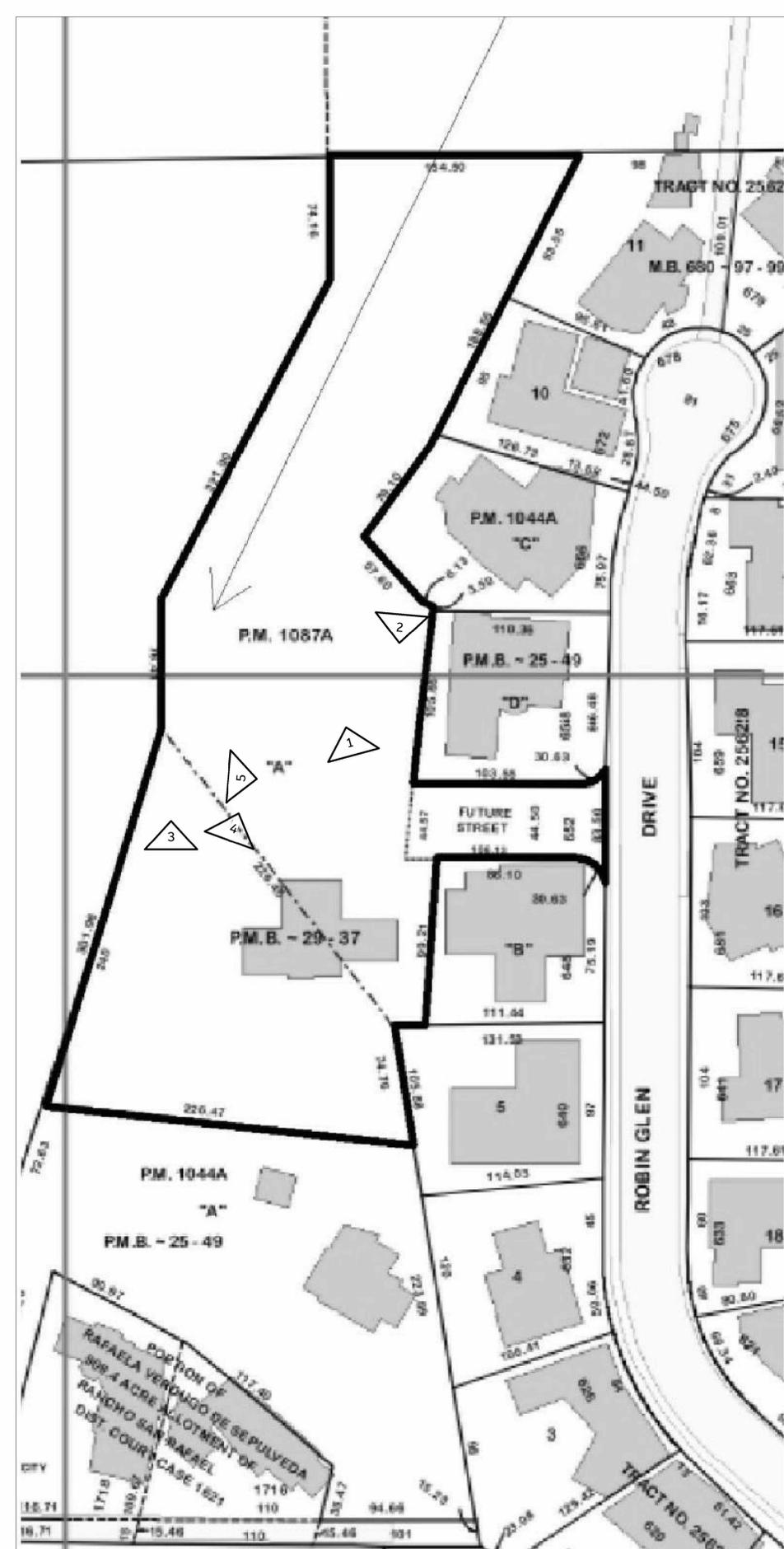
STRUCTURAL

CIVIL ENGINEERING

Author

PLAN CHECK SET

652 Robin Glen Dr



1 TENNIS COURT



2 TENNIS COURT



3 RECREATION ROOM (OUTSIDE)



4 RECREATION ROOM (OUTSIDE)



5 RECREATION ROOM (INSIDE)

NUMBER	DATE	DESCRIPTION
4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
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1	01/03/2023	PLAN CHECK SET

ISSUE RECORD

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DRAWING TITLE

Neighboring properties

SCALE DRAWING NUMBER

DATE 11/25/24 A-1.23



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD LLC
SUITE 800
Beverly Hills, CA 90211
T 917 319 2553

PROJECT ADDRESS
652 Robin Glen Dr
Glendale, CA 91207

OWNER

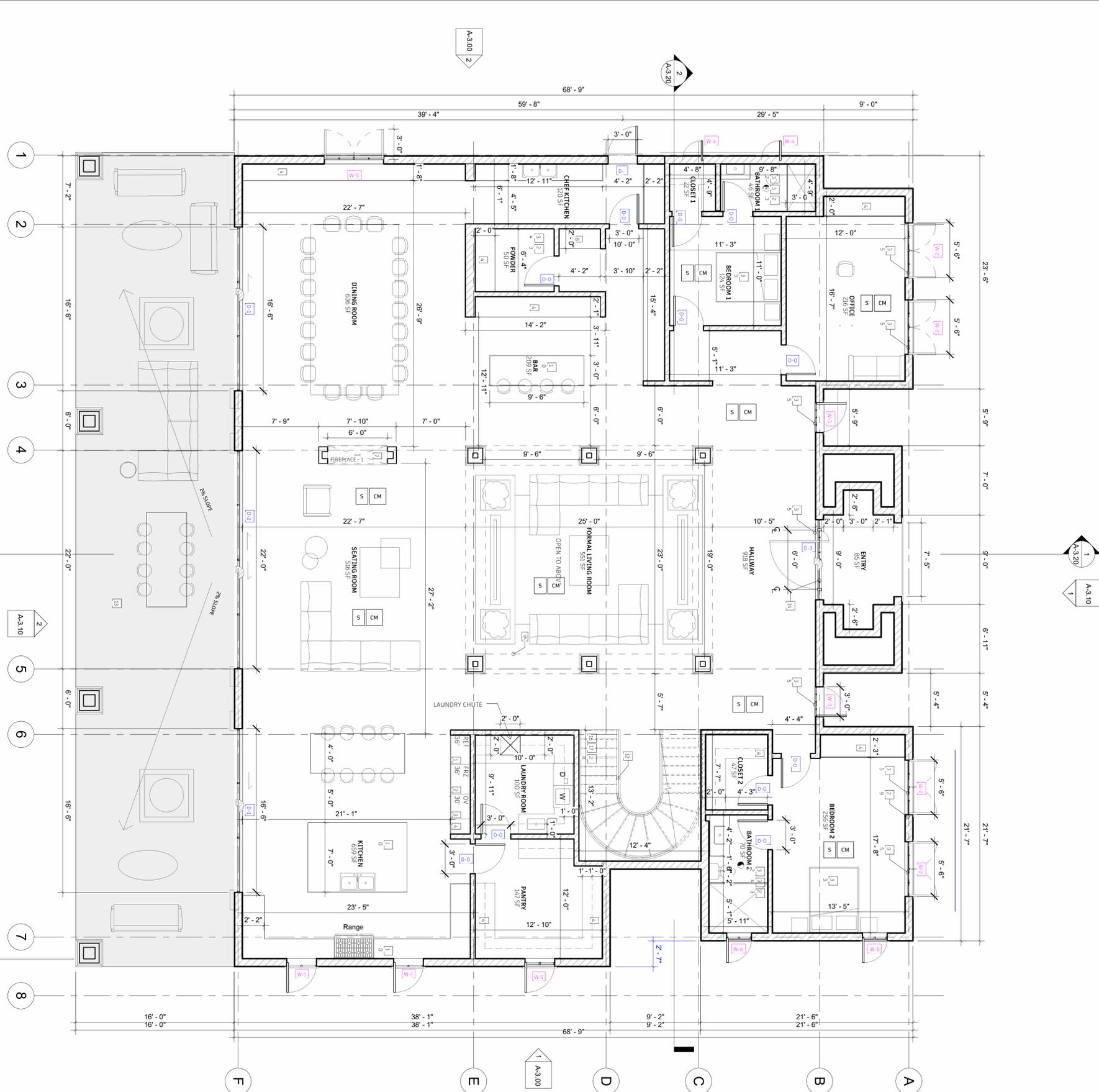
STRUCTURAL

CIVIL ENGINEERING

Author
Revision 1

PLAN CHECK SET

652 Robin Glen Dr



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- 2 ENERGY STAR RATED FREEZER, MAKE AND MODEL T.B.D.
- 3 COOKTOP, OVEN AND EXHAUST HOOD, MAKES AND MODELS T.B.D. BY OWNER. PROVIDE POWER & GAS CONNECTIONS AS REQUIRED.
- 4 MILLWORK, FINISH T.B.D.
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- 9 LINE OF FLOOR ABOVE.
- 10 KITCHEN ISLAND, T.B.D. BY OWNER.
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- 12 FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 2014 IBC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4" INCH. (2407)
- 13 TILE PATIO PER OWNER. N/A
- 14 ENTRY DOOR IS 7' WIDE BY 10' HIGH (R311.2) AND OPENS ON A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD.
- 15 1-HR 5/8" FIRE-RESISTANCE DRYWALL AND GARAGE CEILING.
- 16 STAIRS PER STRUCTURAL. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7 + R303.8)
- 17 LANDING TO BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS. (R311.3.1).
- 18 FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES:
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- 19 FIRE-RETARDANT-TREATED WOOD SIDING IDENTIFIED FOR EXTERIOR USE THAT COMPLIES THE REQUIREMENTS OF SECTION 2303.2.
- 20 RAISED PLANTERS @ 9'-6" HEIGHT. NA
- 21 ROOF COVERINGS AND DECKS SHALL BE FIRE-RETARDANT PER IBC 1505 & 1503.
- 22 ROOF DRAIN DOWNSPOUT CONCEALED IN WALL TO CONNECT TO STORMWATER PLANTER UNDER PAVED WALKWAY BELOW.
- 23 THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
a. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
b. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1)
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a. SURFACE OF GARAGE SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL AND SLOPED TO DRAIN TOWARD THE MAIN VEHICULAR ENTRY.
b. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC BY DRYWALL ON CEILING AND WALLS, IN ACCORDANCE WITH TABLE R302.6.
c. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO.26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- 25 GRASS/PAVERS AREA NA
- 26 STAIRWAY DETAILS:
a. 7.75" MAXIMUM RISE & 10" MINIMUM RUN. (R311.7.5)
b. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
c. MINIMUM 36" CLEAR WIDTH. (R311.7.1)
d. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)
e. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH WITH NO SHARP CORNERS. (R311.7.8.3)
f. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312.1.3)
(SEE SHEET AD-1.0 DETAIL 01 FOR SPECIFICATION)
- 27 EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM- 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5.0 SF AT GRADE LEVEL) & 44" MAXIMUM TO SILL. (R310.1)
- 28 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7). NA
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- 30 MULTIPLE SHOWER HEADS SERVING ONE SHOWER. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° AT A POINT 3FT ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
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- 32 GLAZING IN THESE LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3
- 33
- 34
- 35

SYMBOL LEGEND

	FINISH TRANSITION		WINDOW
	DOOR		
	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP		
	CARBON MONOXIDE ALARM, HARD-WIRED W/BATTERY BACK-UP		

FINISH LEGEND

TYPES	NAME	DESCRIPTION
PAINT	PT1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD
	PT2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD
TILE	T1	THIN SET FLOOR TILE, SIZE & COLOR TBD
	T2	THIN SET FLOOR TILE, SIZE & COLOR TBD
BASE	BM1	WOOD BASE TRIM, PROFILE AND FINISH TBD
	T5	BASE TILE, SIZE AND COLOR TBD
WD	WD1	WOOD FLOORING, FINISH TBD BY OWNER
	CT1	KITCHEN COUNTERTOP, COLOR & FINISH TBD
MISC	CT2	BATHROOM COUNTERTOP, COLOR & FINISH BY OWNER
	DC	SEALED CONCRETE FLOORING
	CO	EXTERIOR DECK COATING, DEX-O-TEX OR EQ. (LARR# 2630), COLOR TBD

FIXTURE SCHEDULE

NAME	DESCRIPTION
P-1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD / OWNER
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NOTE: G.C. TO PROVIDE ALL ELECTRICAL, PLUMBING, MECHANICAL, FUSES, EXHAUST, CONNECTIONS AND RELATED INFRASTRUCTURE REQUIRED FOR THE FUNCTION AND OPERATION OF ALL DEVICES, APPLIANCES, FIXTURES, ECT.

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DRAWING TITLE

Proposed first floor plan

SCALE	DRAWING NUMBER
3/16" = 1'-0"	A-2.00
DATE	
11/25/24	



- 1 ENERGY STAR RATED REFRIGERATOR, MAKE AND MODEL T.B.D.
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- 35



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD
LLC
SUITE 800
Beverly Hills, CA 90211
T 917 319 2553

PROJECT ADDRESS
652 Robin Glen Dr
Glendale, CA 91207

OWNER

STRUCTURAL

SYMBOL LEGEND

	FINISH TRANSITION		WINDOW
	DOOR		
	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP		
	CARBON MONOXIDE ALARM, HARD-WIRED W/BATTERY BACK-UP		

CIVIL ENGINEERING

Author
Revision 1

FINISH LEGEND

TYPES	NAME	DESCRIPTION
PAINT	PT1	INT. WALL LOW-VOC PAINT, COLOR SHEEN TBD/OWNER
PAINT	PT2	EXT. WALL LOW-VOC PAINT, COLOR SHEEN TBD/OWNER
TILE	T1	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
TILE	T2	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
BASE	BML	WOOD BASE TRIM, PROFILE AND FINISH TBD BY OWNER
BASE	TS	BASE TILE, SIZE AND COLOR TBD BY OWNER
WD	WD1	WOOD FLOORING, FINISH TBD BY OWNER
MISC	CT1	KITCHEN COUNTERTOP, COLOR & FINISH TBD BY OWNER
MISC	CT2	BATHROOM COUNTERTOP, COLOR & FINISH BY OWNER
DC	CO	SEALED CONCRETE FLOORING
DC	DC	EXTERIOR DECK COATING, DEX-O-TEX OR EQ. (LARR#2630), COLOR TBD

FIXTURE SCHEDULE

NAME	DESCRIPTION
P-1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD / OWNER
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P-6	BASE TILE, SIZE AND COLOR TBD BY OWNER
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DRAWING TITLE

Proposed second floor plan

SCALE	DRAWING NUMBER
3/16" = 1'-0"	
DATE	
11/25/24	A-2.10

PLAN CHECK SET

652 Robin Glen Dr



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD

LLC

SUITE 800

Beverly Hills, CA 90211

T 917 319 2553

PROJECT ADDRESS

652 Robin Glen Dr
Glendale, CA 91207

OWNER

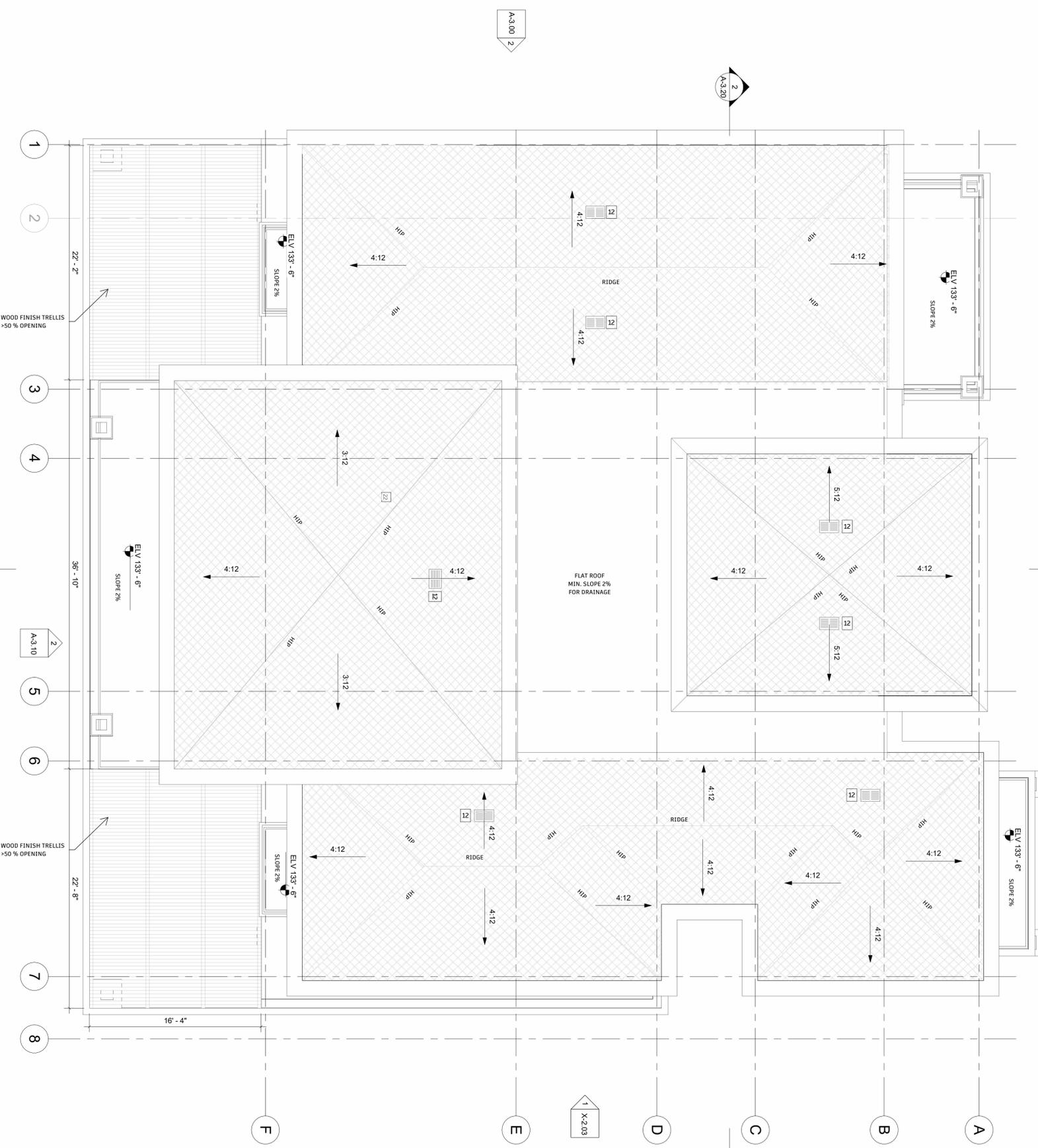
STRUCTURAL

CIVIL ENGINEERING

Author

PLAN CHECK SET

652 Robin Glen Dr



ROOF PLAN NOTES

- AREA SUITABLE FOR FUTURE INSTALLATION OF ELECTRICAL SOLAR PANELS WITH 1" MINIMUM CONDUIT TERMINATION.
- LINE OF WALL BELOW.
- ENERGY STAR RATED HVAC UNITS PER MECHANICAL DEFERRED SUBMITTAL.
- MECHANICAL UNIT PAD PER STRUCTURAL ROOF DRAIN.
- ROOF GUTTER: N/A
- GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY, ESR 1759
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. (4.211.4, ENERGY ODE 110.10) N/A
- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM SBAR RATING OF 200 AMPS. N/A
- ROOF COVERINGS AND DECKS SHALL BE FIRE-RETARDANT PER IBC 1505 & 1503.
- ROOF DRAIN DOWNSPOUT TO CONNECT TO TORMWATER BARRELS UNDER PAVED WALKWAY BELOW.
- O'HAGIN ATTIC VENT MODEL (M) NET FREE VENTILATION AREA/ HIGH & LOW: 98.5 SQ. IN.

REQUIRED ATTIC VENTILATION

O'HAGIN ATTIC VENT MODEL (M) NET FREE VENTILATION AREA/ HIGH & LOW: 98.5 SQ. IN.

ROOF ATTIC AREA = 3,290 SQ. FT.

3,290 X 144 = 473,760 SQ. IN.

473,760 X 1/300 = 1,579.2 SQ. IN.

19 x 8" VENT PROVIDE 98.5 SQ. IN. = 1,871.5 SQ. IN. PROVIDED = 1,579.2 SQ. FT.

NOTE:
HIGH VENTS SHALL BE LOCATED A MAXIMUM OF 3 FT. LOWER THAN THE ROOF HIGH POINT OR RIDGE BEAM.



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DRAWING TITLE

Proposed roof plan

SCALE	DRAWING NUMBER
3/16" = 1'-0"	
DATE	
11/25/24	A-2.20



PROJECT ADDRESS
652 Robin Glen Dr
Glendale, CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

ELEVATION MATERIALS

- 1 GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY, ESR 1759.
- 2 BARCELONA BEIGE RIVEN (SOLSTICE STONE) LIMESTONE, 24" x 16"
- 3 PAINTED PRECAST CONCRETE EAVES AND TRIMS. PAINT TO MATCH SELECTED LIMESTONE
- 4 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- 5 VENETIAN STUCCO, CREAM COLOR
- 6 OUTDOOR LIGHTING
- 7 ARCADIA THERMAL STEEL WINDOWS & DOORS IN STATUARY BRONZE

ELEVATION NOTES

- A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED TO HAVE POSITIVE DRAINAGE AND PROTECTIVE COATINGS.
- B ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- C VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R032.4
- D LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
- E EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44" MAXIMUM TO STILL (R310.1).
- F DOWNSPOUT CONNECTED TO PLANTER BOX.
- G TEMPERED GLAZING.

NOTE: PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCCO, INC, RRR 25079-1.



DETAIL RAILING

NUMBER	DATE	DESCRIPTION
4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
1	01/03/2023	PLAN CHECK SET

ISSUE RECORD

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DRAWING TITLE

Proposed Building Elevations

SCALE
3/16" = 1'-0"

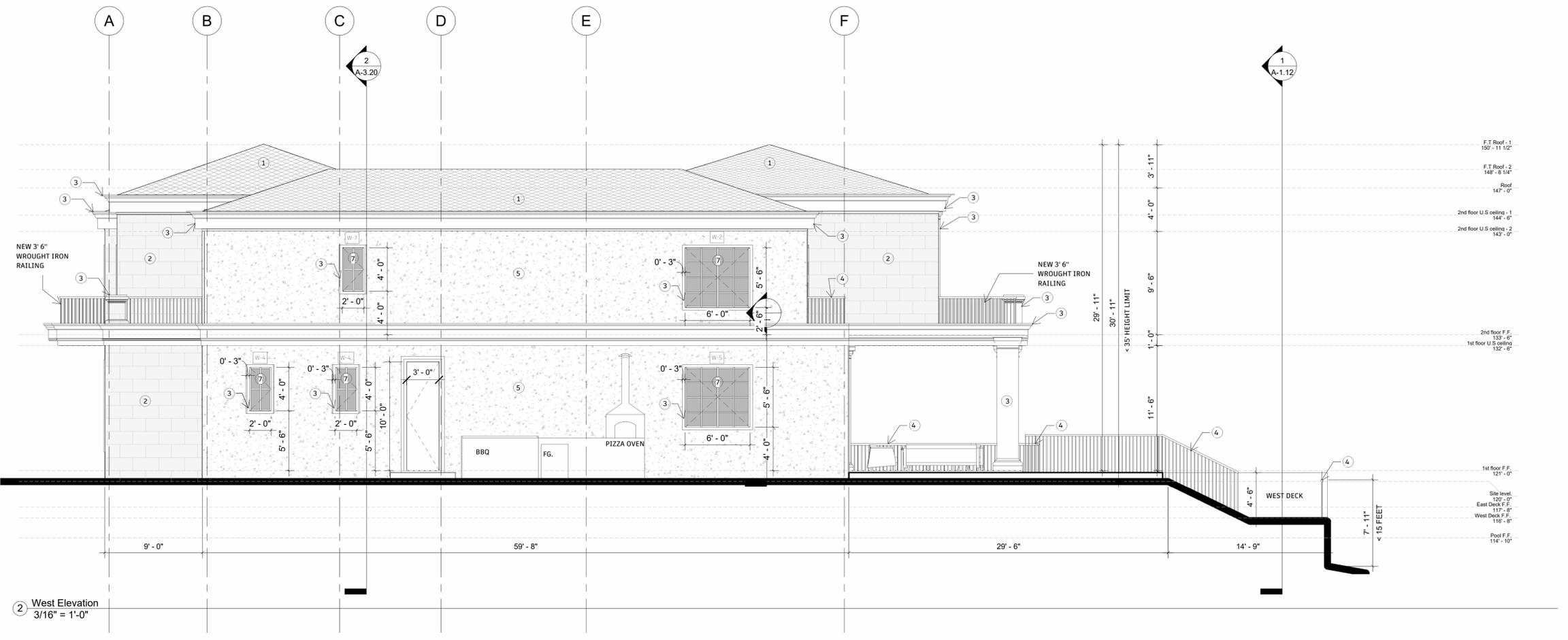
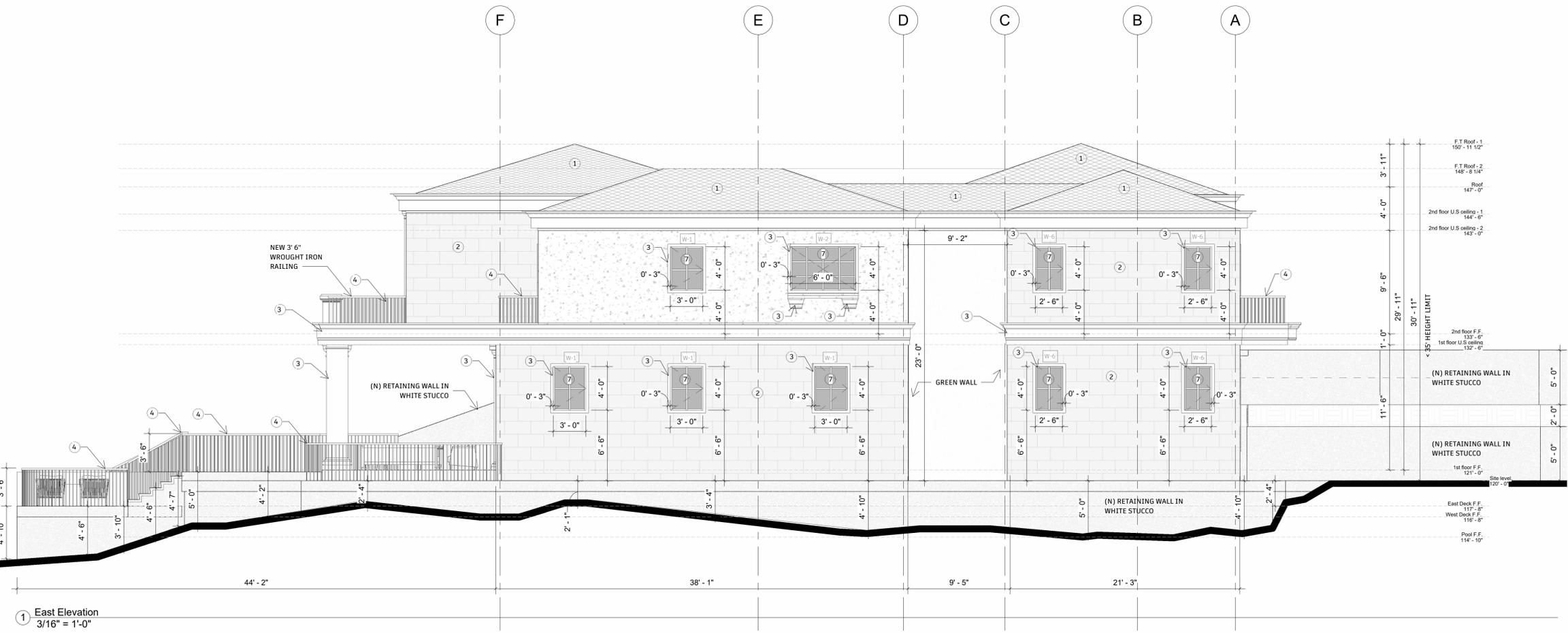
DRAWING NUMBER

DATE
11/26/24

A-3.00

PLAN CHECK SET

652 Robin Glen Dr





PROJECT ADDRESS
652 Robin Glen Dr
Glendale, CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

ELEVATION MATERIALS

- ① GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY, ESR 1759.
- ② BARCELONA BEIGE RIVEN (SOLSTICE STONE) LIMESTONE, 24" x 16"
- ③ PAINTED PRECAST CONCRETE EAVES AND TRIMS. PAINT TO MATCH SELECTED LIMESTONE
- ④ 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- ⑤ VENETIAN STUCCO, CREAM COLOR
- ⑥ OUTDOOR LIGHTING
- ⑦ ARCADIA THERMAL STEEL WINDOWS & DOORS IN STATUARY BRONZE

ELEVATION NOTES

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- F DOWNSPOUT CONNECTED TO PLANTER BOX.
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DRAWING TITLE

Proposed Building Elevations

SCALE
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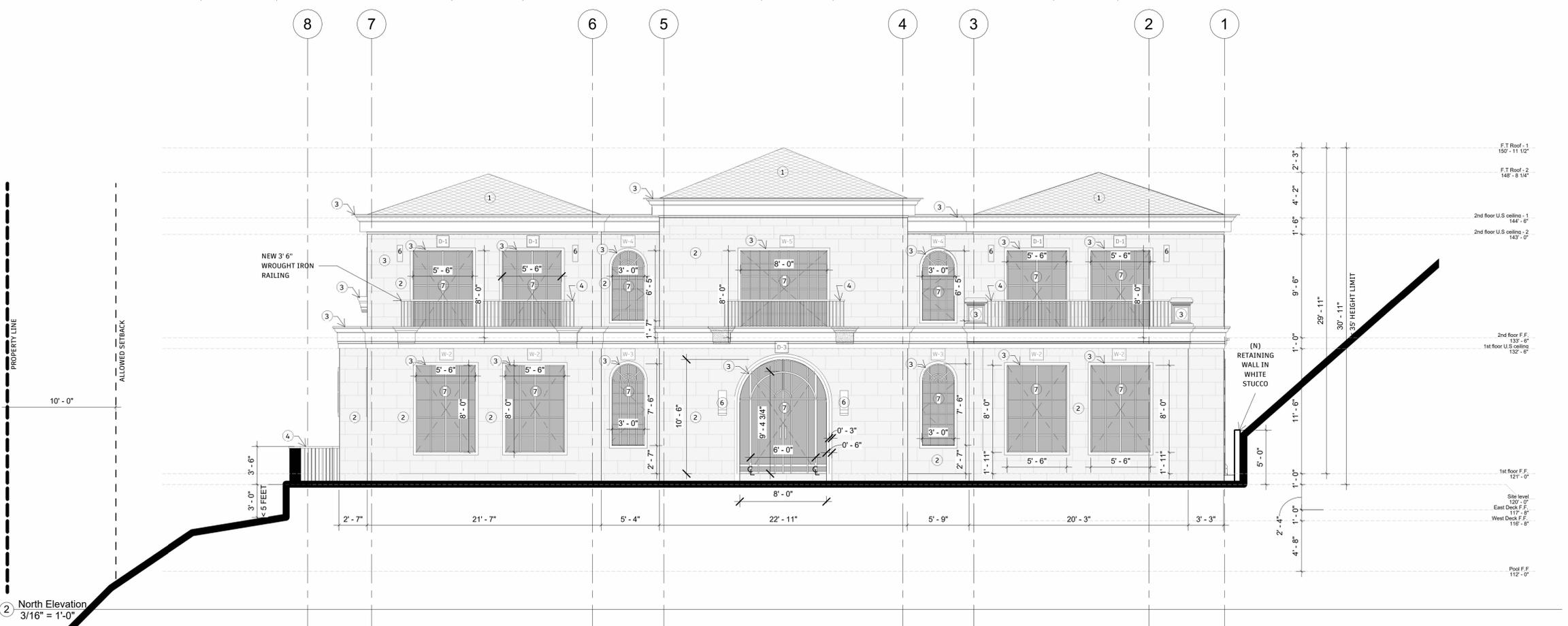
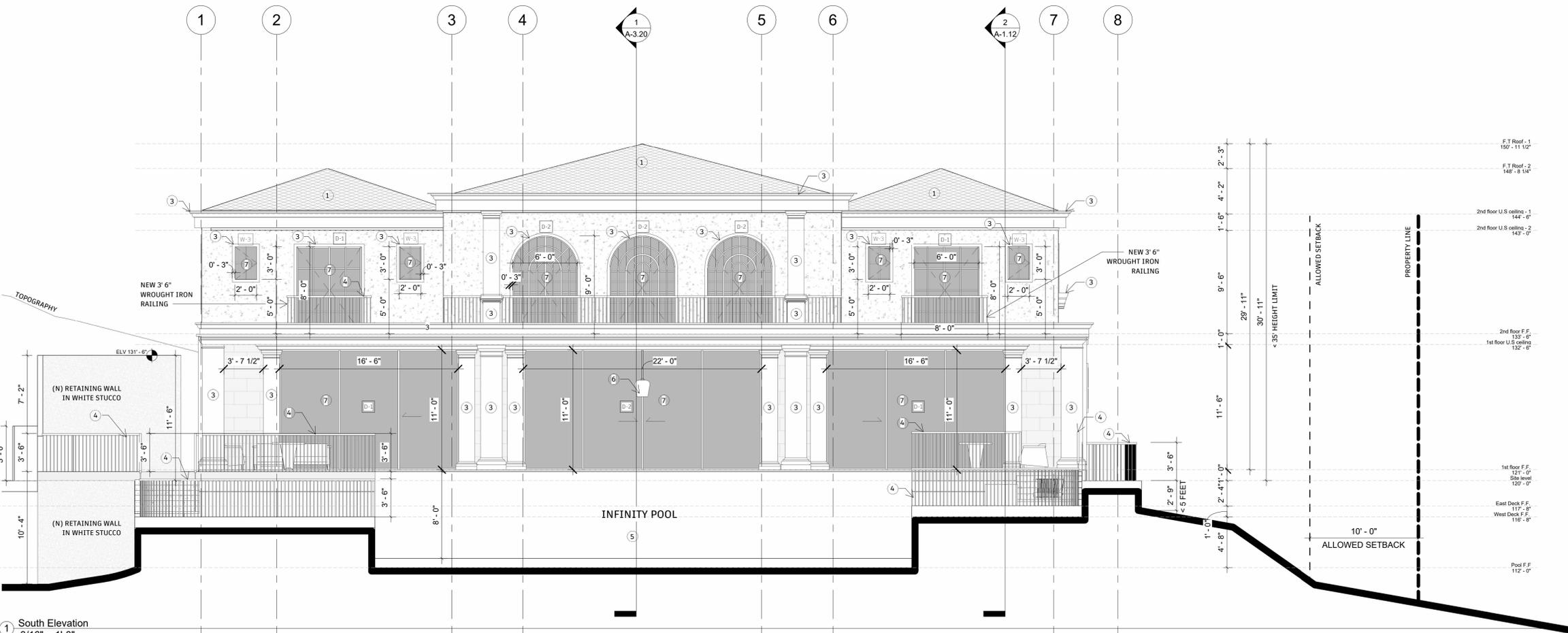
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11/26/24

A-3.10

PLAN CHECK SET

652 Robin Glen Dr





PROJECT ADDRESS
652 Robin Glen Dr
Glendale, CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

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DRAWING TITLE

Proposed Building Elevations

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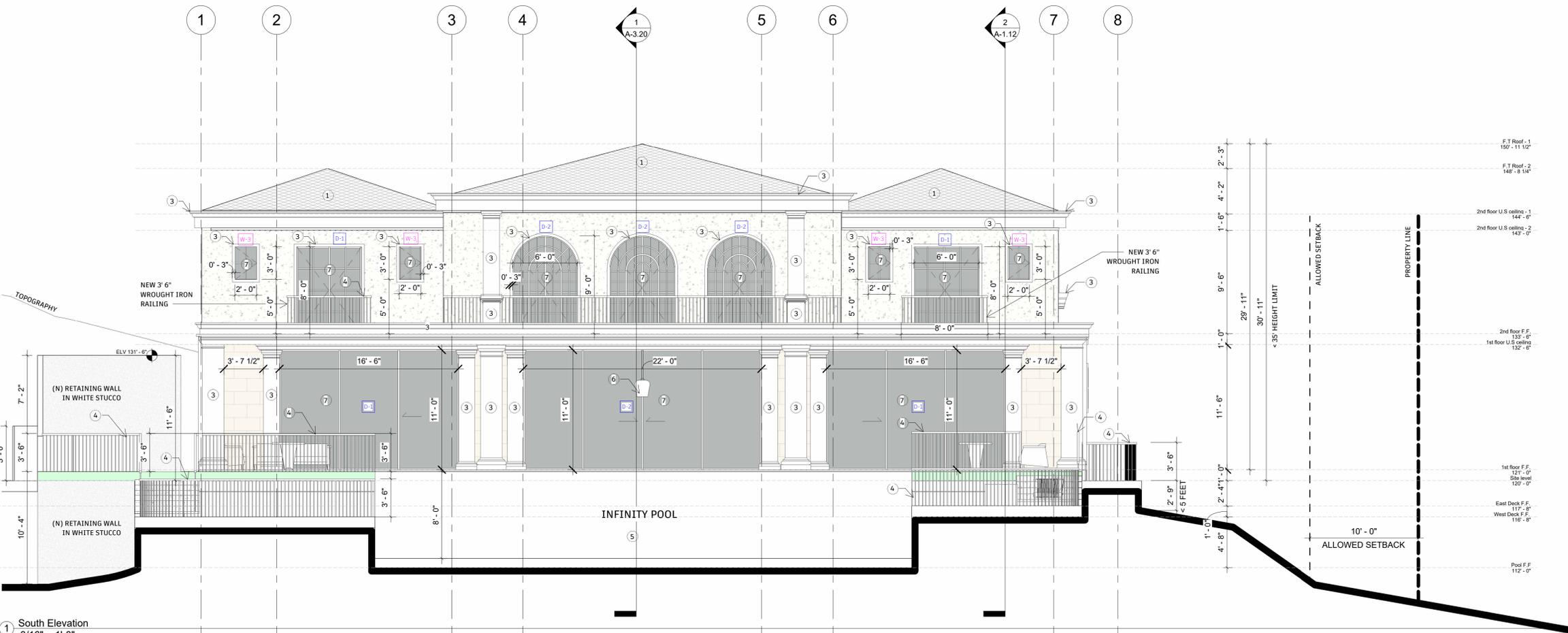
DRAWING NUMBER

DATE
11/26/24

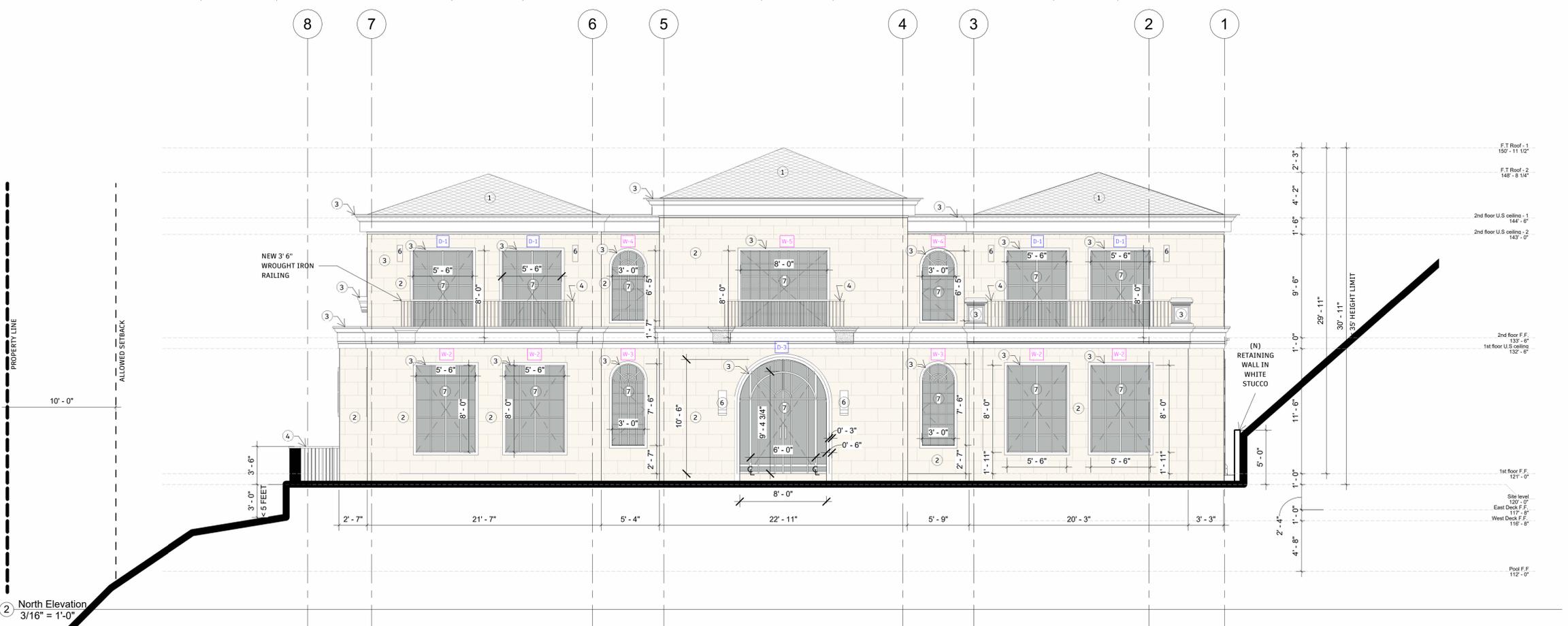
A-3.12

PLAN CHECK SET

652 Robin Glen Dr



① South Elevation
3/16" = 1'-0"



② North Elevation
3/16" = 1'-0"



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD
LLC
SUITE 800
Beverly Hills, CA 90211
T 917 319 2553

PROJECT ADDRESS
652 Robin Glen Dr
Glendale, CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

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FINISH LEGEND

TYPES	NAME	DESCRIPTION
PAINT	PT1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD/OWNER
	PT2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD/OWNER
TILE	T1	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
	T2	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
BASE	BM1	WOOD BASE TRIM, PROFILE AND FINISH TBD BY OWNER
	T5	BASE TILE, SIZE AND COLOR TBD BY OWNER
WD	WD1	WOOD FLOORING, FINISH TBD BY OWNER
	CT1	KITCHEN COUNTERTOP, COLOR & FINISH TBD BY OWNER
MISC	CT2	BATHROOM COUNTERTOP, COLOR & FINISH TBD BY OWNER
	CO	SEALED CONCRETE FLOORING
DC		EXTERIOR DECK COATING, DEX-0-TEX OR EQ.

ISSUE RECORD

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DRAWING TITLE

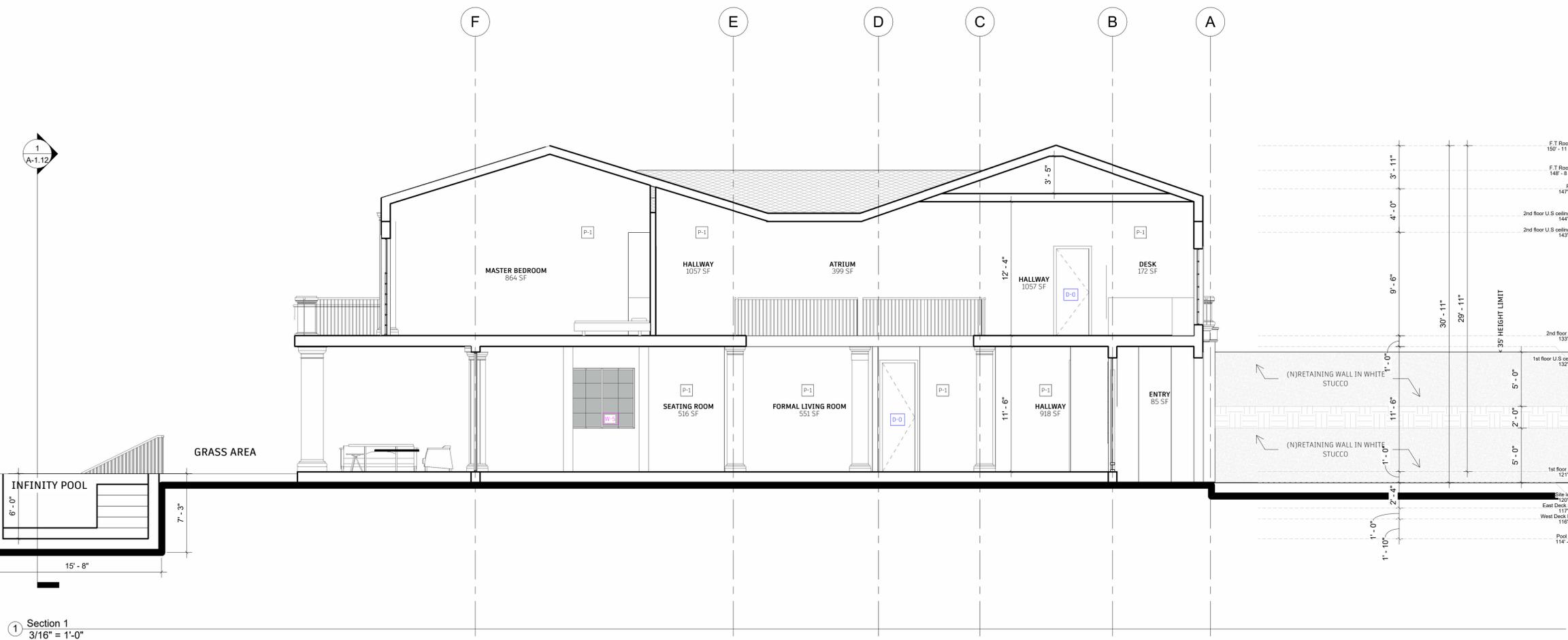
Proposed Sections

SCALE
3/16" = 1'-0"

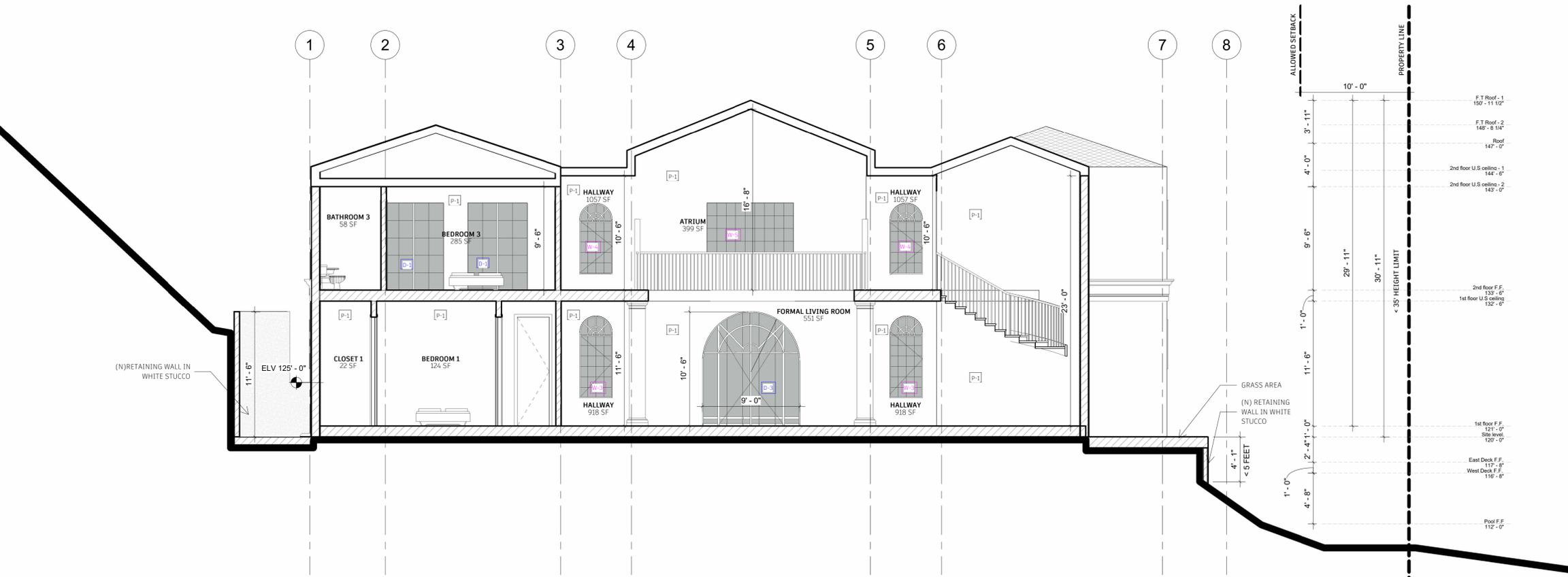
DRAWING NUMBER

DATE
11/25/24

A-3.20



Section 1
3/16" = 1'-0"



Section 2
3/16" = 1'-0"

PLAN CHECK SET

652 Robin Glen Dr



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD LLC
SUITE 800
Beverly Hills, CA 90211
T 917 319 2553

PROJECT ADDRESS
652 Robin Glen Dr
Glendale, CA 91207

OWNER

STRUCTURAL

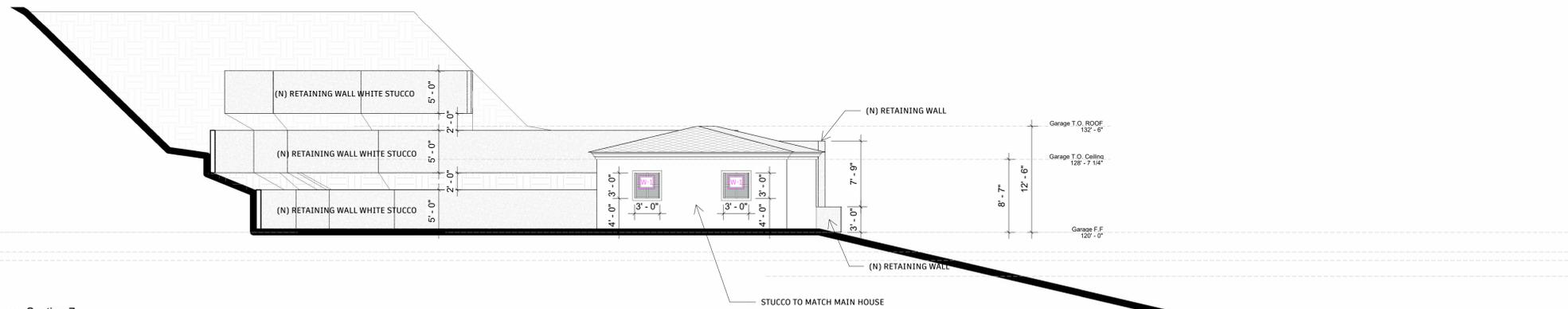
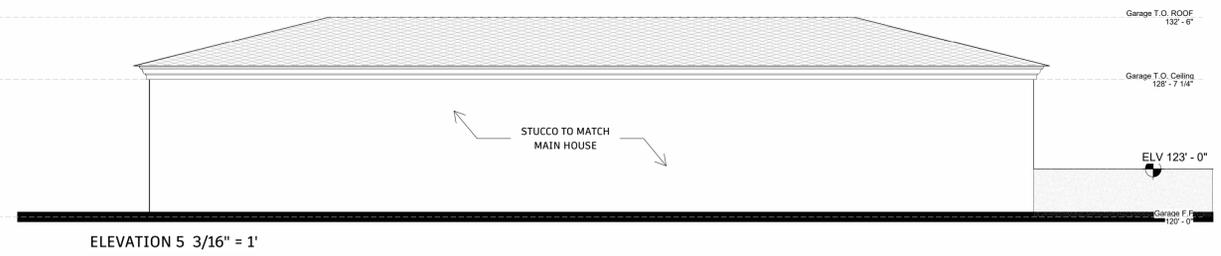
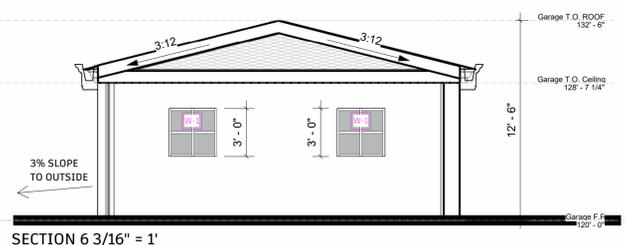
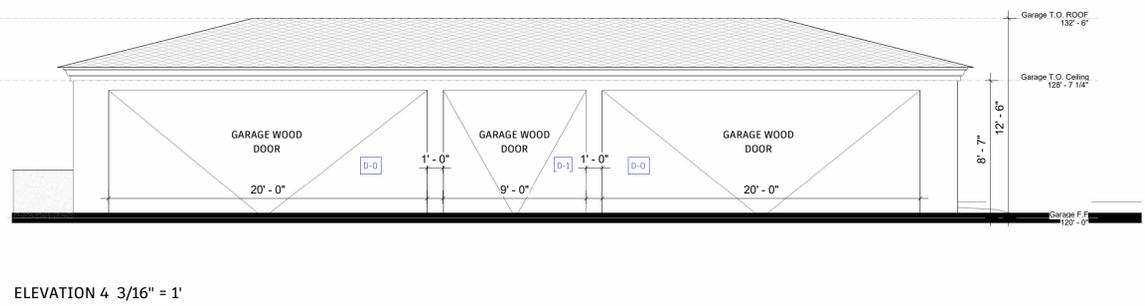
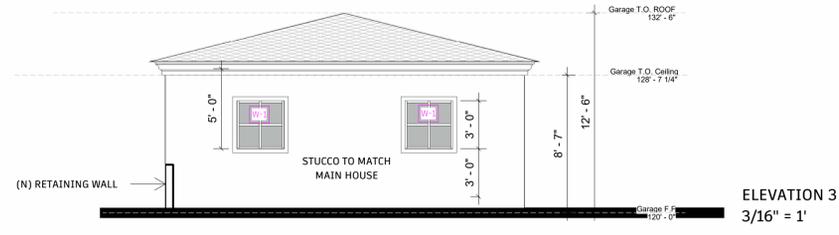
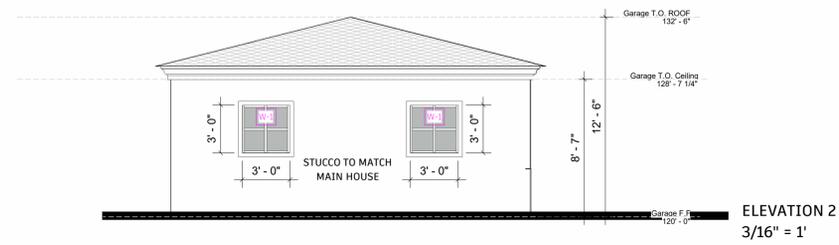
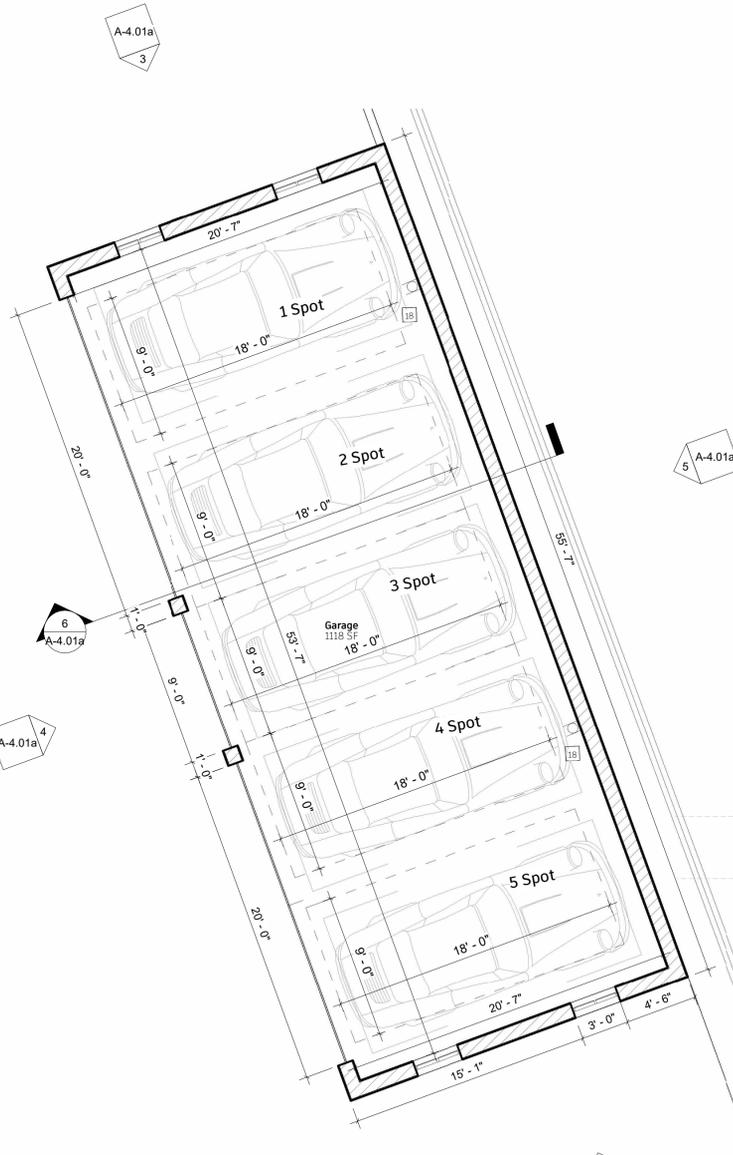
CIVIL ENGINEERING

Author



PLAN CHECK SET

652 Robin Glen Dr



- 1 ENERGY STAR RATED REFRIGERATOR, MAKE AND MODEL T.B.D.
- 2 ENERGY STAR RATED FREEZER, MAKE AND MODEL T.B.D.
- 3 COOKTOP, OVEN AND EXHAUST HOOD, MAKES AND MODELS T.B.D. BY OWNER. PROVIDE POWER & GAS CONNECTIONS AS REQUIRED.
- 4 MILLWORK, FINISH T.B.D.
- 5 ENERGY STAR RATED WASHING MACHINE, MAKE AND MODEL T.B.D. BY OWNER.
- 6 ENERGY STAR RATED CLOTHES DRYER, MAKE AND MODEL T.B.D. BY OWNER.
- 7 DIRECT VENT, SEALED COMBUSTION TYPE GAS FIREPLACE BY HEATILATOR MODEL CRAVE 74"X72-1/4". MAXIMUM 2" PROJECTION IN REQUIRED YARD IS ALLOWED PER SECTION 12.22 C 20 (b). SEE AD-7.0 FOR SPECIFICATION.
- 8 COAT POLE AND SHELVING T.B.D. BY OWNER.
- 9 LINE OF FLOOR ABOVE.
- 10 KITCHEN ISLAND, T.B.D. BY OWNER.
- 11 42" TEMPERED GLASS GUARDRAIL. LARR #25084.
- 12 FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 2014 IBC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4" INCH. (2407)
- 13 TILE PATIO PER OWNER./NA
- 14 ENTRY DOOR IS 7' WIDE BY 10' HIGH (R311.2) AND OPENS ON A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD.
- 15 1-HR 5/8" FIRE-RESISTANCE DRYWALL AND GARAGE CEILING.
- 16 STAIRS PER STRUCTURAL. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7 + R303.8)
- 17 LANDING TO BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS. (R311.3.1).
- 18 FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES:
- 1" MINIMUM INSIDE DIAMETER INSTALLED TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT.
- THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
- SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.
- THE PANEL OR SUBPANEL SHALL PROVIDE TO INSTALL A 40-AMPERE MINIMUM BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- FIRE-RETARDANT-TREATED WOOD SIDING IDENTIFIED FOR EXTERIOR USE THAT COMPLIES WITH THE REQUIREMENTS OF SECTION 2303.2.
- RAISED PLANTERS @3'-6" HEIGHT. NA
- ROOF COVERINGS AND DECKS SHALL BE FIRE-RETARDANT PER IBC 1505 & 1503.
- ROOF DRAIN DOWNSPOUT CONCEALED IN WALL TO CONNECT TO STORMWATER PLANTER UNDER PAVED WALKWAY BELOW.
- 19 THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
a. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
b. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1)
- 20 DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WITH SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK (R302.5.1).
VEHICULAR ACCESS DOORS SHALL COMPLY WITH R 612.4.
- 21 a. SURFACE OF GARAGE SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL AND SLOPED TO DRAIN TOWARD THE MAIN VEHICULAR ENTRY.
b. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC BY TYPE X DRYWALL ON CEILING AND WALLS, IN ACCORDANCE WITH TABLE R302.6.
c. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO.26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- 22 GRASS/PAVERS AREA NA
- 23 STAIRWAY DETAILS:
a. 7.75" MAXIMUM RISE & 10" MINIMUM RUN. (R311.7.5)
b. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
c. MINIMUM 36" CLEAR WIDTH. (R311.7.1)
d. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)
e. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.8.3)
f. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312.1.3)
(SEE SHEET AD-1.0 DETAIL 01 FOR SPECIFICATION)
- 24 EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM- 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5.0 SF AT GRADE LEVEL) & 44" MAXIMUM TO SILL. (R310.1)
- 25 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7). NA
- 26 PARKING AND TURNING AREAS WITHIN 15' OF PROPERTY LINE MUST BE ENCLOSED BY 5'9" HIGH SOLID WALL-12.21A6 (d); (e); (f) NA
- 27 MULTIPLE SHOWER HEADS SERVING ONE SHOWER. WATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° AT A POINT 3FT ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- 28 BATHROOMS, WATER CLOSET COMPARTMENTS AN OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.
- 29 GLAZING IN THESE LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3

SYMBOL LEGEND

	FINISH TRANSITION		WINDOW
	DOOR		
	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP		
	CARBON MONOXIDE ALARM, HARD-WIRED W/BATTERY BACK-UP		

FINISH LEGEND

TYPES	NAME	DESCRIPTION
PAINT	PT1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD / OWNER
TILE	PT2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD /OWNER
	T1	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
BASE	T2	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
	BM1	WOOD BASE TRIM, PROFILE AND FINISH TBD BY OWNER
WD	T5	BASE TILE, SIZE AND COLOR TBD BY OWNER
	WD1	WOOD FLOORING, FINISH TBD BY OWNER
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	CO	SEALED CONCRETE FLOORING
	DC	EXTERIOR DECK COATING, DEX-0-TEX OR EQ.

FIXTURE SCHEDULE

NAME	DESCRIPTION
P-1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD / OWNER
P-2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD /OWNER
P-3	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
P-4	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
P-5	WOOD BASE TRIM, PROFILE AND FINISH TBD BY OWNER
P-6	BASE TILE, SIZE AND COLOR TBD BY OWNER
P-7	WOOD FLOORING, FINISH TBD BY OWNER
P-8	KITCHEN COUNTERTOP, COLOR & FINISH TBD BY OWNER
P-9	BATHROOM COUNTERTOP, COLOR & FINISH BY OWNER
P-10	SEALED CONCRETE FLOORING

NOTE: G.C. TO PROVIDE ALL ELECTRICAL, PLUMBING, MECHANICAL, FUSES, EXHAUST, CONNECTIONS AND RELATED INFRASTRUCTURE REQUIRED FOR THE FUNCTION AND OPERATION OF ALL DEVICES, APPLIANCES, FIXTURES, ECT.

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DRAWING TITLE

Proposed Garage Elevations & Plan

SCALE	DRAWING NUMBER
As indicated	A-4.01a
DATE	
11/25/24	



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD

LLC

SUITE 800

Beverly Hills, CA 90211

T 917 319 2553

PROJECT ADDRESS

652 Robin Glen Dr
Glendale, CA 91207

OWNER

STRUCTURAL

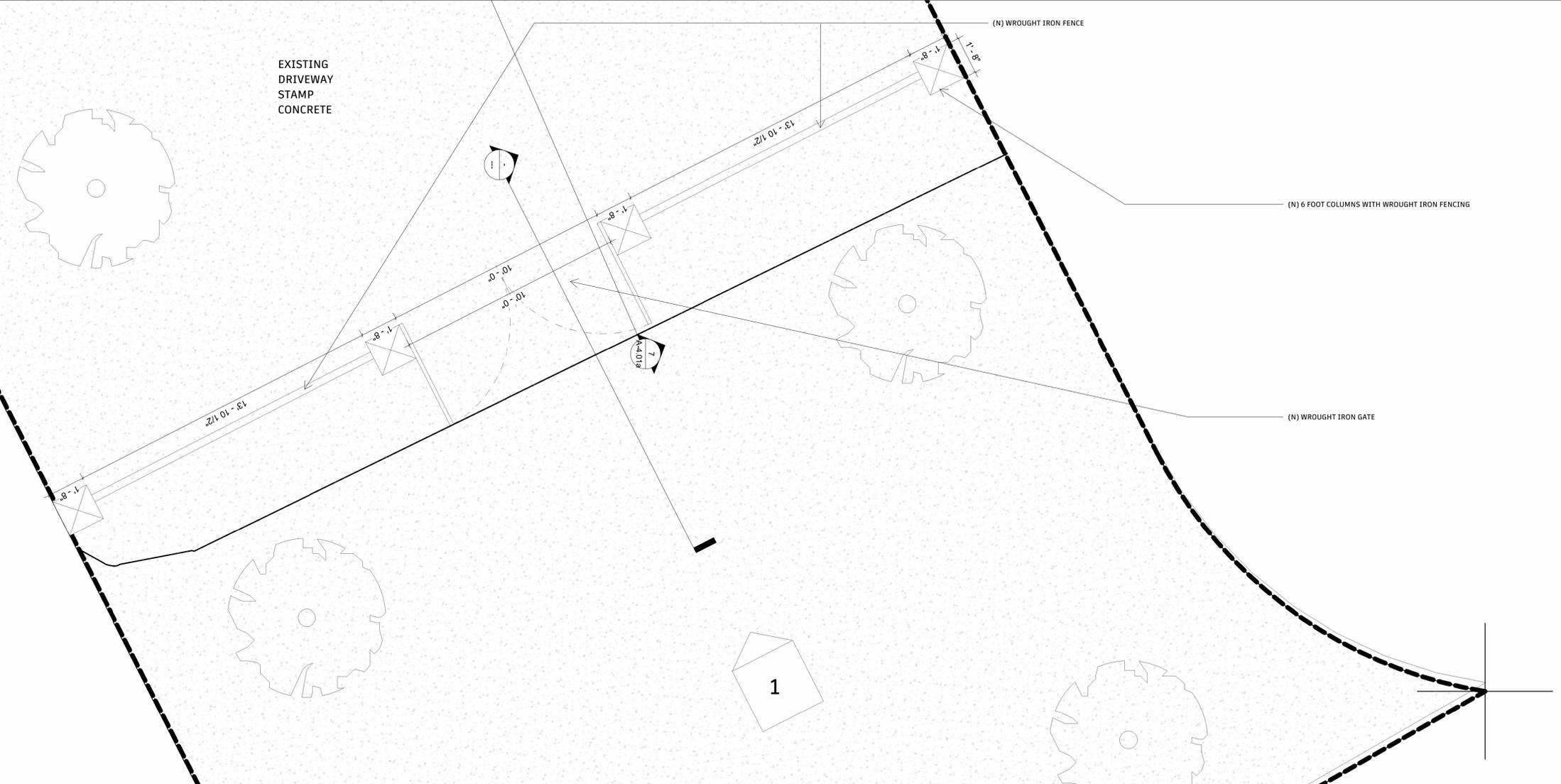
CIVIL ENGINEERING

Author

PLAN CHECK SET

652 Robin Glen Dr

PLAN



DETAIL RAILING

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DRAWING TITLE

Proposed Gate and Posts Elevation

SCALE

3/8" = 1'-0"

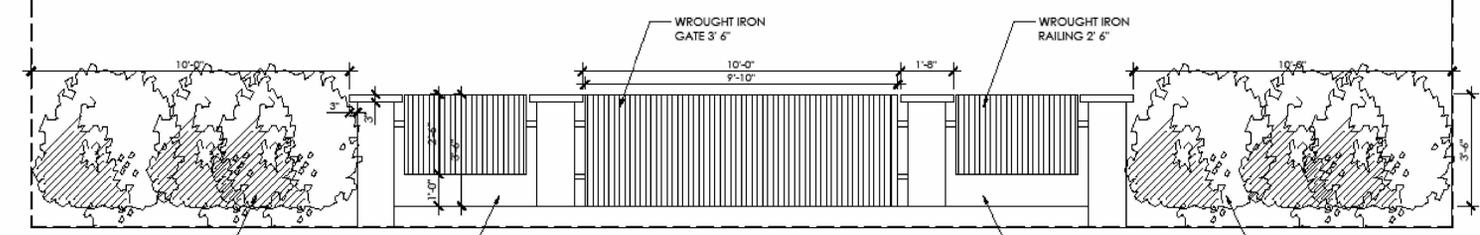
DATE

11/25/24

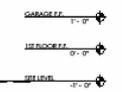
DRAWING NUMBER

A-4.02

ELEVATION 1



SECTION 3



DOOR SCHEDULE

DOOR NO.	DOOR								FRAMES			DETAILS				QUANTITY	REMARKS
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL		SAFETY	GRIDS / SDL	MATERIAL	FINISH	LABEL	HEAD	JAMB	SILL	SILL / TRIM MATERIAL		
1ST FLOOR	D-0	3'-00"	9'-00"	0'-1 1/2"	HINGED	WOOD			THERMAL STEEL	STATUTORY BRONZE	N/A	9'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	11	INT : BEDROOM, CLOSET, BATHROOM, POWDER, OFFICE
	D-1	16'-6"	11'-00"	0'-1 1/2"	SLIDING	GLASS			THERMAL STEEL	STATUTORY BRONZE	N/A	11'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	2	EXT : DINING ROOM
	D-2	22'-00"	11'-00"	0'-1 1/2"	SLIDING	GLASS			THERMAL STEEL	STATUTORY BRONZE	N/A	11'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	1	EXT : DINING ROOM
	D-3	6'-00"	9'-05"	0'-1 1/2"	FRENCH	GLASS	X	X	THERMAL STEEL	STATUTORY BRONZE	N/A	9'-5 3/4"	0'-01"	N/A	PAINTED PRECAST CONCRETE	1	ENTRY
2ND FLOOR	D-0	3'-00"	8'-00"	0'-1 1/2"	HINGED	WOOD			THERMAL STEEL	STATUTORY BRONZE	N/A	8'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	13	INT : BEDROOM, CLOSET, BATHROOM
	D-1	6'-00"	8'-00"	0'-1 1/2"	FRENCH	WOOD		X	THERMAL STEEL	STATUTORY BRONZE	N/A	8'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	6	EXT : MASTER BATHROOM, BEDROOM, CLOSET
	D-2	6'-00"	8'-00"	0'-1 1/2"	FRENCH	GLASS		X	THERMAL STEEL	STATUTORY BRONZE	N/A	8'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	3	EXT : MASTER BEDROOM
	D-3	5'-6"	7'-00"	0'-1 1/2"	FRENCH	GLASS		X	THERMAL STEEL	STATUTORY BRONZE	N/A	7'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	2	INT : MASTER BATHROOM, LAUNDRY CLOSET
GARAGE	D-0	20'-00"	8'-00"	0'-1 1/2"	ELECTRIC	WOOD			THERMAL STEEL	STATUTORY BRONZE	N/A	8'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	2	GARAGE DOOR
	D-1	9'-00"	8'-00"	0'-1 1/2"	ELECTRIC	WOOD			THERMAL STEEL	STATUTORY BRONZE	N/A	8'-01"	0'-01"	N/A	PAINTED PRECAST CONCRETE	1	GARAGE DOOR

WINDOW SCHEDULE

WINDOW NO.	WINDOW										FRAMES			DETAILS				QUANTITY	REMARKS				
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	VISIBLE FROM STREET? Y/N	FRAME TYPE	BUILD NEW SILL & FRAME Y/N	GRIDS / SDL	BEDROOM Y/N	ENERGY EFFICIENT Y/N	TEMPERED GLASS	FIRE HAZARD ZONE	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR	MATERIAL	FINISH	LABEL			HEAD	JAMB	SILL	SILL / TRIM MATERIAL
1ST FLOOR	W-1	3'-00"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL-IN	Y	X	N	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	4'-01"	4'-00"	5'-07"	PAINTED PRECAST CONCRETE	3	KITCHEN, PANTRY
	W-2	5'-6"	8'-00"	0'-1 1/2"	FRENCH	GLASS	N	NAIL-IN	Y	X	Y	Y	Y	N	THERMAL STEEL	BRONZE STATUTORY	N/A	8'-01"	8'-00"	2'-00"	PAINTED PRECAST CONCRETE	4	OFFICE, BEDROOM 2
	W-3	3'-00"	7'-6"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL-IN	Y	X	N	Y	Y	N	THERMAL STEEL	BRONZE STATUTORY	N/A	7'-07"	7'-06"	2'-08"	PAINTED PRECAST CONCRETE	2	HALLWAY
	W-4	2'-00"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL-IN	Y	X	Y	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	4'-01"	4'-00"	5'-07"	PAINTED PRECAST CONCRETE	2	BATHROOM 1, CLOSET 1
	W-5	6'-00"	5'-6"	0'-1 1/2"	FRENCH	GLASS	N	NAIL-IN	Y	X	N	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	5'-07"	5'-06"	4'-01"	PAINTED PRECAST CONCRETE	1	DINING ROOM
2ND FLOOR	W-1	3'-00"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL-IN	Y	X	Y	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	4'-01"	4'-00"	4'-00"	PAINTED PRECAST CONCRETE	1	BATHROOM 5
	W-2	6'-00"	4'-00"	0'-1 1/2"	FRENCH	GLASS	N	NAIL-IN	Y	X	N	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	4'-01"	4'-00"	2'-06"	PAINTED PRECAST CONCRETE	1	MASTER BATHROOM
	W-3	2'-00"	3'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL-IN	Y	X	Y	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	3'-01"	3'-00"	5'-00"	PAINTED PRECAST CONCRETE	2	BEDROOM 5, CLOSET 5
	W-4	3'-00"	6'-5"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL-IN	Y	X	N	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	6'-06"	6'-05"	1'-08"	PAINTED PRECAST CONCRETE	2	HALLWAY
	W-5	8'-00"	8'-00"	0'-1 1/2"	FRENCH	GLASS	N	NAIL-IN	Y	X	N	Y	Y	N	THERMAL STEEL	BRONZE STATUTORY	N/A	8'-01"	8'-00"	0'-01"	PAINTED PRECAST CONCRETE	1	DESK
	W-6	2'-6"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL-IN	Y	X	Y	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	4'-01"	4'-00"	4'-01"	PAINTED PRECAST CONCRETE	2	BEDROOM 2, BATHROOM 2
	W-7	2'-00"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL-IN	Y	X	Y	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	4'-01"	4'-00"	4'-01"	PAINTED PRECAST CONCRETE	1	BATHROOM 3
GARAGE	W-1	3'-00"	3'-00"	0'-1 1/2"	FIXED	GLASS	N	NAIL-IN	Y	X	N	Y	N	N	THERMAL STEEL	BRONZE STATUTORY	N/A	3'-01"	3'-00"	5'-01"	PAINTED PRECAST CONCRETE	4	GARAGE



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD LLC
SUITE 800
Beverly Hills, CA 90211
T 917 319 2553

PROJECT ADDRESS

652 Robin Glen Dr
Glendale, CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

DOOR NOTES

- DOOR DIMENSIONS INDICATED ARE NORMAL. PROVIDE UNDERCUT AS REQUIRED TO CLEAR ALL FLOOR FINISHES.
- BUILDING GLAZING: DUAL PANE LOW-E-NON-METAL FRAMED GLAZING WITH NFRC U-VALUE OF 0.28 AND NFRC SHGC OG 0.26.
- ALL DOOR HARDWARE TO BE SATIN NICKEL FINISH, AND LATCHED DOORS TO HAVE LEVER-TYPE HANDLES.
- ALL EXTERIOR ENTRY/EXIT DOORS SHALL SWING OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
- LANDING AT A DOOR SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL NO LESS THAN 36".
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED PER CBC 2406.3
A. INGRESS AND EGRESS DOORS.
B. PANELS IN SLIDING OR SWINGING DOORS.
C. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, AND SHOWERS. ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-00" OF STANDING SURFACE.
D. IF WITHIN 2'-00" OF VERTICAL EDGE OF CLOSED DOOR AND LESS THAN 5'-00" OF WALKING SURFACE.
E. IN WALL ENCLOSING STAIRWAY LANDING.
F. GUARDS AND HANDRAILS AROUND STAIRS AND ALL BALCONIES.

COMMENTS

- ALL DIMENSIONS ARE NOMINAL AND HOW TO OUTSIDE OF FRAME. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO PLACING WINDOW ORDER.
- BUILDING GLAZING: DUAL PANE LOW-E-NON-METAL FRAMED GLAZING WITH A NFRC-VALUE OF 0.28 AND NFRC-SHGC-VALUE OF 0.26.
- BEDROOMS SHALL HAVE AT LEAST ONE OPENABLE ESCAPE WINDOW. THESE WINDOWS MUST HAVE A MIN. OPENABLE AREA OF 5.7 SF, A MIN. CLR. OPENABLE HT. OF 24", A MIN. NET CLR. OPENABLE WIDTH OF 20", AND A SILL HT. NOT OVER 44" AFF. (SECTION 210.4 2001 CBC).

GENERAL NOTES

- ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDING INSTALLATION INSTRUCTIONS ONLY.
- CONTACT ARCHITECT IMMEDIATELY IF CONTACT INFORMATION INDICATED OR MATERIAL SPECIFICATION INFORMATION IS INCORRECT OR OUT OF DATE.
- CONTRACTOR TO PROVIDE OWNER WITH ALL MANUFACTURER WARRANTY INFORMATION FOR ALL MATERIALS USED AT PROJECT CLOSEOUT.
- NO SUBSTITUTIONS PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. PROVIDE ONE SAMPLE AND SPECIFICATIONS/CUT SHEET INFORMATION TO ARCHITECT FOR ANY PROPOSED SUBSTITUTIONS.

NUMBER	DATE	DESCRIPTION
4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
1	01/03/2023	PLAN CHECK SET

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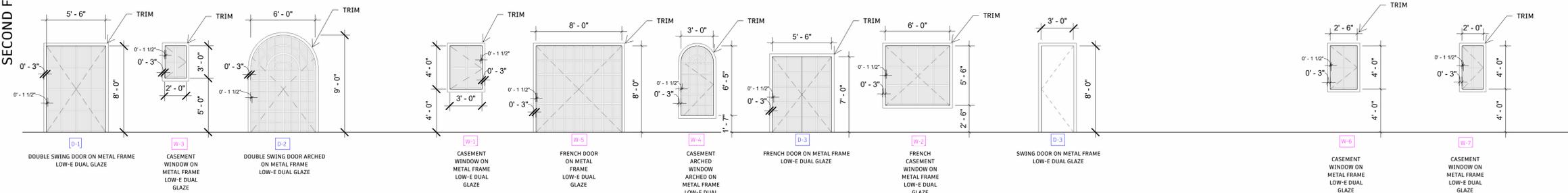
DRAWING TITLE

Door, Window & Finish schedule

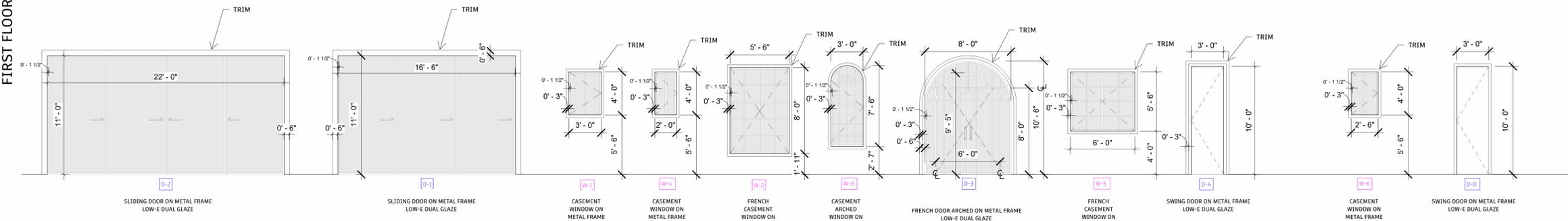
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DATE 11/25/24 DRAWING NUMBER A-6.00

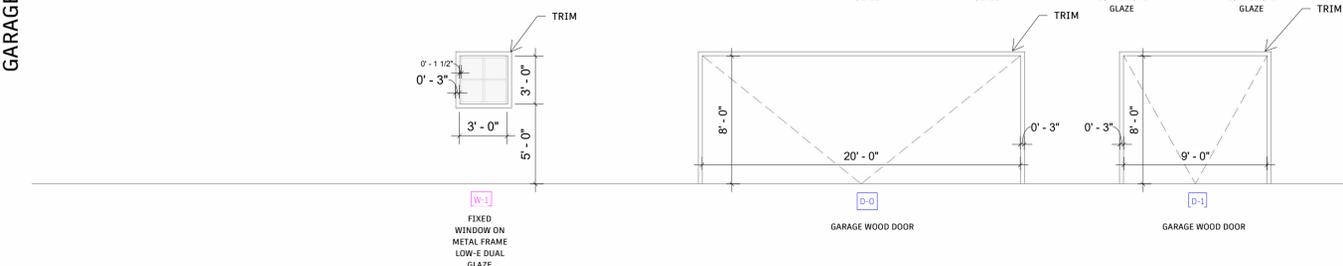
SECOND FLOOR



FIRST FLOOR



GARAGE



PLAN CHECK SET

652 Robin Glen Dr

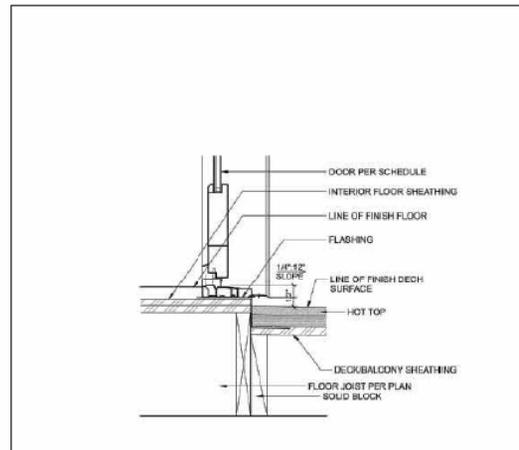


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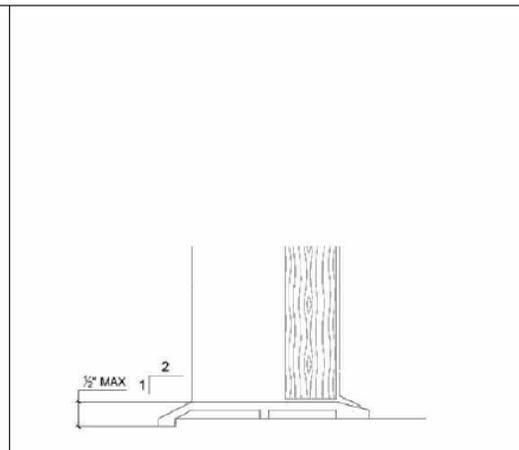
OWNER

STRUCTURAL

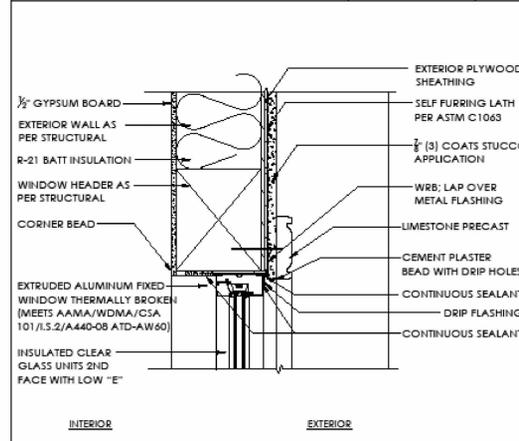
CIVIL ENGINEERING
 Author



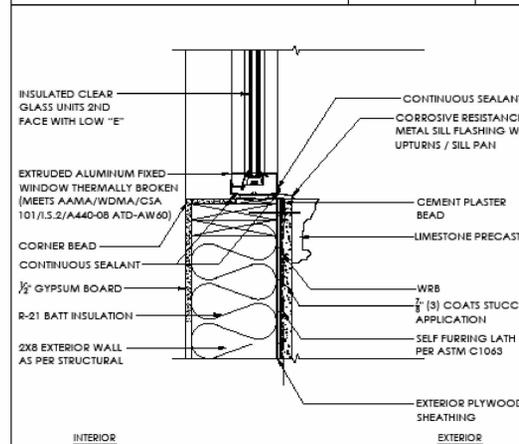
THRESHOLD TYPICAL DETAIL SCALE NTS 01



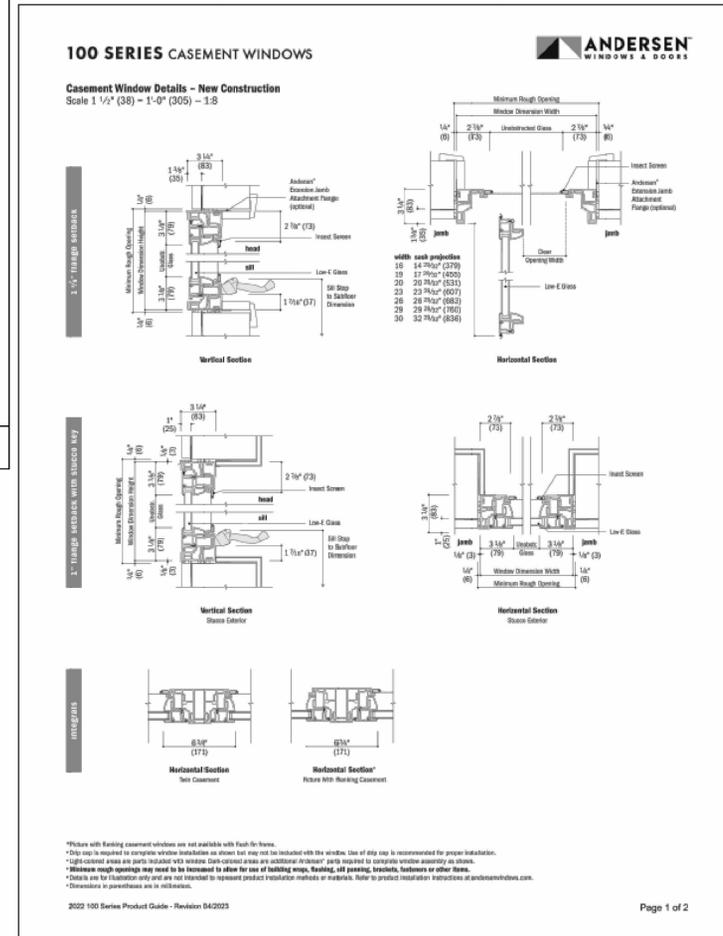
THRESHOLD TYPICAL DETAIL SCALE NTS 02



WINDOW HEADER SCALE 1-1/2\"/>



WINDOW SILL SCALE 1-1/2\"/>



CASEMENT WINDOW DETAIL SCALE NTS 03

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DRAWING TITLE
Doors and Windows Details

SCALE DRAWING NUMBER

DATE
 11/25/24
 A-6.01

652 Robin Glen Dr PLAN CHECK SET



DESIGN + EXECUTIVE ARCHITECT

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DRAWING TITLE

3D Rendering

SCALE	DRAWING NUMBER
DATE	X-1.00
11/25/24	

PLAN CHECK SET

652 Robin Glen Dr





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DRAWING TITLE

3D Rendering

SCALE DRAWING NUMBER

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DRAWING TITLE

3D Rendering

SCALE	DRAWING NUMBER
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DATE	X-1.02
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PLAN CHECK SET

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Glendale, CA 91207

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Author

NUMBER	DATE	DESCRIPTION
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DRAWING TITLE

3D Rendering

SCALE DRAWING NUMBER

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PLAN CHECK SET

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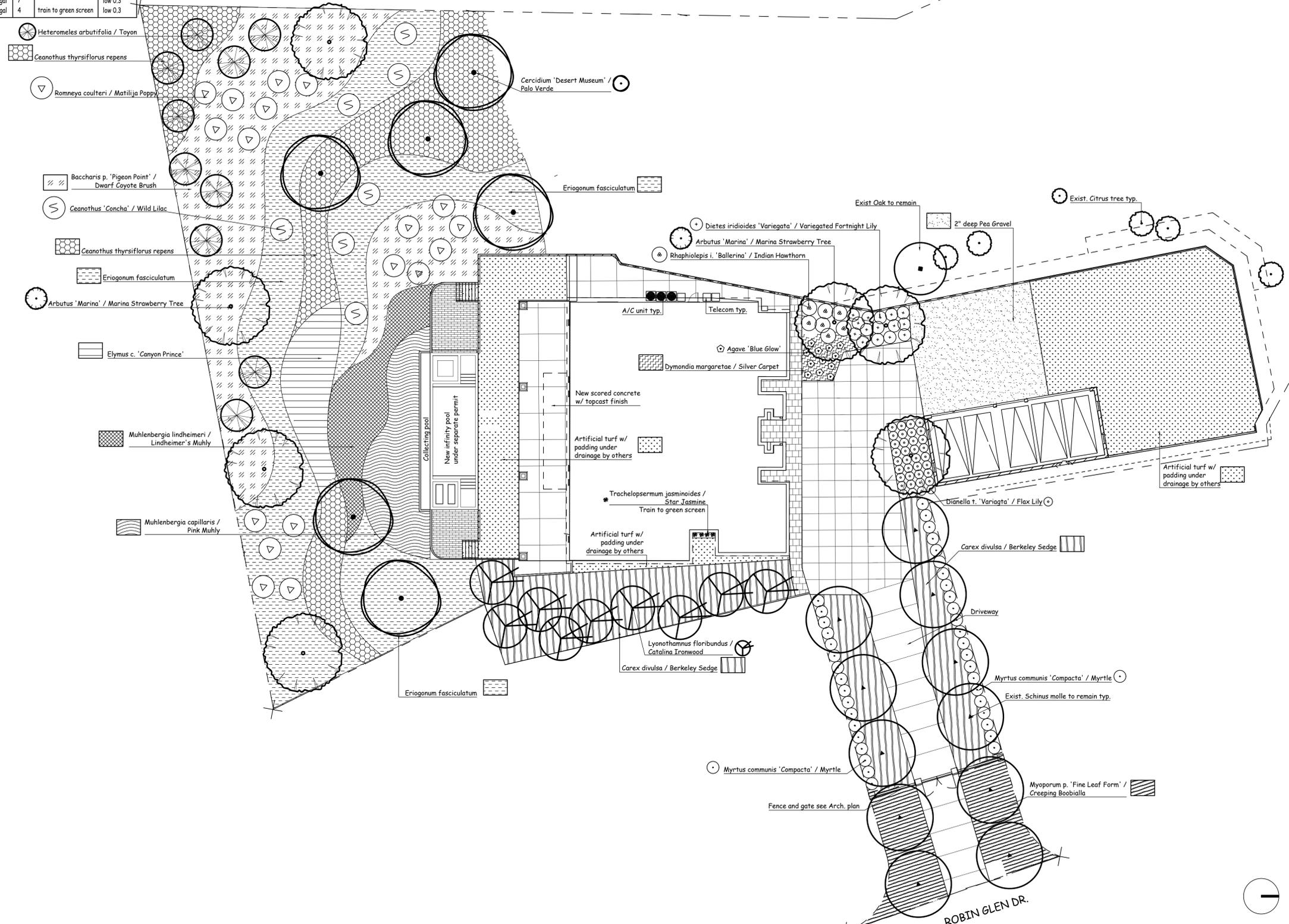
SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⬆	Agave 'Blue Glow'		5-gal	12		low 0.3
⬆	Baccharis p. 'Pigeon Point'	Dwarf Coyote Brush	5-gal	48"oc		low 0.3
⬆	Carex divisa	Berkeley Sedge	5-gal	30"oc		low 0.3
⬆	Ceanothus 'Concha'	Wild Lilac	5-gal	7		low 0.3
⬆	Ceanothus thyrsiflorus repens		5-gal	5'oc		low 0.3
⬆	Dianella t. 'Variegata'	Flax Lily	5-gal	36		low 0.3
⬆	Dietses iridioides 'Variegata'	Variegated Fortnight Lily	5-gal	11		low 0.3
⬆	Dymondia margaritae	Silver Carpet	flats	10"oc		low 0.3
⬆	Elymus c. 'Canyon Prince'		5-gal	5'oc		low 0.3
⬆	Eriogonum fasciculatum		5-gal	5'oc		low 0.3
⬆	Muhlenbergia capillaris	Pink Muhly	5-gal	36"oc		low 0.3
⬆	Muhlenbergia lindheimeri	Lindheimer's Muhly	5-gal	36"oc		low 0.3
⬆	Myoporum p. 'Fine Leaf Form'	Creeping Boobialla	5-gal	6'oc		low 0.3
⬆	Myrtus communis 'Compacta'	Myrtle	5-gal	39		low 0.3
⬆	Romneya coulteri	Matilija Poppy	5-gal	18		low 0.3
⬆	Rhaphiolepis l. 'Ballerina'	Indian Hawthorn	5-gal	7		low 0.3
⬆	Trachelospermum jasminoides	Star Jasmine	5-gal	4	train to green screen	low 0.3

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Arbutus 'Marina'	Marina Strawberry Tree	24"box	7		low 0.3
⊙	Heteromeles arbutifolia	Tayon	24"box	10		low 0.3
⊙	Lyonothamnus floribundus	Catalina Ironwood	24"box	15		low 0.3
⊙	Cercidium 'Desert Museum'	Palo Verde	24"box	6	low branching	low 0.3

NOTE:
All groundcover areas where plants are 3' oc or greater to have geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.
Waterproofing and drains in planters by others.
All trees to be planted with commercial root barriers.
3" deep shredded Cedar bark to spread between plants.



REVISIONS	DATE
1.	5.29.24
2.	10.17.24
3.	10.29.24
4.	11.26.24
5.	
6.	
7.	
8.	
9.	
10.	



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GLENDALE, CA 91202

PLANTING PLAN



DATE: OCT. 24, 2022
SCALE: 1/16"=1'-0"
JOB NUMBER: 231422
DRAWN BY:



Arbutus 'Marina' / Marina Strawberry Tree



Lyonothamnus floribundus / Catalina Ironwood



Cercidium 'Desert Museum' / Palo Verde



Heteromeles arbutifolia / Toyon



Agave 'Blue Glow'



Baccharis p. 'Pigeon Point' / Dwarf Coyote Brush



Carex divulsa / Berkeley Sedge



Ceanothus thyrsoiflorus repens



Dianella t. 'Variagta' / Flax Lily



Elymus c. 'Canyon Prince'



Eriogonum fasciculatum



Ceanothus 'Concha' / Wild Lilac



Trachelospermum jasminoides / Star Jasmine



Myrtus communis 'Compacta' / Myrtle



Muhlenbergia lindheimeri / Lindheimer's Muhly



Dymondia margaretae / Silver Carpet



Muhlenbergia capillaris / Pink Muhly



Romneya coulteri / Matilija Poppy



Raphiolepis i. 'Ballerina' / Indian Hawthorn



Myoporum p. 'Fine Leaf Form' / Creeping Boobialla

REVISIONS	DATE
1.	5.29.24
2.	10.17.24
3.	10.29.24
4.	11.26.24
5.	
6.	
7.	
8.	
9.	
10.	



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 GLENDALE, CA 91202

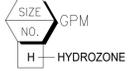
PLANT PHOTOS



DATE: OCT. 24, 2022
 SCALE: 1/16"=1'-0"
 JOB NUMBER: 231422
 DRAWN BY:



IRRIGATION LEGEND		SYM.	
'NIBCO'	GATE VALVE T-113		
'CHRISTY'	CONCRETE VALVE BOX		
'RAINBIRD'	QUICK COUPLER 44 LRC 1"		
'SUPERIOR'	3100 series MASTER VALVE		1"
'HUNTER'	FLOW SENSOR FCT-150 FLOW		1"
'WILKINS'	REGULATOR MODEL 500		1"
'WILKINS'	BACKFLOW PREVENTER 375		
'HUNTER'	ACC2		
'HUNTER'	SOLAR SYNC WIRELESS		
	SLEEVING SCH. 40 P.V.C.		1"
	PRESSURE LINE SCH. 40 P.V.C.		1"
	NON-PRESSURE LINE SCH. 40 P.V.C.		1"
	IRRIGATION METER		1.5"
	POINT OF CONNECTION		1.5"
NETAFIM LEGEND			
'NETAFIM'	LVCZ10075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.
'NETAFIM'	LINE FLUSH VALVE		
'NETAFIM'	TECHLINE CV TLCV4-18025		BURIED 3" BELOW GRADE
	NON-PRESSURE 1" SCH. 40 PVC HEADER		



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

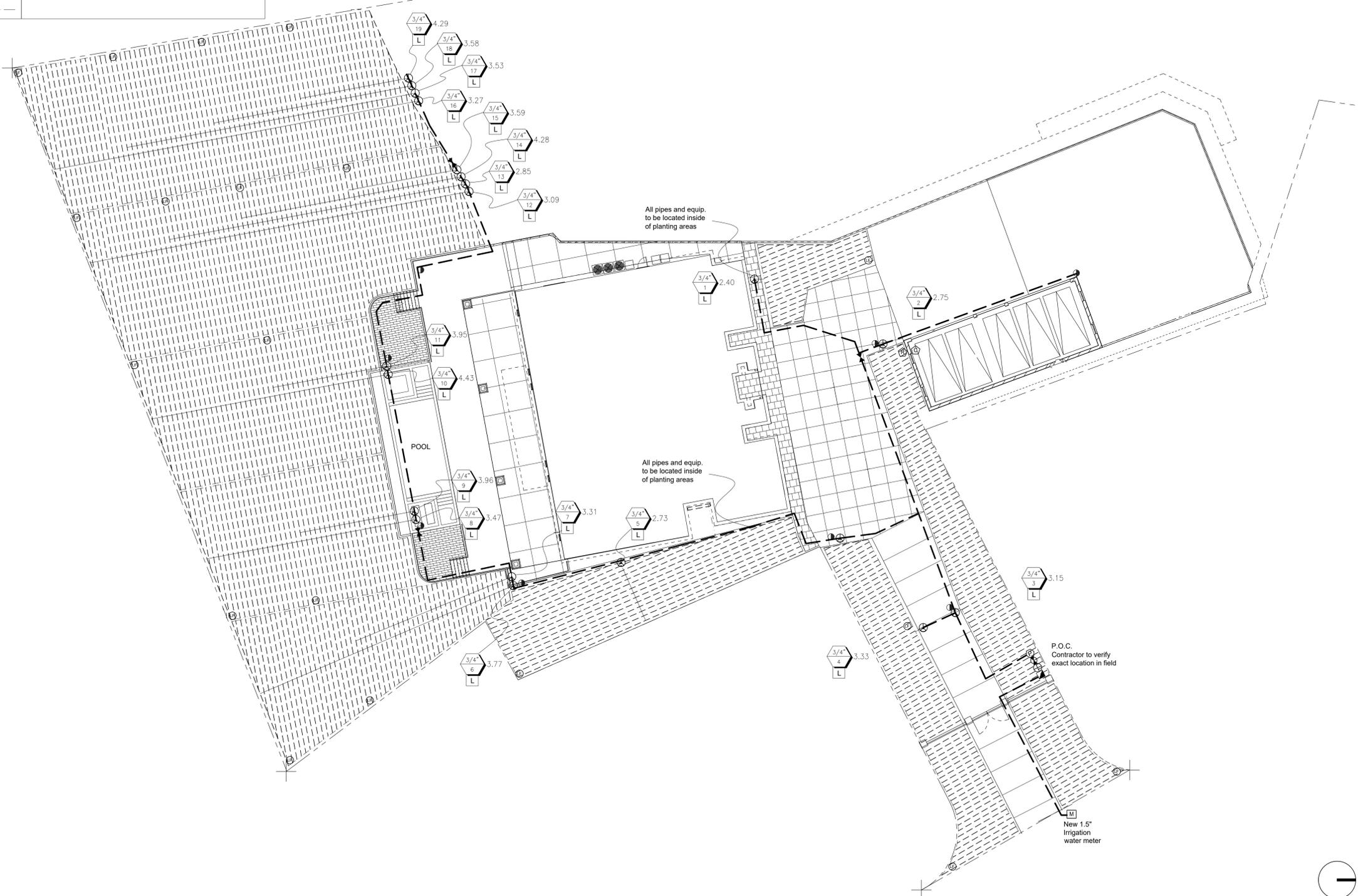
CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

Yael Lir
10/17/2024



REVISIONS	DATE
1.	5.29.24
2.	10.17.24
3.	10.29.24
4.	11.26.24
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652 ROBIN GLEN DR.
GLENDALE, CA 91202

IRRIGATION PLAN



DATE: OCT. 24, 2022
SCALE: 1/16"=1'-0"
JOB NUMBER: 231422
DRAWN BY:

REVISIONS	DATE
1.	5.29.24
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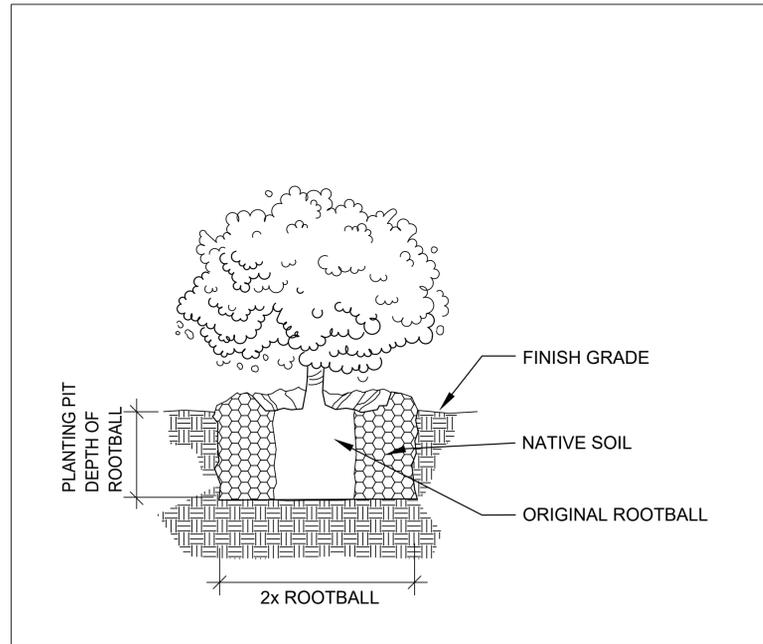
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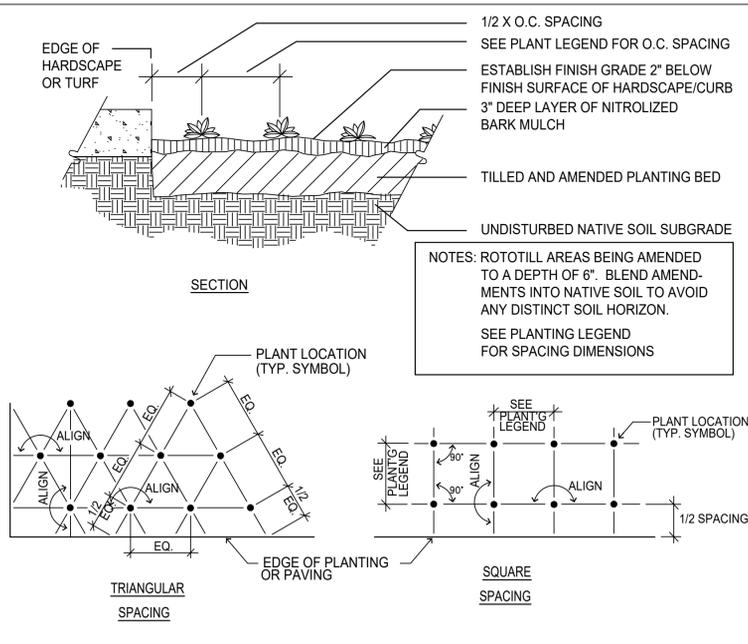
PLANTING DETAILS



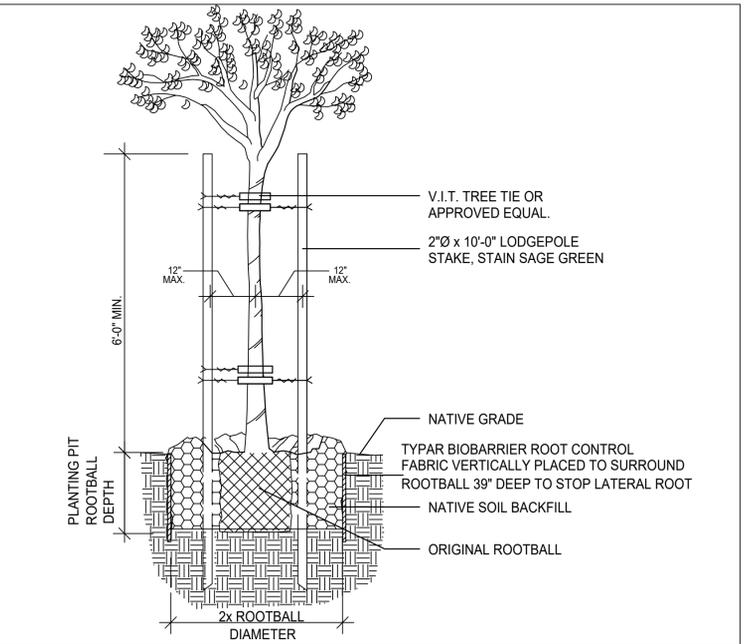
DATE: OCT. 24, 2022
 SCALE: 1/16" = 1'-0"
 JOB NUMBER: 231422
 DRAWN BY:



SHRUB PLANTING
 SCALE: N.T.S.
 FILE: D_PLA001



GROUNDCOVER PLANTING
 SCALE: N.T.S.
 FILE: D_PLA002



TREE PLANTING & STAKING
 SCALE: N.T.S.
 FILE: PLA_003

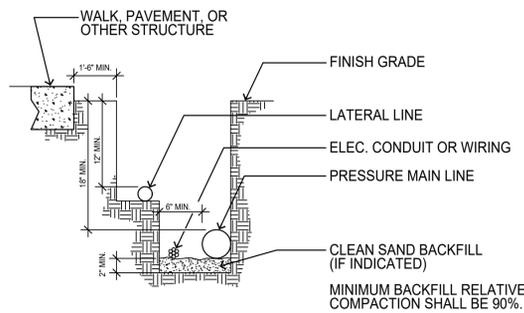
PLANTING NOTES

- DRAWING IS DIAGRAMMATIC: CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - *150 LBS. GRO-POWER
 - *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80 % SOIL OF SITE AND 20 % FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.
- ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE FINISH GRADING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. FINISH GRADING WILL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE, LOOSENING THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS CLOUDS OF 2" DIAMETER OR LARGER. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT CURBS AND SIDEWALKS.
- ALL ROCKS OR UNBROKEN SOIL CLOUDS OVE 1" IN DIAMETER BROUGHT TO THE SURFACE ARE TO BE REMOVED FROM THE SITE.
- GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE PLANT IS EVEN WITH THE FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.

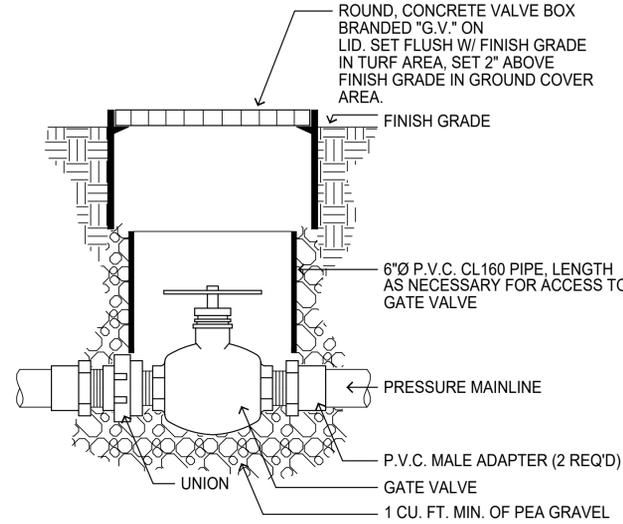




- NOTES:
1. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES BUNDLE & TAPE CONTROL WIRES AT 10' INTERVALS
 2. TIE A LOOSE 20' LOOP IN WIRING AT CHANGE OF DIRECTION GREATER THAN 30° UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE UNDER PAVED AREAS. ALL PRESSURE LINES & WIRES SHALL BE SLEEVED W/ SCH. 80 P.V.C. PIPE & SHALL BE 24" IN DEPTH (MIN)
 3. INSTALL ALL CONTROL WIRES ON UNDERSIDE OF MAINLINE PIPE
 4. PIPE DEPTH FOR 2-1/2" AND LARGER SHALL BE 24" MINIMUM.
 5. PIPE DEPTH FOR 2" AND SMALLER SHALL BE 18" MINIMUM.
 6. PIPE DEPTH FOR ALL NON-PRESSURE LATERAL LINES SHALL BE 12" MINIMUM.

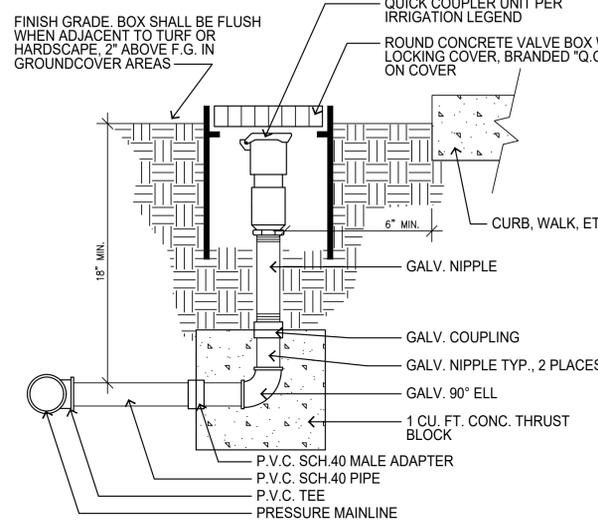
TRENCHING DETAIL

SCALE: N.T.S.
FILE: D_IRR002



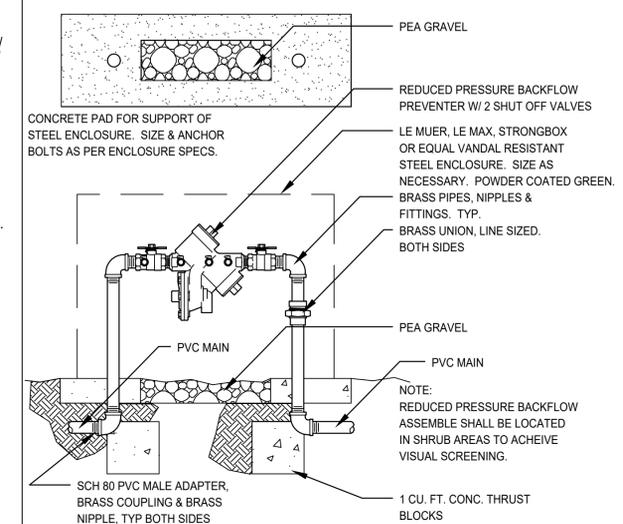
GATE VALVE

SCALE: N.T.S.
FILE: D_IRR003



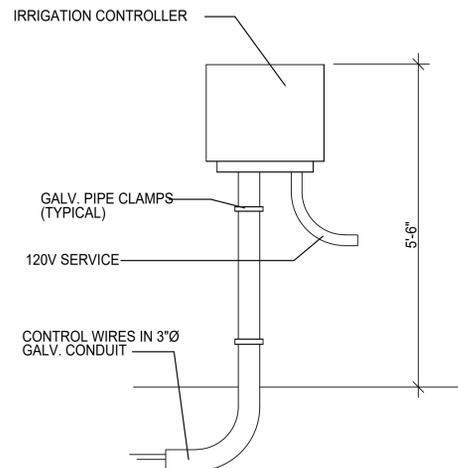
QUICK COUPLER

SCALE: N.T.S.
FILE: D_IRR005



BACKFLOW PREVENTER

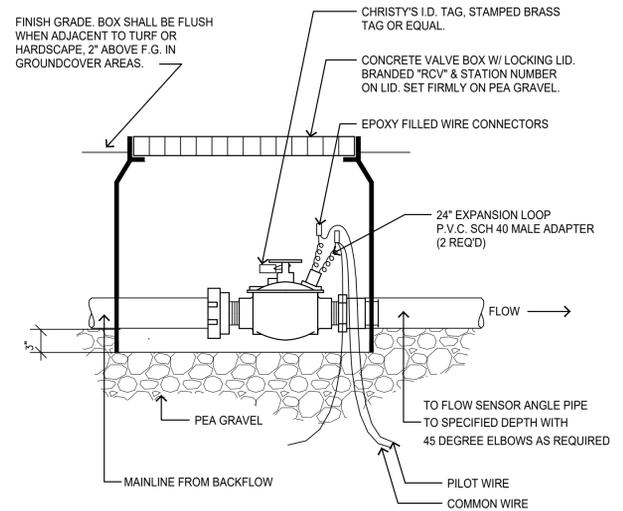
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FILE: D_IRR006



- NOTES:
1. ALL ELECTRIC WORK SHALL CONFORM TO LOCAL CODES

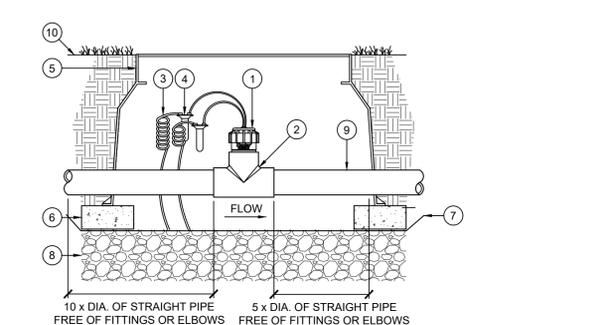
WALL MOUNT CONTROLLER

SCALE: N.T.S.
FILE: D_IRR008



MASTER VALVE

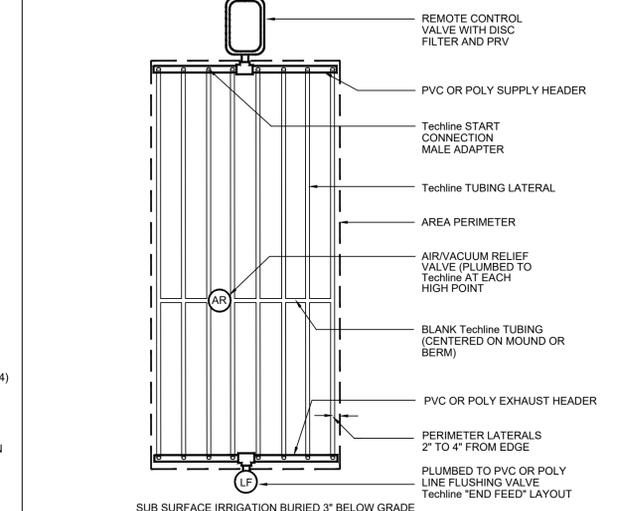
SCALE: N.T.S.
FILE: D_IRR004



- DETAIL LEGEND:
- 1 FLOW SENSOR PER PLAN (HFS)
 - 2 RECEPTACLE TEE (FCT), SIZE PER PLAN
 - 3 MIN. 18/2 WIRE PER PLAN TO CONTROLLER SENSOR TERMINALS. MAXIMUM WIRE DISTANCE RUN OF 1,000'
 - 4 DBRY-6 WIRE SPLICE
 - 5 RECTANGULAR VALVE BOX PER PLAN
 - 6 BRICK SUPPORTS AT EACH CORNER (4)
 - 7 FILTER FABRIC
 - 8 GRAVEL BASE, DEPTH PER PLAN
 - 9 MAIN LINE AND SOIL COVER PER PLAN
 - 10 FINISHED GRADE

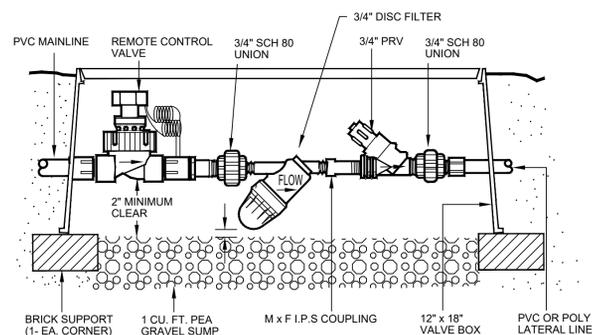
FLOW SENSOR

SCALE: N.T.S.
FILE: FILENAME



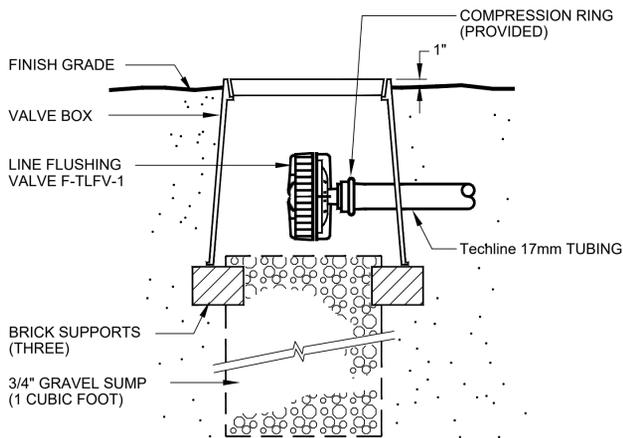
TECHLINE END FEED LAYOUT

SCALE: SCALE
FILE: FILENAME



REMOTE CONTROL VALVE W/ 3/4" PRV

SCALE: N.T.S.
FILE: FILENAME



LINE FLUSHING VALVE

SCALE: N.T.S.
FILE: FILENAME

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IRRIGATION DETAILS



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WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ET_o): 50.1

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	812	300.44	15052
2 / water use plants	.3	DRIP	.81	.37	928	343.36	10665
3 / water use plants	.3	DRIP	.81	.37	1063	393.31	12216
4 / water use plants	.3	DRIP	.81	.37	1123	415.51	12906
5 / water use plants	.3	DRIP	.81	.37	923	341.51	10607
6 / water use plants	.3	DRIP	.81	.37	1274	471.38	14642
7 / water use plants	.3	DRIP	.81	.37	1116	412.92	12826
8 / water use plants	.3	DRIP	.81	.37	1170	432.9	13446
9 / water use plants	.3	DRIP	.81	.37	1338	495.06	15377
10 / water use plants	.3	DRIP	.81	.37	1496	553.52	17193
11 / water use plants	.3	DRIP	.81	.37	1332	492.84	15308
12 / water use plants	.3	DRIP	.81	.37	1043	385.91	11987
13 / water use plants	.3	DRIP	.81	.37	964	356.68	11079
14 / water use plants	.3	DRIP	.81	.37	1445	534.65	16607
15 / water use plants	.3	DRIP	.81	.37	1213	448.81	13940
16 / water use plants	.3	DRIP	.81	.37	1103	408.11	12676
17 / water use plants	.3	DRIP	.81	.37	1193	441.41	13711
18 / water use plants	.3	DRIP	.81	.37	1209	447.33	14826
19 / water use plants	.3	DRIP	.81	.37	1450	536.5	16664
POOL	1.0	-	-	1.0	648	648	20128
					SUM	22,843	8,860.15
ESTIMATED TOTAL WATER USE (ETWU)							281,856
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)							390,252

ETAF CALCULATION

ETAF x AREA	8,860.15
TOTAL AREA	22,843
AVERAGE ETAF	.38

IRRIGATION DESCRIPTION

FOR THE EFFICIENT USE OF WATER, THE IRRIGATION SYSTEM WAS DESIGNED WITH AN AUTOMATIC IRRIGATION CONTROLLER. THE CONTROLLER WILL CONTINUALLY MONITOR THE SYSTEM FOR BREAKS, LEAKS AND ELECTRICAL FAULTS. IN CASE THOSE WILL OCCUR IRRIGATION WILL BE INTERRUPTED AND THE CONTROLLER WILL PINPOINT THE SOURCE OF PROBLEM. DOING THAT, IT WILL BRING MAXIMUM EFFICIENCY TO LARGE WATERING SCHEDULES. THE SYSTEM INCLUDES WEATHER SENSOR, NETAFIM CV DRIP TUBING AND RAINBIRD RWS BUBBLERS.

THE FOLLOWING TESTS NEED TO BE PERFORMED:

COVERAGE TEST

WHEN SPRINKLER SYSTEM INSTALLATION HAS BEEN COMPLETED, PERFORM A COVERAGE TEST TO DETERMINE IF ALL PLANTING AREAS RECEIVE 100% WATER COVERAGE. ADJUSTMENTS WILL BE DONE AS NEEDED, SUCH AS ADDING DRIP TUBE OR ADDING BUBBLERS AS MAY BE REQUIRED.

PRESSURE TEST

AFTER WELDED JOINTS HAVE BEEN CURED FOR AT LEAST 24 HOURS AND BEFORE DRIP TUBE AND BUBBLERS ARE INSTALLED, FLUSH OUT ALL IRRIGATION PIPES AND CAP THEM. TEST SYSTEM UNDER NORMAL STREET WATER PRESSURE. THE WELDED JOINTS SHALL REMAIN EXPOSED FOR EXAMINATION DURING PRESSURE TEST. CENTER LOAD PIPE WITH SMALL AMOUNT OF SAND TO PREVENT THE PIPES FROM ARCHING OR SLIPPING UNDER PRESSURE. USE NORMAL STREET WATER PRESSURE FOR THE TESTING. MAINTAIN PRESSURE ON PVC PIPE FOR NOT LESS THAN FOUR HOURS. REPLACE OR REPAIR SYSTEM, INCLUDING JOINTS WHICH FAILED DURING PRESSURE TEST. REPEAT PRESSURE TESTING UNTIL ENTIRE SYSTEM PASSES THE TEST PERIOD WITHOUT LEAKS.

DRIP LINE IRRIGATION

- DRIP LINE TUBING IS SHOWN ON THE PLANS IN THE SUGGESTED LAYOUT. CONTRACTOR SHALL ADJUST LAYOUT AS DETERMINED NECESSARY IN THE FIELD TO MATCH THE ACTUAL SITE CONDITIONS, DIMENSIONS, ETC.
- ALL DRIP LINE SYSTEMS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND DIRECTIONS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO SOIL TYPE CONSIDERATION, PLANT TYPE CONSIDERATION, SLOPES, TYPICAL TUBING LAYOUT, SUPPLY HEADERS, FLUSH HEADERS, AIR-RELEASE VALVES, FLUSH VALVES, SOIL STAPLES, AND OPERATION INDICATORS, ETC.
- EACH DRIP LINE SYSTEM SHALL HAVE A DRIP ZONE VALVE ASSEMBLY THAT INCLUDES A PRESSURE REGULATOR AND IN-LINE FILTER PER THE IRRIGATION LEGEND.
- EXTEND PVC LATERAL LINE PIPING PER IRRIGATION LEGEND FROM THE DRIP ZONE VALVE INTO THE PLANTING AREAS. ALL SUPPLY HEADERS AND FLUSH HEADERS SHALL BE PVC PIPING OR DRIP LINE TUBING AS SPECIFIED ON THE DRAWINGS.
- CONNECT THE DRIP LINE TUBING INTO THE PVC / POLY TUBING HEADERS PER THE MANUFACTURER'S DIRECTIONS, USING FITTINGS AS SUPPLIED BY THE MANUFACTURER OF THE DRIP LINE TUBING.
- DRIP LINE TUBING RUNS SHALL BE SPACED AT APPROXIMATELY 18" O.C. OR AS NOTED ON THE PLANS.
- TUBING SHALL RUN GENERALLY PARALLEL TO THE LONG AXIS OF THE PLANTING AREAS. THE EXCEPTION TO THIS WOULD BE SLOPED AREAS WHERE THE TUBING SHALL RUN PARALLEL TO THE SLOPE CONTOURS.
- FLUSH VALVES SHALL BE INSTALLED AT THE TERMINAL ENDS AND/OR LOW POINTS OF ZONES IN ALL DIRECTIONS. AIR RELEASE VALVES, WHERE REQUIRED FOR BURIED SYSTEMS, SHALL BE INSTALLED AT THE HIGH POINTS OF EACH ZONE. REFER TO THE MANUFACTURER'S DIRECTIONS FOR THE QUANTITY OF FLUSH VALVES AND AIR-RELEASE VALVES RECOMMENDED FOR EACH ZONE.
- DRIP LINE TUBING SHALL BE SCRATCHED INTO FINISH GRADE, BURIED 2"-3", STAPLED DOWN, AND COVERED WITH MULCH PER THE PLANTING PLAN.
- EACH DRIP LINE ZONE SHALL INCLUDE AN OPERATION INDICATOR. THE OPERATION INDICATOR SHALL BE INSTALLED AT THE FARTHEST POINT AWAY FROM THE ZONE DRIP VALVE ASSEMBLY.
- ALL FITTINGS USED FOR DRIP LINE TUBING CONNECTIONS AND DRIP LINE TUBING TO PVC CONNECTIONS SHALL BE AS PRODUCED AND SUPPLIED BY THE MANUFACTURER OF THE DRIP LINE TUBING.

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.
- PLEASE INSTALL ALL VALVES IN ONE GROUP LINING UP IN AN ORGANIZED FASHION. PLEASE FIT MORE THAN ONE VALVE IN ONE BOX SO THE NUMBER OF BOXES IS REDUCED.

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WATER EFFICIENT
LANDSCAPE WORKSHEET



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FX LUMINAIRE LIGHT LEGEND

SYM.	NAME	LED #	WATTS	FINISH	REMARKS
⊙	VS Up Light	3	4.2	Camo Bronze w/ brow cover	
■	MPL Path Light	3	4.2	Camo Bronze	
—	SRP Strip Light	3	.6/ft	Warm color	mounted on Ret. wall hidden from direct view

Tel: 714.782.9248 Transformers/Timer by FX Luminaire:
 DAVID OSBORN T-1 LX-300-SS

LIGHTING NOTES

Landscape lighting system to be powered, and shut off by timer.
 Use 12-2 wire on 12V system.
 Fixtures shall be placed subsequent to planting.
 Lamping shall be done upon completion of plant material installation approved by the Landscape Architect.



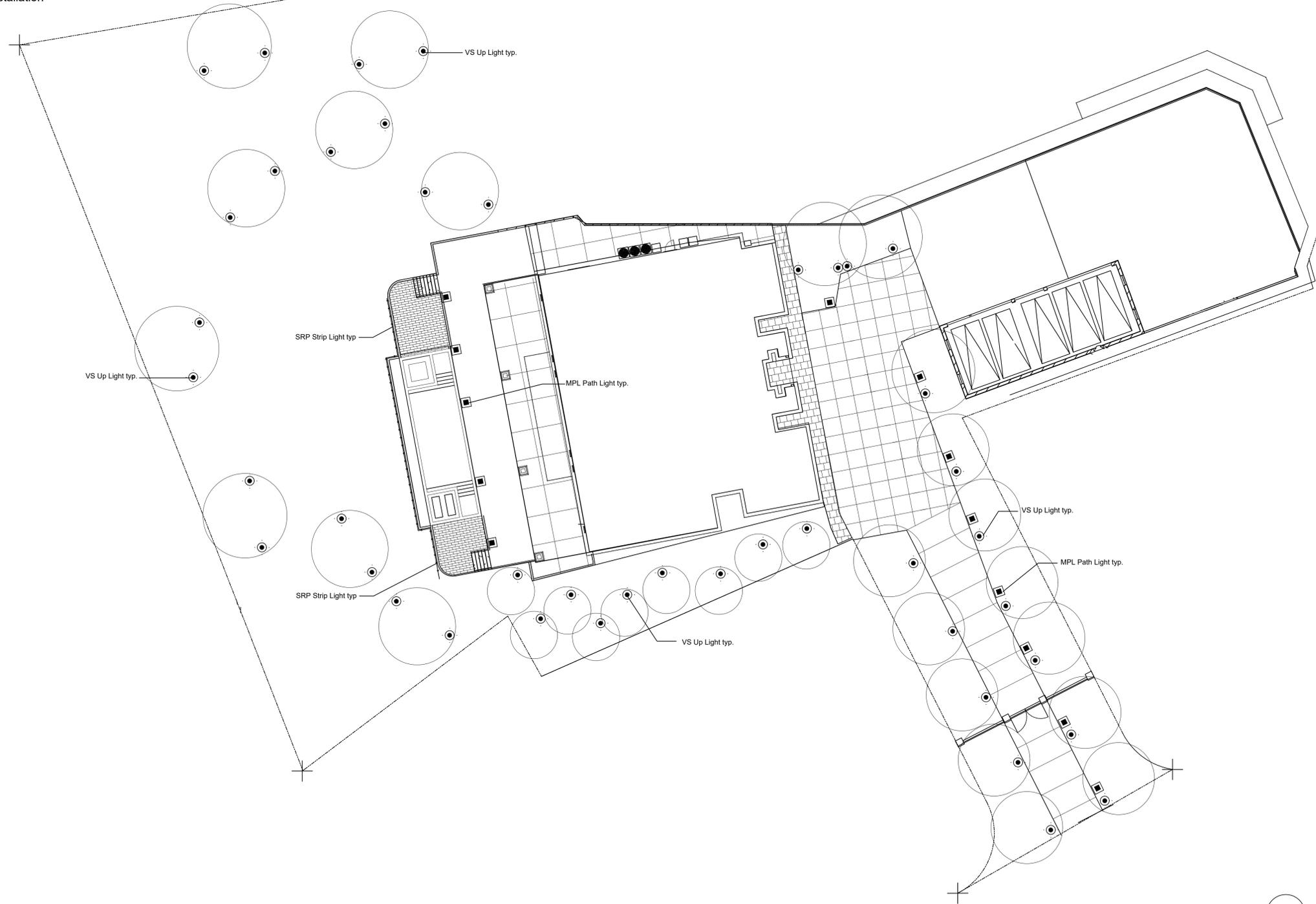
⊙ VS Up Light



■ MPL Path Light



— SRP Strip Light



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LIGHTING PLAN



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