





## PROJECT ADDRESS

652 Robin Glen Dr

Glendale , CA 91207

## OWNER

## STRUCTURAL

## CIVIL ENGINEERING

Author

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4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
1	01/03/2023	PLAN CHECK SET
NUMBER	DATE	DESCRIPTION

## ISSUE RECORD

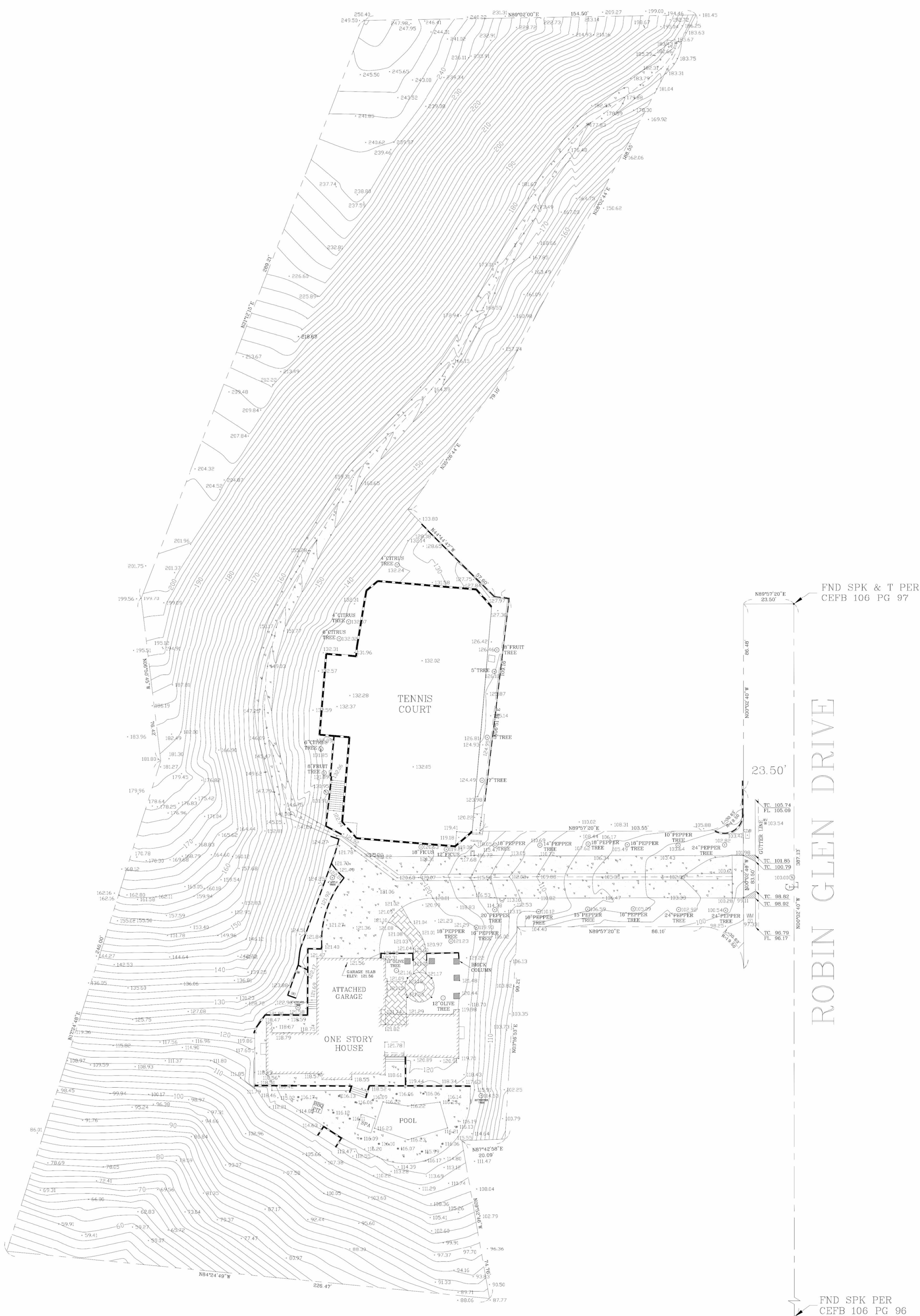
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## DRAWING TITLE

## Topographic survey

SCALE	DRAWING NUMBER
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DATE	
11/25/24	A-1.0



THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE CITY OF GLENDALE,  
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL "A" OF PARCEL MAP-GLN. NO. 1087-A, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 29 PG 37 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

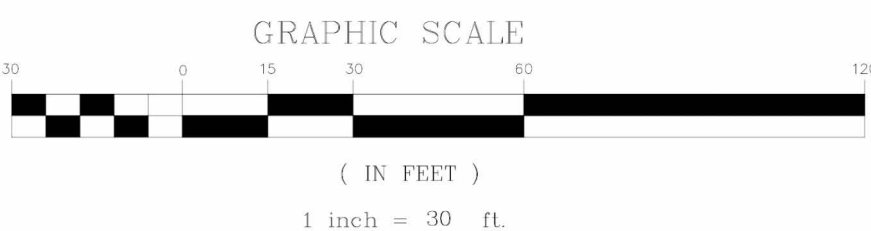
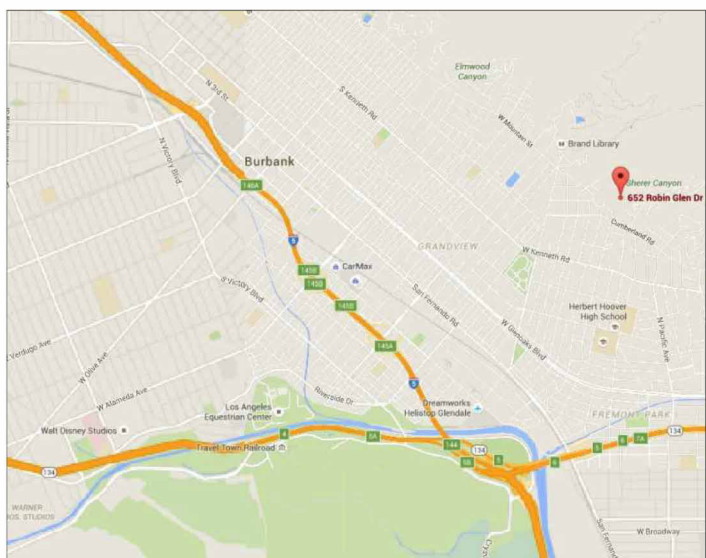
BASIS OF BEARINGS:

THE BEARING N00°02'40"W, ON THE CENTERLINE OF ARCEL "A" OF PARCEL MAP-GLN. NO. 1087-A, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 29 PG 37 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

THIS MAP SHOULD BE USED FOR REFERENCE PURPOSES ONLY.  
NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE BOUNDARY SHOWN

ASSUMED ELEVATION OF 100.00'  
SEWER MANHOLE

AIR CONDITIONING UNIT	IRRIGATION VALVE	STREET LIGHT
CABLE TV BOX	MAIL BOX	STREET LIGHT BOX
CATCH BASIN	PALM TREE	TELEPHONE MANHOLE
COLUMN	PARK METER	TRAFFIC LIGHT CONTROL BOX
DRAIN	PINE TREE	TREE
FIRE HYDRANT	POWER POLE	WATER METER
GAS METER	POWER POLE ANCHOR	WATER VALVE
GAS VALVE	SEWER CL OUT	WATER VAULT
GATE POST	SEWER MANHOLE	
GTE PULL BOX	STORM DRAIN MANHOLE	

[illegible]

TITLE		TOPOGRAPHIC SURVEY	
652 ROBIN LANE DRIVE, GLENDALE, CA. 91202			
CLIENT:	SURO BARCHYAN	JOB NO.:	624
SCALE:	1" = 30'	DATE:	06/14/16
DESIGNED BY:	M.A.B.	REVISION (S):	
DRAWN BY:	M.A.B.		
CHECKED BY:	W.M.R.		
CANYON Land Services, Inc. 13317 Ventura Blvd, Suite F-1 Sherman Oaks, CA 91423 Phone: 818-986-4225 Email: wrostocky@ychoo.com		SHEET 1 OF 1 SHEET	



FLOOR PLAN GENERAL NOTES

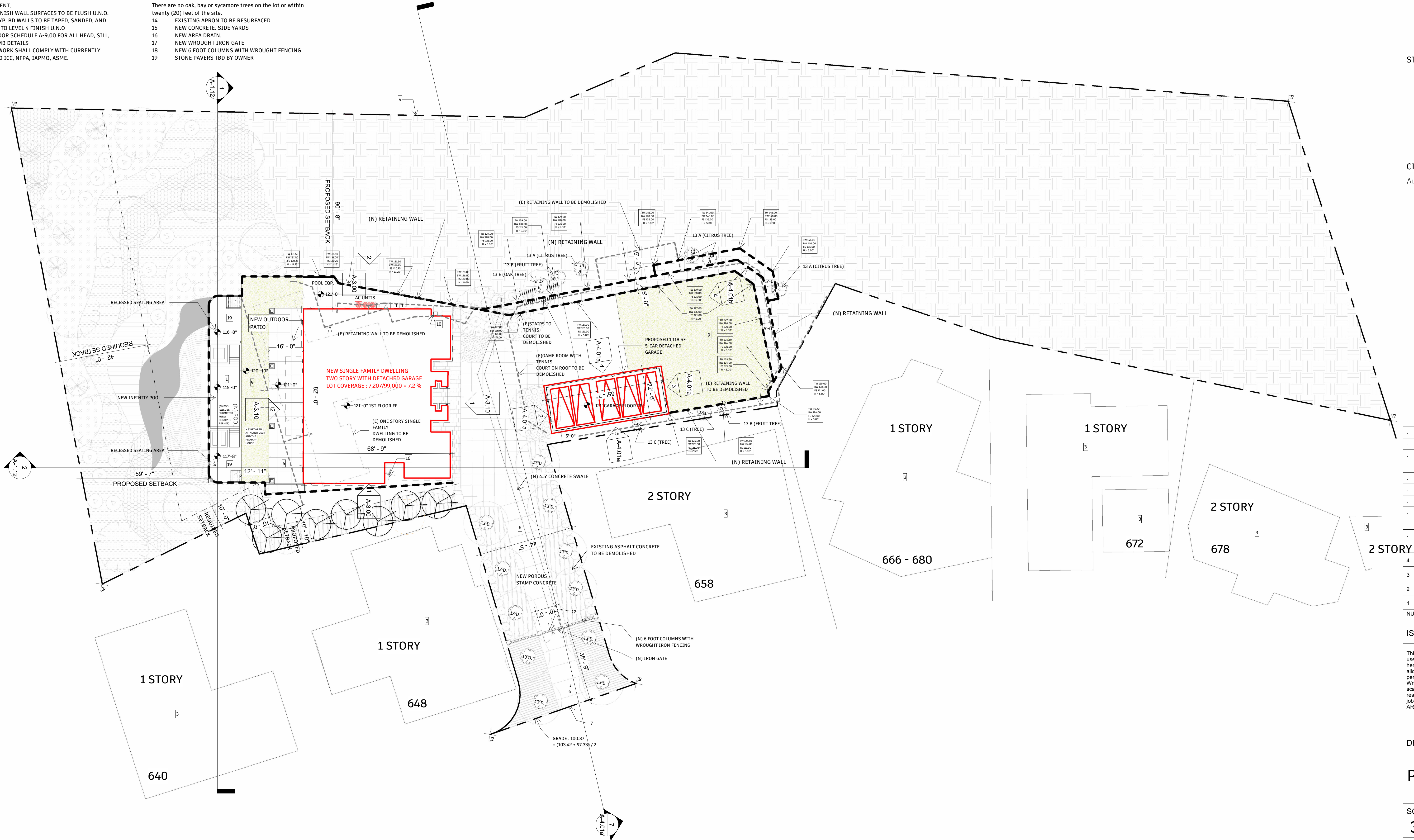
1. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK.
2. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND TOP UNDERLAYMENT UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES UNLESS NOTED OTHERWISE.
3. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED.
4. REFER TO SHEET A-0.00 FOR SYMBOLS, ABBREVIATIONS, AND WALL TYPE LEGEND.
5. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING.
6. (CONT) BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
7. ALL FINISH WALL SURFACES TO BE FLUSH U.N.O.
8. ALL GYP. BD WALLS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.N.O.
9. REF. DOOR SCHEDULE A-9.00 FOR ALL HEAD, SILL, AND JAMB DETAILS
10. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME.

SITE PLAN NOTES

1. (N) 6'-0" DEEP POOL PER STRUCTURAL(UNDER SEPARATE PERMIT).
  2. BARRELS PER CIVIL ENGINEER.
  3. ADJACENT NEIGHBORS, NOT IN SCOPE.
  4. PROPERTY LINE.
  5. STONE TBD PER OWNER.
  6. NEW CONCRETE PAVERS DRIVEWAY POROUS CONCRETE 372 SF OF PERMEABLE PAVEMENT @1FT SUB-BASE
  7. EX. 6" CURB : N/A
  8. ROOF DRAIN DOWNSPOUT TO CONNECT TO STORMWATER PLANTER UNDER PAVED WALKWAY.
  9. NEW ARTIFICIAL TURF.
  10. (N) DIGITAL SUN SMART SENSOR SPRINKLER SYSTEM (SEE SHEET AD-1.0 DETAIL #10 FOR SPECIFICATIONS.) IRRIGATION CONTROLLERS MUST BE SOIL OR WEATHER BASED.
  11. EX. 6' HIGH BLOCK WALL.
  12. EX. FENCE. TO BE DEMOLISH
  13. EX. TREE TO REMAIN
  14. CITRUS
  15. FRUIT TREE
  16. TREE
  17. PEPPER TREE
- There are no oak, bay or sycamore trees on the lot or within twenty (20) feet of the site.
14. EXISTING APRON TO BE RESURFACED
  15. NEW CONCRETE. SIDE YARDS
  16. NEW AREA DRAIN.
  17. NEW WROUGHT IRON GATE
  18. NEW 6 FOOT COLUMNS WITH WROUGHT FENCING
  19. STONE PAVERS TBD BY OWNER

HATCH LEGEND

- ARTIFICIAL TURF
- WATER
- FLOWERS AND PLANTS
- STONE
- CONCRETE
- SLOPE
- EXISTING RETAINING WALL
- NEW RETAINING WALL
- PROPERTY LINE



DESIGN + EXECUTIVE ARCHITECT



XID DESIGN BUILD  
LLC  
SUITE 800  
Beverly Hills, CA 90211  
T 917 319 2553

PROJECT ADDRESS

652 Robin Glen Dr  
Glendale , CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

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3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
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1	01/03/2023	PLAN CHECK SET

ISSUE RECORD

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DRAWING TITLE

Proposed Site Plan

SCALE	DRAWING NUMBER
3/64" = 1'-0"	
DATE	
11/25/24	A-1.10

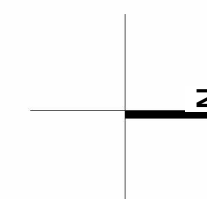
PLAN CHECK SET

652 Robin Glen Dr



1 917 519 2555

Author



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## Existing - Proposed Site Plan

DRAWING  
NUMBER

A-1.11

$$3/64'' = 1'-0''$$

6552 Robin Glen Dr





DESIGN + EXECUTIVE ARCHITECT  
XID DESIGN BUILD  
LLC  
SUITE 800  
Beverly Hills, CA 90211  
T 917 319 2553

PROJECT ADDRESS

652 Robin Glen Dr  
Glendale , CA 91207

OWNER

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Author

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DRAWING TITLE

Proposed Site  
Section

SCALE  
1" = 10'-0"

DATE  
11/26/24

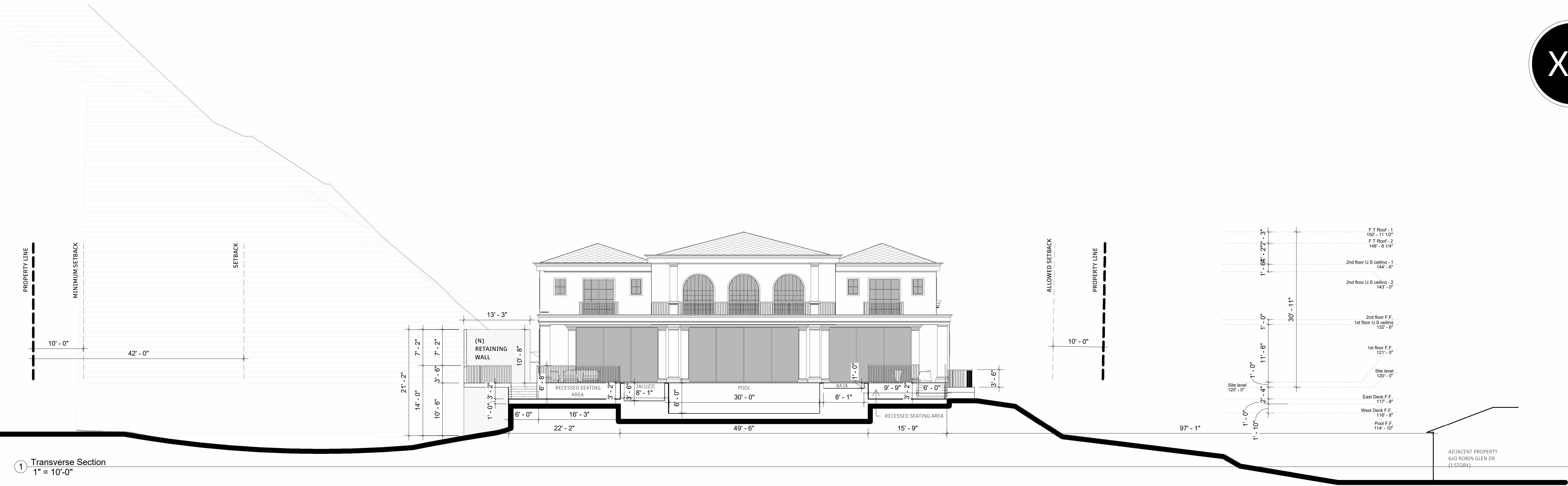
DRAWING  
NUMBER

A-1.12

652 Robin Glen Dr

PLAN CHECK SET

① Transverse Section  
1" = 10'-0"



② Longitudinal Section  
1" = 10'-0"





REGARDING THE ADJACENT PROPERTIES WE JUST SHOW THE WINDOWS  
ON ELEVATIONS FACING THE PROJECT

A-1.20



652 Robin Glen Dr  
Glendale , CA 91207

OWNER

## STRUCTURAL

CIVIL ENGINEERING

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DRAWING TITLE

## Neighboring properties

SCALE

DATE \_\_\_\_\_

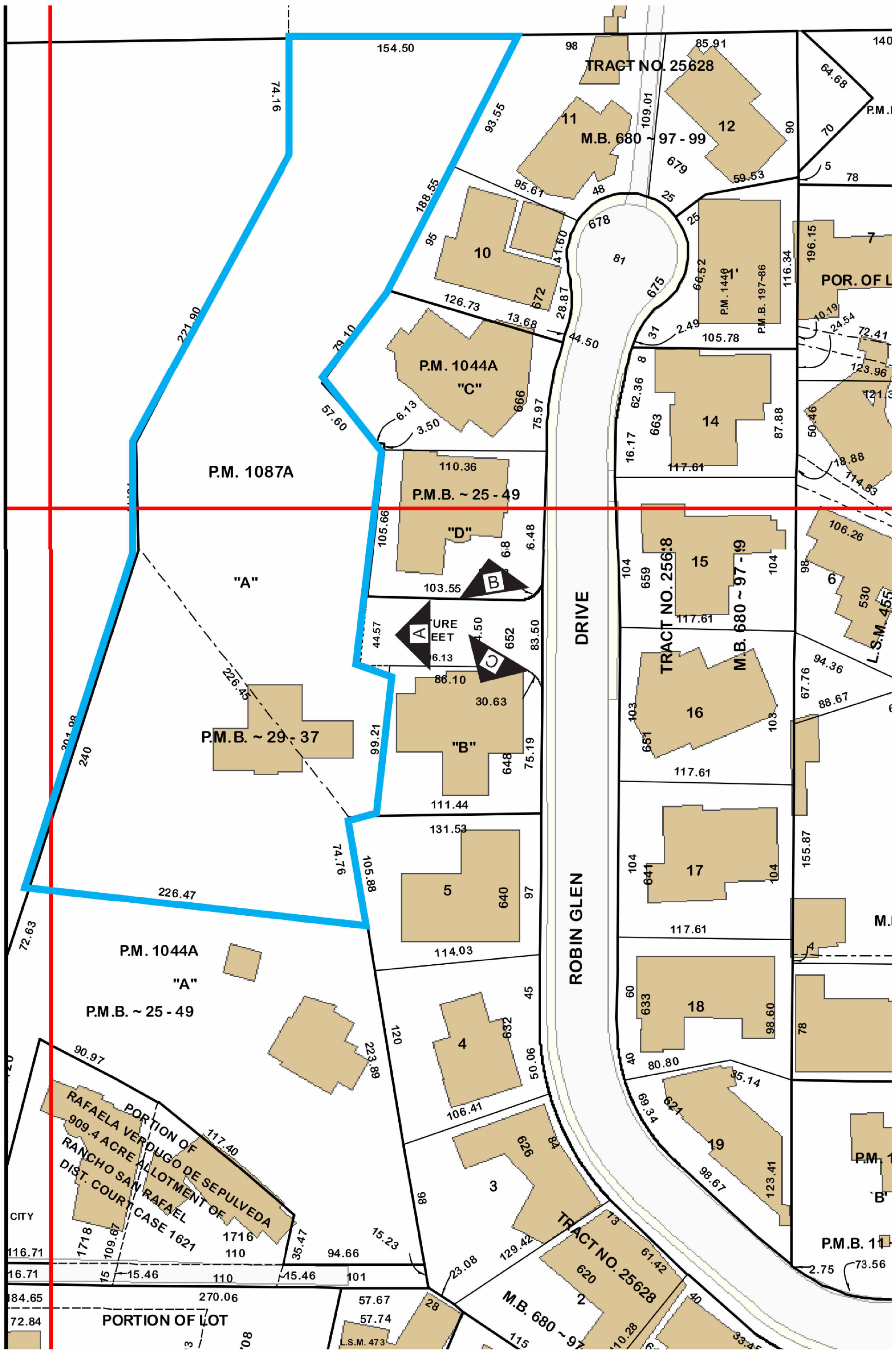
11/25/24

## DRAWING

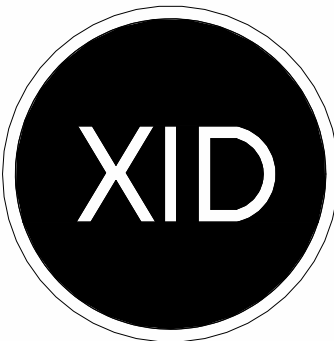
## A-1.21



## SITE PICTURES







DESIGN + EXECUTIVE ARCHITECT  
XID DESIGN BUILD  
LLC  
SUITE 800  
Beverly Hills, CA 90211  
T 917 319 2553

PROJECT ADDRESS  
652 Robin Glen Dr  
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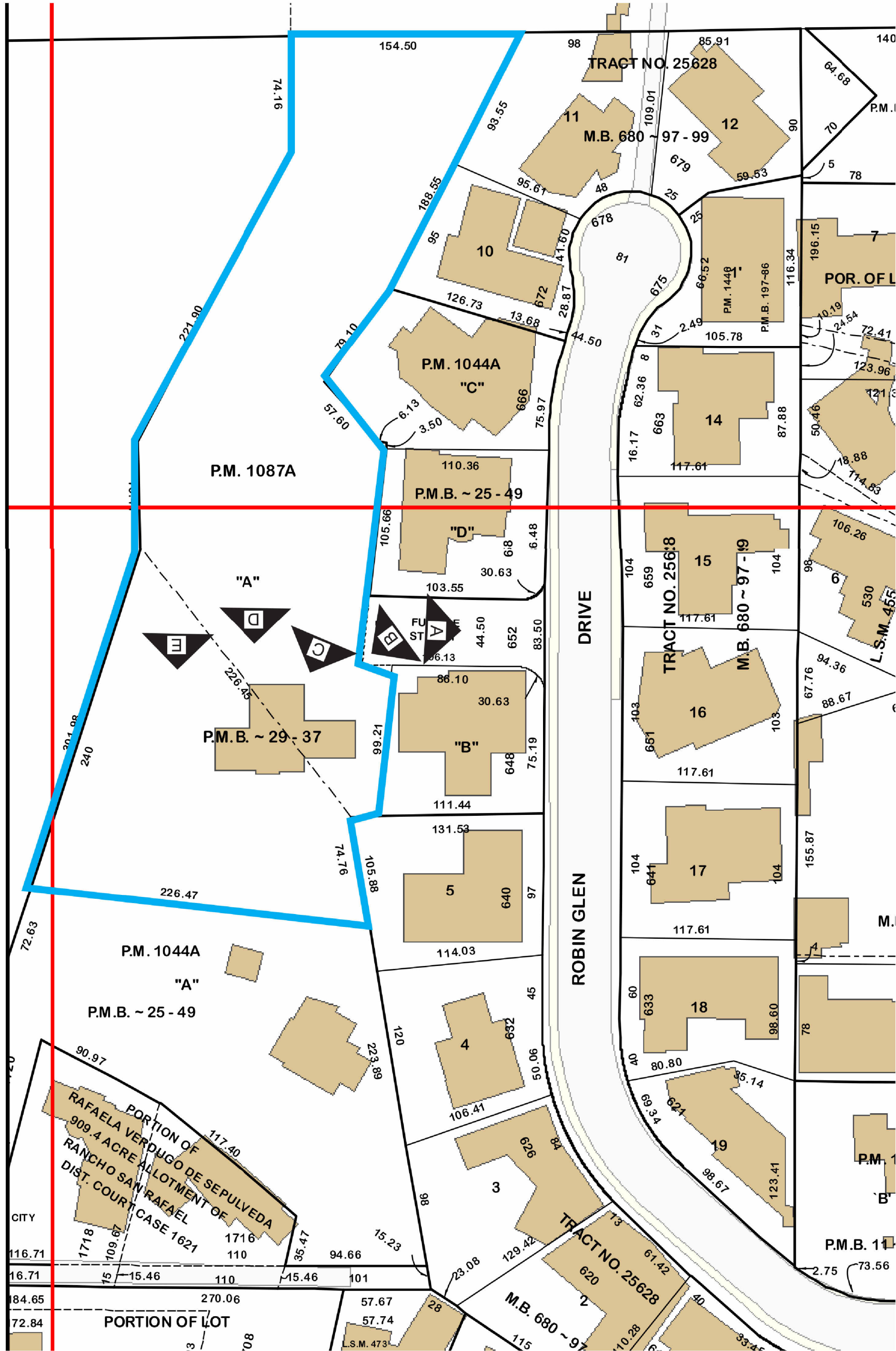
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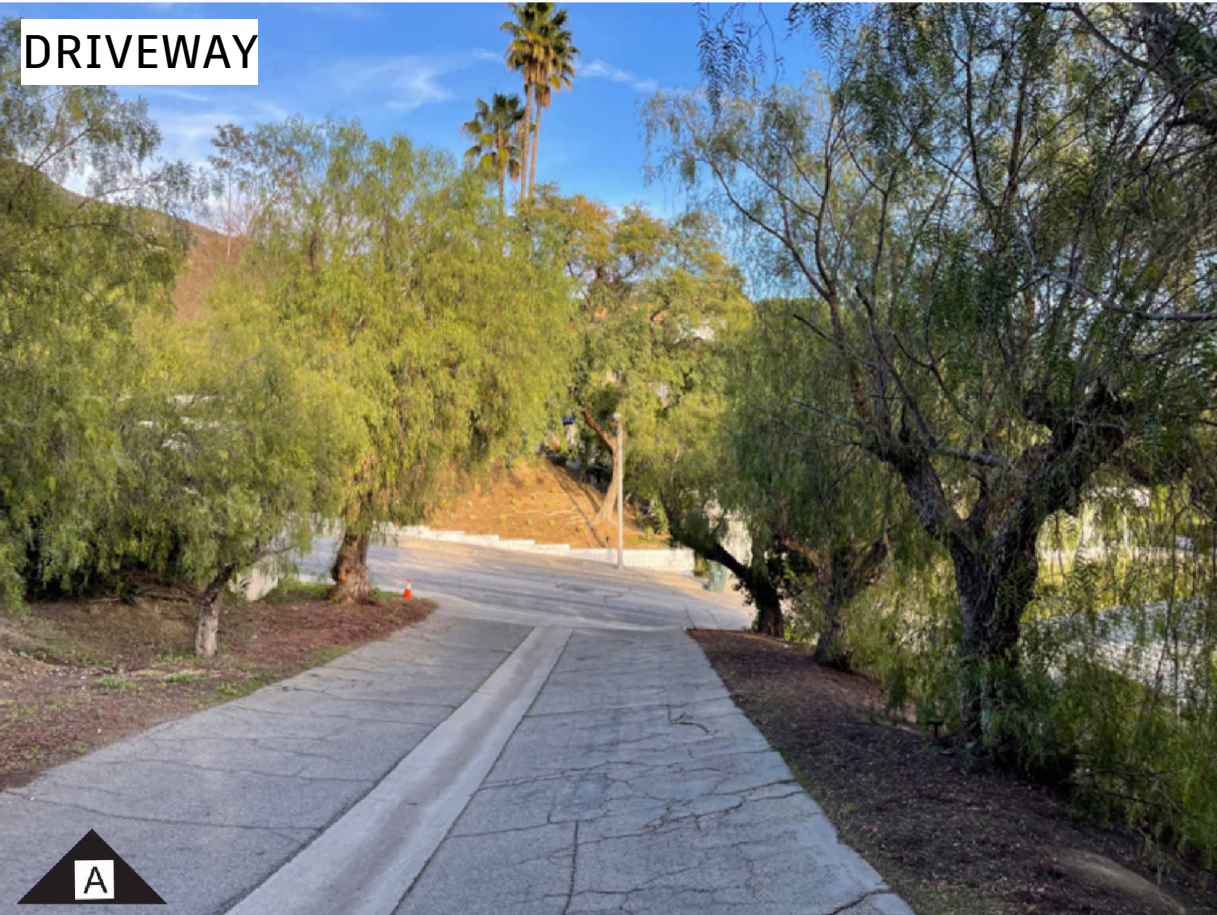
DRAWING TITLE

Neighboring properties

SCALE	DRAWING NUMBER
DATE	
11/25/24	A-1.22



DRIVEWAY & ACTUAL HOUSE

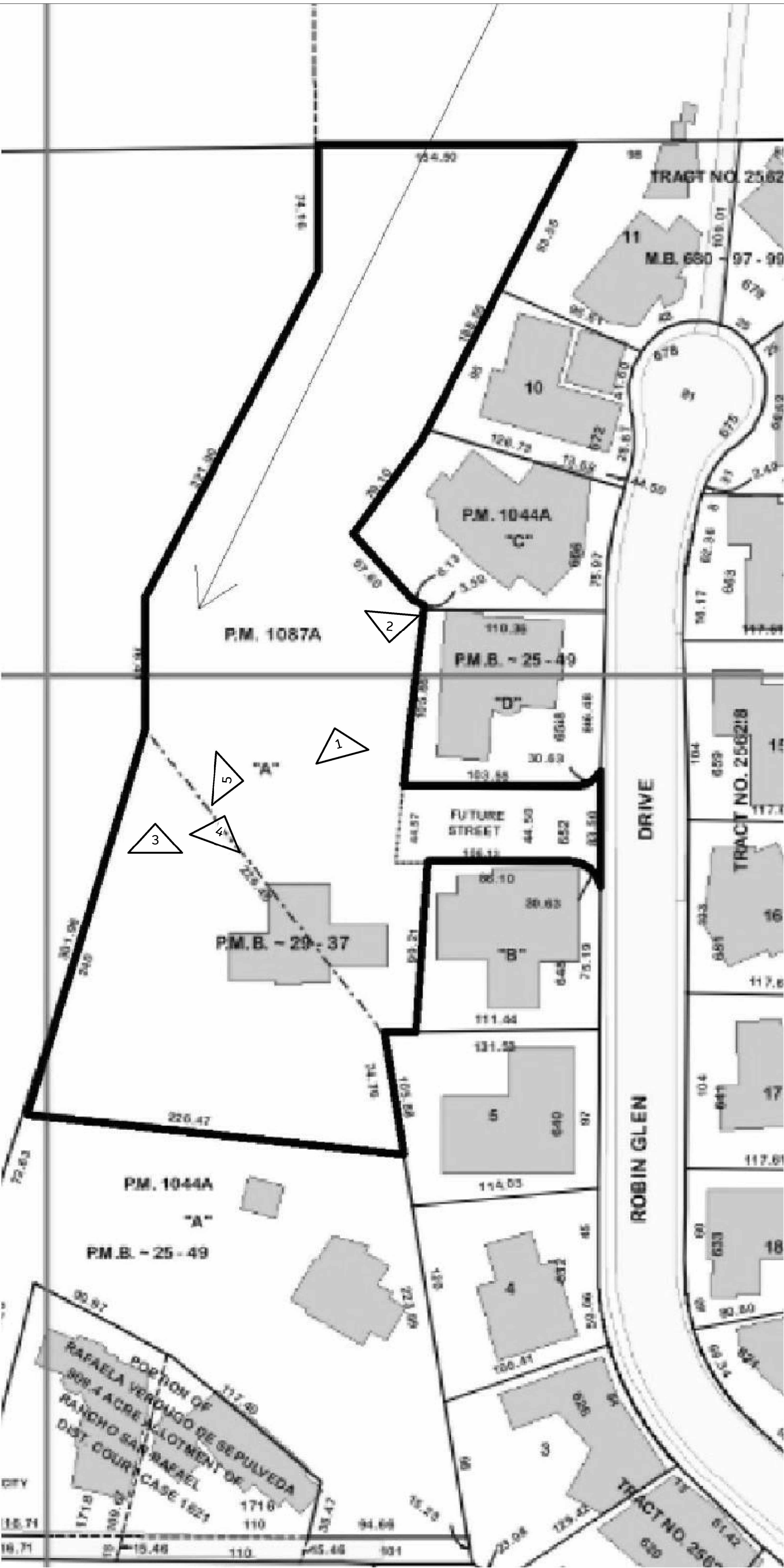


SITE PICTURES

PLAN CHECK SET

652 Robin Glen Dr





TENNIS COURT & RECREATION ROOM (OUTSIDE AND INSIDE)



1 TENNIS COURT



2 TENNIS COURT



3 RECREATION ROOM (OUTSIDE)



4 RECREATION ROOM (OUTSIDE)



5 RECREATION ROOM (INSIDE)

XID

DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD  
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SUITE 800  
Beverly Hills, CA 90211  
T 917 319 2553

PROJECT ADDRESS

652 Robin Glen Dr  
Glendale , CA 91207

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DRAWING TITLE

Neighboring  
properties

SCALE

DATE

11/25/24

DRAWING  
NUMBER

A-1.23

PLAN CHECK SET

652 Robin Glen Dr













DESIGN + EXECUTIVE ARCHITECT  
XID DESIGN BUILD  
LLC  
SUITE 800  
Beverly Hills, CA 90211  
T 917 319 2553

PROJECT ADDRESS

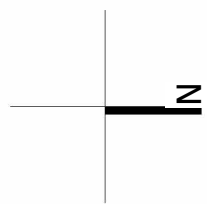
652 Robin Glen Dr  
Glendale , CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author



ROOF PLAN NOTES

- AREA SUITABLE FOR FUTURE INSTALLATION OF ELECTRICAL SOLAR PANELS WITH 1" MINIMUM CONDUIT TERMINATION.
- LINE OF WALL BELOW.
- ENERGY STAR RATED HVAC UNITS PER MECHANICAL DEFERRED SUBMITTAL.
- MECHANICAL UNIT PAD PER STRUCTURAL ROOF DRAIN.
- ROOF GUTTER. N/A
- GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY. ESR 1759
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC". (4.211.4, ENERGY ODE 110.10)
- N/A
- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM SBAR RATING OF 200 AMPS. N/A
- ROOF COVERINGS AND DECKS SHALL BE FIRE-RETARDANT PER LABC 1505 & 1503.
- ROOF DRAIN DOWNSPOUT TO CONNECT TO TORMWATER BARRELS UNDER PAVED WALKWAY FLOW.
- O'HAGIN ATTIC VENT MODEL (M) NET FREE VENTILATION AREA/ HIGH & LOW: 98.5 SQ. IN.

REQUIRED ATTIC VENTILATION

O'HAGIN ATTIC VENT MODEL (M) NET FREE VENTILATION AREA/ HIGH & LOW: 98.5 SQ. IN.

ROOF ATTIC AREA = 3,290 SQ.FT.

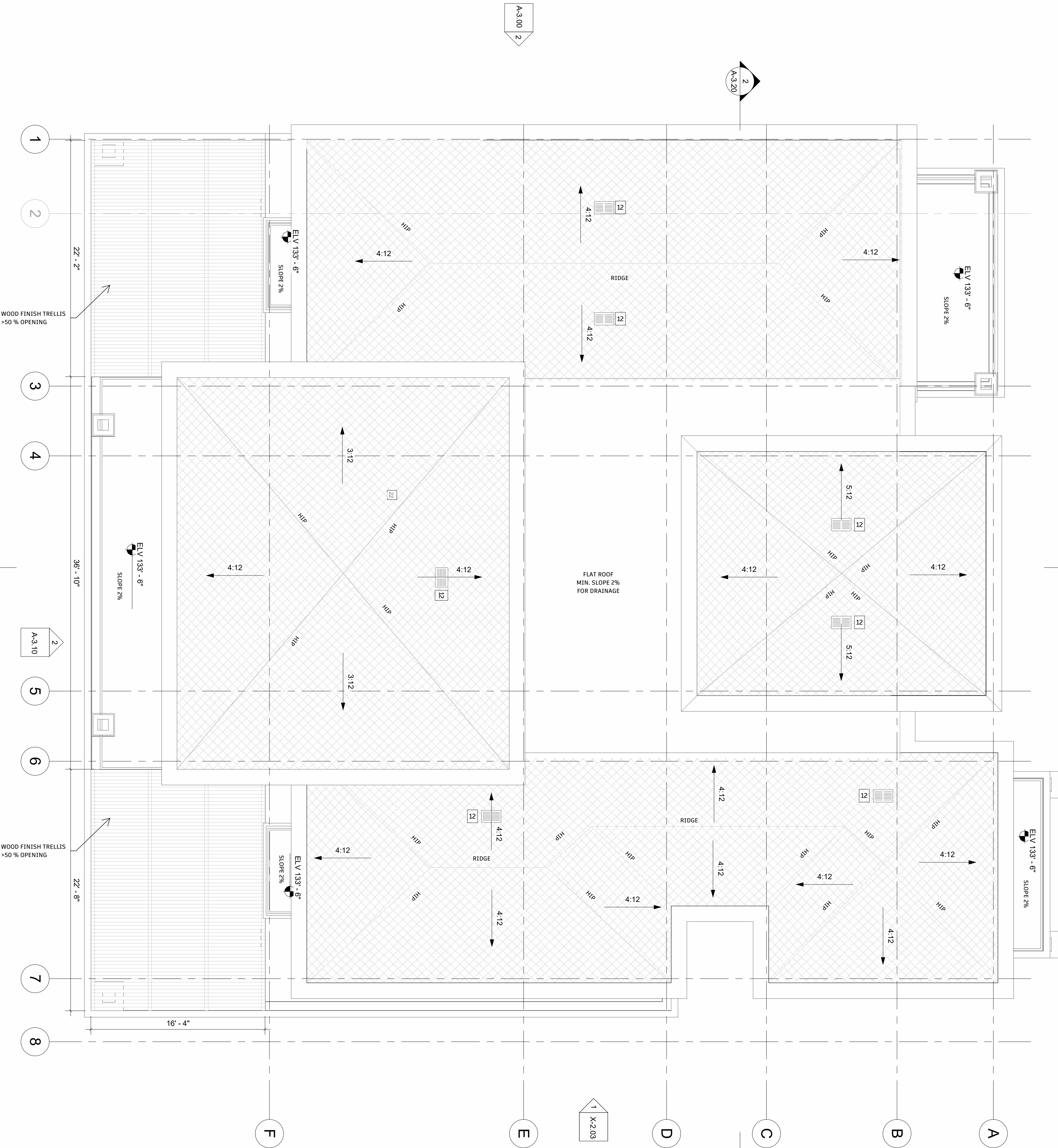
3,290 X 144 = 473,760 SQ IN

473,760 X 1/300 = 1,579.2 SQ IN

19 x 12 VENT PROVIDE 98.5 SQ. IN. = 1,871.5 SQ. IN.  
PROVIDED = 1,579.2 SQ. FT.

NOTE:

HIGH VENTS SHALL BE LOCATED A MAXIMUM OF 3 FT. LOWER THAN THE ROOF HIGH POINT OR RIDGE BEAM.



DRAWING TITLE

Proposed roof plan

SCALE  
3/16" = 1'-0"

DATE  
11/25/24

DRAWING  
NUMBER

A-2.20



- 1 GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY. ESR 1759.
- 2 BARCELONA BEIGE RIVEN (SOLISTICE STONE) LIMESTONE, 24" x 16"
- 3 PAINTED PRECAST CONCRETE EAVES AND TRIMS, PAINT TO MATCH SELECTED LIMESTONE
- 4 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- 5 VENETIAN STUCCO, CREAM COLOR
- 6 OUTDOOR LIGHTING
- 7 ARCADIA THERMAL STEEL WINDOWS

652 Robin Glen Dr  
Glendale , CA 91207

## STRUCTURAL

A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED TO HAVE POSITIVE DRAINAGE AND PROTECTIVE COATINGS.

B ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.

C VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4

D LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).

E EMERGENCY EGRESS FROM SLEEPING ROOM.

F MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44" MAXIMUM TO SILL (R310.1).

F DOWNSPOUT CONNECTED TO PLANTER BOX.

G TEMPERED GLAZING.

**NOTE : PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, RR# 25079-T.**

Author



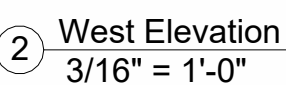
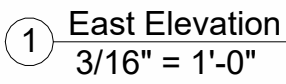
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## Proposed Building Elevations

DATE \_\_\_\_\_







- ① GRAY TILES ROOF/ PLANA - FLAT  
INTRODUCING/ EBONY GRAY. ESR 1759.
- ② BARCELONA BEIGE RIVEN (SOLSTICE  
STONE) LIMESTONE, 24" x 16"
- ③ PAINTED PRECAST CONCRETE EAVES AND  
TRIMS. PAINT TO MATCH SELECTED  
LIMESTONE
- ④ 42" HIGH GUARDRAIL/ FRAMELESS  
WROUGHT IRON
- ⑤ VENETIAN STUCCO, CREAM COLOR
- ⑥ OUTDOOR LIGHTING
- ⑦ ARCADIA THERMAL STEEL WINDOWS &  
DOORS IN STATUARY BRONZE

652 Robin Glen Dr  
Glendale , CA 91207

## STRUCTURAL

A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED  
B TO HAVE POSITIVE DRAINAGE AND PROTECTIVE  
C COATINGS.  
D ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE  
E FIRST 6 FEET MEASURED FROM GRADE, AT EXTERIOR  
F WINDOWS AND DOORS.  
G VEHICULAR ACCESS DOORS SHALL COMPLY WITH  
SECTION R612.4  
H LOT SHALL BE GRADED TO DRAIN SURFACE WATER  
I AWAY FROM FOUNDATION WALLS WITH A MINIMUM  
J FALL OF 6 INCHES WITHIN THE FIRST 10 FEET  
K (R401.3).  
L EGRESS EGRESS FROM SLEEPING ROOM.  
M MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7  
N SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44"  
O MAXIMUM TO SILL (R310.1).  
P DOWNSPOUT CONNECTED TO PLANTER BOX.  
Q TEMPERED GLAZING.

**NOTE : PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FRIST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, RR# 25079-T.**

Author



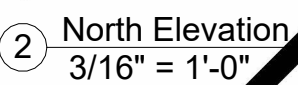
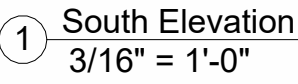
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## Proposed Building Elevations

DATE \_\_\_\_\_

## A-3.10





- 1 GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY. ESR 1759.
- 2 BARCELONA BEIGE RIVEN (SOLISTICE STONE) LIMESTONE, 24" x 16"
- 3 PAINTED PRECAST CONCRETE EAVES AND TRIMS. PAINT TO MATCH SELECTED LIMESTONE
- 4 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- 5 VENETIAN STUCCO, CREAM COLOR
- 6 OUTDOOR LIGHTING
- 7 ARCADIA THERMAL STEEL WINDOWS

652 Robin Glen Dr  
Glendale , CA 91207

## STRUCTURAL

A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED  
B TO HAVE POSITIVE DRAINAGE AND PROTECTIVE  
C COATINGS.  
D ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE  
E FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR  
F WALLS AND DOORS.  
G VEHICULAR ACCESS DOORS SHALL COMPLY WITH  
H SECTION R612.4  
I LOT SHALL BE GRADED TO DRAIN SURFACE WATER  
J AWAY FROM FOUNDATION WALLS WITH A MINIMUM  
K FALL OF 6 INCHES WITHIN THE FIRST 10 FEET  
L (R401.3).  
M EMERGENCY EGRESS FROM SLEEPING ROOM.  
N MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7  
O SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44"  
P MAXIMUM TO SILL (R310.1).  
Q DOWNSPOUT CONNECTED TO PASTOR BOX.  
R TEMPERED GLAZING.

**NOTE : PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, RR# 25079-T.**

Author



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4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
1	01/03/2023	PLAN CHECK SET
NUMBER	DATE	DESCRIPTION

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## Proposed Building Elevations

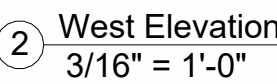
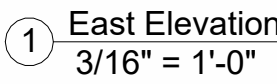
$$3/16'' = 1'-0''$$

DRAWING

NUMBER

## A-3.11

6552 Robin Glen Dr







OWNER

CIVIL ENGINEERING  
Author

- ① GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY. ESR 1759.
- ② BARCELONA BEIGE RIVEN (SOLSTICE STONE) LIMESTONE, 24" x 16"
- ③ PAINTED PRECAST CONCRETE EAVES AND TRIMS. PREAST TO MATCH SELECTED LIMESTONE
- ④ 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- ⑤ VENETIAN STUCCO, CREAM COLOR
- ⑥ OUTDOOR LIGHTING
- ⑦ ARCADIA THERMAL STEEL WINDOWS & DOORS IN STATUARY BRONZE

A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED  
B TO HAVE POSITIVE DRAINAGE AND PROTECTIVE  
C COATINGS.  
D ANTIGRAFFITI SHALL BE PROVIDED WITHIN THE  
E FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR  
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N MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7  
O SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44"  
P MINIMUM TO SILL (R310.1).  
Q DOWNSPOUT CONNECTED TO PLANTER BOX.  
R TEMPERED GLAZING.

**NOTE : PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, RR# 25079-T.**



	"	-
*	"	+
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*	"	+
*	"	+
*	"	+
4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
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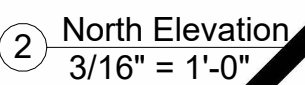
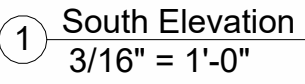
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## Proposed Building Elevations

DRAWING  
NUMBER

11/26/24

A-3.12







DESIGN + EXECUTIVE ARCHITECT  
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T 917 319 2553

PROJECT ADDRESS

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Glendale , CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

ELEVATION NOTES

- TILE BALCONY/PATIO PER OWNER. BALCONIES NEED TO HAVE POSITIVE DRAINAGE AND PROTECTIVE COATINGS.
- ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4
- LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
- EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44" MAXIMUM TO SILL (R310.1).
- DOWNSPOUT CONNECTED TO PLANTER BOX.
- TEMPERED GLAZING.

NOTE : PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FRIST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, RNR 25079-T.

FINISH LEGEND

TYPES	NAME	DESCRIPTION
PAINT	PT1	INT. WALL LOW-VOC PAINT,COLOR,SHEEN TBD/OWNER
	PT2	EXT. WALL LOW-VOC PAINT,COLOR,SHEEN TBD/OWNER
TILE	T1	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
	T2	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
BASE	BM1	WOOD BASE TRIM, PROFILE AND FINISH TBD BY OWNER
WD	T5	BASE TILE, SIZE AND COLOR TBD BY OWNER
	WD1	WOOD FLOORING, FINISH TBD BY OWNER
MISC	CT1	KITCHEN COUNTERTOP, COLOR & FINISH TBD BY OWNER
	CT2	BATHROOM COUNTERTOP, COLOR & FINISH BY OWNER
	CO	SEALED CONCRETE FLOORING
	DC	EXTERIOR DECK COATING, DEX-0-TEX OR EQ.

ISSUE RECORD

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DRAWING TITLE

Proposed Sections

SCALE	DRAWING NUMBER
3/16" = 1'-0"	NUMBER
DATE	
11/25/24	A-3.20

1  
A-1.12

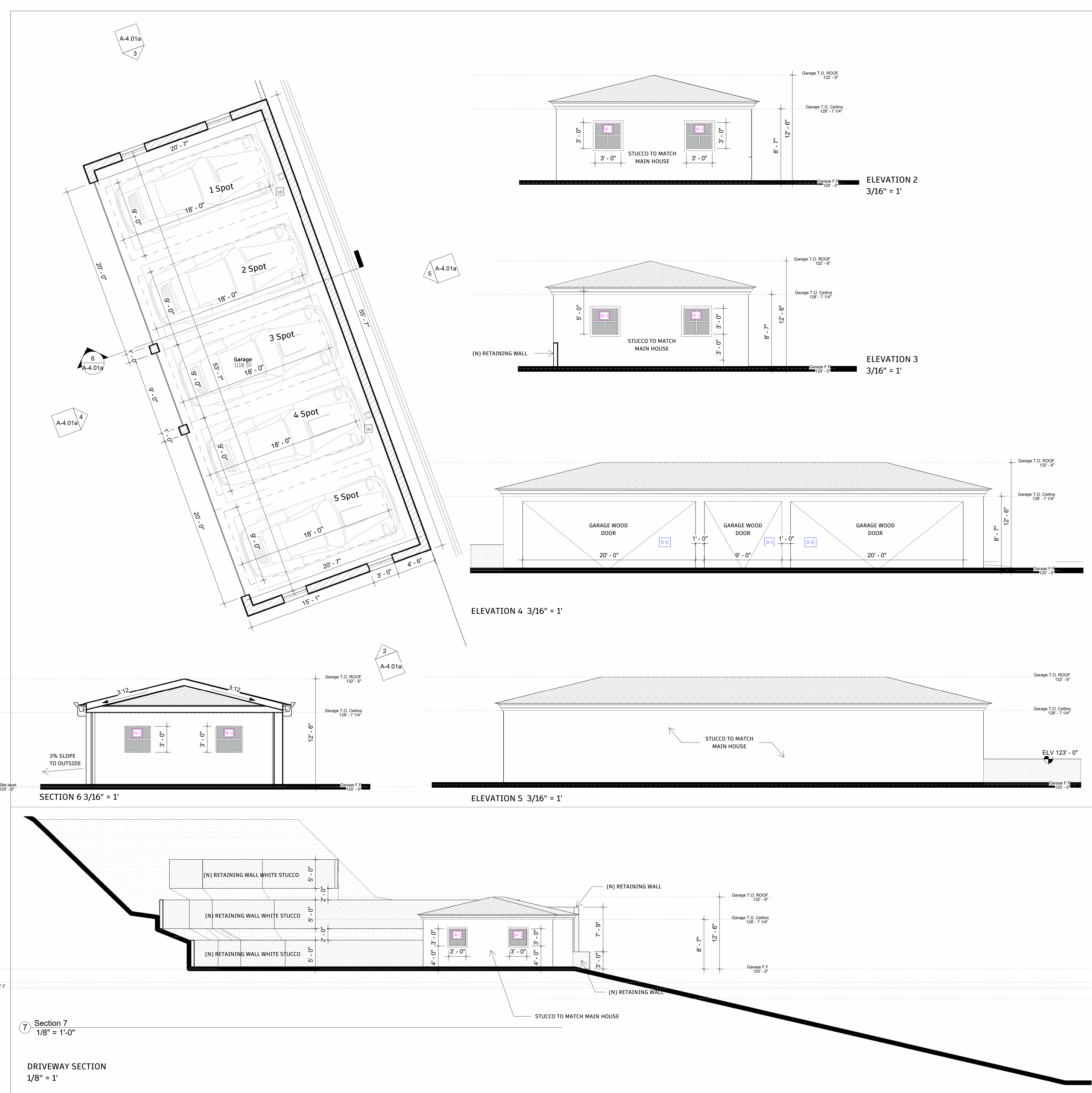
1  
Section 1  
3/16" = 1'-0"

2  
Section 2  
3/16" = 1'-0"

PLAN CHECK SET

652 Robin Glen Dr





- 1 ENERGY STAR RATED REFRIGERATOR, MAKE AND MODEL T.B.D.  
2 ENERGY STAR RATED FREEZER, MAKE AND MODEL T.B.D.  
3 COOKTOP, OVEN AND EXHAUST HOOD, MAKES AND MODELS T.B.D. BY OWNER. PROVIDE POWER & GAS CONNECTIONS AS REQUIRED.  
4 MILLWORK, FINISH T.B.D.  
5 ENERGY STAR RATED WASHING MACHINE, MAKE AND MODEL T.B.D. BY OWNER.  
6 ENERGY STAR RATED CLOTHES DRYER, MAKE AND MODEL T.B.D. BY OWNER.  
7 DIRECT VENT, SEALED COMBUSTION TYPE GAS FIREPLACE BY HEATILATOR MODEL CRAVE 74"X72-1/4". MAXIMUM 2' PROJECTION IN REQUIRED YARD IS ALLOWED PER SECTION 12.22 C 20 (b). SEE AD-7.0 FOR SPECIFICATION.  
8 COAT POLE AND SHELVING T.B.D. BY OWNER.  
9 LINE OF FLOOR ABOVE.  
10 KITCHEN ISLAND, T.B.D. BY OWNER.  
11 42" TEMPERED GLASS GUARDRAIL. LARR #25084.  
12 FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 2014 IABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)  
13 TILE PATIO PER OWNER.N/A  
14 ENTRY DOOR IS 7' WIDE BY 10' HIGH (R311.2) AND OPENS ON A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD.  
15 1-HR 5/8" FIRE-RESISTANCE DRYWALL AND GARAGE CEILING.  
16 STAIRS PER STRUCTURAL. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7 + R303.8)  
17 LANDING TO BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS. (R311.3.1).  
18 FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES:  
- 1" MINIMUM INSIDE DIAMETER INSTALLED TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT.  
THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.  
- SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.  
- THE PANEL OR SUBPANEL SHALL PROVIDE TO INSTALL A 40-AMPERE MINIMUM BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.  
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE."  
19 FIRE-RETARDANT-TREATED WOOD SIDING IDENTIFIED FOR EXTERIOR USE THAT COMPLIES THE REQUIREMENTS OF SECTION 2303.2.  
20 RAISED PLANTERS @3'-6" HEIGHT. NA  
21 ROOF COVERINGS AND DECKS SHALL BE FIRE-RETARDANT PER IABC 1505 & 1503.  
22 ROOF DRAIN DOWNSPOUT CONCEALED IN WALL TO CONNECT TO STORMWATER PLANTER UNDER PAVED WALKWAY BELOW.  
23 THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:  
a. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.  
b. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.(4.506.1)  
24 DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WITH SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK (R302.5.1).  
25 VEHICULAR ACCESS DOORS SHALL COMPLY WITH R 612.4.  
26 a. SURFACE OF GARAGE SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL AND SLOPED TO DRAIN TOWARD THE MAIN VEHICULAR ENTRY.  
b. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC BY TYPE X DRYWALL ON CEILING AND WALLS, IN ACCORDANCE WITH TABLE R302.6.  
c. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO.26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).  
27 GRASS/PAVERS AREA NA  
28 STAIRWAY DETAILS:  
a. 7.75" MAXIMUM RISE & 10" MINIMUM RUN. (R311.7.5)  
b. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)  
c. MINIMUM 36" CLEAR WIDTH. (R311.7.1)  
d. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)  
e. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.8.3)  
f. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312.1.3)  
(SEE SHEET AD-1.0 DETAIL 01 FOR SPECIFICATION)  
29 EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM- 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5.0 SF AT GRADE LEVEL) & 44" MAXIMUM TO SILL. (R310.1)  
30 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7). NA  
31 PARKING AND TURNING AREAS WITHIN 15' OF PROPERTY LINE MUST BE ENCLOSED BY 5'9" HIGH SOLID WALL- 12-21A6 (d), (e), (f) NA  
32 MULTIPLE SHOWER HEADS SERVING ONE SHOWER. WATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3FT ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.  
33 BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.  
34 GLAZING IN THESE LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3  
35

DESIGN + EXECUTIVE ARCHITECT

XID

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OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

SYMBOL LEGEND

	FINISH TRANSITION		WINDOW
	DOOR		
	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP		
	CARBON MONOXIDE ALARM, HARD-WIRED W/BATTERY BACK-UP		

FINISH LEGEND

TYPES	NAME	DESCRIPTION
PAINT	PT1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD / OWNER
	PT2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD /OWNER
TILE	T1	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
	T2	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
BASE	BM1	WOOD BASE TRIM, PROFILE AND FINISH TBD BY OWNER
	T5	BASE TILE, SIZE AND COLOR TBD BY OWNER
WD	WD1	WOOD FLOORING, FINISH TBD BY OWNER
MISC	CT1	KITCHEN COUNTERTOP, COLOR & FINISH TBD BY OWNER
	CT2	BATHROOM COUNTERTOP, COLOR & FINISH BY OWNER
	CO	SEALED CONCRETE FLOORING
DC		EXTERIOR DECK COATING, DEX-0-TEX OR EQ.

FIXTURE SCHEDULE

NAME	DESCRIPTION
P-1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD / OWNER
P-2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD /OWNER
P-3	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
P-4	THIN SET FLOOR TILE, SIZE & COLOR TBD BY OWNER
P-5	WOOD BASE TRIM, PROFILE AND FINISH TBD BY OWNER
P-6	BASE TILE, SIZE AND COLOR TBD BY OWNER
P-7	WOOD FLOORING, FINISH TBD BY OWNER
P-8	KITCHEN COUNTERTOP, COLOR & FINISH TBD BY OWNER
P-9	BATHROOM COUNTERTOP, COLOR & FINISH BY OWNER
P-10	SEALED CONCRETE FLOORING
	PROVIDE ALL REQUIRED CONNECTIONS FOR ALL FIXTURES
	NOTE: G.C. TO PROVIDE ALL ELECTRICAL, PLUMBING, MECHANICAL, FUSES, EXHAUST, CONNECTIONS AND RELATED INFRASTRUCTURE REQUIRED FOR THE FUNCTION AND OPERATION OF ALL DEVICES, APPLIANCES, FIXTURES, ECT.

DRAWING TITLE

Proposed Garage Elevations & Plan

SCALE

As indicated

DRAWING NUMBER

A-4.01a

DATE

11/25/24







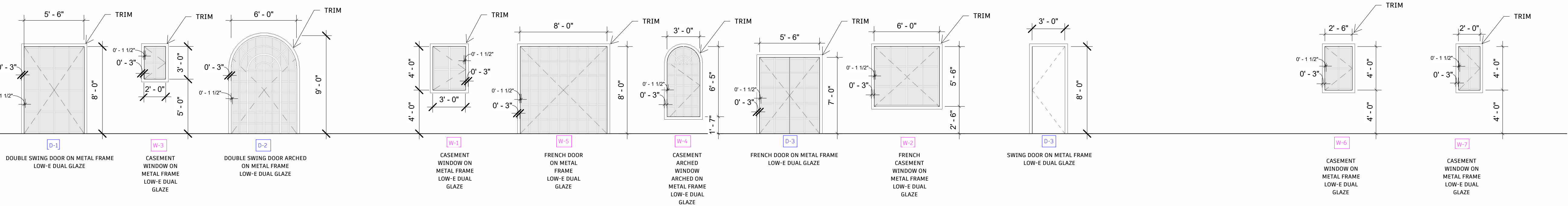
DOOR SCHEDULE

DOOR NO.		DOOR							FRAMES			DETAILS				QUANTITY	REMARKS	
		WIDTH	HEIGHT	THICK	TYPE	MATERIAL		SAFETY	GRIDS / SDL	MATERIAL	FINISH	LABEL	HEAD	JAMB	SILL			SILL / TRIM MATERIAL
1ST FLOOR	D-0	3' - 00"	9' - 00"	0' - 1 1/2"	HINGED	WOOD				THERMAL STEEL	STATUTARY BRONZE	N/A	9' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	11	INT : BEDROOM, CLOSET, BATHROOM, POWDER, OFFICE
	D-1	16' - 6"	11' - 00"	0' - 1 1/2"	SLIDING	GLASS				THERMAL STEEL	STATUTARY BRONZE	N/A	11' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	2	EXT : DINING ROOM
	D-2	22' - 00"	11' - 00"	0' - 1 1/2"	SLIDING	GLASS				THERMAL STEEL	STATUTARY BRONZE	N/A	11' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	1	EXT : DINING ROOM
	D-3	6' - 00"	9' - 05"	0' - 1 1/2"	FRENCH	GLASS		X	X	THERMAL STEEL	STATUTARY BRONZE	N/A	9' - 5 3/4"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	1	ENTRY
	D-4	3' - 00"	10' - 00"	0' - 1 1/2"	HINGED	GLASS				THERMAL STEEL	STATUTARY BRONZE	N/A	10' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	1	CHEF KITCHEN
2ND FLOOR	D-0	3' - 00"	8' - 00"	0' - 1 1/2"	HINGED	WOOD				THERMAL STEEL	STATUTARY BRONZE	N/A	8' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	13	INT : BEDROOM, CLOSET, BATHROOM
	D-1	6' - 00"	8' - 00"	0' - 1 1/2"	FRENCH	WOOD			X	THERMAL STEEL	STATUTARY BRONZE	N/A	8' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	6	EXT : MASTER BATHROOM, BEDROOM, CLOSET
	D-2	6' - 00"	8' - 00"	0' - 1 1/2"	FRENCH	GLASS			X	THERMAL STEEL	STATUTARY BRONZE	N/A	8' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	3	EXT : MASTER BEDROOM
	D-3	5' - 6"	7' - 00"	0' - 1 1/2"	FRENCH	GLASS			X	THERMAL STEEL	STATUTARY BRONZE	N/A	7' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	2	INT : MASTER BATHROOM, LAUNDRY CLOSET
GARAGE	D-0	20' - 00"	8' - 00"	0' - 1 1/2"	ELECTRIC	WOOD				THERMAL STEEL	STATUTARY BRONZE	N/A	8' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	2	GARAGE DOOR
	D-1	9' - 00"	8' - 00"	0' - 1 1/2"	ELECTRIC	WOOD				THERMAL STEEL	STATUTARY BRONZE	N/A	8' - 01"	0' - 01"	N/A	PAINTED PRECAST CONCRETE	1	GARAGE DOOR

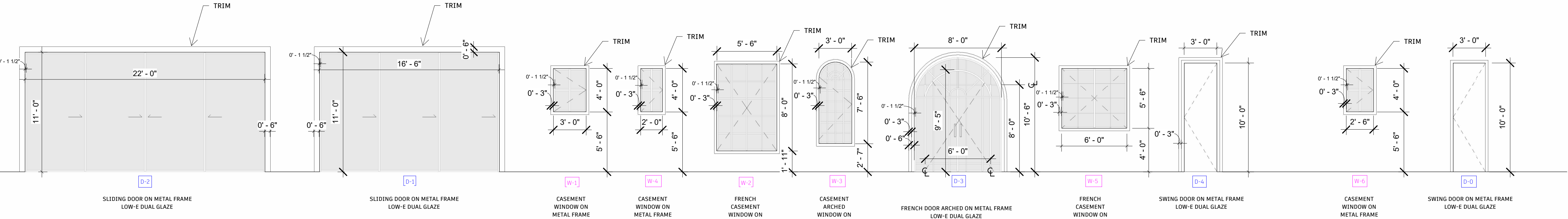
WINDOW SCHEDULE

WINDOW NO.	WINDOW													FIRE HAZARD ZONE	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR	FRAMES			DETAILS				QUANTITY	REMARKS
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	VISIBLE FROM STREET? Y/N	FRAME TYPE	BUILD NEW SILL & FRAME Y/N	GRIDS / SDL	BEDROOM Y/N	ENERGY EFFICIENT Y/N	TEMPERED GLASS	MATERIAL			FINISH	LABEL	HEAD	JAMB	SILL	SILL / TRIM MATERIAL			
1ST FLOOR	W-1	3'-00"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL - IN	Y	X	N	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	4'-01"	4'-00"	5'-07"	PAINTED PRECAST CONCRETE	3	KITCHEN, PANTRY
	W-2	5'-6"	8'-00"	0'-1 1/2"	FRENCH	GLASS	N	NAIL - IN	Y	X	Y	Y	Y	N	Y	THERMAL STEEL	BRONZE STATUTARY	N/A	8'-01"	8'-00"	2'-00"	PAINTED PRECAST CONCRETE	4	OFFICE, BEDROOM 2
	W-3	3'-00"	7'-6"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL - IN	Y	X	N	Y	Y	N	Y	THERMAL STEEL	BRONZE STATUTARY	N/A	7'-07"	7'-06"	2'-08"	PAINTED PRECAST CONCRETE	2	HALLWAY
	W-4	2'-00"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL - IN	Y	X	Y	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	4'-01"	4'-00"	5'-07"	PAINTED PRECAST CONCRETE	2	BATHROOM 1, CLOSET 1
	W-5	6'-00"	5'-6"	0'-1 1/2"	FRENCH	GLASS	N	NAIL - IN	Y	X	N	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	5'-07"	5'-06"	4'-01"	PAINTED PRECAST CONCRETE	1	DINING ROOM
2ND FLOOR	W-1	3'-00"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL - IN	Y	X	Y	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	4'-01"	4'-00"	4'-00"	PAINTED PRECAST CONCRETE	1	BATHROOM 5
	W-2	6'-00"	4'-00"	0'-1 1/2"	FRENCH	GLASS	N	NAIL - IN	Y	X	N	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	4'-01"	4'-00"	2'-06"	PAINTED PRECAST CONCRETE	1	MASTER BATHROOM
	W-3	2'-00"	3'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL - IN	Y	X	Y	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	3'-01"	3'-00"	5'-00"	PAINTED PRECAST CONCRETE	2	BEDROOM 5, CLOSET 5
	W-4	3'-00"	6'-5"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL - IN	Y	X	N	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	6'-06"	6'-05"	1'-08"	PAINTED PRECAST CONCRETE	2	HALLWAY
	W-5	8'-00"	8'-00"	0'-1 1/2"	FRENCH	GLASS	N	NAIL - IN	Y	X	N	Y	Y	N	Y	THERMAL STEEL	BRONZE STATUTARY	N/A	8'-01"	8'-00"	0'-01"	PAINTED PRECAST CONCRETE	1	DESK
	W-6	2'-6"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL - IN	Y	X	Y	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	4'-01"	4'-00"	4'-01"	PAINTED PRECAST CONCRETE	2	BEDROOM 2, BATHROOM 2
	W-7	2'-00"	4'-00"	0'-1 1/2"	CASEMENT	GLASS	N	NAIL - IN	Y	X	Y	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	4'-01"	4'-00"	4'-01"	PAINTED PRECAST CONCRETE	1	BATHROOM 3
GARAGE	W-1	3'-00"	3'-00"	0'-1 1/2"	FIXED	GLASS	N	NAIL - IN	Y	X	N	Y	N	N	N	THERMAL STEEL	BRONZE STATUTARY	N/A	3'-01"	3'-00"	5'-01"	PAINTED PRECAST CONCRETE	4	GARAGE

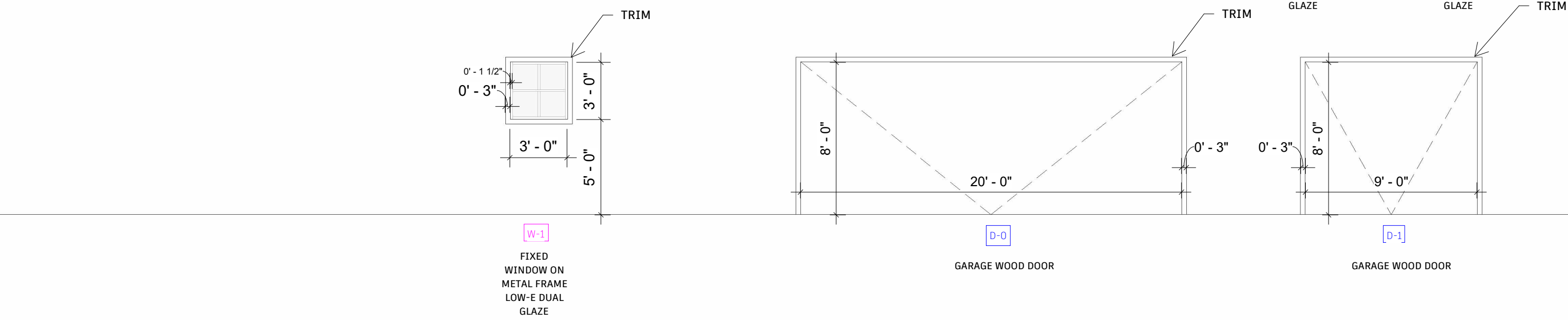
SECOND FLOOR



FIRST FLOOR



GARAGE



DESIGN + EXECUTIVE ARCHITECT



XID DESIGN BUILD LLC  
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PROJECT ADDRESS

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Glendale , CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING

Author

DOOR NOTES

- DOOR DIMENSIONS INDICATED ARE NORMAL. PROVIDE UNDERCUT AS REQUIRED TO CLEAR ALL FLOOR FINISHES.
- BUILDING GLAZING: DUAL PANE LOW-E-NON-METAL FRAMED GLAZING WITH NFRC U-VALUE OF 0.28 AND NFRC SHGC OG 0.26.
- ALL DOOR HARDWARE TO BE SATIN NICKEL FINISH, AND LATCHED DOORS TO HAVE LEVER-TYPE HANDLES.
- ALL EXTERIOR ENTRY/EXIT DOORS SHALL SWING OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
- LANDING AT A DOOR SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL NO LESS THAN 36".
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED PER CBC 2406.3  
A. INGRESS AND EGRESS DOORS.  
B. PANELS IN SLIDING OR SWINGING DOORS.  
C. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, AND SHOWERS. ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-00" OF STANDING SURFACE.  
D. IF WITHIN 2'-00" OF VERTICAL EDGE OF CLOSED DOOR AND LESS THAN 5'-00" OF WALKING SURFACE.  
E. IN WALL ENCLOSING STAIRWAY LANDING.  
F. GUARDS AND HANDRAILS AROUND STAIRS AND ALL BALCONIES.

COMMENTS

- ALL DIMENSIONS ARE NOMINAL AND HOW TO OUTSIDE OF FRAME. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO PLACING WINDOW ORDER.
- BUILDING GLAZING: DUAL PANE LOW-E-NON-METAL FRAMED GLAZING WITH A NFRC-VALUE OF 0.28 AND NFRC-SHGC-VALUE OF 0.26.
- BEDROOMS SHALL HAVE AT LEAST ONE OPENABLE ESCAPE WINDOW. THESE WINDOWS MUST HAVE A MIN. OPENABLE AREA OF 5.7 SF, A MIN. CLR. OPENABLE HT. OF 24", A MIN. NET CLR. OPENABLE WIDTH OF 20", AND A SILL HT. NOT OVER 44" AFF. (SECTION 210.4 2001 CBC).

GENERAL NOTES

- ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDING INSTALLATION INSTRUCTIONS ONLY.
- CONTACT ARCHITECT IMMEDIATELY IF CONTACT INFORMATION INDICATED OR MATERIAL SPECIFICATION INFORMATION IS INCORRECT OR OUT OF DATE.
- CONTRACTOR TO PROVIDE OWNER WITH ALL MANUFACTURER WARRANTY INFORMATION FOR ALL MATERIALS USED AT PROJECT CLOSEOUT.
- NO SUBSTITUTIONS PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. PROVIDE ONE SAMPLE AND SPECIFICATIONS/CUT SHEET INFORMATION TO ARCHITECT FOR ANY PROPOSED SUBSTITUTIONS.

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4	08/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
1	01/03/2023	PLAN CHECK SET
NUMBER	DATE	DESCRIPTION

ISSUE RECORD

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DRAWING TITLE

Door, Window & Finish schedule

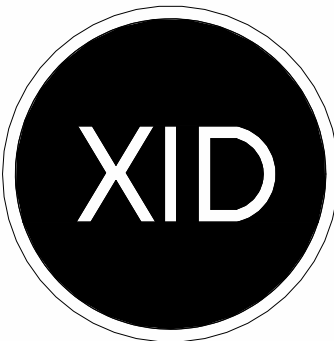
SCALE 3/16" = 1'-0"

DATE 11/25/24

DRAWING NUMBER

A-6.00





DESIGN + EXECUTIVE ARCHITECT  
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OWNER

STRUCTURAL

CIVIL ENGINEERING  
Author

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ISSUE RECORD

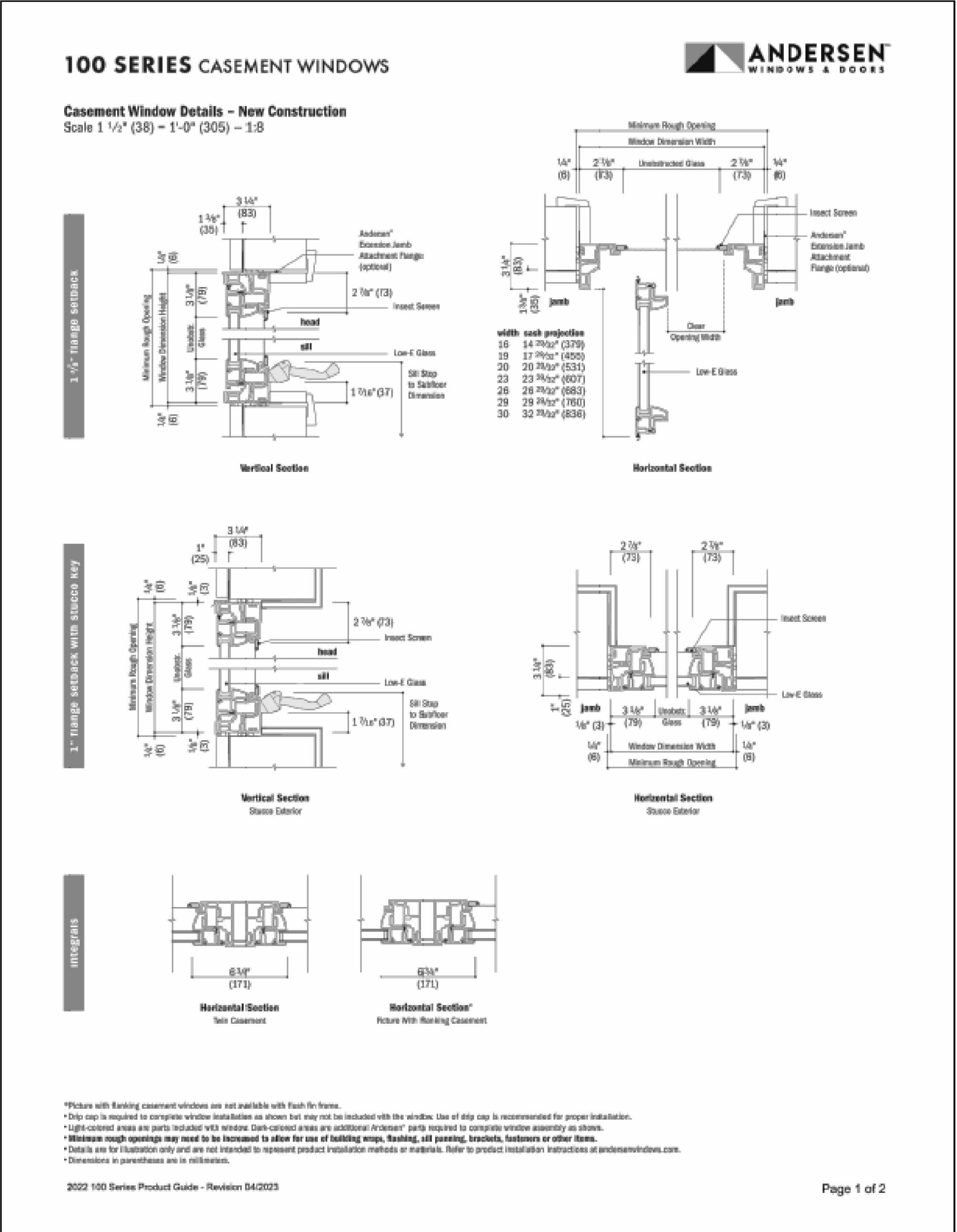
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DRAWING TITLE

Doors and  
Windows Details

SCALE	DRAWING NUMBER
DATE	
11/25/24	A-6.01

THRESHOLD TYPICAL DETAIL	SCALE NTS	01	THRESHOLD TYPICAL DETAIL
WINDOW HEADER	SCALE 1-1/2" - 1'-0"	05	
WINDOW SILL	SCALE 1-1/2" - 1'-0"	04	



CASEMENT WINDOW DETAIL

SCALE  
NTS

03

PLAN CHECK SET

652 Robin Glen Dr







Lite Break	Frame Leg	Glass Main U	pane 1		pane 2		pane 3		gap 1	gap 2	fill	U-VALUE	SHGC	VT	CPD #	
SL	LONG/LONG	Dual	6mm	SNX (62/27)					0.688	air	0.37	0.20	0.44		SOD-K-14-00577-00001	
SDL	LONG/LONG	Dual	6mm	SNX (62/27)					0.688	air	0.39	0.18	0.40		SOD-K-14-00578-00001	
TDL	LONG/LONG	Dual	6mm	SNX (62/27)					0.688	air	0.41	0.17	0.36		SOD-K-14-00579-00001	
SL	LONG/LONG	Dual	6mm	SNX (62/27)			6mm	term clear	0.688	air	0.37	0.20	0.43		SOD-K-14-00580-00001	
SDL	LONG/LONG	Dual	6mm	SNX (62/27)			6mm	term clear	0.688	air	0.39	0.18	0.39		SOD-K-14-00584-00001	
TDL	LONG/LONG	Dual	6mm	SNX (62/27)			6mm	term clear	0.688	air	0.41	0.17	0.35		SOD-K-14-00585-00001	
SL	LONG/LONG	Dual	6mm	SNX (62/27)		6mm	IS20		0.688	air	0.33	0.19	0.42		SOD-K-14-00586-00001	
SDL	LONG/LONG	Dual	6mm	SNX (62/27)		6mm	IS20		0.688	air	0.34	0.18	0.38		SOD-K-14-00587-00001	
TDL	LONG/LONG	Dual	6mm	SNX (62/27)		6mm	IS20		0.688	air	0.38	0.15	0.35		SOD-K-14-00588-00001	
SL	LONG/LONG	Triple	6mm	SNX (62/27)		6mm	clear	6mm	clear	0.438	0.438	air	0.31	0.18	0.39	SOD-K-14-00595-00001
SDL	LONG/LONG	Triple	6mm	SNX (62/27)		6mm	clear	6mm	clear	0.438	0.438	air	0.32	0.17	0.36	SOD-K-14-00596-00001
TDL	LONG/LONG	Triple	6mm	SNX (62/27)		6mm	clear	6mm	clear	0.438	0.438	air	0.35	0.16	0.32	SOD-K-14-00597-00001
SL	LONG/LONG	Triple	6mm	SNX (62/27)		6mm	clear	6mm	IS20	0.438	0.438	air	0.29	0.18	0.38	SOD-K-14-00598-00001
SDL	LONG/LONG	Triple	6mm	SNX (62/27)		6mm	clear	6mm	IS20	0.438	0.438	air	0.29	0.16	0.35	SOD-K-14-00599-00001
TDL	LONG/LONG	Triple	6mm	SNX (62/27)		6mm	clear	6mm	IS20	0.438	0.438	air	0.33	0.15	0.31	SOD-K-14-00600-00001
SL	LONG/LONG	Dual	6mm	grey		6mm	SNX (62/27)		0.688	air	0.37	0.18	0.22		SOD-K-14-00577-00002	
SDL	LONG/LONG	Dual	6mm	grey		6mm	SNX (62/27)		0.688	air	0.39	0.16	0.20		SOD-K-14-00578-00002	
TDL	LONG/LONG	Dual	6mm	grey		6mm	SNX (62/27)		0.688	air	0.41	0.15	0.18		SOD-K-14-00579-00002	
SL	LONG/LONG	Dual	6mm	SN68 (70/36)		6mm	clear		0.688	air	0.38	0.27	0.48		SOD-K-14-00601-00001	
SDL	LONG/LONG	Dual	6mm	SN68 (70/36)		6mm	clear		0.688	air	0.39	0.25	0.44		SOD-K-14-00602-00001	
TDL	LONG/LONG	Dual	6mm	SN68 (70/36)		6mm	clear		0.688	air	0.42	0.23	0.39		SOD-K-14-00603-00001	
SL	LONG/LONG	Dual	6mm	SN68 (70/36)		6mm	IS20		0.688	air	0.33	0.27	0.47		SOD-K-14-00607-00001	
SDL	LONG/LONG	Dual	6mm	SN68 (70/36)		6mm	IS20		0.688	air	0.34	0.24	0.42		SOD-K-14-00608-00001	
TDL	LONG/LONG	Dual	6mm	SN68 (70/36)		6mm	IS20		0.688	air	0.38	0.22	0.38		SOD-K-14-00609-00001	
SL	LONG/LONG	Triple	6mm	SN68 (70/36)		6mm	clear	6mm	clear	0.438	0.438	air	0.32	0.25	0.43	SOD-K-14-00610-00001
SDL	LONG/LONG	Triple	6mm	SN68 (70/36)		6mm	clear	6mm	clear	0.438	0.438	air	0.32	0.23	0.39	SOD-K-14-00611-00001
TDL	LONG/LONG	Triple	6mm	SN68 (70/36)		6mm	clear	6mm	clear	0.438	0.438	air	0.35	0.21	0.35	SOD-K-14-00612-00001

SL	LONG/LONG	Triple	6mm SN68 (70/36)	6mm clear	6mm IS20	0.438	0.438	air	0.29	0.25	0.42	SOD-K-14-00613-00001
SDL	LONG/LONG	Triple	6mm SN68 (70/36)	6mm clear	6mm IS20	0.438	0.438	air	0.23	0.23	0.38	SOD-K-14-00614-00001
TDL	LONG/LONG	Triple	6mm SN68 (70/36)	6mm clear	6mm IS20	0.438	0.438	air	0.33	0.21	0.34	SOD-K-14-00615-00001
SL	LONG/LONG	Dual	6mm 366	6mm clear		0.688		air	0.38	0.20	0.44	SOD-K-14-00616-00001
SDL	LONG/LONG	Dual	6mm 366	6mm clear		0.688		air	0.39	0.19	0.40	SOD-K-14-00617-00001
TDL	LONG/LONG	Dual	6mm 366	6mm clear		0.688		air	0.41	0.17	0.36	SOD-K-14-00618-00001
SL	LONG/LONG	Dual	6mm 366	6mm 89		0.688		air	0.33	0.20	0.43	SOD-K-14-00619-00001
SDL	LONG/LONG	Dual	6mm 366	6mm 89		0.688		air	0.34	0.18	0.39	SOD-K-14-00620-00001
TDL	LONG/LONG	Dual	6mm 366	6mm 89		0.688		air	0.38	0.17	0.35	SOD-K-14-00621-00001
SL	LONG/LONG	Triple	6mm 366	6mm clear	6mm clear	0.438	0.438	air	0.31	0.19	0.40	SOD-K-14-00622-00001
SDL	LONG/LONG	Triple	6mm 366	6mm clear	6mm clear	0.438	0.438	air	0.32	0.17	0.36	SOD-K-14-00623-00001
TDL	LONG/LONG	Triple	6mm 366	6mm clear	6mm clear	0.438	0.438	air	0.35	0.16	0.33	SOD-K-14-00630-00001
SL	LONG/LONG	Triple	6mm 366	6mm clear	6mm 89	0.438	0.438	air	0.28	0.18	0.39	SOD-K-14-00631-00001
SDL	LONG/LONG	Triple	6mm 366	6mm clear	6mm 89	0.438	0.438	air	0.29	0.17	0.35	SOD-K-14-00632-00001
TDL	LONG/LONG	Triple	6mm 366	6mm clear	6mm 89	0.438	0.438	air	0.33	0.16	0.32	SOD-K-14-00633-00001
SL	LONG/LONG	Dual	6mm SNX (62/27)	6mm clear		0.688		argon	0.34	0.19	0.44	SOD-K-14-00589-00001
SDL	LONG/LONG	Dual	6mm SNX (62/27)	6mm clear		0.688		argon	0.36	0.18	0.40	SOD-K-14-00590-00001
TDL	LONG/LONG	Dual	6mm SNX (62/27)	6mm clear		0.688		argon	0.39	0.15	0.36	SOD-K-14-00591-00001
SL	LONG/LONG	Dual	6mm grey	6mm SNX (62/27)		0.688		argon	0.34	0.17	0.22	SOD-K-14-00592-00002
SDL	LONG/LONG	Dual	6mm grey	6mm SNX (62/27)		0.688		argon	0.36	0.16	0.20	SOD-K-14-00590-00002
TDL	LONG/LONG	Dual	6mm grey	6mm SNX (62/27)		0.688		argon	0.39	0.15	0.18	SOD-K-14-00591-00002
SL	LONG/LONG	Dual	6mm SNX (62/27)	6mm IS20		0.688		argon	0.31	0.19	0.42	SOD-K-14-00592-00003
SDL	LONG/LONG	Dual	6mm SNX (62/27)	6mm IS20		0.688		argon	0.32	0.17	0.38	SOD-K-14-00593-00001
TDL	LONG/LONG	Dual	6mm SNX (62/27)	6mm IS20		0.688		argon	0.36	0.16	0.35	SOD-K-14-00594-00001
SL	LONG/LONG	Dual	6mm 366	6mm clear		0.688		argon	0.34	0.20	0.44	SOD-K-14-00627-00001
SDL	LONG/LONG	Dual	6mm 366	6mm clear		0.688		argon	0.36	0.19	0.40	SOD-K-14-00623-00001
TDL	LONG/LONG	Dual	6mm 366	6mm clear		0.688		argon	0.39	0.17	0.36	SOD-K-14-00624-00001
SL	LONG/LONG	Dual	6mm 366	6mm 89		0.688		argon	0.30	0.20	0.43	SOD-K-14-00625-00002
SDL	LONG/LONG	Dual	6mm 366	6mm 89		0.688		argon	0.31	0.18	0.39	SOD-K-14-00626-00001
TDL	LONG/LONG	Dual	6mm 366	6mm 89		0.688		argon	0.36	0.17	0.35	SOD-K-14-00627-00001

Lite Break	Frame Leg	Glass Main U	pane 1	pane 2	pane 3	pane 4	gap 1	gap 2	gap 3	Gap Fill	U-factor	SHGC	VT	Gap Widths	Gap Widths	Spacer	CPD #
SLITE	LONG/LONG	Dual	6mm SNX 62/27	6mm clear						air	0.38	0.22	0.49	0.688	0.688	SS-D	SOD-K-16-00679-00001
SDL	LONG/LONG	Dual	6mm SNX 62/27	6mm clear						air	0.38	0.19	0.43	0.688	0.688	ZF-S	SOD-K-16-00705-00001
TDL	LONG/LONG	Dual	6mm SNX 62/27	6mm clear						air	0.41	0.17	0.37	0.688	0.688	ZF-S	SOD-K-16-00706-00001
SLITE	LONG/LONG	Dual	6mm GREY	6mm SNX 62/27						air	0.38	0.2	0.35	0.688	0.688	SS-D	SOD-K-16-00679-00002
SDL	LONG/LONG	Dual	6mm GREY	6mm SNX 62/27						air	0.38	0.18	0.21	0.688	0.688	ZF-S	SOD-K-16-00705-00002
TDL	LONG/LONG	Dual	6mm GREY	6mm SNX 62/27						air	0.41	0.16	0.19	0.688	0.688	ZF-S	SOD-K-16-00706-00002
SLITE	LONG/LONG	Dual	6mm SNX 62/27	6mm term						air	0.35	0.22	0.49	0.688	0.688	ZF-S	SOD-K-16-00710-00001
SDL	LONG/LONG	Dual	6mm SNX 62/27	6mm term						air	0.38	0.19	0.43	0.688	0.688	ZF-S	SOD-K-16-00711-00001
TDL	LONG/LONG	Dual	6mm SNX 62/27	6mm term						air	0.41	0.17	0.37	0.688	0.688	ZF-S	SOD-K-16-00712-00001
SLITE	LONG/LONG	Dual	6mm SNX 62/27	6mm IS20						air	0.3	0.21	0.48	0.688	0.688	ZF-S	SOD-K-16-00713-00001
SDL	LONG/LONG	Dual	6mm SNX 62/27	6mm IS20						air	0.32	0.19	0.42	0.688	0.688	ZF-S	SOD-K-16-00714-00001
TDL	LONG/LONG	Dual	6mm SNX 62/27	6mm IS20						air	0.38	0.17	0.36	0.688	0.688	ZF-S	SOD-K-16-00715-00001
SLITE	LONG/LONG	Dual	6mm SNX 62/27	6mm clear						argon	0.32	0.21	0.49	0.688	0.688	ZF-S	SOD-K-16-00716-00001
SDL	LONG/LONG	Dual	6mm SNX 62/27	6mm clear						argon	0.34	0.19	0.43	0.688	0.688	ZF-S	SOD-K-16-00717-00001
TDL	LONG/LONG	Dual	6mm SNX 62/27	6mm clear						argon	0.38	0.17	0.37	0.688	0.688	ZF-S	SOD-K-16-00718-00001
SLITE	LONG/LONG	Dual	6mm GREY	6mm SNX 62/27						argon	0.32	0.19	0.35	0.688	0.688	ZF-S	SOD-K-16-00716-00002
SDL	LONG/LONG	Dual	6mm GREY	6mm SNX 62/27						argon	0.34	0.17	0.21	0.688	0.688	ZF-S	SOD-K-16-00717-00002
TDL	LONG/LONG	Dual	6mm GREY	6mm SNX 62/27						argon	0.38	0.15	0.19	0.688	0.688	ZF-S	SOD-K-16-00718-00002
SLITE	LONG/LONG	Dual	6mm SNX 62/27	6mm IS20						argon	0.28	0.21	0.48	0.688	0.688	ZF-S	SOD-K-16-00719-00001
SDL	LONG/LONG	Dual	6mm SNX 62/27	6mm IS20						argon	0.29	0.19	0.42	0.688	0.688	ZF-S	SOD-K-16-00720-00001
TDL	LONG/LONG	Dual	6mm SNX 62/27	6mm IS20						argon	0.36	0.17	0.36	0.688	0.688	ZF-S	SOD-K-16-00721-00001
SLITE	LONG/LONG	Triple	6mm SNX 62/27	6mm clear	6mm clear	air	0.28	0.2	0.45	0.438	0.438	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00722-00001
SDL	LONG/LONG	Triple	6mm SNX 62/27	6mm clear	6mm clear	air	0.3	0.18	0.39	0.438	0.438	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00723-00001
TDL	LONG/LONG	Triple	6mm SNX 62/27	6mm clear	6mm clear	air	0.35	0.16	0.34	0.438	0.438	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00724-00001

SLITE	LONG/LONG	Triple	6mm	SNX 62/27	6mm	clear	6mm	IS20	air	0.28	0.2	0.43	0.438	0.438	0.438	ZF-S	SOD-K-16-00725-00001	
SDL	LONG/LONG	Triple	6mm	SNX 62/27	6mm	clear	6mm	IS20	air	0.27	0.18	0.38	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00726-00001
TDL	LONG/LONG	Triple	6mm	SNX 62/27	6mm	clear	6mm	IS20	air	0.32	0.16	0.33	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00727-00001
SLITE	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	clear			air	0.36	0.31	0.54	0.688	0.688	0.688	ZF-S	SOD-K-16-00728-00001	
SDL	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	clear			air	0.38	0.27	0.49	0.688	0.688	0.688	ZF-S	SOD-K-16-00729-00001	
TDL	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	clear			air	0.41	0.24	0.41	0.688	0.688	0.688	ZF-S	SOD-K-16-00730-00001	
SLITE	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	IS20			air	0.3	0.3	0.53	0.688	0.688	0.688	ZF-S	SOD-K-16-00734-00001	
SDL	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	IS20			air	0.32	0.24	0.46	0.688	0.688	0.688	ZF-S	SOD-K-16-00735-00001	
TDL	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	IS20			air	0.38	0.23	0.4	0.688	0.688	0.688	ZF-S	SOD-K-16-00736-00001	
SLITE	LONG/LONG	Triple	6mm	SN68 (70/36)	6mm	clear	6mm	clear	air	0.29	0.28	0.49	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00737-00001
SDL	LONG/LONG	Triple	6mm	SN68 (70/36)	6mm	clear	6mm	clear	air	0.3	0.25	0.43	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00738-00001
TDL	LONG/LONG	Triple	6mm	SN68 (70/36)	6mm	clear	6mm	clear	air	0.33	0.22	0.37	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00739-00001
SLITE	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	clear	6mm	IS20	air	0.26	0.27	0.49	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00740-00001
SDL	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	clear	6mm	IS20	air	0.27	0.21	0.43	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00741-00001
TDL	LONG/LONG	Dual	6mm	SN68 (70/36)	6mm	clear	6mm	IS20	air	0.33	0.21	0.39	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00742-00001
SLITE	LONG/LONG	Dual	6mm	366	6mm	clear	6mm		air	0.35	0.23	0.5	0.688	0.688	0.688	ZF-S	SOD-K-16-00743-00001	
SDL	LONG/LONG	Dual	6mm	366	6mm	clear	6mm		air	0.38	0.2	0.44	0.688	0.688	0.688	ZF-S	SOD-K-16-00744-00001	
TDL	LONG/LONG	Dual	6mm	366	6mm	clear	6mm		air	0.41	0.18	0.38	0.688	0.688	0.688	ZF-S	SOD-K-16-00745-00001	
SLITE	LONG/LONG	Dual	6mm	366	6mm	89	air	89	air	0.5	0.22	0.49	0.688	0.688	0.688	ZF-S	SOD-K-16-00746-00001	
SDL	LONG/LONG	Dual	6mm	366	6mm	89	air	89	air	0.52	0.2	0.43	0.688	0.688	0.688	ZF-S	SOD-K-16-00747-00001	
TDL	LONG/LONG	Dual	6mm	366	6mm	89	air	89	air	0.57	0.17	0.37	0.688	0.688	0.688	ZF-S	SOD-K-16-00748-00001	
SLITE	LONG/LONG	Dual	6mm	366	6mm	clear	argon		argon	0.52	0.22	0.5	0.688	0.688	0.688	ZF-S	SOD-K-16-00749-00001	
SDL	LONG/LONG	Dual	6mm	366	6mm	clear	argon		argon	0.54	0.2	0.46	0.688	0.688	0.688	ZF-S	SOD-K-16-00750-00001	
TDL	LONG/LONG	Dual	6mm	366	6mm	clear	argon		argon	0.58	0.18	0.38	0.688	0.688	0.688	ZF-S	SOD-K-16-00751-00001	
SLITE	LONG/LONG	Dual	6mm	366	6mm	89	argon	89	argon	0.27	0.22	0.49	0.688	0.688	0.688	ZF-S	SOD-K-16-00752-00001	
SDL	LONG/LONG	Dual	6mm	366	6mm	89	argon	89	argon	0.29	0.19	0.43	0.688	0.688	0.688	ZF-S	SOD-K-16-00753-00001	
TDL	LONG/LONG	Dual	6mm	366	6mm	89	argon	89	argon	0.35	0.17	0.37	0.688	0.688	0.688	ZF-S	SOD-K-16-00754-00001	
SLITE	LONG/LONG	Triple	6mm	366	6mm	clear	6mm	clear	air	0.29	0.21	0.45	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00755-00001
SDL	LONG/LONG	Triple	6mm	366	6mm	clear	6mm	clear	air	0.3	0.19	0.44	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00756-00001
TDL	LONG/LONG	Triple	6mm	366	6mm	clear	6mm	clear	air	0.33	0.17	0.39	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00757-00001
SLITE	LONG/LONG	Dual	6mm	366	6mm	clear	6mm	89	air	0.26	0.18	0.39	0.438	0.438	0.438	0.438	ZF-S	SOD-K-16-00758-00001





DESIGN + EXECUTIVE ARCHITECT  
XID DESIGN BUILD  
LLC  
SUITE 800  
Beverly Hills, CA 90211  
T 917 319 2553

PROJECT ADDRESS  
652 Robin Glen Dr  
Glendale , CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING  
Author

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4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
1	01/03/2023	PLAN CHECK SET
NUMBER	DATE	DESCRIPTION

ISSUE RECORD

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DRAWING TITLE

3D Rendering

SCALE	DRAWING NUMBER
DATE 11/25/24	
	X-1.00

PLAN CHECK SET

652 Robin Glen Dr





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3D Rendering

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PROJECT ADDRESS  
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DRAWING TITLE

3D Rendering

SCALE	DRAWING NUMBER
DATE 11/26/24	

X-1.02

PLAN CHECK SET

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Beverly Hills, CA 90211  
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PROJECT ADDRESS  
652 Robin Glen Dr  
Glendale , CA 91207

OWNER

STRUCTURAL

CIVIL ENGINEERING  
Author

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DRAWING TITLE

3D Rendering

SCALE	DRAWING NUMBER
DATE	
11/26/24	X-1.03

PLAN CHECK SET

652 Robin Glen Dr



SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Agave 'Blue Glow'		5-gal	12		low 0.3
	Baccharis p. 'Pigeon Point'	Dwarf Coyote Brush	5-gal	48"oc		low 0.3
	Carex divulsa	Berkeley Sedge	5-gal	30"oc		low 0.3
	Ceanothus 'Concha'	Wild Lilac	5-gal	7		low 0.3
	Ceanothus thyrsiflorus repens		5-gal	5'oc		low 0.3
	Dianella f. 'Variegata'	Flax Lily	5-gal	36		low 0.3
	Dietes iridioides 'Variegata'	Variegated Fortnight Lily	5-gal	11		low 0.3
	Dymondia margaritae	Silver Carpet	flats	10"oc		low 0.3
	Elymus c. 'Canyon Prince'		5-gal	5'oc		low 0.3
	Eriogonum fasciculatum		5-gal	5'oc		low 0.3
	Muhlenbergia capillaris	Pink Muhly	5-gal	36"oc		low 0.3
	Muhlenbergia lindheimeri	Lindheimer's Muhly	5-gal	36"oc		low 0.3
	Myoporum p. 'Fine Leaf Form'	Creeping Boobialla	5-gal	6'oc		low 0.3
	Myrtus communis 'Compacta'	Myrtle	5-gal	39		low 0.3
	Romneya coulteri	Matilija Poppy	5-gal	18		low 0.3
	Rhipsolepis l. 'Ballerina'	Indian Hawthorn	5-gal	7		low 0.3
	Trachelospermum jasminoides	Star Jasmine	5-gal	4	train to green screen	low 0.3

TREE LEGEND

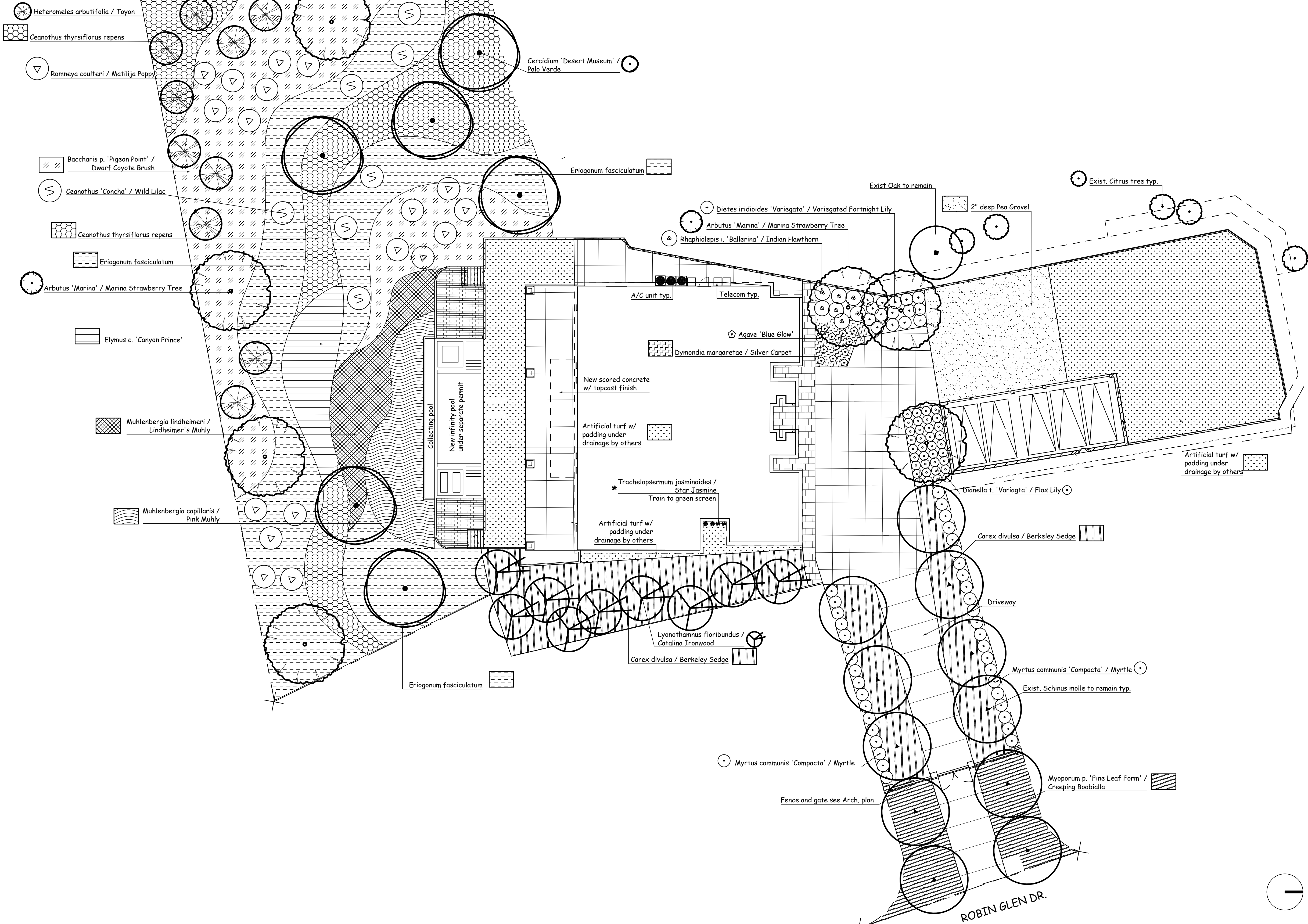
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Arbutus 'Marina'	Marina Strawberry Tree	24"box	7		low 0.3
	Heteromeles arbutifolia	Tayon	24"box	10		low 0.3
	Lyonothamnus floribundus	Catalina Ironwood	24"box	15		low 0.3
	Cercidium 'Desert Museum'	Palo Verde	24"box	6	low branching	low 0.3

NOTE:  
All groundcover areas where plants are 3' oc or greater  
to have geotextile fabric installed 3" below finished grade w/  
3" shredded bark above to eliminate weed growth.

Waterproofing and drains in planters by others.

All trees to be planted with commercial root barriers.

3" deep shredded Cedar bark to spread between plants.



REVISIONS	DATE
1.	5.29.24
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4.	11.26.24
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652 ROBIN GLEN DR.  
GLENDALE, CA 91202

PLANTING PLAN



DATE: OCT. 24, 2022  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 231422  
DRAWN BY:





Arbutus 'Marina' / Marina Strawberry Tree

Lyonothamnus floribundus / Catalina Ironwood

Cercidium 'Desert Museum' / Palo Verde

Heteromeles arbutifolia / Toyon



Agave 'Blue Glow'

Baccharis p. 'Pigeon Point' / Dwarf Coyote Brush

Carex divulsa / Berkeley Sedge

Ceanothus thyrsiflorus repens

Dianella t. 'Variagta' / Flax Lily

Elymus c. 'Canyon Prince'

Eriogonum fasciculatum

Ceanothus 'Concha' / Wild Lilac

Trachelopsernum jasminoides / Star Jasmine



Myrtus communis 'Compacta' / Myrtle

Muhlenbergia lindheimeri / Lindheimer's Muhly

Dymondia margaretae / Silver Carpet

Muhlenbergia capillaris / Pink Muhly

Romneya coulteri / Matilija Poppy

Rhipiolepis i. 'Ballerina' / Indian Hawthorn

Myoporum p. 'Fine Leaf Form' / Creeping Boobialla

REVISIONS	DATE
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652 ROBIN GLEN DR.  
GLENDALE, CA 91202

PLANT PHOTOS



DATE: OCT. 24, 2022  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 231422  
DRAWN BY:



IRRIGATION LEGEND		SYM.	
DESCRIPTION			
'NIBCO' GATE VALVE T-113		⌘	
'CHRISTY' CONCRETE VALVE BOX		⊙	
'RAINBIRD' QUICK COUPLER 44 LRC 1"		⊕	
'SUPERIOR' 3100 series MASTER VALVE		⊕	1"
'HUNTER' FLOW SENSOR FCT-150 FLOW		⊕	1"
'WILKINS' REGULATOR MODEL 500		⊕	1"
'WILKINS' BACKFLOW PREVENTER 375		⊕	W/WYE STRAINER IN CAGE (BFP TO BE PAINTED DARK GREEN)
'HUNTER' ACC2		⊕	LOCATION BY OWNER
'HUNTER' SOLAR SYNC WIRELESS		⊕	LOCATION BY OWNER
SLEEVING SCH. 40 P.V.C.		---	TWICE LINE SIZE (MIN.)
PRESSURE LINE SCH. 40 P.V.C.		---	1"
NON-PRESSURE LINE SCH. 40 P.V.C.		---	SEE PLAN FOR SIZE
IRRIGATION METER		M	1.5"
POINT OF CONNECTION		P.O.C.	VERIFY LOCATION ON SITE
NETAFIM LEGEND			
'NETAFIM' LVCZ10075-LF		⊕	CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.
'NETAFIM' LINE FLUSH VALVE		⊕	
'NETAFIM' TECHLINE CV TLCV4-18025		---	BURIED 3" BELOW GRADE
NON-PRESSURE 1" SCH. 40 PVC HEADER		---	

SIZE  
NO. GPM  
H—HYDROZONE

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

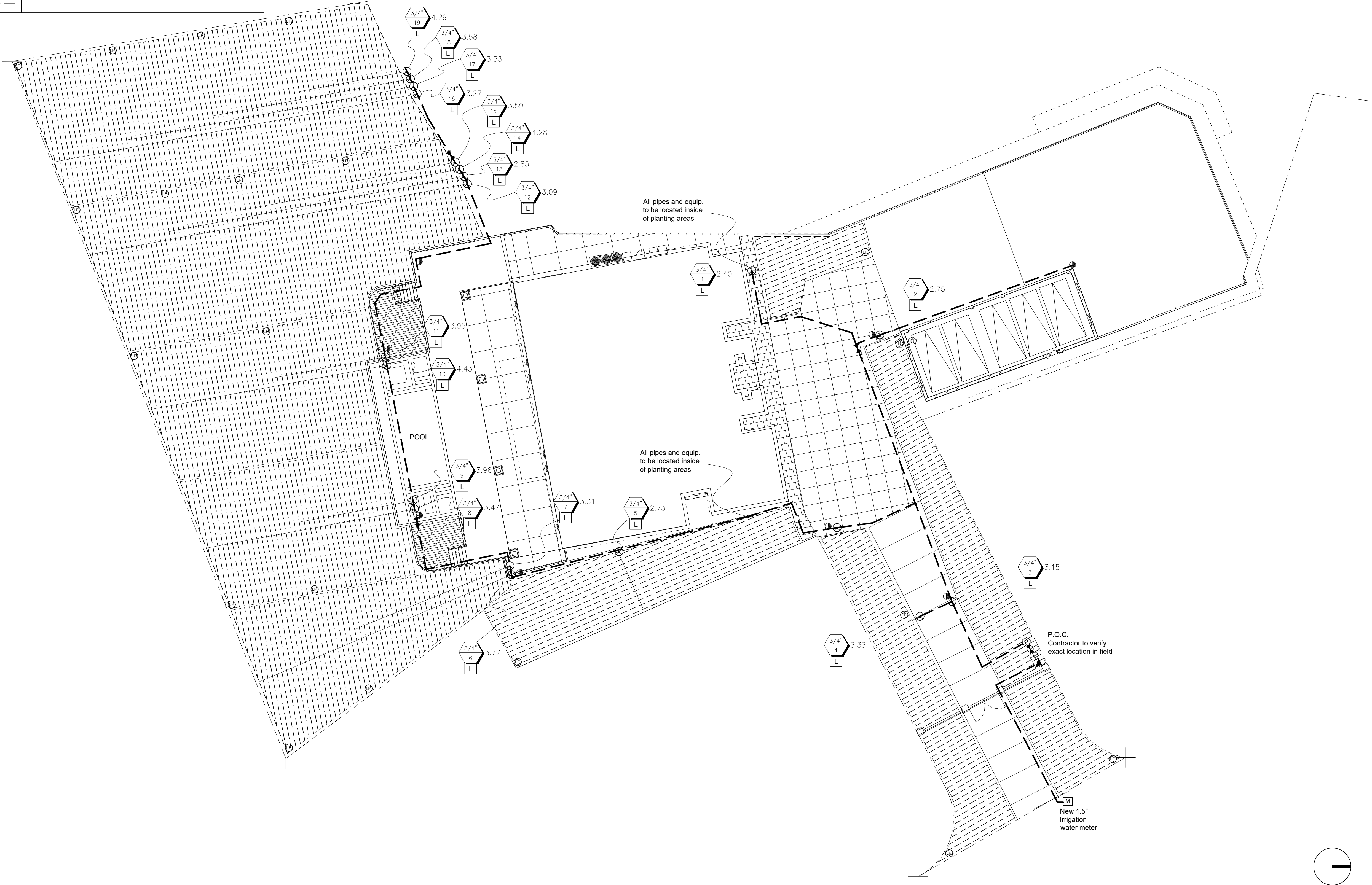
CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

10/17/2024



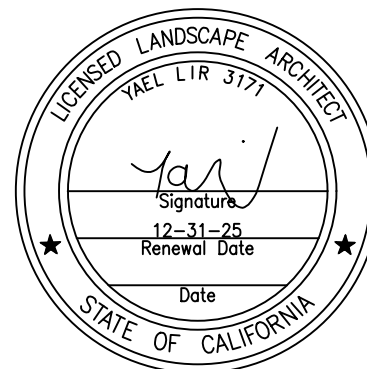
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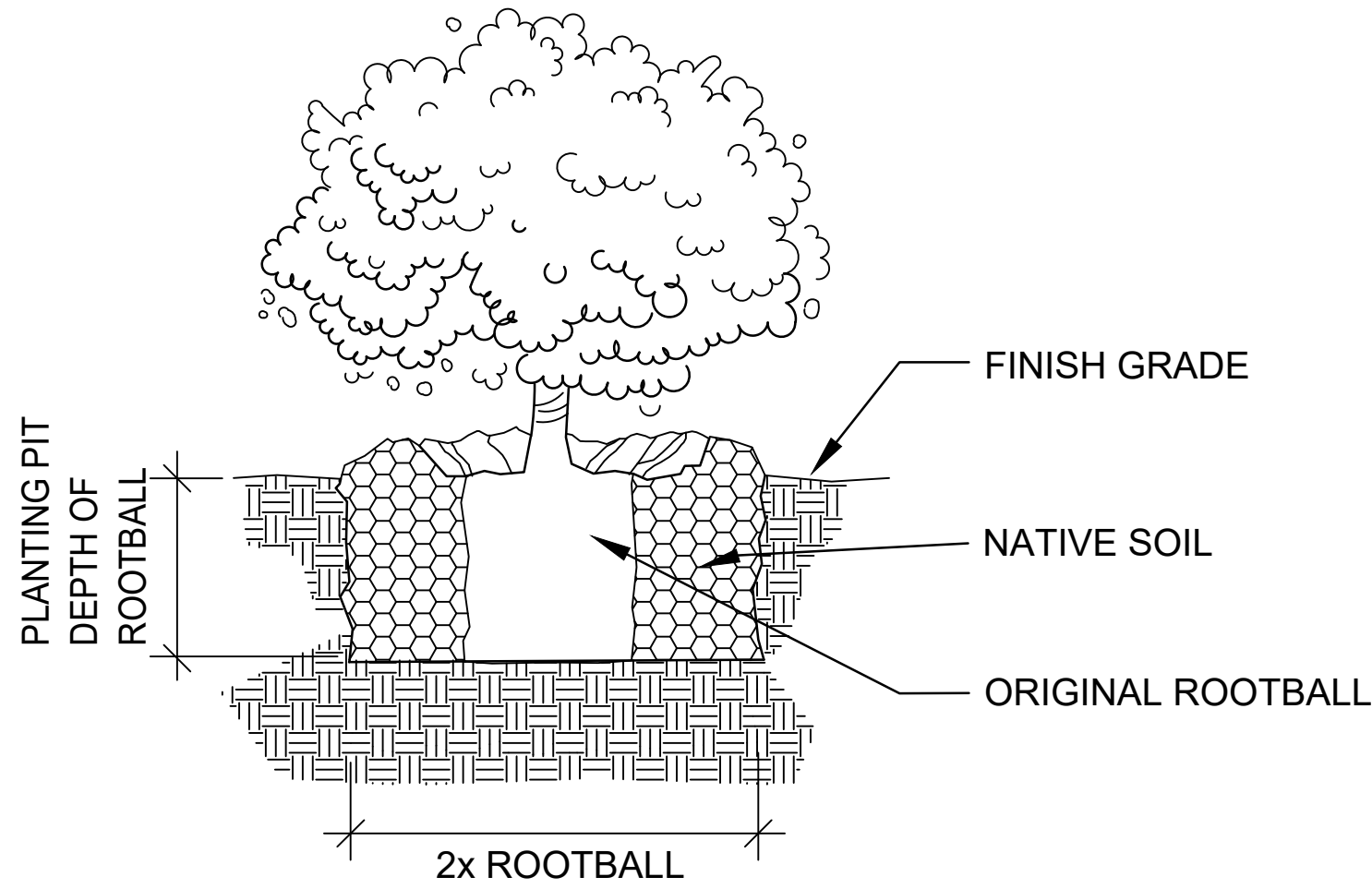
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IRRIGATION PLAN



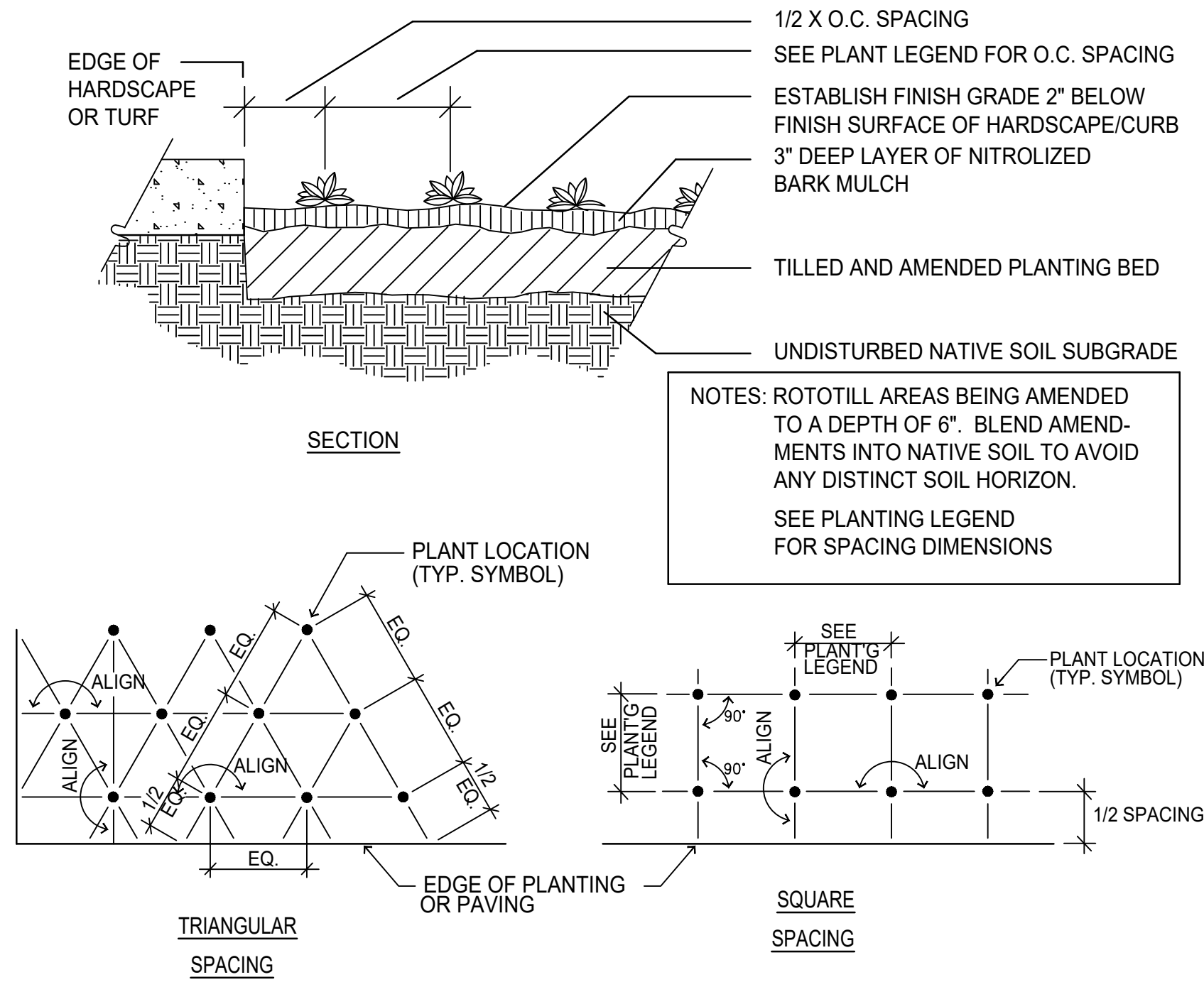
DATE: OCT. 24, 2022  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 231422  
DRAWN BY:





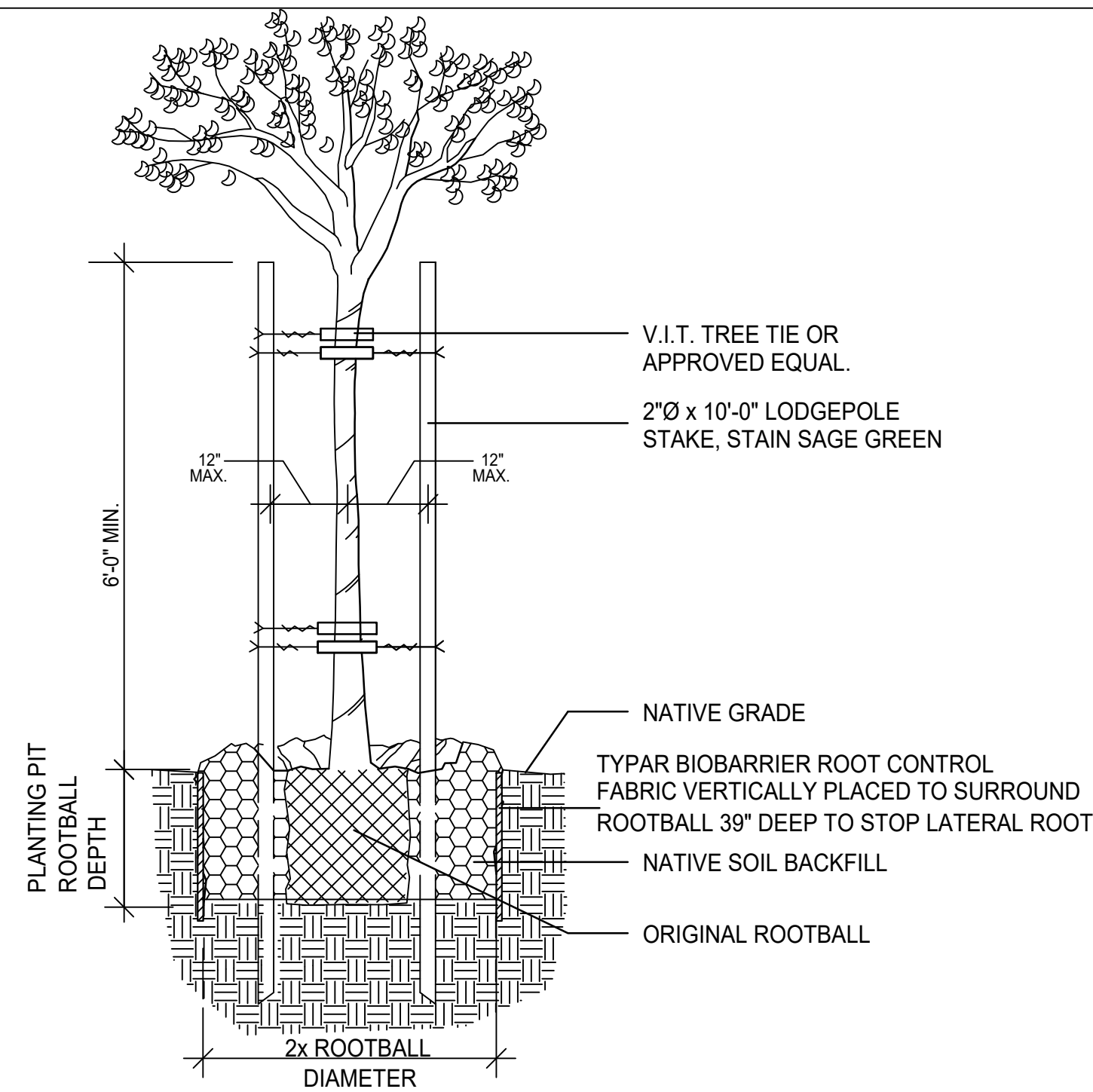
## SHRUB PLANTING

SCALE: N.T.S.  
FILE: D\_PLA001



## GROUNDCOVER PLANTING

SCALE: N.T.S.  
FILE: D\_PLA002



## TREE PLANTING & STAKING

SCALE: N.T.S.  
FILE: PLA\_003

### PLANTING NOTES

- DRAWING IS DIAGRAMMATIC: CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
  - \*150 LBS. GRO-POWER
  - \*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
  - \*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80 % SOIL OF SITE AND 20 % FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.

- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.
- ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE FINISH GRADING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. FINISH GRADING WILL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE, LOOSENING THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS CLOUDS OF 2" DIAMETER OR LARGER. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT CURBS AND SIDEWALKS.
- ALL ROCKS OR UNBROKEN SOIL CLOUDS OVE 1" IN DIAMETER BROUGHT TO THE SURFACE ARE TO BE REMOVED FROM THE SITE.
- GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE PLANT IS EVEN WITH THE FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.

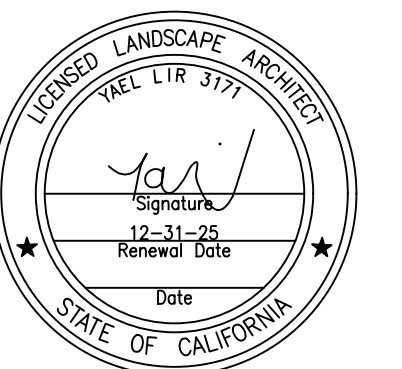
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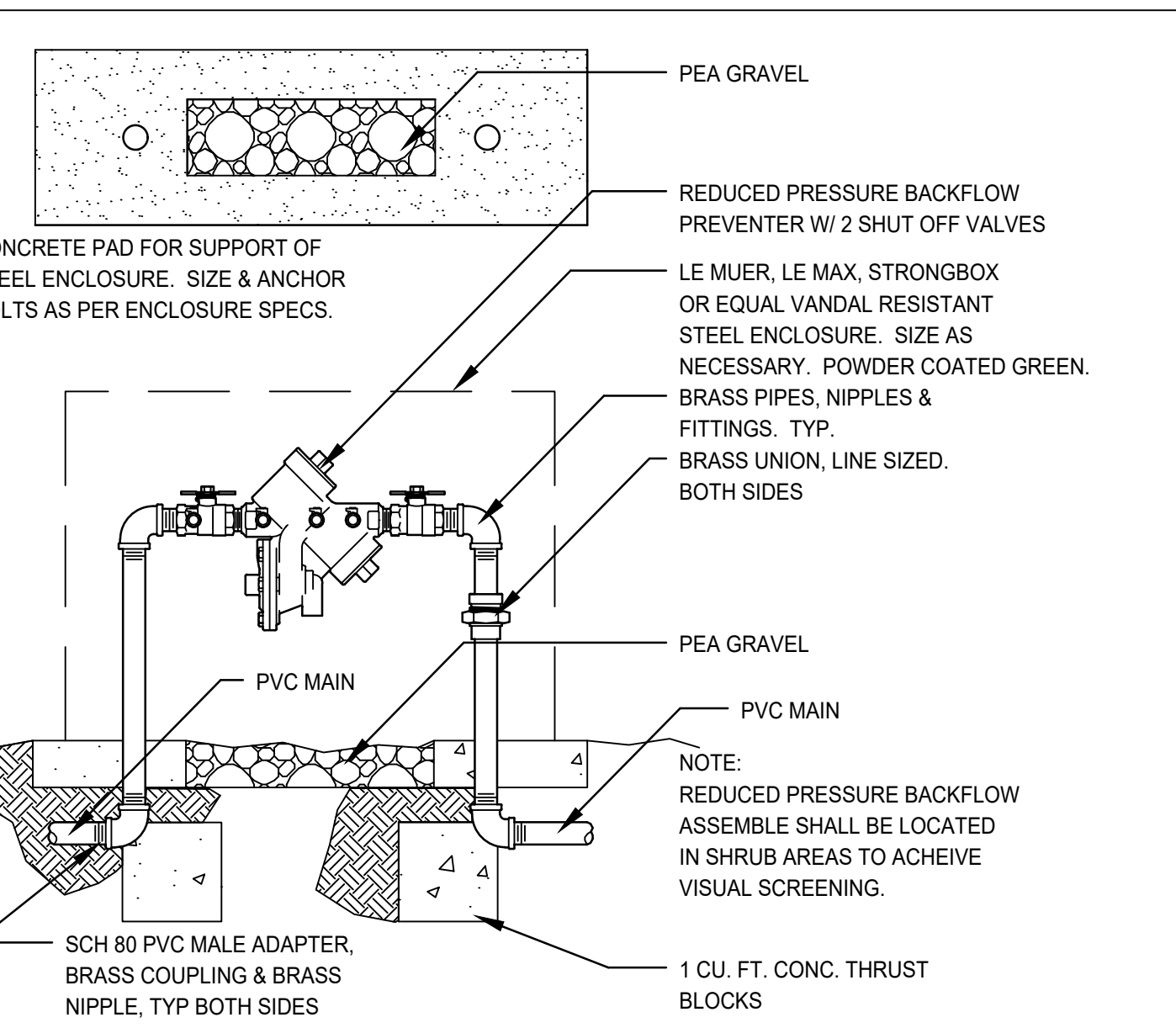
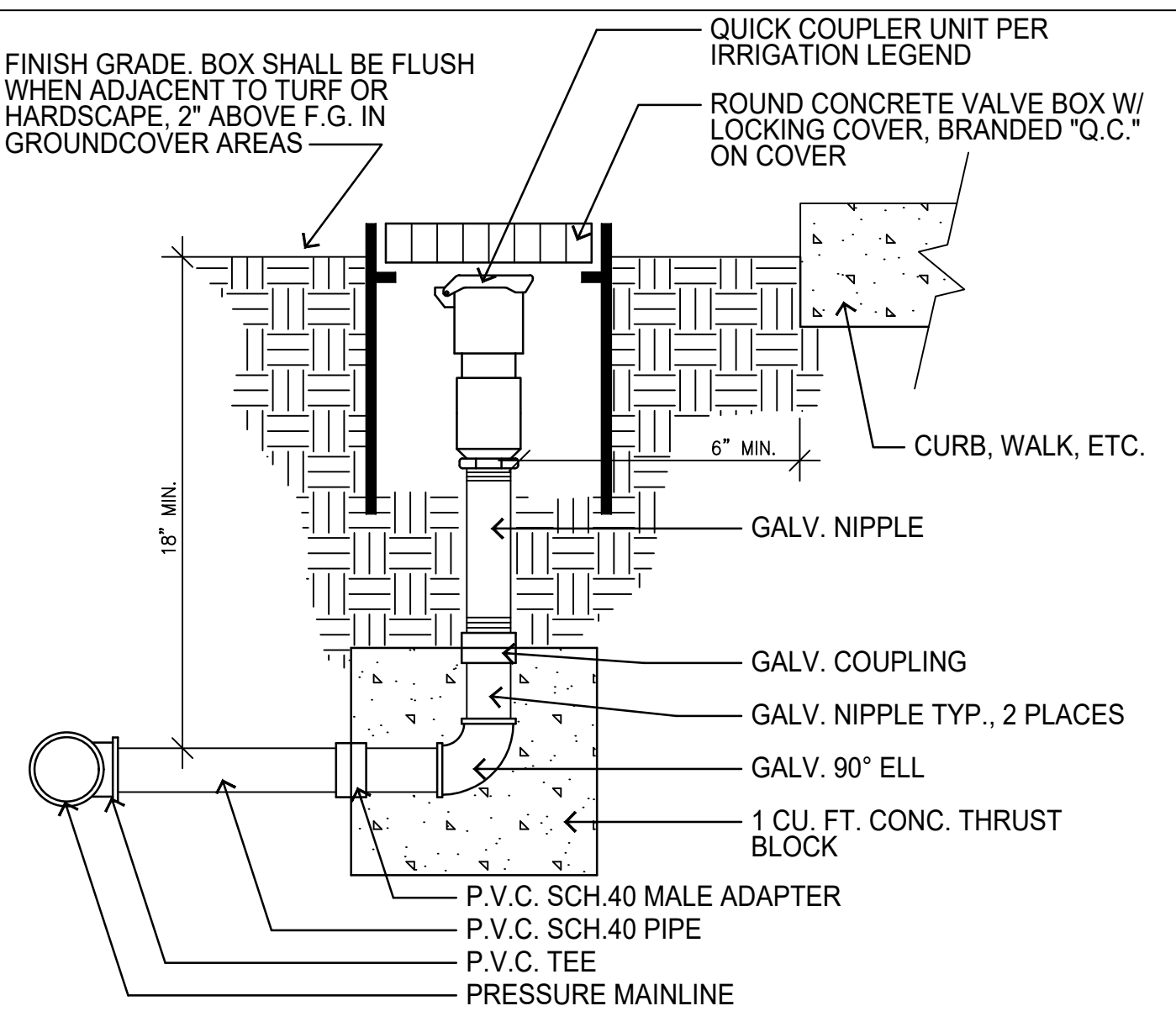
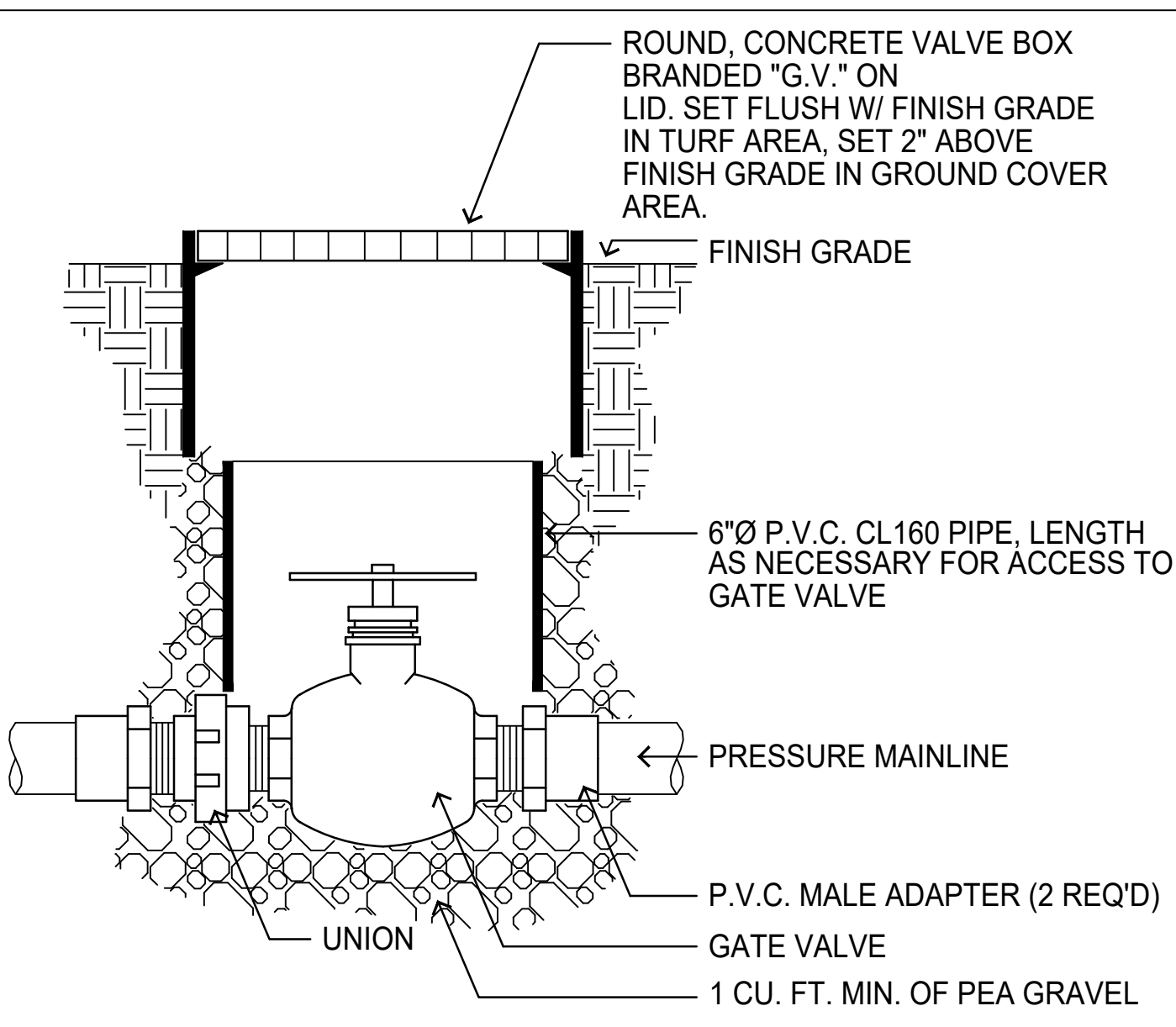
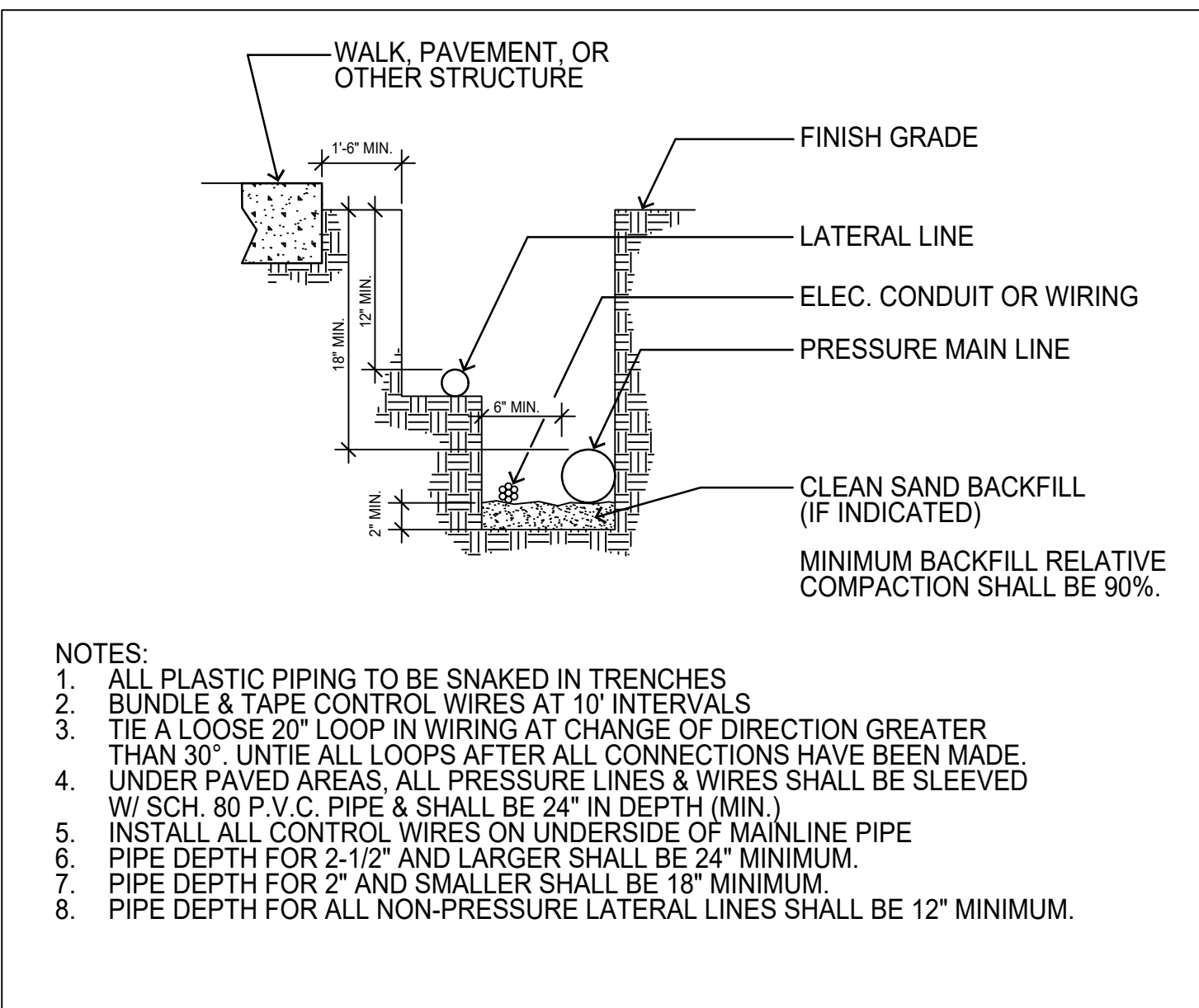
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GLENDALE, CA 91202

### PLANTING DETAILS



DATE: OCT. 24, 2022  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 231422  
DRAWN BY:





TRENCHING DETAIL

SCALE: N.T.S.  
FILE: D\_IRR002

GATE VALVE

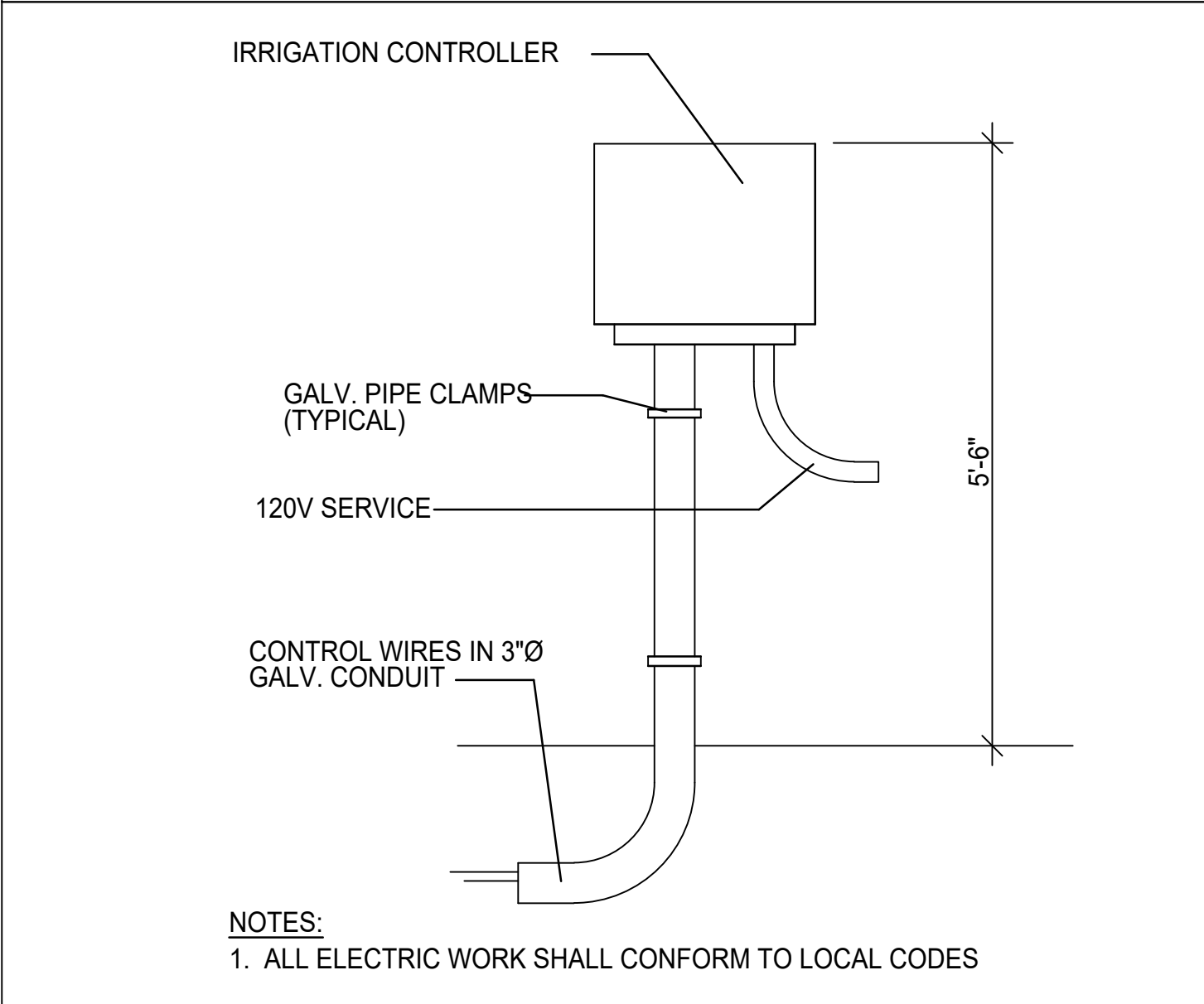
SCALE: N.T.S.  
FILE: D\_IRR003

QUICK COUPLER

SCALE: N.T.S.  
FILE: D\_IRR005

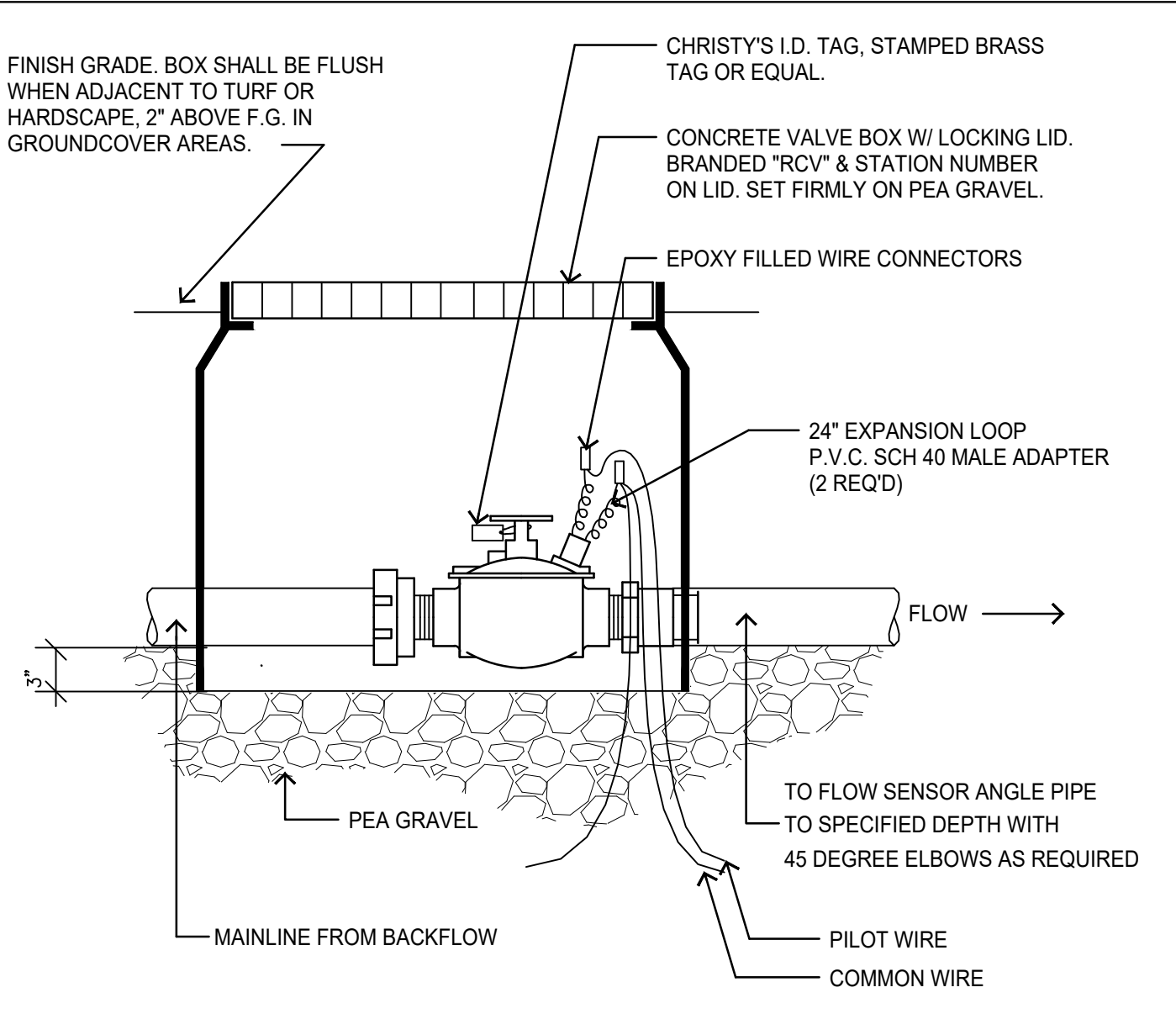
BACKFLOW PREVENTER

SCALE: N.T.S.  
FILE: D\_IRR006



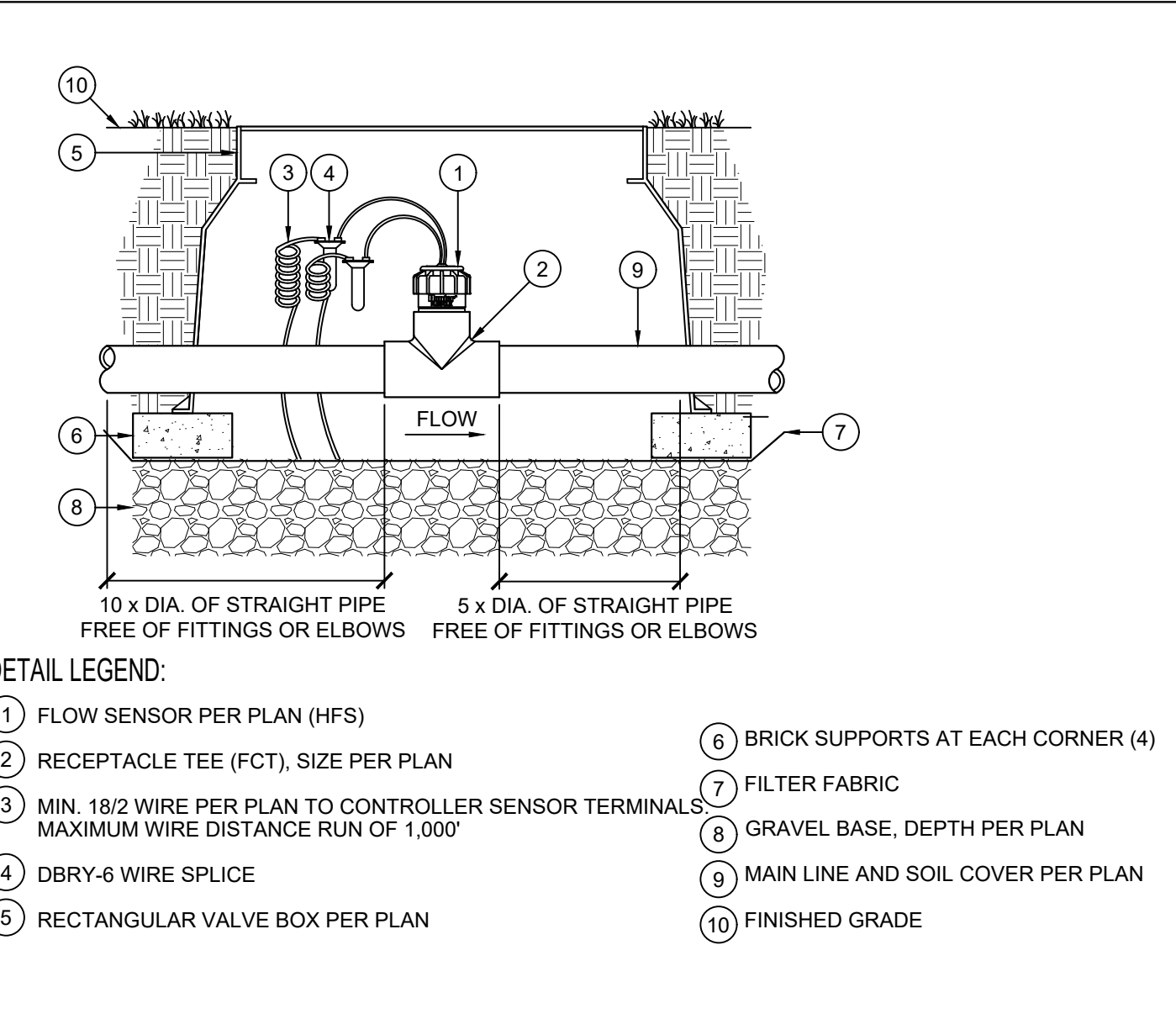
WALL MOUNT CONTROLLER

SCALE: N.T.S.  
FILE: D\_IRR008



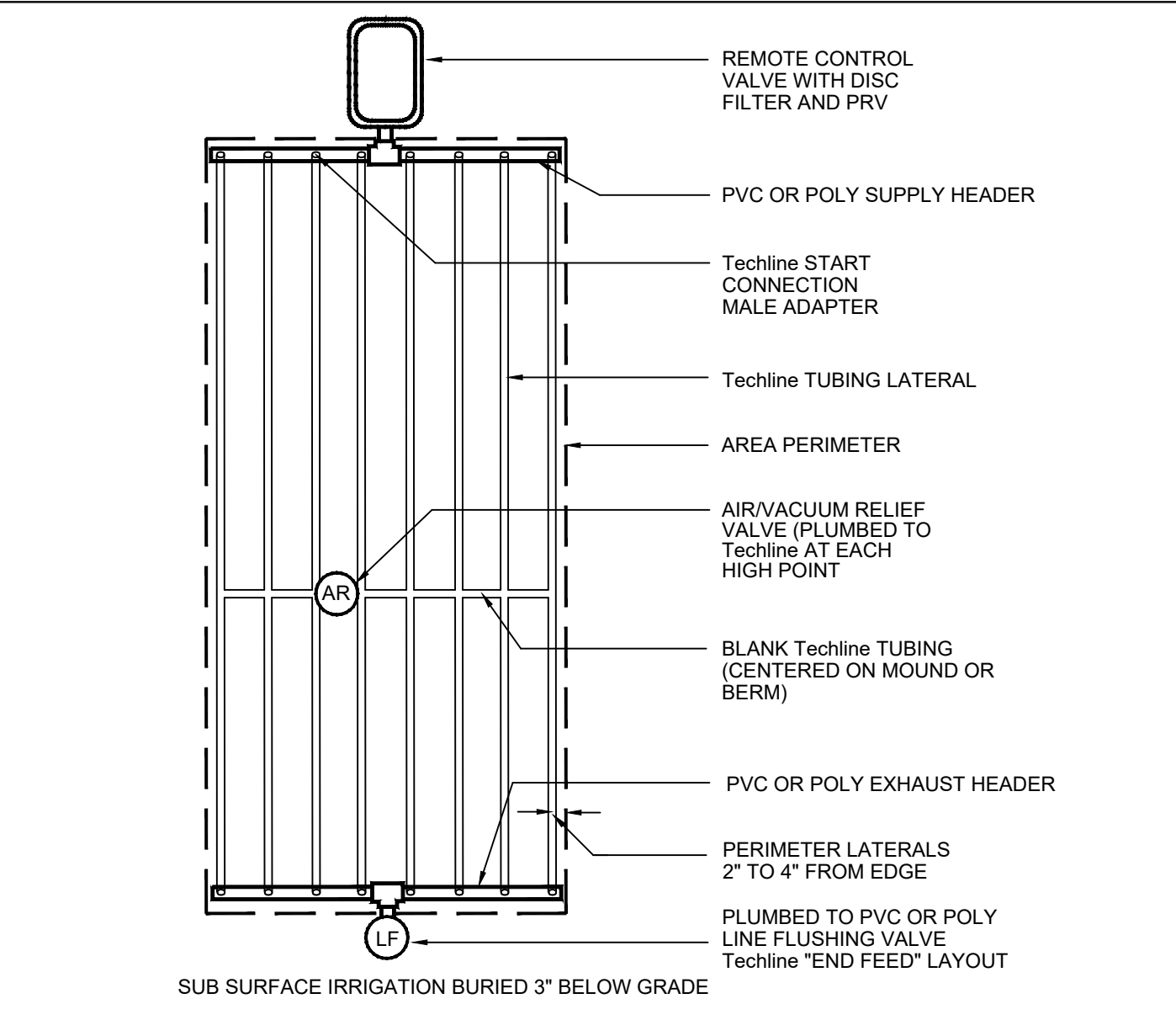
MASTER VALVE

SCALE: N.T.S.  
FILE: D\_IRR004



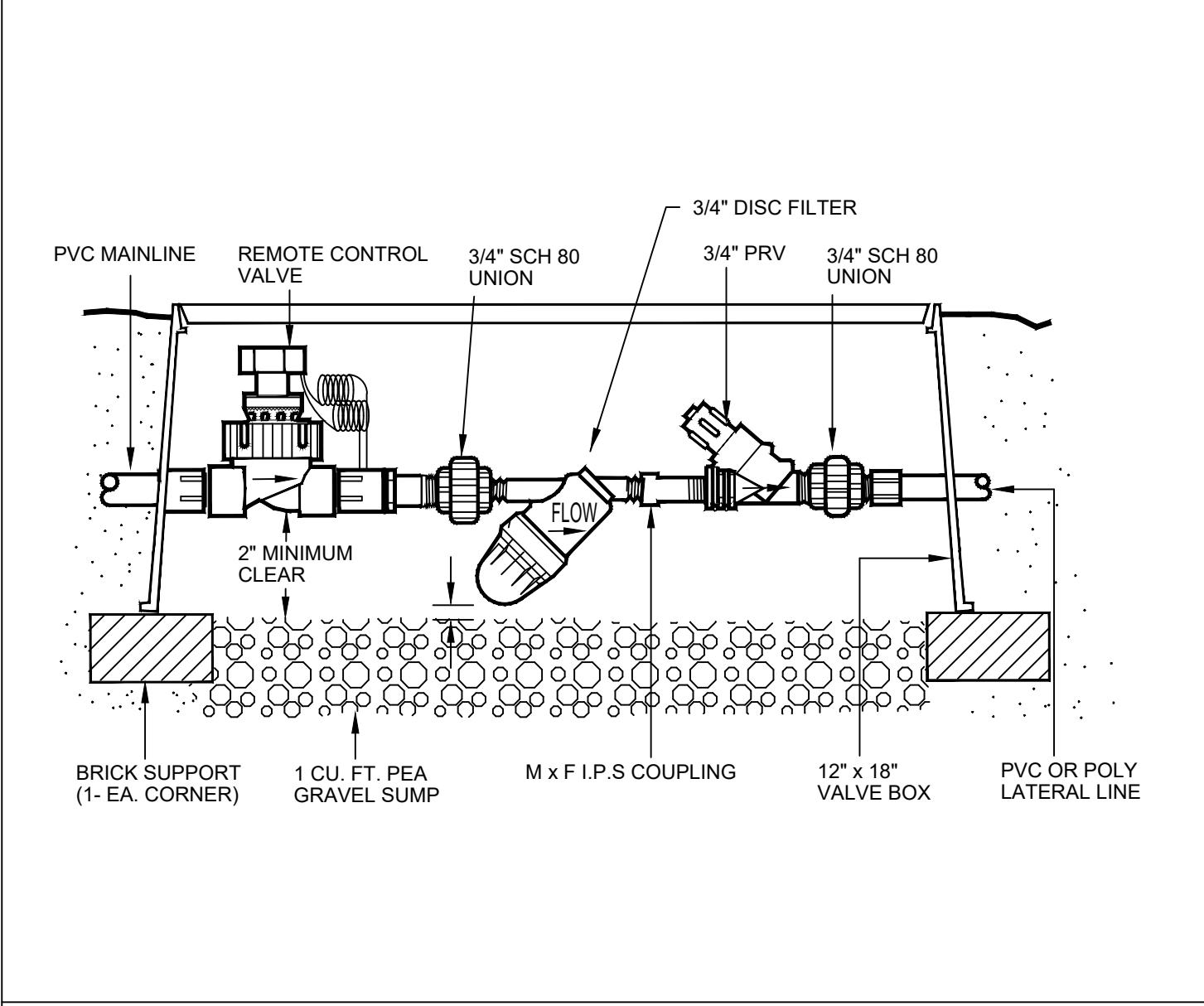
FLOW SENSOR

SCALE: N.T.S.  
FILE: FILENAME



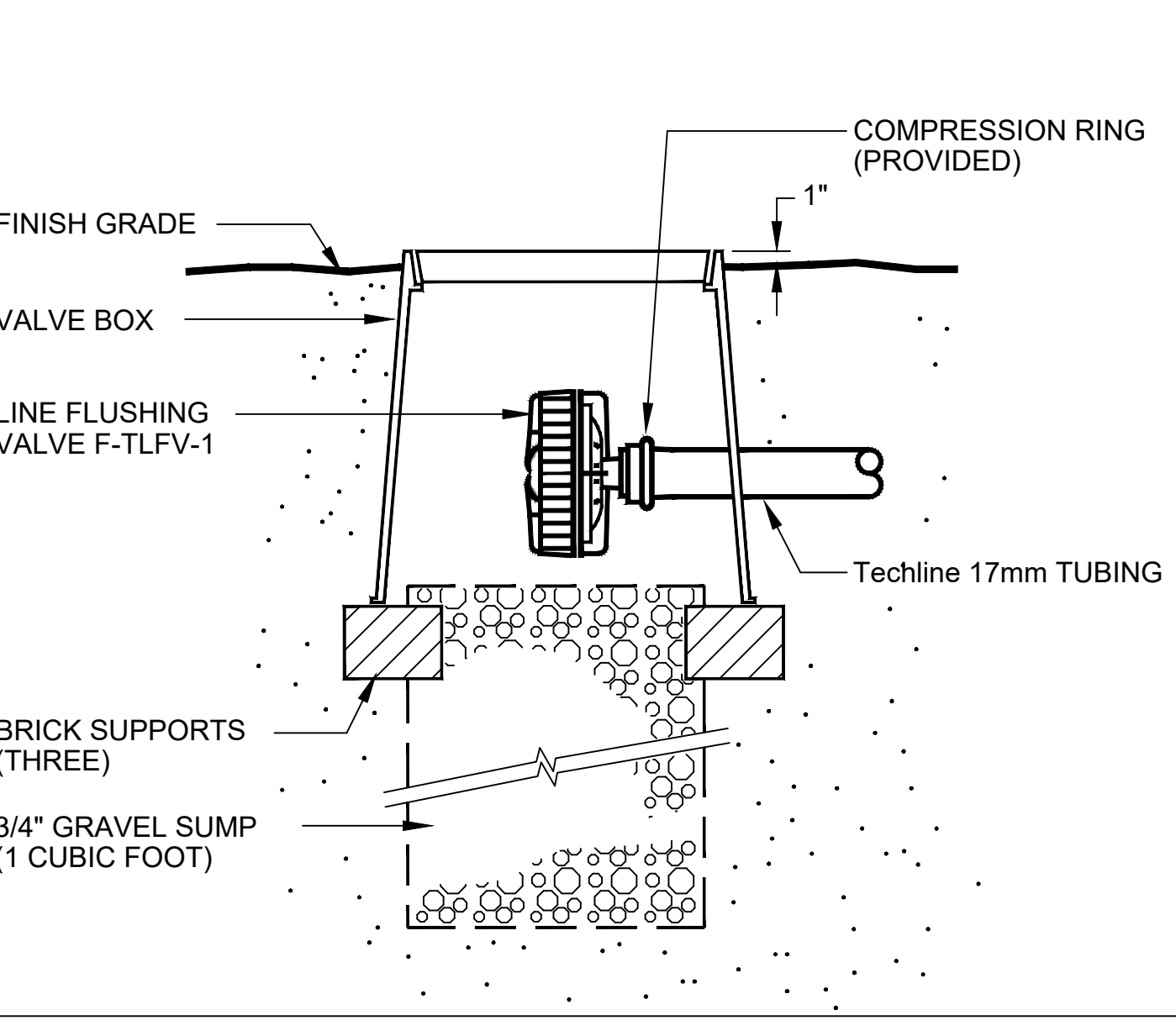
TECHLINE END FEED LAYOUT

SCALE: SCALE  
FILE: FILENAME



REMOTE CONTROL VALVE W/ 3/4" PRV

SCALE: N.T.S.  
FILE: FILENAME



LINE FLUSHING VALVE

SCALE: N.T.S.  
FILE: FILENAME

REVISIONS	DATE
1.	5.29.24
2.	10.17.24
3.	10.29.24
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IRRIGATION DETAILS



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WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ETo): 50.1

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	812	300.44	15052
2 / water use plants	.3	DRIP	.81	.37	928	343.36	10665
3 / water use plants	.3	DRIP	.81	.37	1063	393.31	12216
4 / water use plants	.3	DRIP	.81	.37	1123	415.51	12906
5 / water use plants	.3	DRIP	.81	.37	923	341.51	10607
6 / water use plants	.3	DRIP	.81	.37	1274	471.38	14642
7 / water use plants	.3	DRIP	.81	.37	1116	412.92	12826
8 / water use plants	.3	DRIP	.81	.37	1170	432.9	13446
9 / water use plants	.3	DRIP	.81	.37	1338	495.06	15377
10 / water use plants	.3	DRIP	.81	.37	1496	553.52	17193
11 / water use plants	.3	DRIP	.81	.37	1332	492.84	15308
12 / water use plants	.3	DRIP	.81	.37	1043	385.91	11987
13 / water use plants	.3	DRIP	.81	.37	964	356.68	11079
14 / water use plants	.3	DRIP	.81	.37	1445	534.65	16607
15 / water use plants	.3	DRIP	.81	.37	1213	448.81	13940
16 / water use plants	.3	DRIP	.81	.37	1103	408.11	12676
17 / water use plants	.3	DRIP	.81	.37	1193	441.41	13711
18 / water use plants	.3	DRIP	.81	.37	1209	447.33	14826
19 / water use plants	.3	DRIP	.81	.37	1450	536.5	16664
POOL	1.0	-	-	1.0	648	648	20128
				SUM	22,843	8,860.15	
				ESTIMATED TOTAL WATER USE (ETWU)			281,856
				MAXIMUM APPLIED WATER ALLOWANCE (MAWA)			390,252

ETAF CALCULATION

ETAF x AREA	8,860.15
TOTAL AREA	22,843
AVERAGE ETAF	.38

IRRIGATION DESCRIPTION

FOR THE EFFICIENT USE OF WATER, THE IRRIGATION SYSTEM WAS DESIGNED WITH AN AUTOMATIC IRRIGATION CONTROLLER. THE CONTROLLER WILL CONTINUALLY MONITOR THE SYSTEM FOR BREAKS, LEAKS AND ELECTRICAL FAULTS, IN CASE THOSE WILL OCCUR IRRIGATION WILL BE INTERRUPTED AND THE CONTROLLER WILL PINPOINT THE SOURCE OF PROBLEM. DOING THAT, IT WILL BRING MAXIMUM EFFICIENCY TO LARGE WATERING SCHEDULES. THE SYSTEM INCLUDES WEATHER SENSOR, NETAFIM CV DRIP TUBING AND RAINBIRD RWS BUBBLERS.

THE FOLLOWING TESTS NEED TO BE PERFORMED:

COVERAGE TEST

WHEN SPRINKLER SYSTEM INSTALLATION HAS BEEN COMPLETED, PERFORM A COVERAGE TEST TO DETERMINE IF ALL PLANTING AREAS RECEIVE 100% WATER COVERAGE. ADJUSTMENTS WILL BE DONE AS NEEDED, SUCH AS ADDING DRIP TUBE OR ADDING BUBBLERS AS MAY BE REQUIRED.

PRESSURE TEST

AFTER WELDED JOINTS HAVE BEEN CURED FOR AT LEAST 24 HOURS AND BEFORE DRIP TUBE AND BUBBLERS ARE INSTALLED, FLUSH OUT ALL IRRIGATION PIPES AND CAP THEM. TEST SYSTEM UNDER NORMAL STREET WATER PRESSURE. THE WELDED JOINTS SHALL REMAIN EXPOSED FOR EXAMINATION DURING PRESSURE TEST. CENTER LOAD PIPE WITH SMALL AMOUNT OF SAND TO PREVENT THE PIPES FROM ARCHING OR SLIPPING UNDER PRESSURE. USE NORMAL STREET WATER PRESSURE FOR THE TESTING. MAINTAIN PRESSURE ON PVC PIPE FOR NOT LESS THAN FOUR HOURS. REPLACE OR REPAIR SYSTEM, INCLUDING JOINTS WHICH FAILED DURING PRESSURE TEST. REPEAT PRESSURE TESTING UNTIL ENTIRE SYSTEM PASSES THE TEST PERIOD WITHOUT LEAKS.

DRIP LINE IRRIGATION

1.

DRIP LINE TUBING IS SHOWN ON THE PLANS IN THE SUGGESTED LAYOUT. CONTRACTOR SHALL ADJUST LAYOUT AS DETERMINED NECESSARY IN THE FIELD TO MATCH THE ACTUAL SITE CONDITIONS, DIMENSIONS, ETC.
2.

ALL DRIP LINE SYSTEMS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND DIRECTIONS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO SOIL TYPE CONSIDERATION, PLANT TYPE CONSIDERATION, SLOPES, TYPICAL TUBING LAYOUT, SUPPLY HEADERS, FLUSH HEADERS, AIR-RELEASE VALVES, FLUSH VALVES, SOIL STAPLES, AND OPERATION INDICATORS, ETC.
3.

EACH DRIP LINE SYSTEM SHALL HAVE A DRIP ZONE VALVE ASSEMBLY THAT INCLUDES A PRESSURE REGULATOR AND IN-LINE FILTER PER THE IRRIGATION LEGEND.
4.

EXTEND PVC LATERAL LINE PIPING PER IRRIGATION LEGEND FROM THE DRIP ZONE VALVE INTO THE PLANTING AREAS. ALL SUPPLY HEADERS AND FLUSH HEADERS SHALL BE PVC PIPING OR DRIP LINE TUBING AS SPECIFIED ON THE DRAWINGS.
5.

CONNECT THE DRIP LINE TUBING INTO THE PVC / POLY TUBING HEADERS PER THE MANUFACTURER'S DIRECTIONS, USING FITTINGS AS SUPPLIED BY THE MANUFACTURER OF THE DRIP LINE TUBING.
6.

DRIP LINE TUBING RUNS SHALL BE SPACED AT APPROXIMATELY 18" O.C. OR AS NOTED ON THE PLANS.
7.

TUBING SHALL RUN GENERALLY PARALLEL TO THE LONG AXIS OF THE PLANTING AREAS. THE EXCEPTION TO THIS WOULD BE SLOPED AREAS WHERE THE TUBING SHALL RUN PARALLEL TO THE SLOPE CONTOURS.
8.

FLUSH VALVES SHALL BE INSTALLED A THE TERMINAL ENDS AND/OR LOW POINTS OF ZONES IN ALL DIRECTIONS. AIR RELEASE VALVES, WHERE REQUIRED FOR BURIED SYSTEMS, SHALL BE INSTALLED AT THE HIGH POINTS OF EACH ZONE. REFER TO THE MANUFACTURER'S DIRECTIONS FOR THE QUANTITY OF FLUSH VALVES AND AIR-RELEASE VALVES RECOMMENDED FOR EACH ZONE.
9.

DRIP LINE TUBING SHALL BE SCRATCHED INTO FINISH GRADE, BURIED 2"-3", STAPLED DOWN, AND COVERED WITH MULCH PER THE PLANTING PLAN.
10.

EACH DRIP LINE ZONE SHALL INCLUDE AN OPERATION INDICATOR. THE OPERATION INDICATOR SHALL BE INSTALL AT THE FARTHEST POINT AWAY FROM THE ZONE DRIP VALVE ASSEMBLY.
11.

ALL FITTINGS USED FOR DRIP LINE TUBING CONNECTIONS AND DRIP LINE TUBING TO PVC CONNECTIONS SHALL BE AS PRODUCED AND SUPPLIED BY THE MANUFACTURER OF THE DRIP LINE TUBING.

IRRIGATION NOTES

1.

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
2.

SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
3.

ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
4.

PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
5.

FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
6.

120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
7.

BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D.NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
8.

ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
9.

THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
10.

IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
11.

THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
12.

DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
13.

ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
14.

THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
15.

INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
16.

PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
17.

LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
18.

GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
19.

REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.
20.

PLEASE INSTALL ALL VALVES IN ONE GROUP LINING UP IN AN ORGANIZED FASHION. PLEASE FIT MORE THAN ONE VALVE IN ONE BOX SO THE NUMBER OF BOXES IS REDUCED.

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FX LUMINAIRE LIGHT LEGEND

SYM.	NAME	LED #	WATTS	FINISH	REMARKS
⦿	VS Up Light	3	4.2	Camo Bronze	w/ brow cover
■	MPL Path Light	3	4.2	Camo Bronze	
—	SRP Strip Light	3	.6/ft	Warm color	mounted on Ret. wall hidden from direct view

Tel: 714.782.9248      Transformers/Timer by FX Luminaire:  
DAVID OSBORN      T-1 LX-300-SS

LIGHTING NOTES

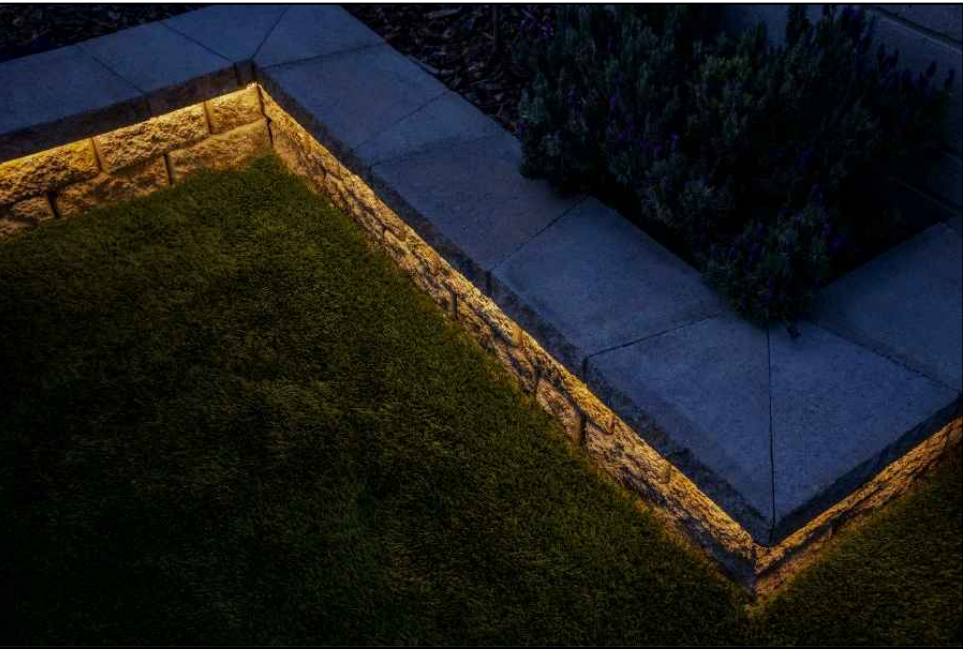
Landscape lighting system to be powered, and shut off by timer.  
Use 12-2 wire on 12V system.  
Fixtures shall be placed subsequent to planting.  
Lamping shall be done upon completion of plant material installation  
approved by the Landscape Architect.



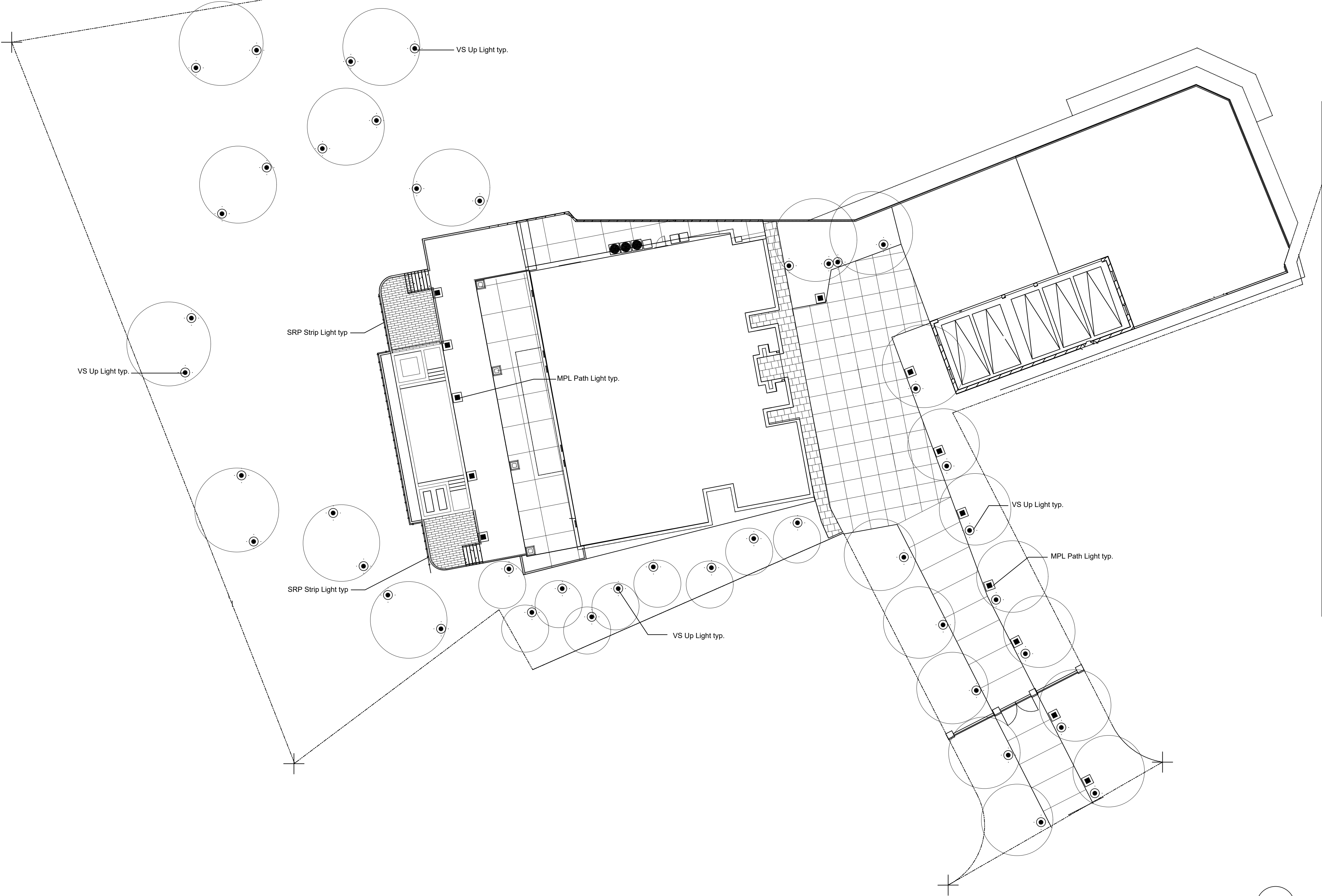
⦿ VS Up Light



■ MPL Path Light



— SRP Strip Light

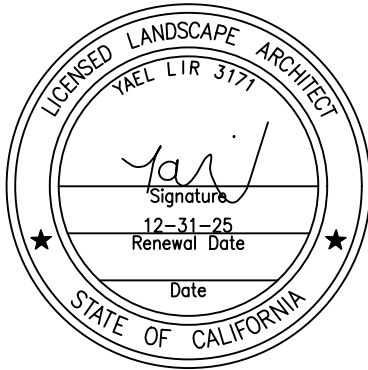


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1.	5.29.24
2.	10.17.24
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LIGHTING PLAN



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