



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd. Suite B
Glendale, California 91208

T +1 818 236 3619
hamlet@zohrabians.com

www.zohrabians.com



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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

**PERSPECTIVE
RENDERING**

DATE	04.17.24
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	



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REVISIONS

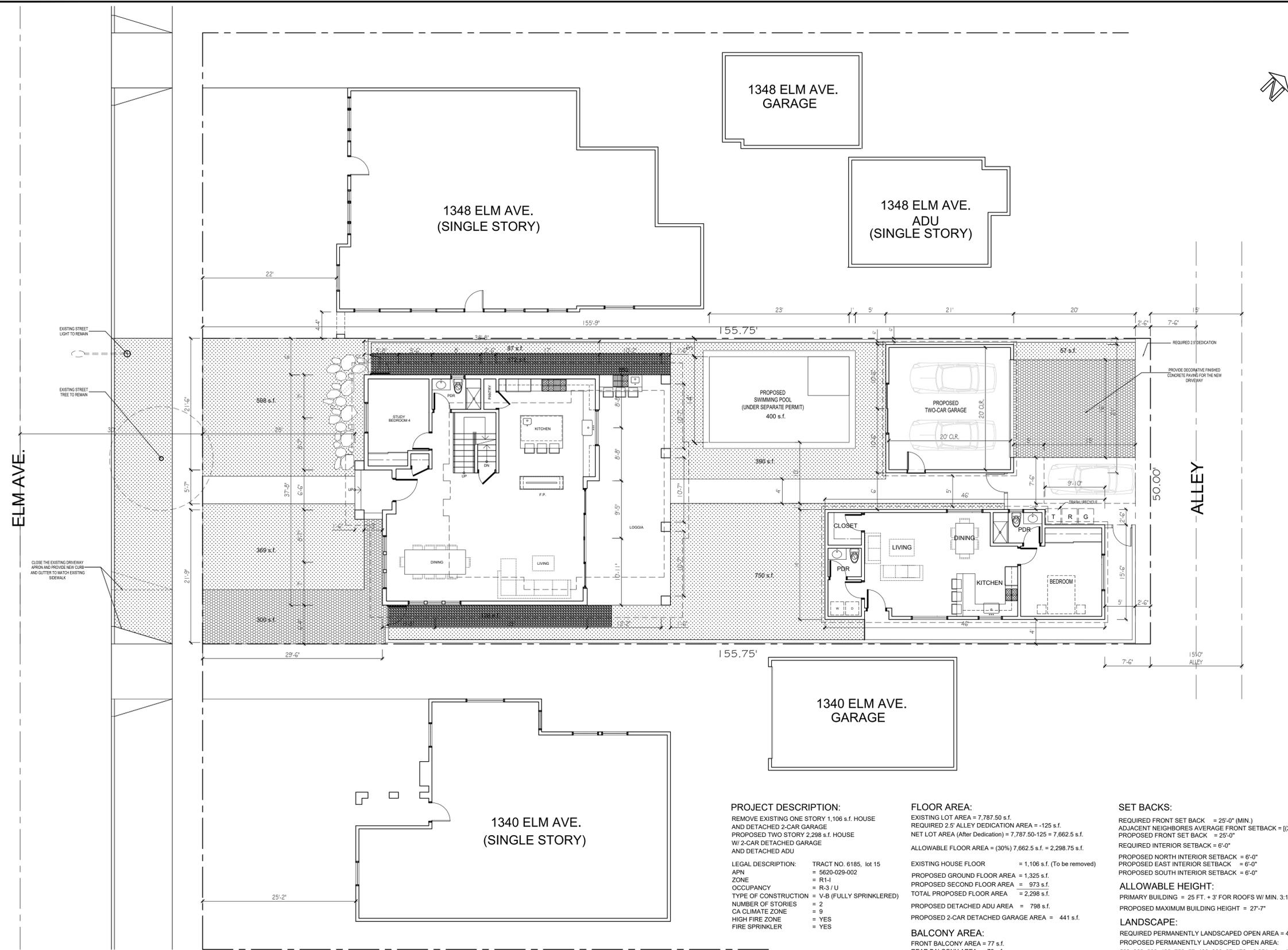
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED SITE PLAN

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2



1 PROPOSED SITE PLAN
SCALE 1/8"=1'-0"

PROJECT DESCRIPTION:

REMOVE EXISTING ONE STORY 1,106 s.f. HOUSE AND DETACHED 2-CAR GARAGE
 PROPOSED TWO STORY 2,298 s.f. HOUSE
 W/ 2-CAR DETACHED GARAGE AND DETACHED ADU

LEGAL DESCRIPTION: TRACT NO. 6185, lot 15
 APN = 5620-029-002
 ZONE = R-1-I
 OCCUPANCY = R-3/U
 TYPE OF CONSTRUCTION = V-B (FULLY SPRINKLERED)
 NUMBER OF STORIES = 2
 CA CLIMATE ZONE = 9
 HIGH FIRE ZONE = YES
 FIRE SPRINKLER = YES

FLOOR AREA:

EXISTING LOT AREA = 7,787.50 s.f.
 REQUIRED 2.5' ALLEY DEDICATION AREA = -125 s.f.
 NET LOT AREA (After Dedication) = 7,787.50-125 = 7,662.5 s.f.
 ALLOWABLE FLOOR AREA = (30%) 7,662.5 s.f. = 2,298.75 s.f.

EXISTING HOUSE FLOOR = 1,106 s.f. (To be removed)
 PROPOSED GROUND FLOOR AREA = 1,325 s.f.
 PROPOSED SECOND FLOOR AREA = 973 s.f.
 TOTAL PROPOSED FLOOR AREA = 2,298 s.f.
 PROPOSED DETACHED ADU AREA = 798 s.f.
 PROPOSED 2-CAR DETACHED GARAGE AREA = 441 s.f.

BALCONY AREA:

FRONT BALCONY AREA = 77 s.f.
 REAR BALCONY AREA = 70 s.f.

LOT COVERAGE :

ALLOWABLE LOT COVERAGE = (40%) 7,662.50 s.f. = 3,065 s.f.
 PROPOSED BUILDING FOOT PRINT = 1,359 s.f.
 PROPOSED ENTRY ROOF OVER HANG = 49 s.f.
 PROPOSED REAR COVERED LOGGIA = 462 s.f.
 PROPOSED 2-CAR GARAGE = 441 s.f.
 TOTAL PROPOSED LOT COVERAGE = 2,311 s.f. = 30.16%

SET BACKS:

REQUIRED FRONT SET BACK = 25'-0" (MIN.)
 ADJACENT NEIGHBORS AVERAGE FRONT SETBACK = ((22'+(25'-2')) / 2) = 23'-7"
 PROPOSED FRONT SET BACK = 25'-0"
 REQUIRED INTERIOR SETBACK = 6'-0"
 PROPOSED NORTH INTERIOR SETBACK = 6'-0"
 PROPOSED EAST INTERIOR SETBACK = 6'-0"
 PROPOSED SOUTH INTERIOR SETBACK = 6'-0"

ALLOWABLE HEIGHT:

PRIMARY BUILDING = 25 FT. + 3' FOR ROOFS W/ MIN. 3:12 = 28'-0"
 PROPOSED MAXIMUM BUILDING HEIGHT = 27'-7"

LANDSCAPE:

REQUIRED PERMANENTLY LANDSCAPED OPEN AREA = 40% (7,662.50 s.f.) = 3,065 s.f.
 PROPOSED PERMANENTLY LANDSCAPED OPEN AREA:
 598+369+300+128+750+57+400+390+87+172 = 3,251 s.f. = 42.42%

NOTE:

FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET

ZONING NOTES:

- NO OAK, BAY OR SYCAMORE TREES ON OR WITHIN 20 FEET OF THE PROPERTY
- NO NEW ROOFTOP EQUIPMENT IS ALLOWED
- THE FOLLOWING ITEMS SHALL BE ON A SEPARATE PERMIT:
 - RETAINING WALLS / BOUNDARY WALLS
 - POOLS / SPAS / JACUZZIS
 - FENCES / TRELLIS / PATIO COVERS
 - GRADING / DRAINAGE / EROSION
 - FIRE SPRINKLERS

ELM AVE.

ALLEY

EXISTING STREET LIGHT TO REMAIN

EXISTING STREET TREE TO REMAIN

CLOSE THE EXISTING DRIVEWAY APPROX AND PROVIDE NEW CURBS AND GUTTER TO MATCH EXISTING SIDEWALK





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1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED SITE PLAN

DATE

07.25.23

SCALE

1/8" = 1'-0"

DRAWN BY

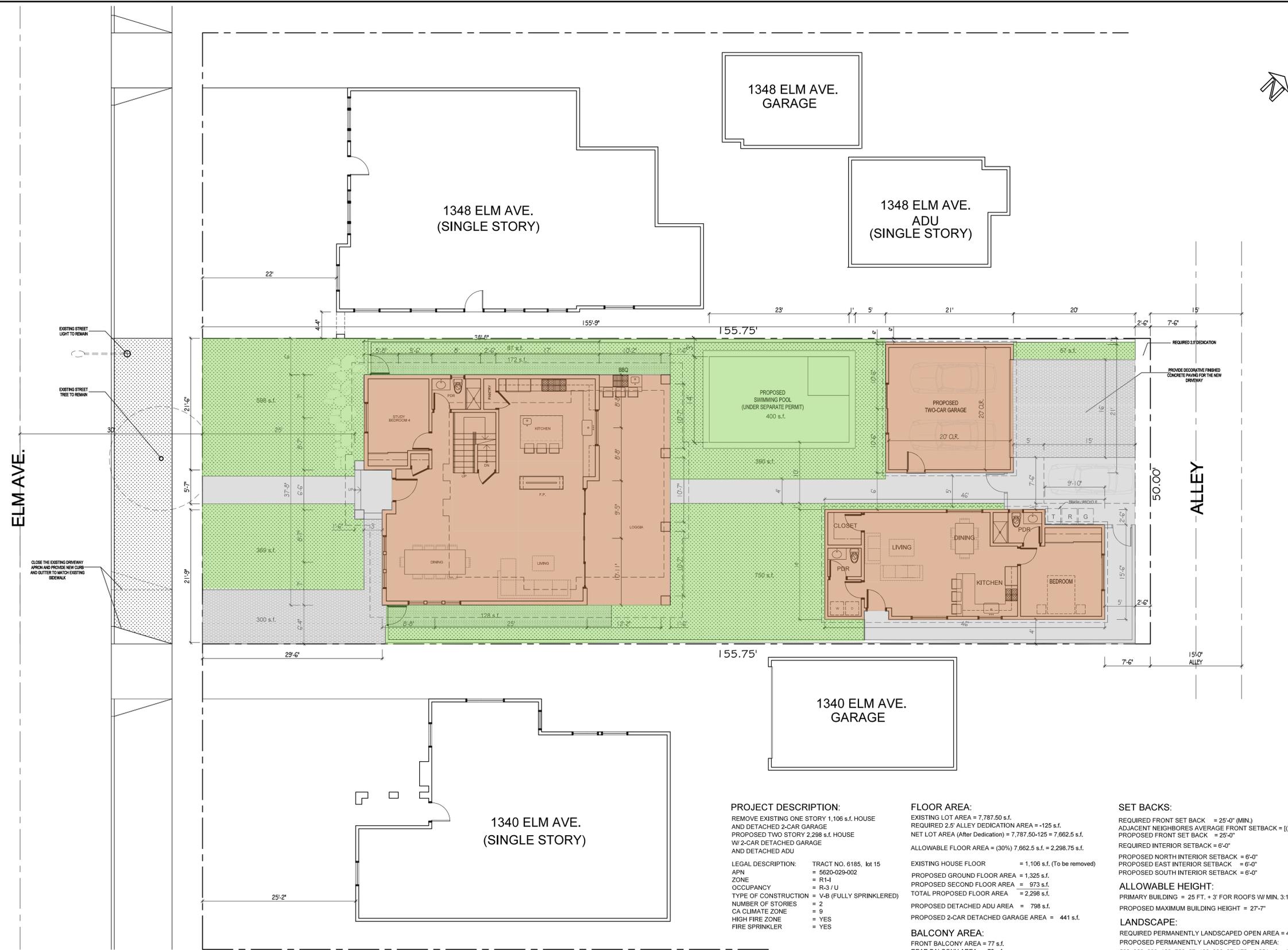
HZ

JOB NUMBER

110422

SHEET

A2



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 - GRADING / DRAINAGE / EROSION
 - FIRE SPRINKLERS

1 PROPOSED SITE PLAN
 SCALE 1/8"=1'-0"



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PROJECT:

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REVISIONS

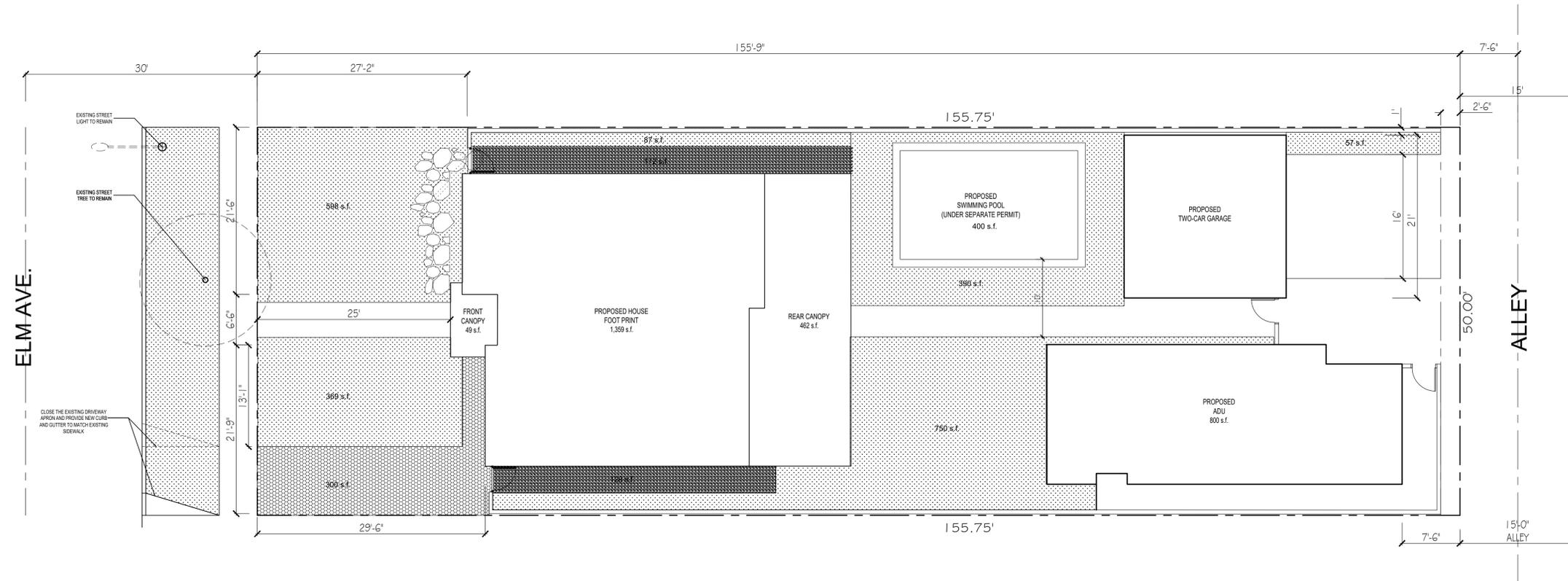
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED LOT COVERAGE AND LANDSCAPE CALCULATIONS

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2.1



1 PROPOSED LOT COVERAGE AND LANDSCAPE CALCULATIONS
SCALE 1/8" = 1'-0"

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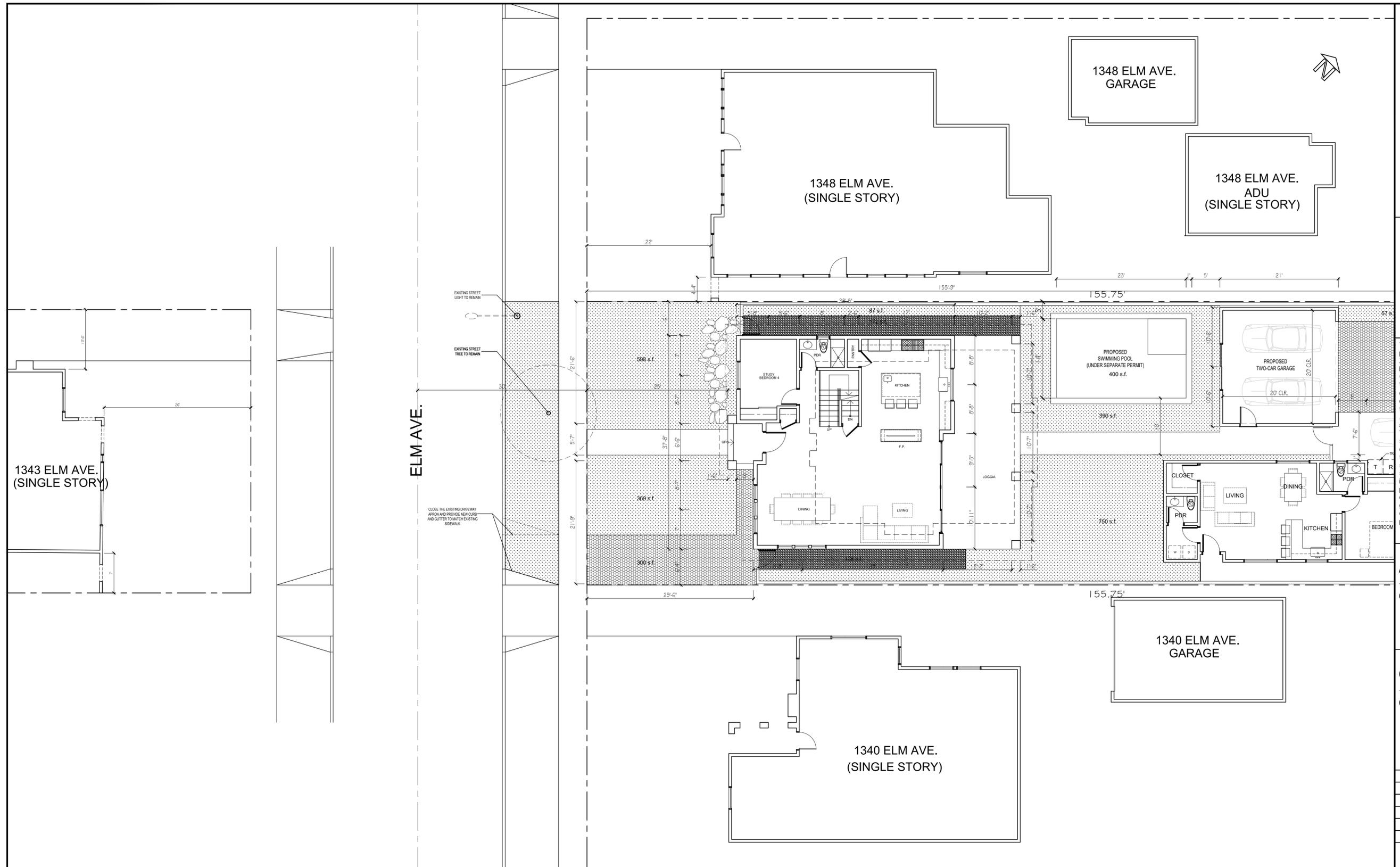
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED GROUND FLOOR WINDOWS TO ADJACENT PROPERTIES

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2.2



1 PROPOSED GROUND FLOOR WINDOWS AT ADJACENT PROPERTIES
SCALE 1/8"=1'-0"



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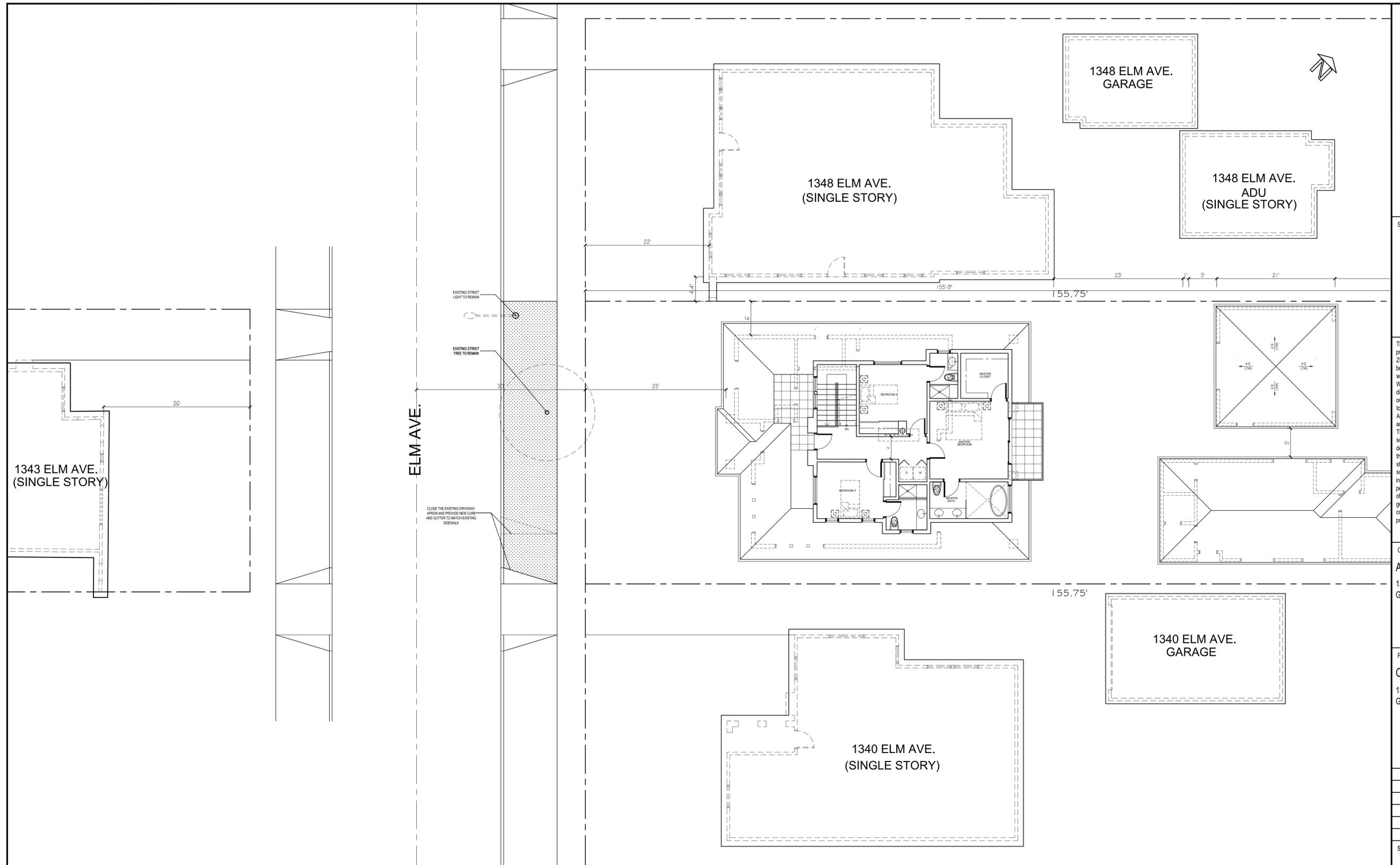
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED SECOND FLOOR
WINDOWS
AT ADJACENT PROPERTIES

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2.3



1 PROPOSED SECOND FLOOR WINDOWS AT ADJACENT PROPERTIES
SCALE 1/8"=1'-0"



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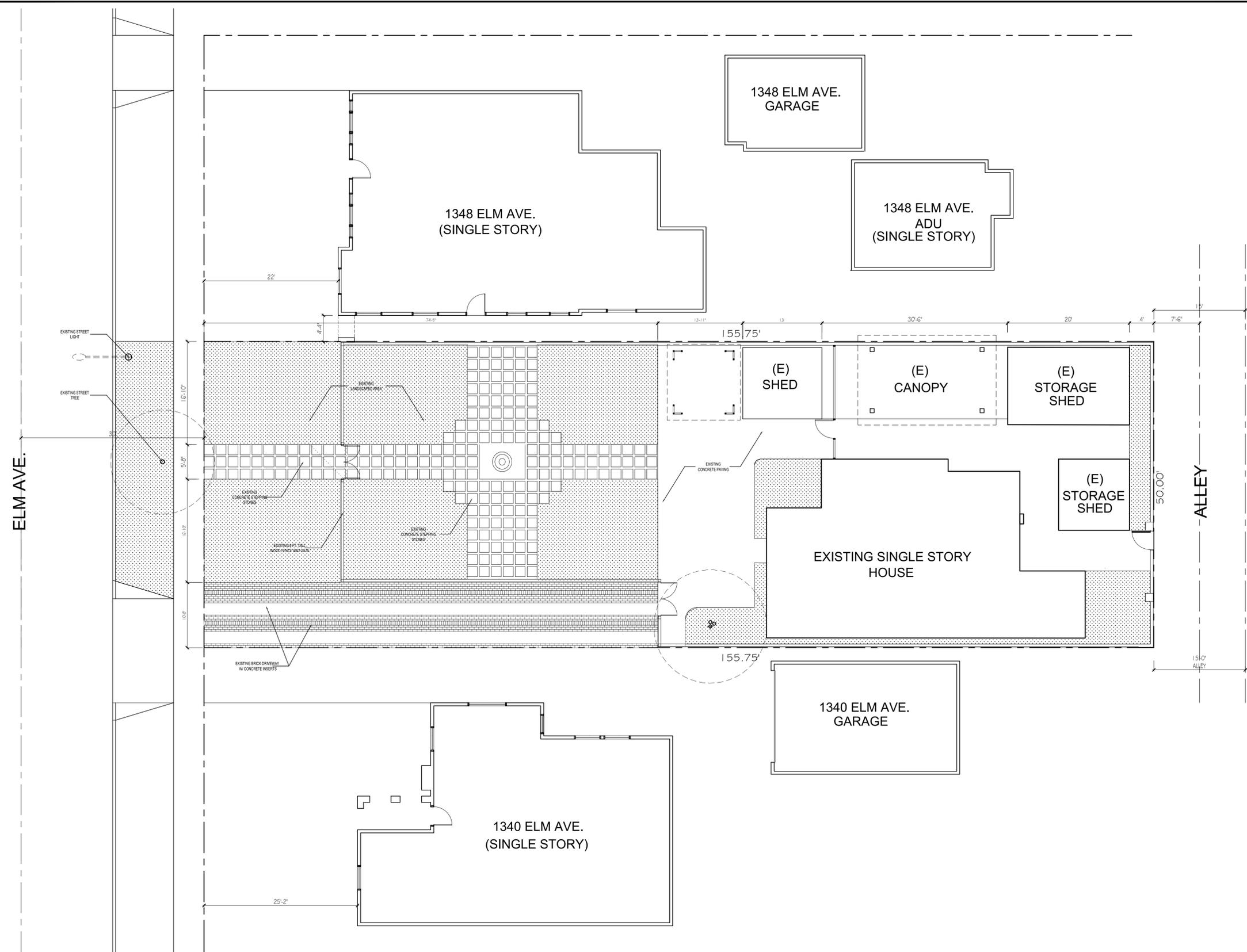
DESCRIPTION	DATE	BY

SHEET TITLE:

EXISTING SITE PLAN

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2.4



1 EXISTING SITE PLAN
SCALE 1/8"=1'-0"



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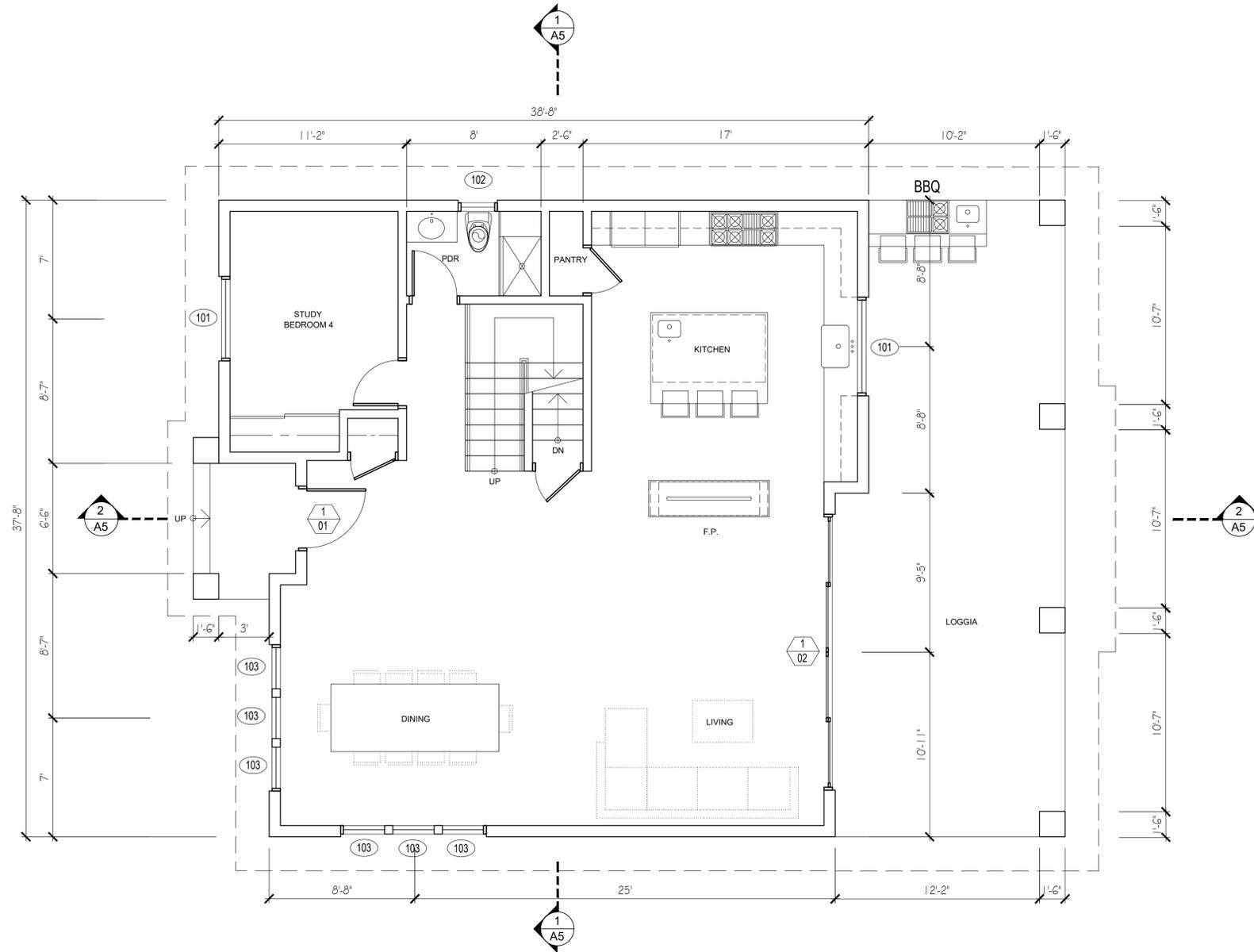
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
FIRST FLOOR PLAN

DATE	07.25.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A3.1



1 PROPOSED BUILDING GROUND FLOOR PLAN
SCALE 1/4"=1'-0"

LOCAL EXHAUST KITCHEN VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE LOCAL VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

WHOLE-BUILDING VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
CONTINUOUS FAN FLOW (CFM) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE WHOLE-BUILDING VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

LOCAL EXHAUST BATHROOM VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE LOCAL VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 4"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

ASHRAE STANDARD EQUATION

$$Q_{fan} = 0.01A_{floor} + 7.5(N + 1) \frac{1}{D_r}$$

$$Q_{fan} = 0.01(4519) + 7.5(6)$$

$$Q_{fan} = 90$$

PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm, 0.7 Sone rating Ventilation Fan Model # PV020-30

KEY NOTES:

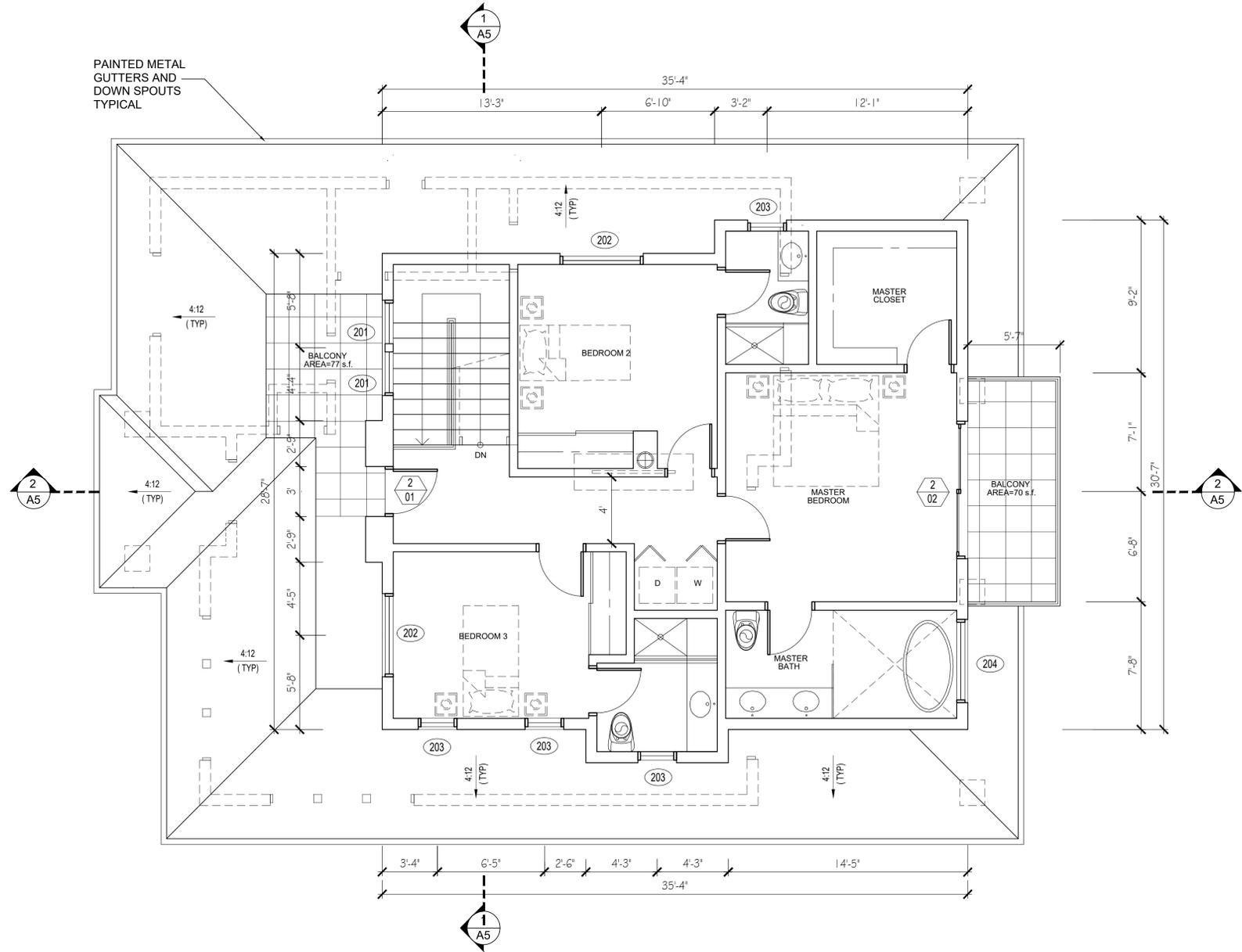
- PREFABRICATED GAS FIREPLACE BY: SPARK MODERN FIRES (DIRECT VENT) OMNI-TESTED LABORATORIES: ANSI Z21.88-2009/CSA 2.33-2009
- GRANIT COUNTER TOPS W/ 18" SPLASH OVER WOOD CABINETS
- STAINLESS STEEL FARM SINK W/ GARBAGE DISPOSAL
- STAINLESS STEEL BAR SINK
- WOOD UPPER CABINETS
- STOVE / OVEN WITH 100 CFM FAN
- REFRIGERATOR / FREEZER
- BUILT-IN WOOD CABINETS / SHELVES ENTERTAINMENT CENTER
- DISH WASHER
- WASHER
- DRYER
- W.C. W/ VENT ABOVE
- MARBLE COUNTER OVER WOOD CABINET W/ UNDR. COUNTER SINK
- FREE STANDING TUB
- TILED SHOWER AND SEAT W/ FRAME LESS TEMPERED GLASS SHOWER DOORS
- TUB / SHOWER W/ FRAMELESS TEMPERED GLASS ENCLOSURE DOORS
- THIN SET CERAMIC TILES OVER WATER PROOFING. (MIN. 1/4" 12' SLOPE TO DRAIN)

LEGEND:

- PROPOSED WALLS
- EXTERIOR WOOD FRAMED WALLS:
1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2x6 AT 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYP. BD. ON THE INTERIOR SIDE. PROVIDE R-21 THERMAL/SOUND INSULATION IN STUD SPACE.
- INTERIOR WOOD FRAMED PARTITIONS:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2x @ 16" O.C. PROVIDE 2x6 STUDS @ PLUMBING WALLS W/ R15 INSULATION
- SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP) (SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)
- CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
- EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)
- PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm, 0.7 Sone rating Ventilation Fan Model # PV020-30



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 ENTER THE REQUIRED FAN FLOW RATE (CFM)
 BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
 USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE LOCAL VENTILATION SYSTEM FROM TABLE 7.1.
 DUCT SIZE (IN) = 4"
 MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

ASHRAE STANDARD EQUATION

$$Q_{fan} = 0.01A_{floor} + 7.5(N + 1) \frac{A_{DR}}{A_{fan}}$$

$$Q_{fan} = 0.01(4519) + 7.5(6)$$

$$Q_{fan} = 90$$

PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN;
 By: "Progress Lighting" White 80 cfm, 0.7 Sone rating Ventilation Fan Model # PV020-30

KEY NOTES:

- 1- PREFABRICATED GAS FIREPLACE BY SPARK MODERN FIRES (DIRECT VENT) OMNI-TESTED LABORATORIES - ANSI Z21.88-2009/CSA 2.33-2009
- 2- GRANT COUNTER TOPS W/ 18" SPLASH OVER WOOD CABINETS
- 3- STAINLESS STEEL FARM SINK W/ GARBAGE DISPOSAL
- 4- STAINLESS STEEL BAR SINK
- 5- WOOD UPPER CABINETS
- 6- STOVE / OVEN WITH 100 CFM FAN
- 7- REFRIGERATOR / FREEZER
- 8- BUILT-IN WOOD CABINETS / SHELVES ENTERTAINMENT CENTER
- 9- DISH WASHER
- 10- WASHER
- 11- DRYER
- 12- W.C. W / VENT ABOVE
- 13- MARBLE COUNTER OVER WOOD CABINET W / UNDR. COUNTER SINK
- 14- FREE STANDING TUB
- 15- TILED SHOWER AND SEAT W / FRAME LESS TEMPERED GLASS SHOWER DOORS
- 16- TUB / SHOWER W / FRAMELESS TEMPERED GLASS ENCLOSURE DOORS
- 17- THIN SET CERAMIC TILES OVER WATER PROOFING. (MIN. 1/4" SLOPE TO DRAIN)

LEGEND:

- PROPOSED WALLS
- EXTERIOR WOOD FRAMED WALLS:
 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYP. BD. ON THE INTERIOR SIDE. PROVIDE R-21 THERMAL/SOUND INSULATION IN STUD SPACE.
- INTERIOR WOOD FRAMED PARTITIONS:
 ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2x @ 16" O.C. PROVIDE 2x6 STUDS @ PLUMBING WALLS W/ R15 INSULATION
- SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP) (SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)
- CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
- EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)
- PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN;
 By: "Progress Lighting" White 80 cfm, 0.7 Sone rating Ventilation Fan Model # PV020-30

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CLIENT:
Armen Orujyan
 1342 Elm Ave.
 Glendale, Ca. 91201

PROJECT:
Orujyan Residence
 1342 Elm Ave.
 Glendale, Ca. 91201

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
PROPOSED HOUSE SECOND FLOOR

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A3.2



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208

T +1 818.236.3619
hamlet@zohrabians.com

www.zohrabians.com



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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

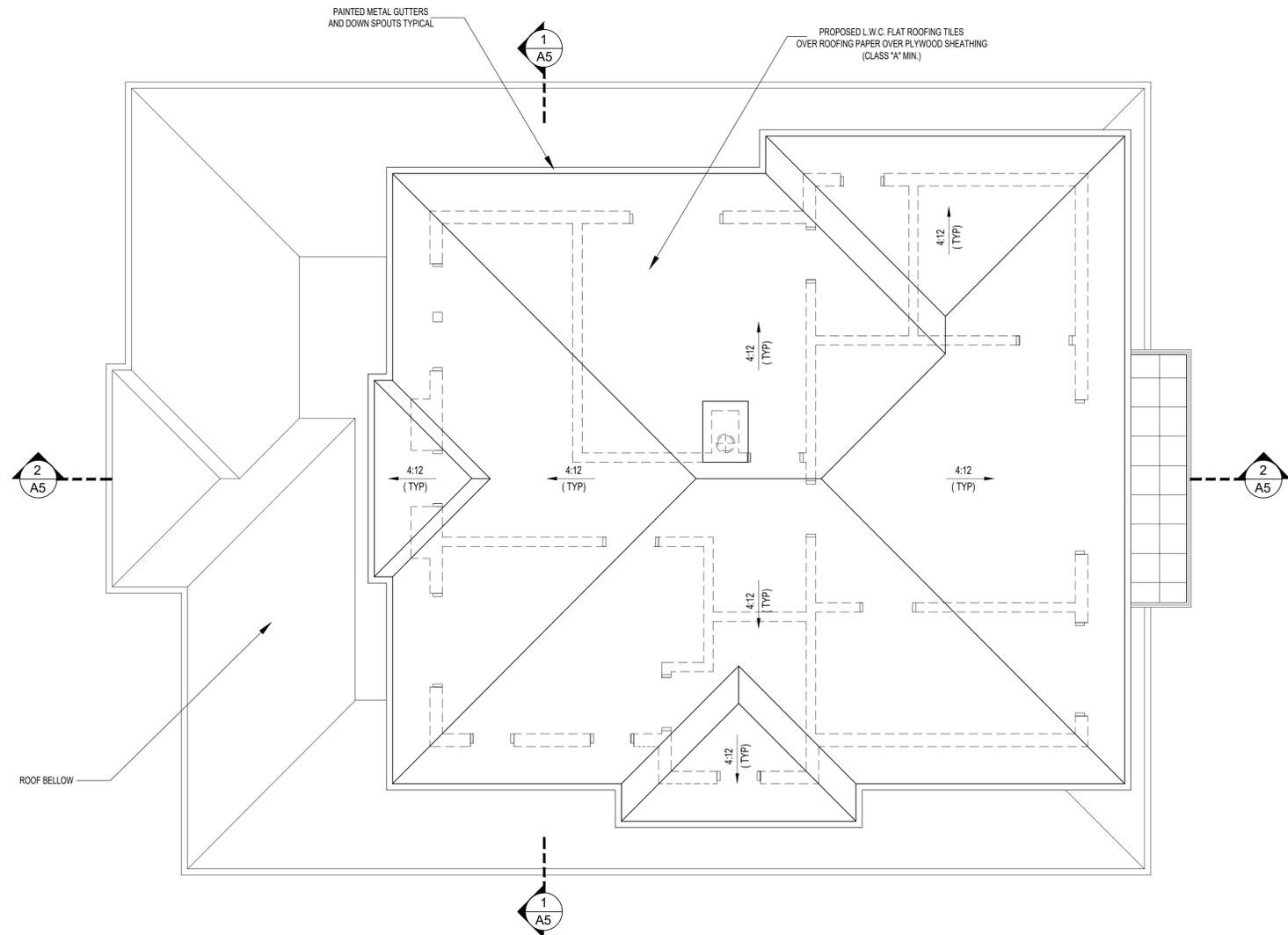
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE ROOF PLAN
ROOF PLAN

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A3.3



1 PROPOSED BUILDING ROOF PLAN
SCALE 1/4"=1'-0"

UPPER ROOF ATTIC VENTILATION
ATTIC AREA TO BE VENTED =2,000 S.F.
REQUIRED VENTILATION =1/150 (2,000 S.F.) = 13.3 S.F.
PROPOSED VENTS :
2 LOUVERED VENTS (30"X36")= 2 (7.5 s.f.) = 15 S.F.
TOTAL ATTIC VENTILATION AREA PROVIDED = 15 S.F.
(OPENINGS SHALL HAVE CORROSION-RESISTANT, WIRE MESH WITH 1/8" MIN & 1/4" MAX. OPENINGS (TYP.)

ATTIC VENTILATION

TOTAL ATTIC AREA TO BE VENTED = 1,083 sq. ft.
TOTAL REQUIRED VENT AREA =1,083 /150 = 7.22 sq. ft.
PROVIDE:
4 LOUVERED ROOF VENTS = 4 (24" X 12") = 8 sq. ft.

SOLAR SYSTEM

PROVIDE SPACE FOR FUTURE SOLAR INSTALLATION
MINIMUM SPACE REQUIREMENT = 250 S.F.
SOLAR PANEL 39" X 65" = 17.6 S.F.

PROPOSED SPACE FOR FUTURE SOLAR INSTALLATION
15 SOLAR PANELS X 17.6 = 264 S.F.

FUTURE ACCESS FOR SOLAR SYSTEM

PROVIDE FUTURE ACCESS FOR SOLAR SYSTEM. PROVIDE A MINIMUM OF ONE-INCH ELECTRICAL CONDUIT FROM THE ELECTRICAL SERVICE EQUIPMENT TO AN ACCESSIBLE LOCATION IN THE ATTIC OR OTHER APPROVED LOCATIONS



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208

T +1 818.236.3619
hamlet@zohrabians.com

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Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

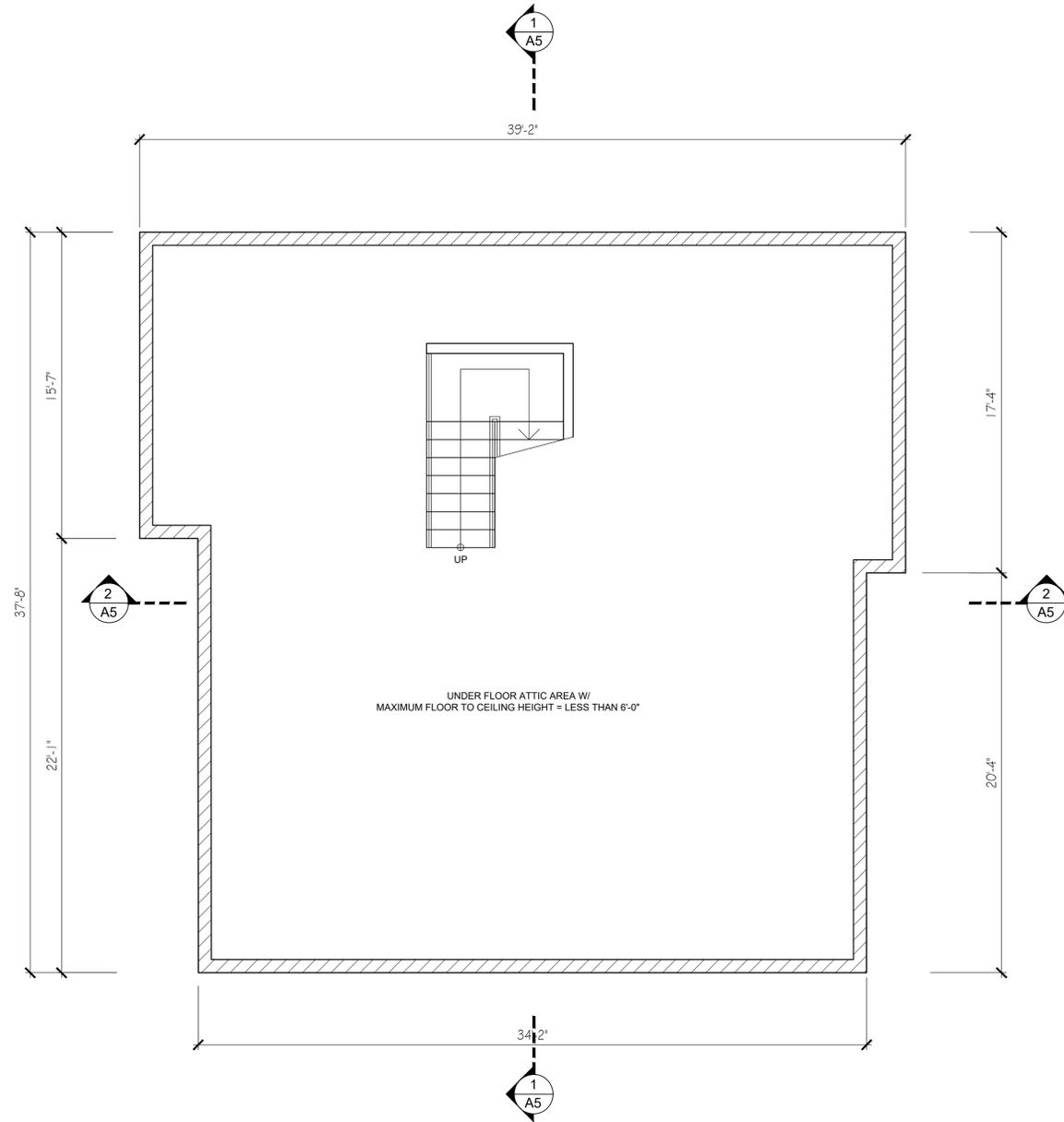
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED UNDER FLOOR AREA

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A3.4



UNDER FLOOR ATTIC AREA W/
MAXIMUM FLOOR TO CEILING HEIGHT = LESS THAN 6'-0"

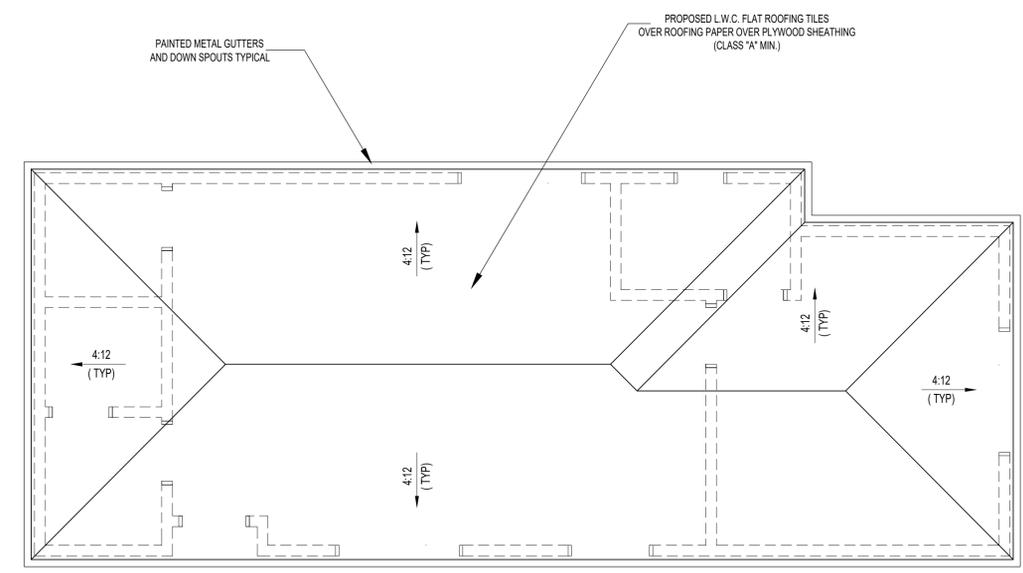
1 UNDER FLOOR AREA
SCALE 1/4"=1'-0"



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208

T +1 818.236.3619
hamlet@zohrabians.com
www.zohrabians.com



2 PROPOSED ADDITIONAL DWELLING UNIT ROOF PLAN
SCALE 1/4"=1'-0"

LOCAL EXHAUST KITCHEN VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE LOCAL VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

WHOLE-BUILDING VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
CONTINUOUS FAN FLOW (CFM) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE WHOLE-BUILDING VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

LOCAL EXHAUST BATHROOM VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE LOCAL VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 4"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

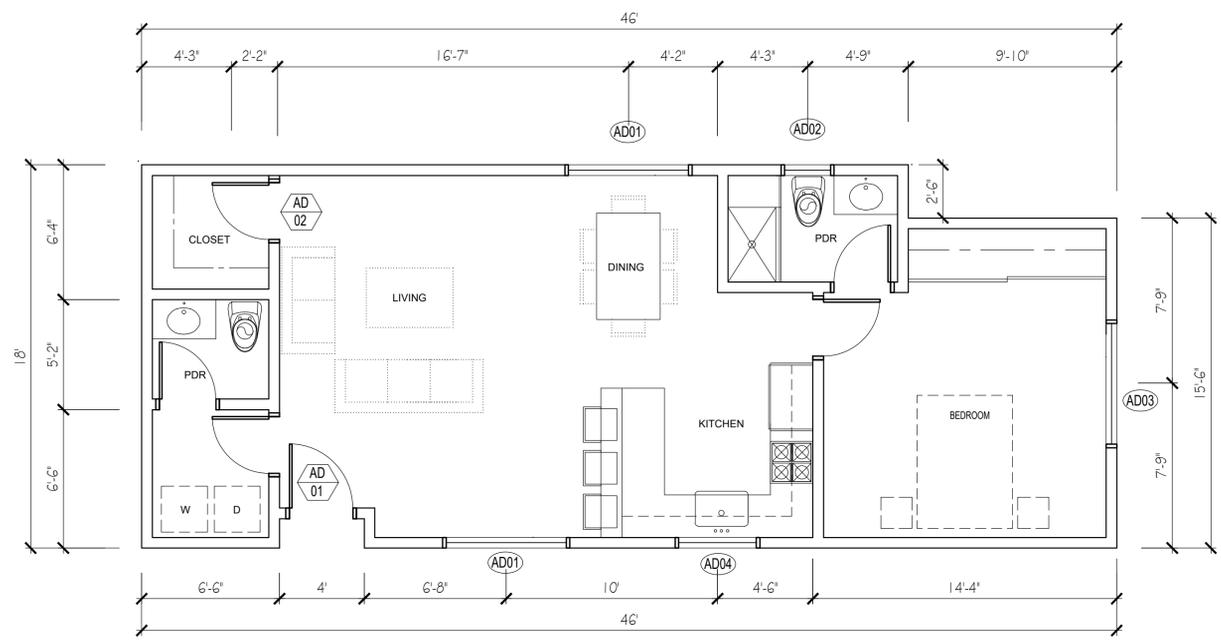
ASHRAE STANDARD EQUATION

$$Q_{fan} = 0.01A_{floor} + \frac{7.5(N + 1)}{br}$$

$$Q_{fan} = 0.01(4519) + 7.5(6)$$

$$Q_{fan} = 90$$

PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN, By: "Progress Lighting" White 80 cfm, 0.7 Sone rating Ventilation Fan Model # PV020-30



1 PROPOSED ADDITIONAL DWELLING UNIT FLOOR PLAN
SCALE 1/4"=1'-0"

KEY NOTES:

- 1- PREFABRICATED GAS FIREPLACE BY SPARK MODERN FIRES (DIRECT VENT) QUIN-TESTED LABORATORIES - ANSI Z21.88-2009/CSA 2.23-2009
- 2- GRANT COUNTER TOPS W/ 18" SPLASH OVER WOOD CABINETS
- 3- STAINLESS STEEL FARM SINK W/ GARBAGE DISPOSAL
- 4- STAINLESS STEEL BAR SINK
- 5- WOOD UPPER CABINETS
- 6- STOVE / OVEN WITH 100 CFM FAN
- 7- REFRIGERATOR / FREEZER
- 8- BUILT-IN WOOD CABINETS / SHELVES ENTERTAINMENT CENTER
- 9- DISH WASHER
- 10- WASHER
- 11- DRYER
- 12- W.C. W / VENT ABOVE
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- 14- FREE STANDING TUB
- 15- TILED SHOWER AND SEAT W / FRAME LESS TEMPERED GLASS SHOWER DOORS
- 16- TUB / SHOWER W / FRAMELESS TEMPERED GLASS ENCLOSURE DOORS
- 17- THIN SET CERAMIC TILES OVER WATER PROOFING. (MIN. 1/4" 12' SLOPE TO DRAIN)

LEGEND:

- PROPOSED WALLS
- EXTERIOR WOOD FRAMED WALLS
- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYP. BD. ON THE INTERIOR SIDE. PROVIDE R-21 THERMAL/SOUND INSULATION IN STUD SPACE.
- INTERIOR WOOD FRAMED PARTITIONS:
- ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C. PROVIDE 2X6 STUDS @ PLUMBING WALLS W/ R15 INSULATION
- SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP) (SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)
- CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
- EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)
- PROVIDE CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN, By: "Progress Lighting" White 80 cfm, 0.7 Sone rating Ventilation Fan Model # PV020-30

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CLIENT:
Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:
Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
PROPOSED DETACHED A.D.U. FLOOR AND ROOF PLANS

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A3.5



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208

T +1 818.236.3619
hamlet@zohrabians.com

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Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

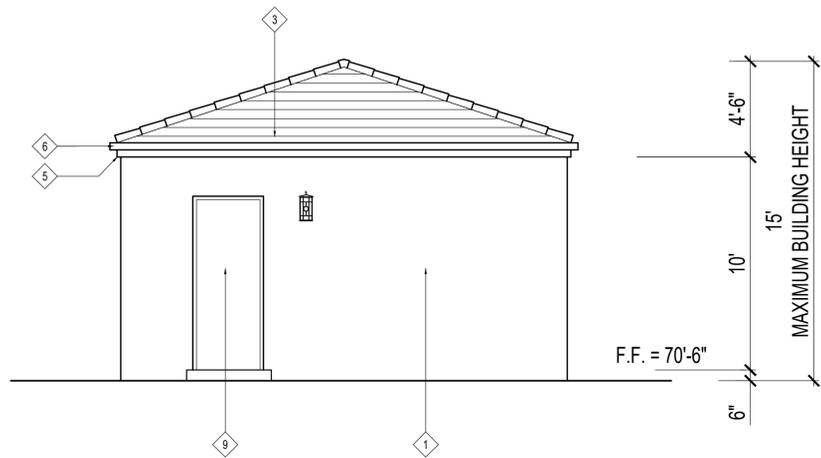
DESCRIPTION	DATE	BY

SHEET TITLE:

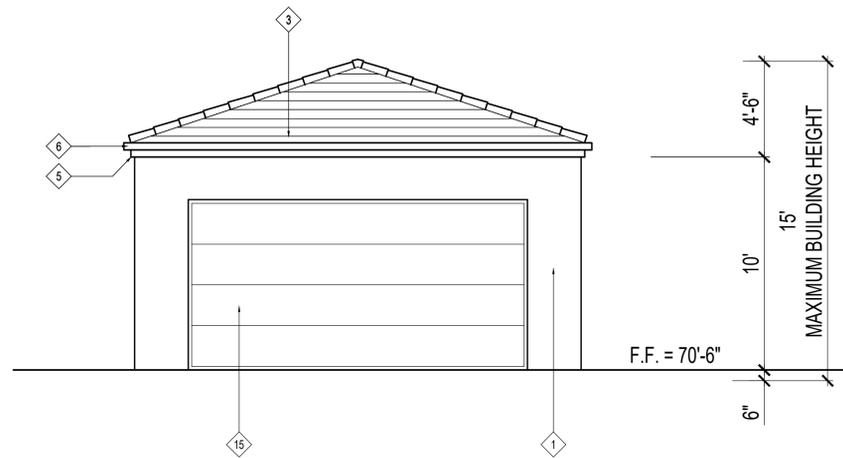
PROPOSED DETACHED GARAGE
PLANS AND ELEVATIONS

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

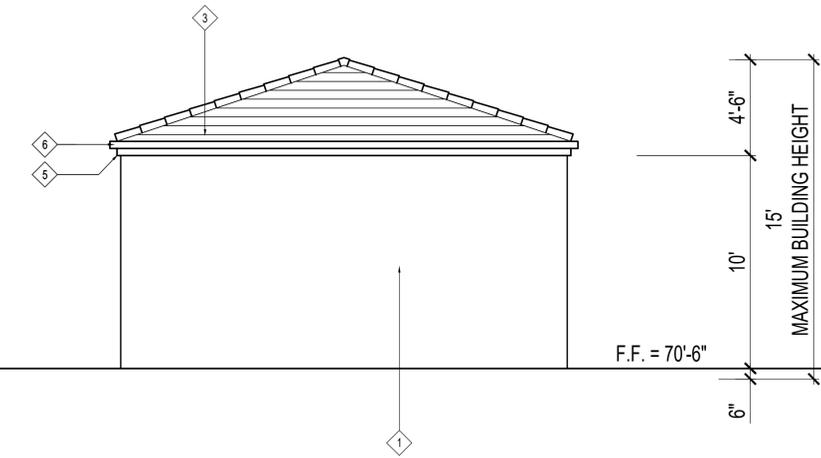
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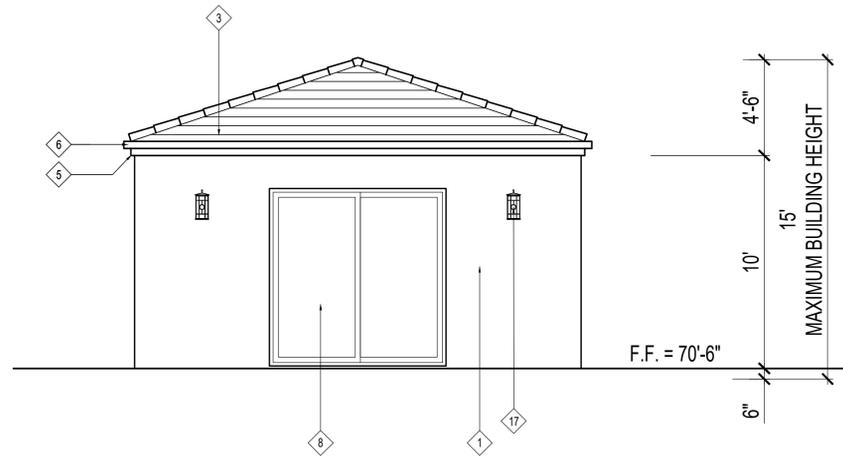
4 PROPOSED GARAGE SOUTH ELEVATION
SCALE 1/4" = 1'-0"



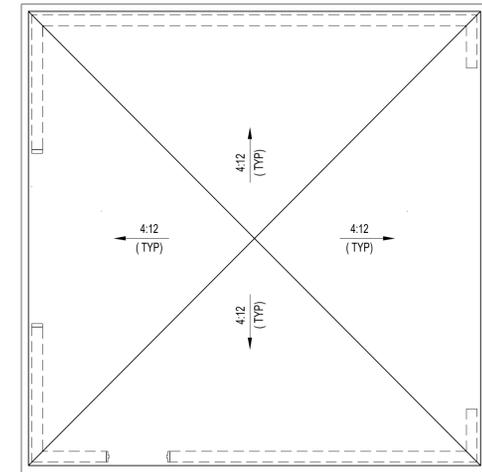
3 PROPOSED GARAGE EAST ELEVATION
SCALE 1/4" = 1'-0"



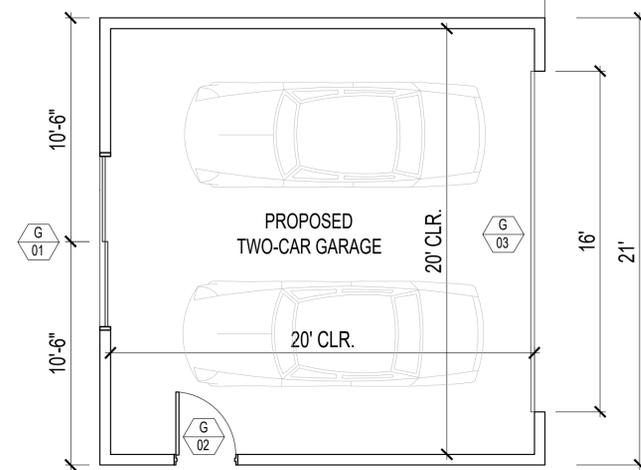
6 PROPOSED GARAGE NORTH ELEVATION
SCALE 1/4" = 1'-0"



5 PROPOSED GARAGE EAST ELEVATION
SCALE 1/4" = 1'-0"



2 PROPOSED GARAGE EAST ELEVATION
SCALE 1/4" = 1'-0"



1 PROPOSED GARAGE EAST ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
COLOR : Lahabra Stucco (Chablis)
- 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
COLOR : Lahabra Stucco (Chablis)
- 3- FLAT L.W. CONC. ROOF TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate
- 4- PRE-CAST MOLDING / SURROUND
COLOR : Natural Concrete Gray
- 5- PLASTERED EAVE FASCIA
COLOR : Crystal White
- 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black
- 7- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony
- 8- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony
- 9- PAINTED HOLLOW METAL ENTRY DOOR
COLOR : Black
- 10- PAINTED METAL GATE
COLOR : Black
- 11- PAINTED METAL RAILING / GUARDRAIL
COLOR : Black
- 12- PRE-CAST CONCRETES STEPS
COLOR : Natural Gray
- 13- PRE-CAST CORNICE / TRIM
COLOR : Natural Gray
- 14- PAINTED METAL CHIMNEY CAP
COLOR : Black
- 15- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black
- 16- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- 17- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



ARCHITECT INC.

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Glendale, California 91208

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1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
WEST AND SOUTH ELEVATIONS

DATE	07.25.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

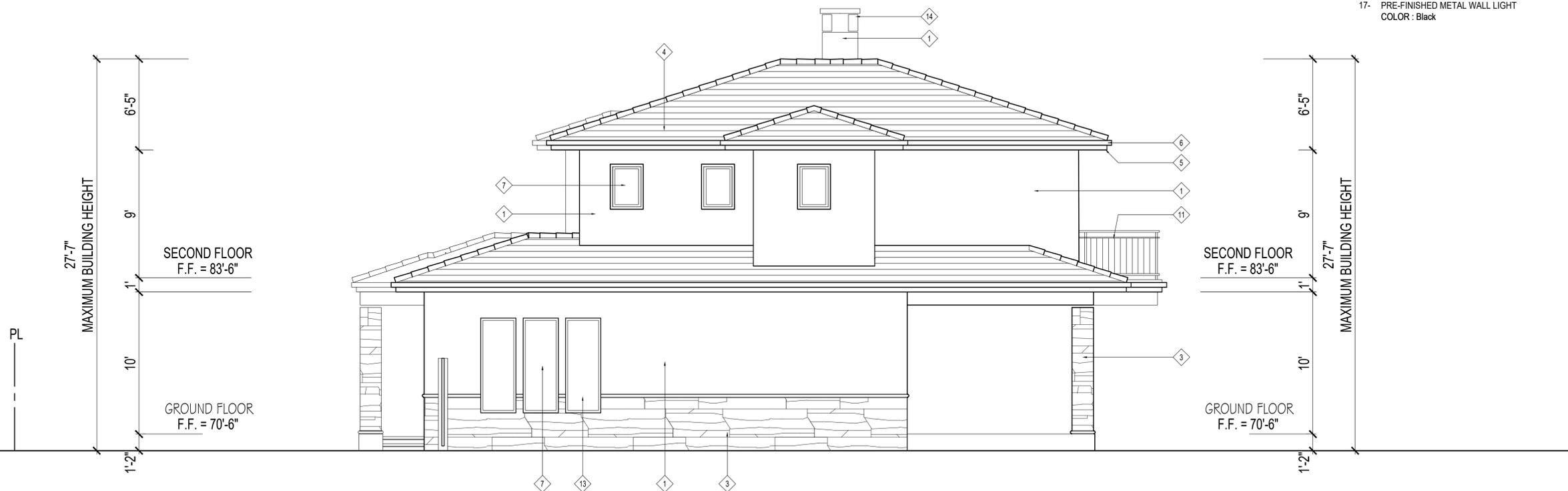
A4.1

KEY NOTES :

- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
COLOR : LaHabra Stucco (Crystal White)
- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
COLOR : LaHabra Stucco (Crystal White)
- CULTURED STONE - "HEWN STONE SPAN" VENEER
COLOR : Gray / Tan
- L.W. CONC. FLAT ROOFING TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate
- PLASTERED EAVE FASCIA
COLOR : Crystal White
- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black
- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony
- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony
- PAINTED HOLLOW METAL ENTRY DOOR
COLOR : Black
- PAINTED METAL GATE
COLOR : Black
- PAINTED METAL RAILING / GUARDRAIL
COLOR : Black
- PRE-CAST CONCRETE STEPS AND COLUMN BASE
COLOR : Natural Gray
- PRE-CAST TRIM
COLOR : Natural Gray
- PAINTED METAL CHIMNEY CAP
COLOR : Black
- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black
- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



1 PROPOSED BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"



2 PROPOSED BUILDING SOUTH ELEVATION
SCALE 1/4" = 1'-0"



ARCHITECT INC.

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1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
EAST AND NORTH ELEVATIONS

DATE	07.25.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

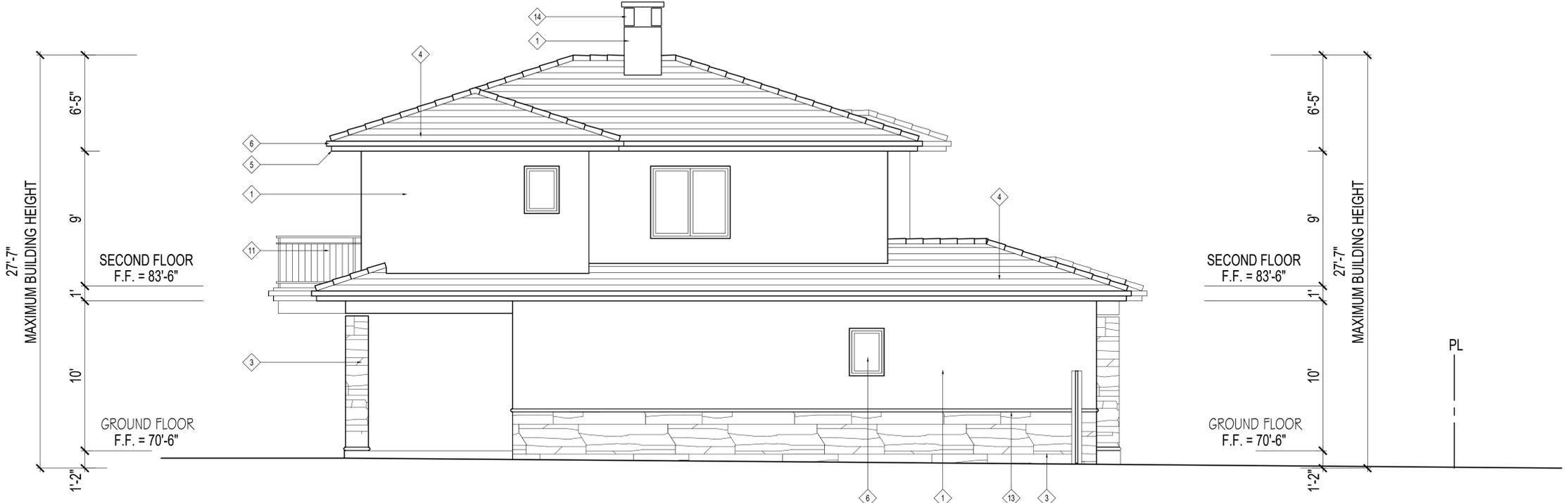
A4.2

KEY NOTES :

- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
COLOR : LaHabra Stucco (Crystal White)
- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
COLOR : LaHabra Stucco (Crystal White)
- CULTURED STONE - "HEWN STONE SPAN" VENEER
COLOR : Gray / Tan
- L.W. CONC. FLAT ROOFING TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate
- PLASTERED EAVE FASCIA
COLOR : Crystal White
- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black
- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony
- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony
- PAINTED HOLLOW METAL ENTRY DOOR
COLOR : Black
- PAINTED METAL GATE
COLOR : Black
- PAINTED METAL RAILING / GUARDRAIL
COLOR : Black
- PRE-CAST CONCRETE STEPS AND COLUMN BASE
COLOR : Natural Gray
- PRE-CAST TRIM
COLOR : Natural Gray
- PAINTED METAL CHIMNEY CAP
COLOR : Black
- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black
- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



1 PROPOSED BUILDING EAST ELEVATION
SCALE 1/4" = 1'-0"



2 PROPOSED BUILDING NORTH ELEVATION
SCALE 1/4" = 1'-0"



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208

T +1 818.236.3619
hamlet@zohrabians.com

www.zohrabians.com

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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

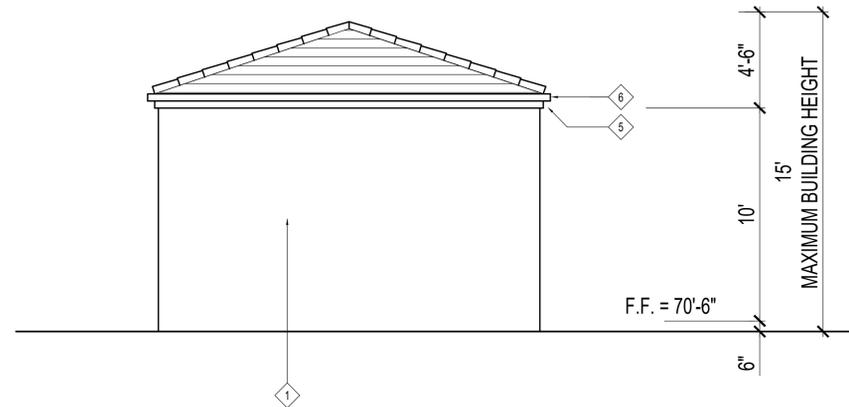
DESCRIPTION	DATE	BY

SHEET TITLE:

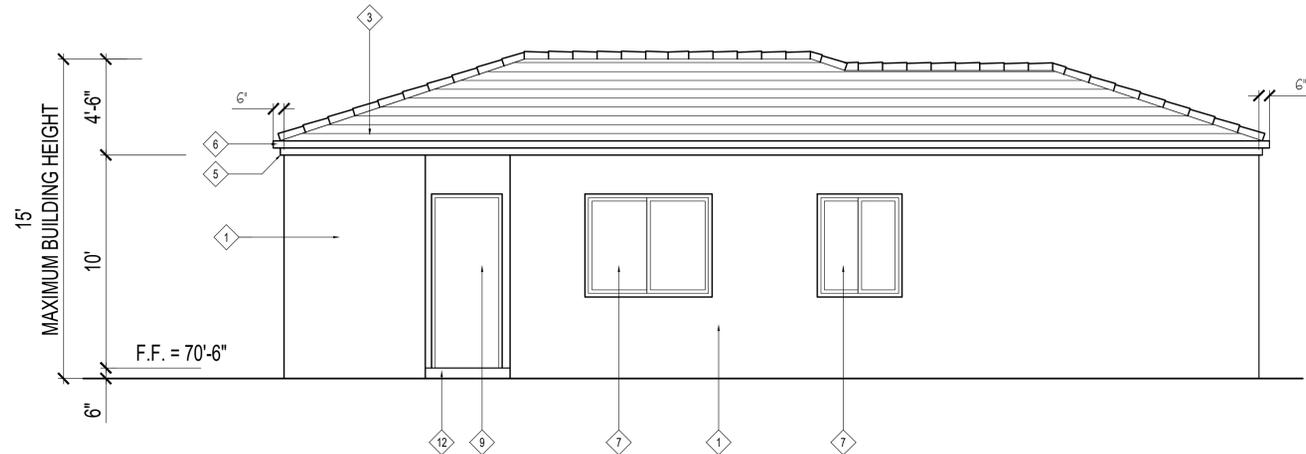
PROPOSED DETACHED A.D.U.
PLANS AND ELEVATIONS

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A4.3



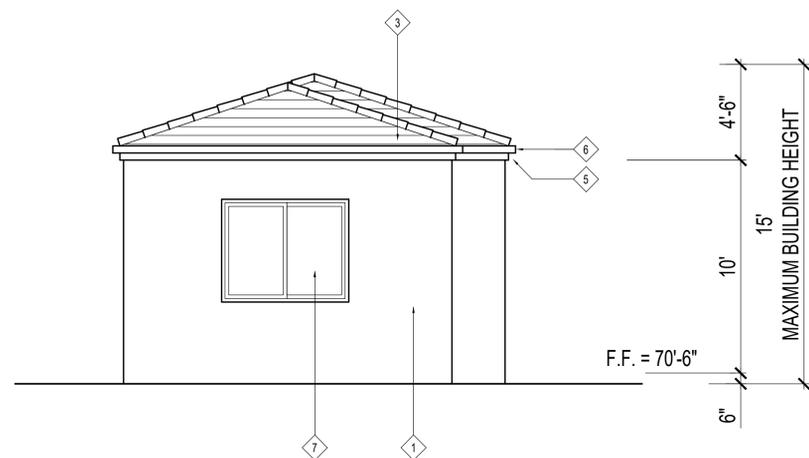
2 PROPOSED ADU WEST ELEVATION
SCALE 1/4" = 1'-0"



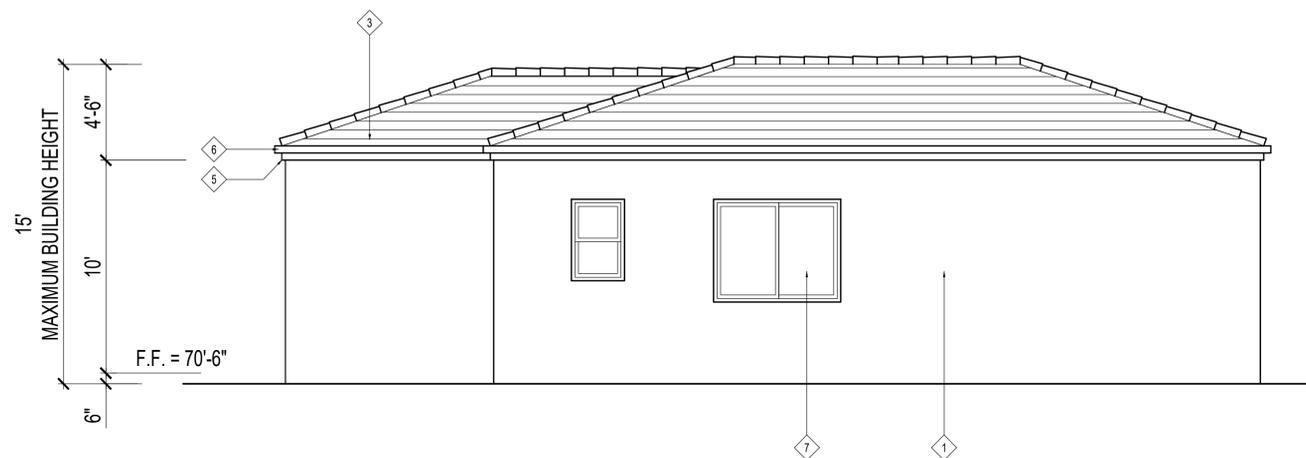
1 PROPOSED ADU SOUTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
COLOR : Lahabra Stucco (Chablis)
- 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
COLOR : Lahabra Stucco (Chablis)
- 3- FLAT L.W. CONC. ROOF TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate
- 4- PRE-CAST MOLDING / SURROUND
COLOR : Natural Concrete Gray
- 5- PLASTERED EAVE FASCIA
COLOR : Crystal White
- 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black
- 7- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony
- 8- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony
- 9- PAINTED HOLLOW METAL ENTRY DOOR
COLOR : Black
- 10- PAINTED METAL GATE
COLOR : Black
- 11- PAINTED METAL RAILING / GUARDRAIL
COLOR : Black
- 12- PRE-CAST CONCRETES STEPS
COLOR : Natural Gray
- 13- PRE-CAST CORNICE / TRIM
COLOR : Natural Gray
- 14- PAINTED METAL CHIMNEY CAP
COLOR : Black
- 15- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black
- 16- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- 17- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



4 PROPOSED ADU EAST ELEVATION
SCALE 1/4" = 1'-0"



3 PROPOSED ADU NORTH ELEVATION
SCALE 1/4" = 1'-0"



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Glendale, California 91208

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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
WEST AND SOUTH ELEVATIONS

DATE

07.25.23

SCALE

1/4" = 1'-0"

DRAWN BY

HZ

JOB NUMBER

110422

SHEET

A4.1

KEY NOTES :

- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
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COLOR : LaHabra Stucco (Crystal White)
- CULTURED STONE - "HEWN STONE SPAN" VENEER
COLOR : Gray / Tan
- L.W. CONC. FLAT ROOFING TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate
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COLOR : Crystal White
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COLOR : Black
- PAINTED METAL RAILING / GUARDRAIL
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COLOR : Black



1 PROPOSED BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"



2 PROPOSED BUILDING SOUTH ELEVATION
SCALE 1/4" = 1'-0"



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Glendale, California 91208

T +1 818.236.3619
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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
EAST AND NORTH ELEVATIONS

DATE

07.25.23

SCALE

1/4" = 1'-0"

DRAWN BY

HZ

JOB NUMBER

110422

SHEET

A4.2



1 PROPOSED BUILDING EAST ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
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COLOR : Black



2 PROPOSED BUILDING NORTH ELEVATION
SCALE 1/4" = 1'-0"



ARCHITECT INC.

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3467 Ocean View Blvd. Suite B
Glendale, California 91208

T +1 818.236.3619
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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

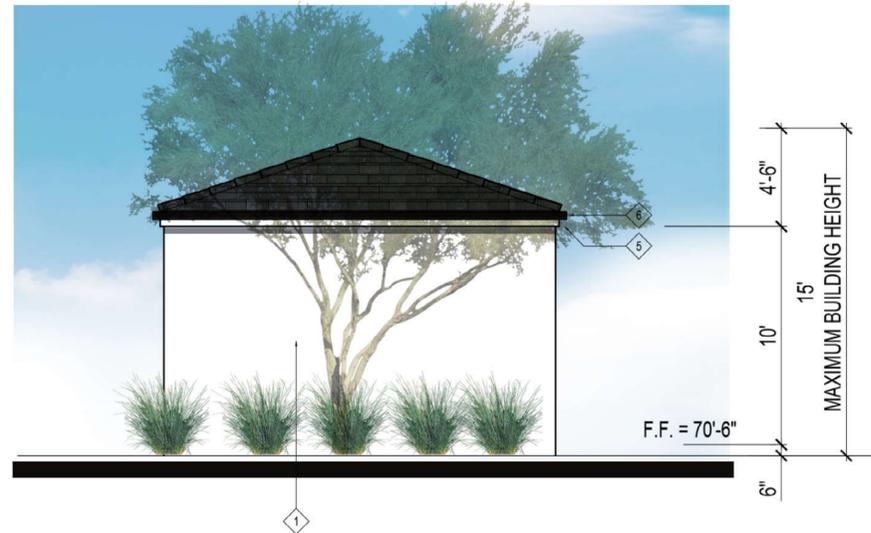
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED DETACHED A.D.U.
PLANS AND ELEVATIONS

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A4.3



2 PROPOSED ADU WEST ELEVATION
SCALE 1/4" = 1'-0"



1 PROPOSED ADU SOUTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
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COLOR : Black Slate
- 4- PRE-CAST MOLDING / SURROUND
COLOR : Natural Concrete Gray
- 5- PLASTERED EAVE FASCIA
COLOR : Crystal White
- 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black
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- 8- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony
- 9- PAINTED HOLLOW METAL ENTRY DOOR
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COLOR : Black
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- 13- PRE-CAST CORNICE / TRIM
COLOR : Natural Gray
- 14- PAINTED METAL CHIMNEY CAP
COLOR : Black
- 15- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black
- 16- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- 17- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



4 PROPOSED ADU EAST ELEVATION
SCALE 1/4" = 1'-0"



3 PROPOSED ADU NORTH ELEVATION
SCALE 1/4" = 1'-0"

ZOHRABIANS ARCHITECTS
3467 OCEAN VIEW BLVD. SUITE B
GLENDALE, CA. 91208
T.818.236.3619

PROJECT ADDRESS: 1342 ELM AVE. GLENDALE CA



DOUBLE BOX 15½" HIGH CLEAR GLASS
BLACK FRAME WALL LIGHT



MARVIN DOORS AND WINDOWS
ALL ULTREX - EBONY (BLACK)



L.W. CONC. FLAT ROOFING TILES
COLOR: BLACK SLATE



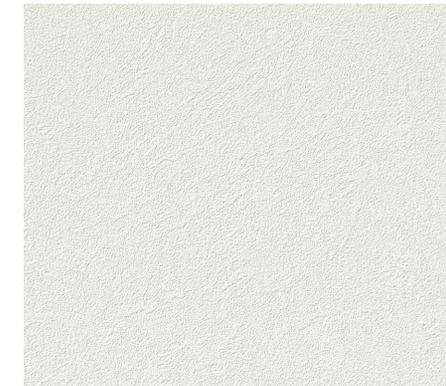
METAL TRIMS
ROOF FASCIA BOARD
METAL GUTTER AND DOWNSPOUTS, CHIMNEY
CAP, RAILING, FENCE WALL RAILING



PROPOSED DRIVEWAY / FRONT YARD WALKWAY
INTERLOCKING PAVERS



CULTURED STONE - "HEWN STONE SPAN" VENEER
COLOR: GRAY / TAN



LAHABRA STUCCO
SMOOTH FINISH - CRYSTAL WHITE



ARCHITECT INC.

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Glendale, California 91208

T +1 818.236.3619
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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

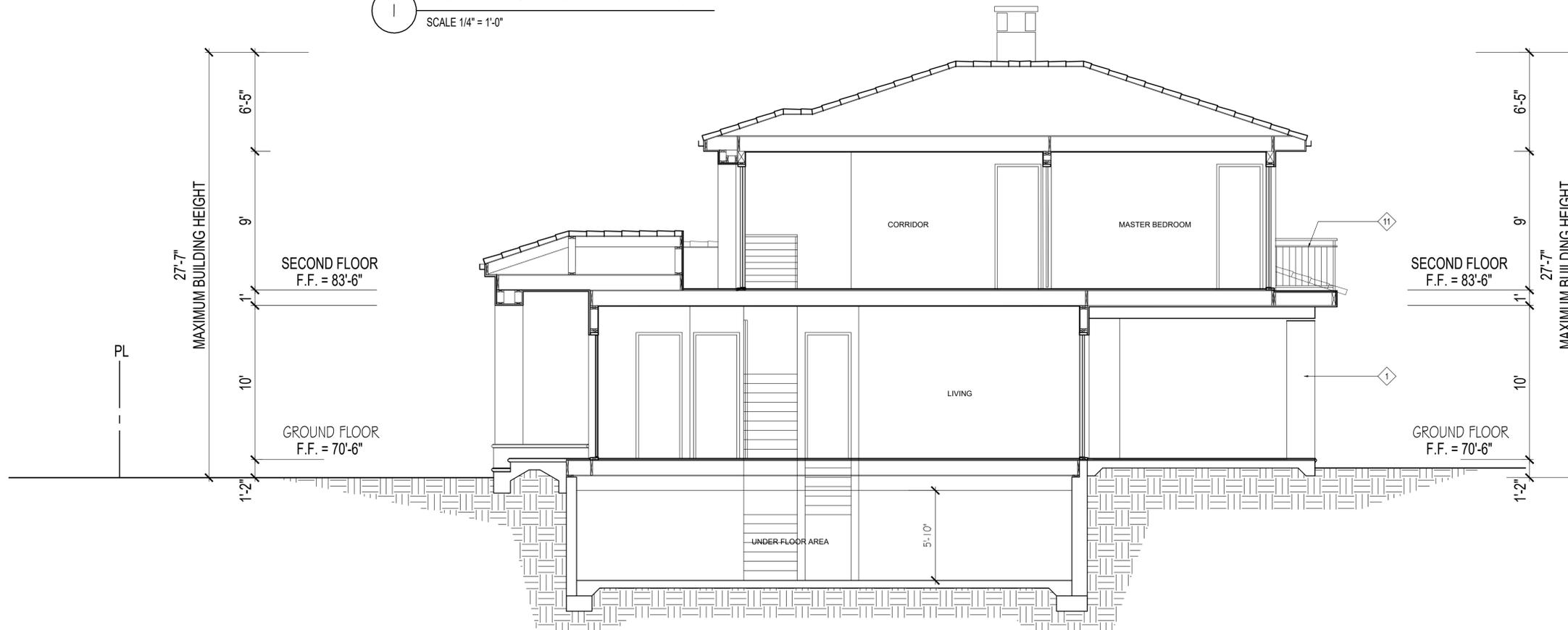
PROPOSED HOUSE SECTIONS

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

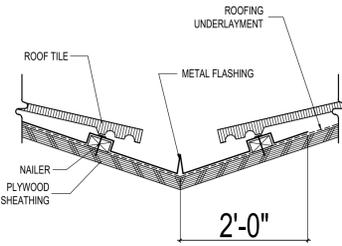
A5.1



1 PROPOSED BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"

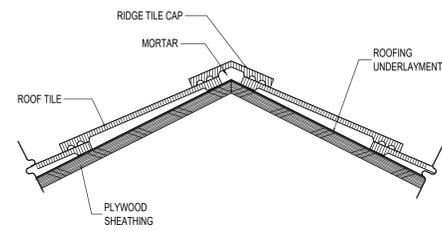


2 PROPOSED BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"



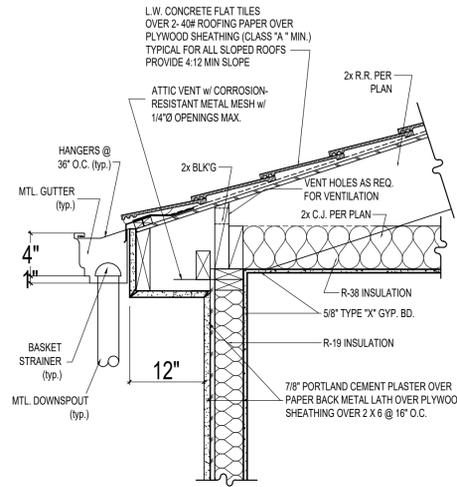
ROOF VALLEY

10



ROOF RIDGE

7

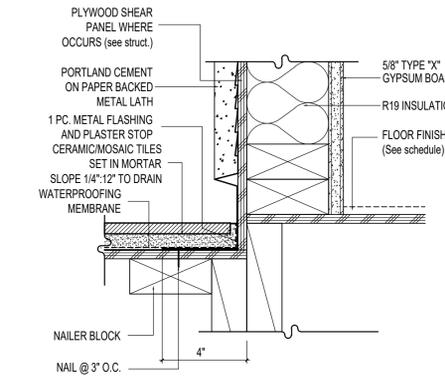
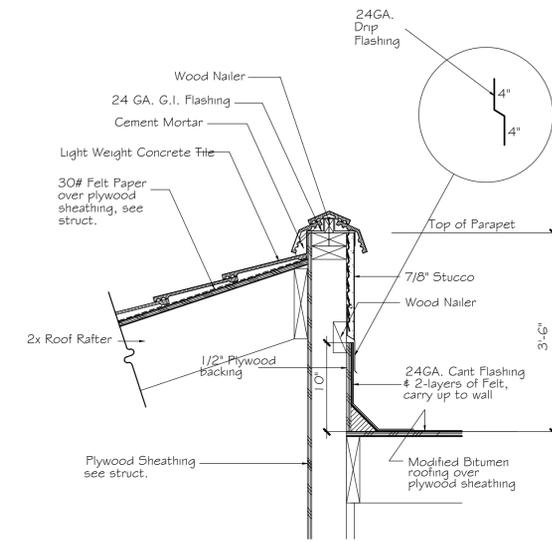


ROOF EAVE

4

ROOF MANSARD

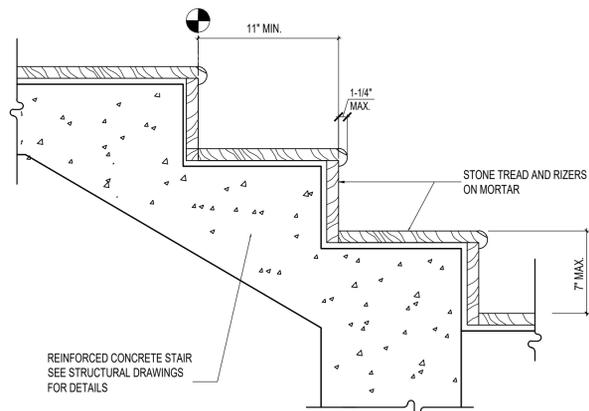
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BALCONY/TERRACE

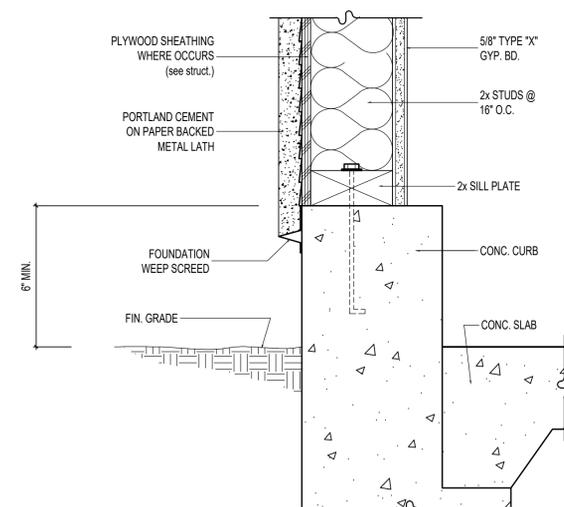
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2



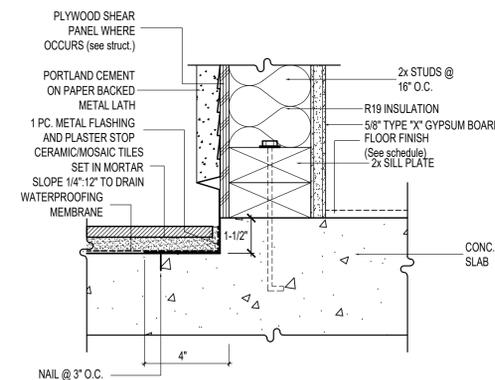
EXTERIOR STAIR

12



WEEP SCREED WITH CURB

9



CONCRETE SLAB DEPRESSION

6

3



ARCHITECT INC.
Hamlet Zohrabians Architect, Inc.
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T +1 818.236.3619
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1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:
Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
DETAILS

DATE	07.25.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A6.1



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REVISIONS

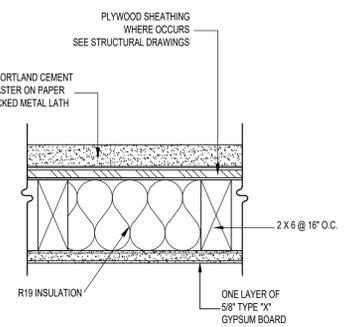
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SHEET TITLE:

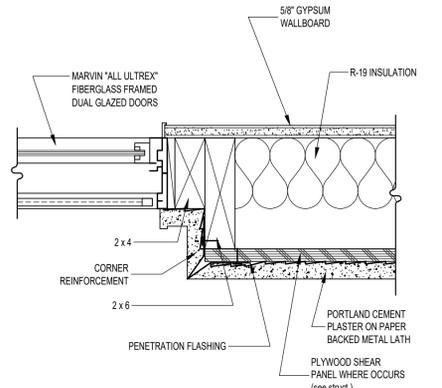
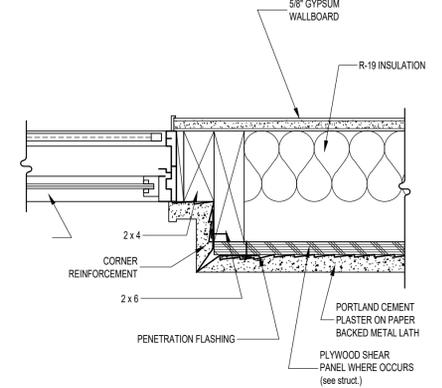
DETAILS

DATE	07.25.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A6.2



TEST NUMBER = UL DES U303 STC = 50



1-HR RATED EXTERIOR WALL

10

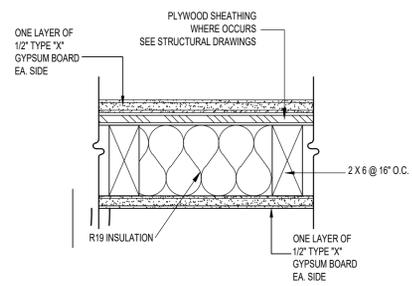
WINDOW JAMB

7

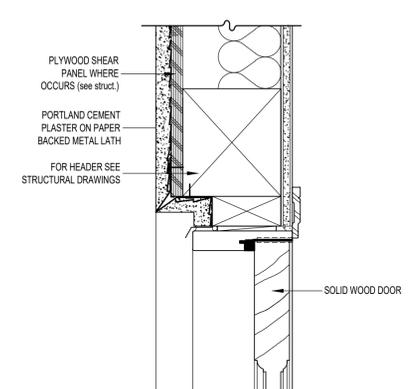
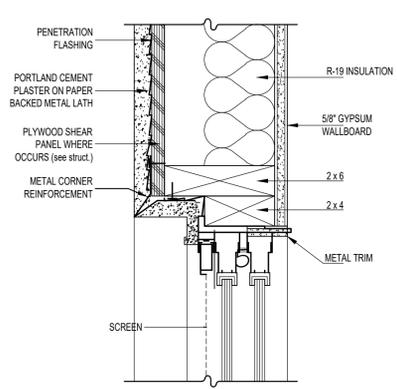
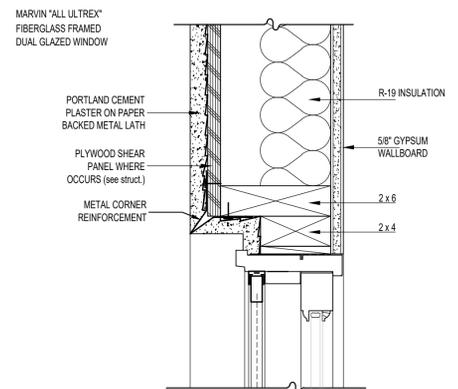
SLIDING GLASS DOOR JAMB

4

1



GA FILE NO. WP 3239 STC = 50 -54



1-HR RATED INTERIOR WALL

11

WINDOW HEAD

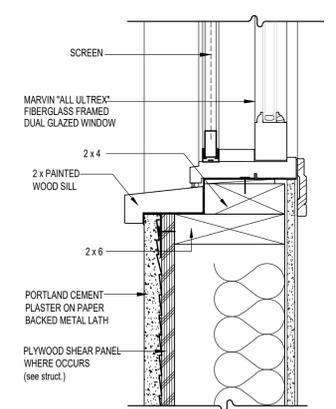
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SLIDING GLASS DOOR HEAD

5

ENTRY DOOR HEAD

2



12

WINDOW SILL

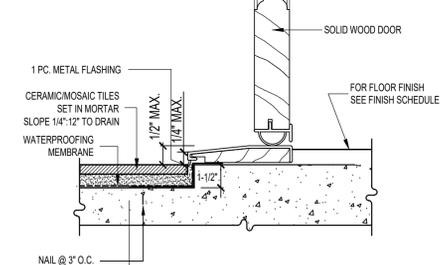
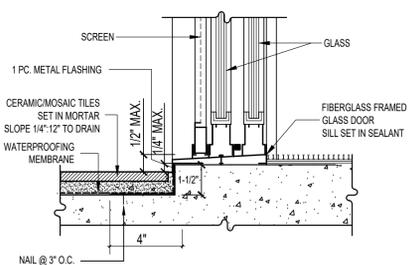
9

SLIDING GLASS DOOR SILL

6

ENTRY DOOR THRESHOLD

3





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T +1 818.236.3619
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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

DETAILS

DATE 07.25.23

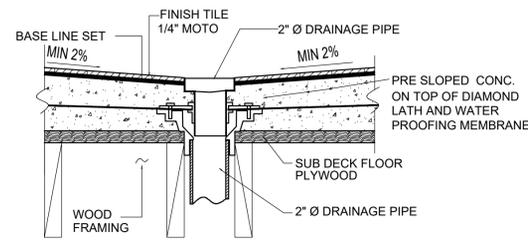
SCALE N.T.S.

DRAWN BY HZ

JOB NUMBER 110422

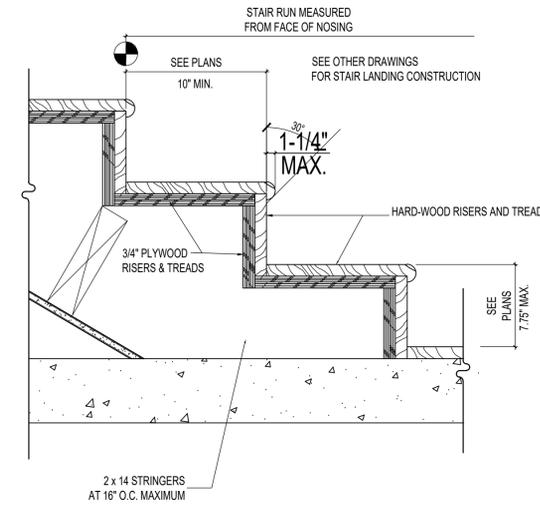
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A6.3



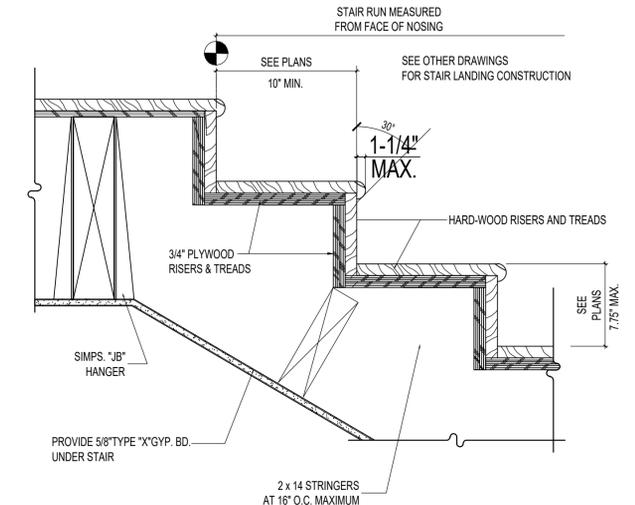
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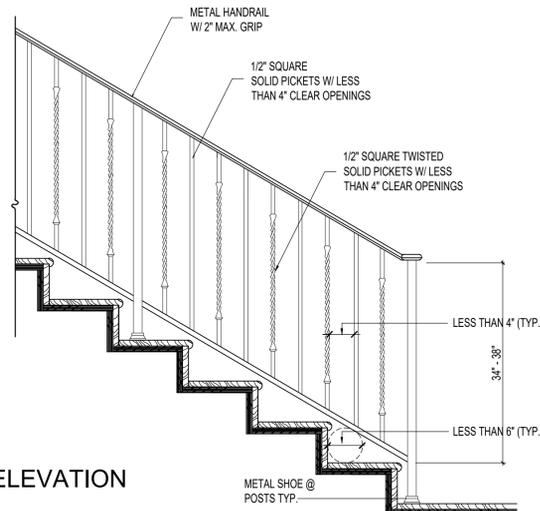
PRIVATE INTERIOR STAIR BOTTOM

7



PRIVATE INTERIOR STAIR TOP

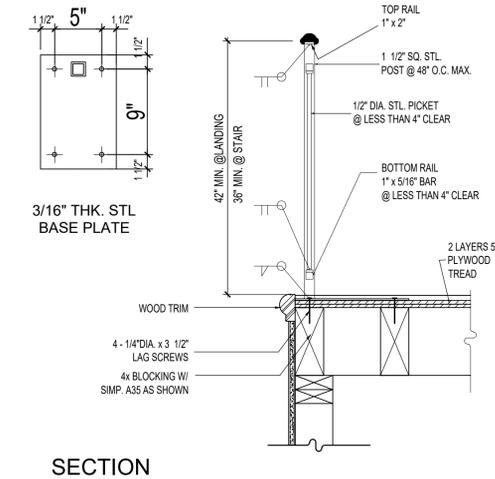
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ELEVATION

8

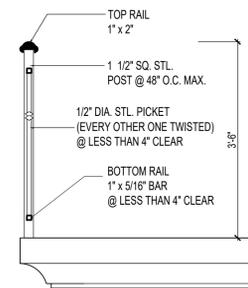
PRIVATE INDIVIDUAL STAIR GUARDRAIL



SECTION

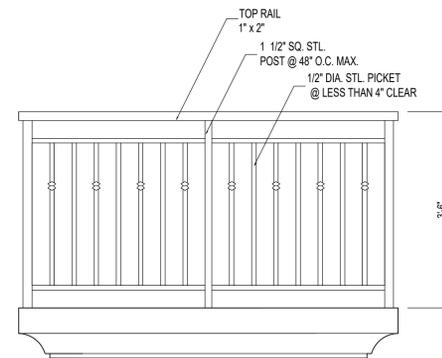
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INTERIOR GUARDRAIL



TYPICAL BALCONY RAILING PROFILE

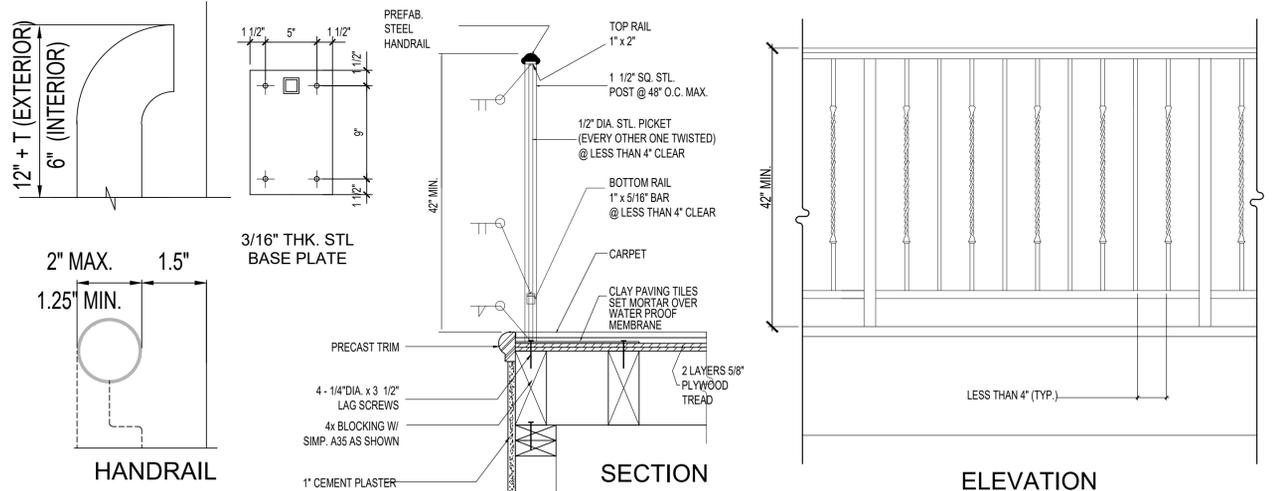
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TYPICAL BALCONY RAILING ELEVATION

9

GUARDRAIL



SECTION

ELEVATION

9

GUARDRAIL

3

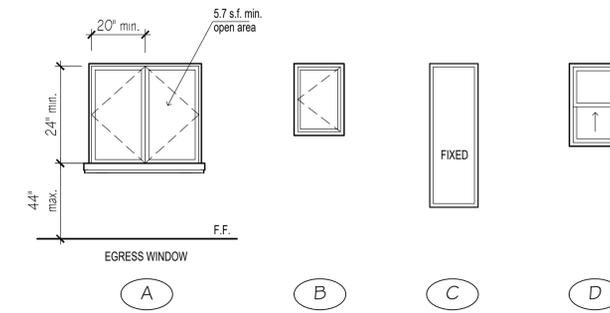
WINDOW SCHEDULE

LEVEL	WINDOW					GLASS			FRAME				DETAILS			REMARKS
	NO.	TYPE	QUANT.	WIDTH	HT	TYPE	COATING	THICKNESS	INSTALL	MATERIAL	FINISH	COLOR	HEAD	JAMB	SILL	
HOUSE FIRST FLOOR	101	A	1	5'-0"	5'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
	102	B	1	2'-0"	3'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
	103	C	6	2'-6"	6'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
HOUSE SECOND FLOOR	201	C	2	2'-6"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
	202	A	2	5'-0"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
	203	B	4	2'-0"	3'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
	204	A	1	5'-0"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
ADU	201	A	2	5'-0"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
	202	C	1	1'-6"	2'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
	203	B	5	2'-0"	3'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED
	204	A	1	5'-4"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				NAIL-IN RECESSED

DOOR SCHEDULE

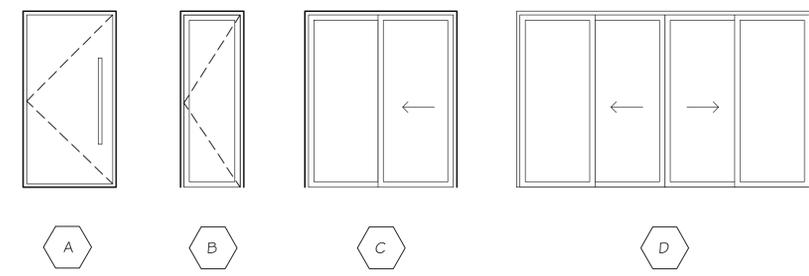
LEVEL	DOOR							FRAME		HARDWARE		FIRE RATING	REMARKS	
	NO.	TYPE	QUAN.	PAIR	WIDTH	HEIGHT	THICK	MATERIALS	FINISH	MATERIALS	FINISH			
HOUSE FIRST FLOOR	101	A	1	-	3'-6"	8'-0"	2"	HM	PAINT	HM	PAINT	1	-	
	102	D	1	PR	16'-0"	8'-0"	2"	FIBERGLASS / GLASS	MFR.	FIBERGLASS	MFR.	4	-	TEMPERED GLASS
HOUSE SECOND FLOOR	201	B	1	-	2'-8"	8'-0"	1-3/4"	FIBERGLASS / GLASS	MFR.	FIBERGLASS	MFR.	1	-	TEMPERED GLASS
	202	C	1	PR	8'-0"	8'-0"	2"	FIBERGLASS / GLASS	MFR.	FIBERGLASS	MFR.	4	-	TEMPERED GLASS
ADU	AD01	G	1	-	3'-0"	9'-0"	1-3/4"	WDSC	PAINT	WOOD	PAINT	1	-	
	AD02	G	1	-	2'-8"	6'-6"	1-3/4"	WDSC	PAINT	WOOD	PAINT	2	-	
GARAGE	G01	B	1	PR	8'-0"	8'-0"	1-3/4"	FIBERGLASS / GLASS	MFR.	FIBERGLASS	MFR.	4	-	TEMPERED GLASS
	G02	C	1	-	3'-0"	8'-0"	1-3/4"	WDSC	PAINT	METAL	PAINT	1	-	
	G03	C	1	-	16'-0"	8'-0"	2"	HM	PAINT	METAL	PAINT	5	-	

WINDOW TYPES

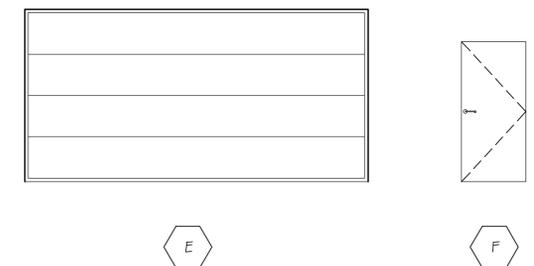


(A) (B) (C) (D)

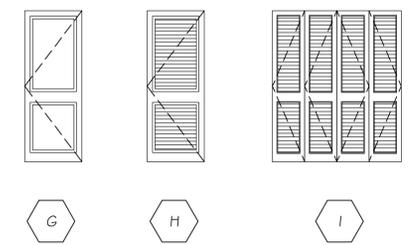
DOOR TYPES



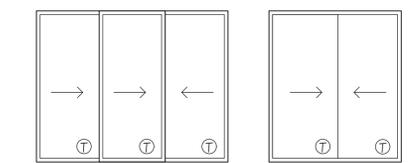
(A) (B) (C) (D)



(E) (F)



(G) (H) (I)



(J) (K)

DOOR HARDWARE:

- 1 - ENTRANCE LOCK
UNLOCKED BY KEY FROM OUTSIDE
TURN INSIDE LEVER TO OPEN FROM INSIDE
- 2 - PRIVACY LOCK
PUSH-BUTTON LOCKING
TURNING INSIDE LEVER
RELEASES PUSH-BUTTON
CAN OPEN FROM OUTSIDE VIA
EMERGENCY RELEASE
- 3 - PASSAGE LATCH
BOTH LEVERS ALWAYS
UNLOCKED
- 4 - PATIO DOOR
NO KEY FROM OUTSIDE
INSIDE TURN BUTTON LOCKING
- 5 - REMOTE CONTROLLED SECTIONAL
GARAGE DOOR

NOTE:

ALL DOORS AND WINDOWS SHALL MEET CITY OF GLENDALE SECURITY ORDINANCE

ALL EXTERIOR DOORS SHALL BE SOLID CORE WOOD MINIMUM 1-3/8" THK IN THE INTERIOR PANEL THICKNESS NOT LESS THEN 1-1/4"

ALL DOOR GLAZING SHALL HAVE AN ENERGY RATING AS PER TITLE 24 CALCULATION

U-FACTOR = 0.34
SHGC = 0.33

WD - WOOD
GL - GLASS
MFR - MANUFACTURED
HC - HOLLOW CORE
SC - SOLID CORE
Ⓣ - TEMPERED
Ⓧ - FIXED



Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208

T +1 818.236.3619
hamlet@zohrabians.com
www.zohrabians.com

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1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:
Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
**PROPOSED
DOOR AND WINDOW SCHEDULES**

DATE	07.25.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A7

SCALE: 1/8" = 1'-0"



ARCHITECT INC.
 Hamlet Zohrabians Architect, Inc.
 3457 Ocean View Blvd. Suite B
 Glendale, California 91208
 T +1 818.236.3619
 hamlet@zohrabians.com
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 Glendale, Ca. 91201

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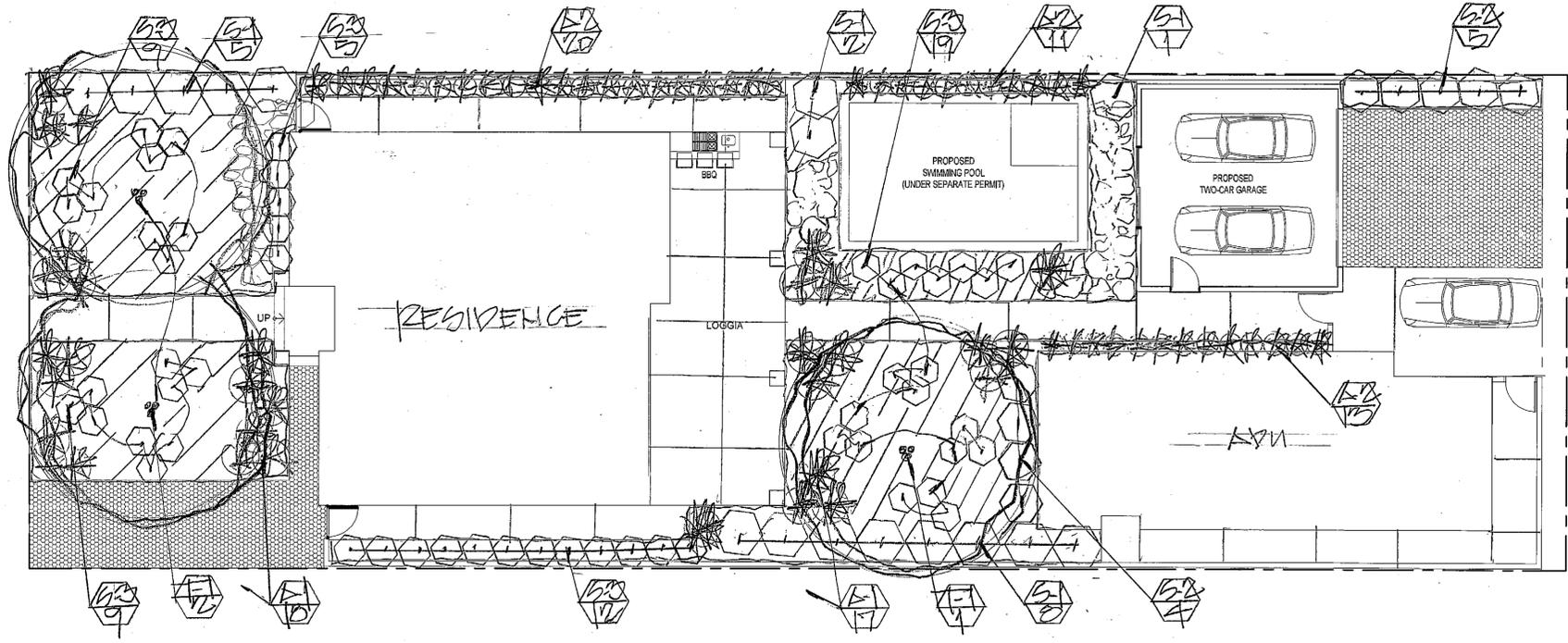
REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

DATE	1-18-24
SCALE	1/8" = 1'-0"
DRAWN BY	LGT
JOB NUMBER	110422
SHEET	L-1

ELM AVE.

ALLEY



LEGEND

- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED ACCENT
- PROPOSED GROUNDCOVER
- PLANT SYMBOL QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

WATER USAGE/WINDOLS PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	SPACING
LW T-1	OLEA EUROPAE 'SMITH HILL'	FRUITLESS OLIVE	24"X	3	-
LW S-1	DODONAEA VISCOSA	HOPSEED BUSH	56"X	10	5'0.0.
LW S-2	ALYONNE HUEGELI	BLUE HIBISCUS	56"X	9	4'0.0.
LW S-3	LAURE 'BLUE FLAME'	BLUE FLAME CANE	56"X	49	3'0.0.
LW A-1	DIETES BICOLOR	FORTNIGHT LILY	56"X	35	2'0.0.
LW A-2	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	56"X	44	"
LW	GROUNDCOVER = SENECIO SERPENS.	BLUE SENECIO	FLATS	AS NEEDED	12'0.0.

LW = LOW WATER USAGE/ P.P.F. 3
 LANDSCAPE AREA = 2,154 SQ. FT.

MELBO COMPLIANCE
 I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169

SCALE: 1/8" = 1'-0"



ARCHITECT INC.
Hamlet Zohrabians Architect, Inc.
347 Ocean View Blvd, Suite B
Glendale, California 91208
T +1 818.236.3619
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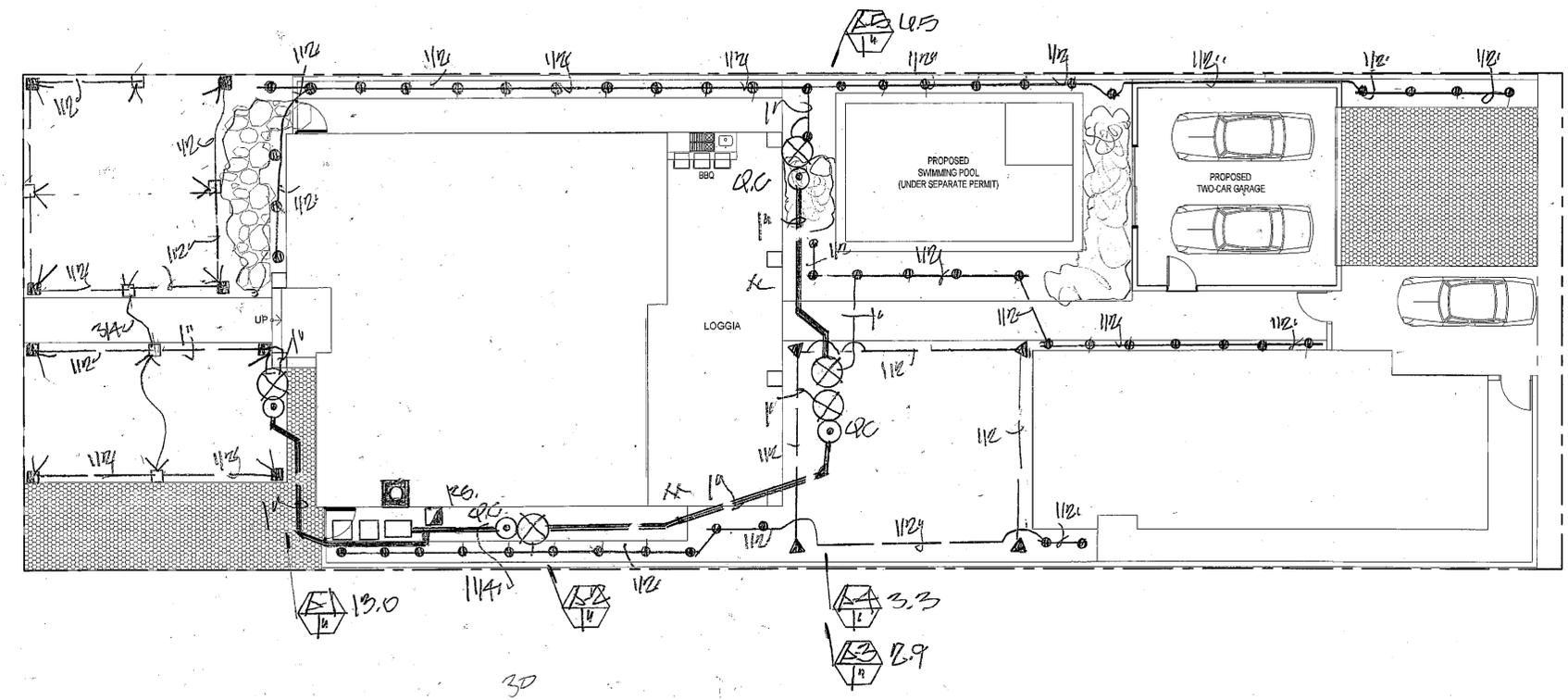
REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
IRRIGATION PLAN

DATE	1-18-24
SCALE	1/8" = 1'-0"
DRAWN BY	LEA
JOB NUMBER	110422
SHEET	L-2

ELM AVE.

ALLEY



Reference Evapotranspiration (ET_o) 149.7

Hydrozone # Planting Description ¹	Plant Factor (PF)	Irrigation Method ²	Irrigation Efficiency (IE) ³	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ⁴
Regular Landscape Areas							
A-1/SH	.3	S	.75	.4	904	321.6	8,714
A-2/SH	.3	B	.81	.37	1,474	541.8	1,475
A-3/SH	.3	S	.75	.4	550	198.0	5,910
A-4/SH	.3	B	.81	.37	30	10.8	305
A-5/SH	.3	B	.81	.37	150	54.0	1,500
POOL	1.0	-	-	1.0	2,000	2,000	5,725
Totals				(A)	(B)	78,193	
Special Landscape Areas							
[Redacted]				(C)	(D)	28,193	
ETWU Total						78,193	
Maximum Allowed Water Allowance (MAWA) ⁵						32,090	

SPRINKLER HEADS

SYMBOL	DESCRIPTION	MODEL NO.	RADIUS	GPM	PSI
▽	RAINBIRD 1/2" RSD-100	1812-12VANT	21'	1.72	30
▽	" " " 1/2" RPT	1812-12RHP	12'	1.63	30
▽	" " " 1/2" RPT	1812-12RHP	12'	1.63	30
○	" " BUBBLER	1812-1401	-	1.25	30

(149.7)(0.62)(.55)(2,154) = 90
 MAWA = 32,090 GPM
 ETWU = 28,193 GPM

- LEGEND
- ☐ WEATHER BASED CONTROLLER (RAINBIRD ESP-LINE 8 STATION)
 - ☐ RAIN SENSOR (RAINBIRD RSD-BEX)
 - ☒ BACKFLOW PREVENTER (FESCO 825-Y-1 1/2")
 - ⊙ QUICK-COUPLER (RAINBIRD 44LC)
 - ⊗ VALVE (RAINBIRD PEB SERIES)
 - ⊖ VALVE NO. / GPM VALVE SIZE
 - LATERAL LINE / SCHED 40 PVC
 - MAINLINE / SCHED 40 PVC
 - ☒ SHUT-OFF VALVE
 - ⊖ IRRIGATION METER

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.
 MANUAL SHUT-OFF VALVES SHALL BE REQUIRED; AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY. TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.
 PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
 A DIAGRAM OF THE IRRIGATION PLAN; SHOWING HYDROZONES SHALL BE KEPT WITHIN THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
 A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS; IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
 AT THE TIME OF THE FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSULATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

¹Hydrozone #/Planting Description E.g.
 1. front lawn
 2. low water use plantings
 3. medium water use plantings

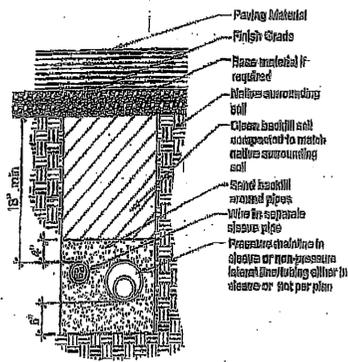
²Irrigation Method
 (S) overhead spray
 or drip
 (B) = BUBBLER

³Irrigation Efficiency
 0.75 for spray head
 0.81 for drip

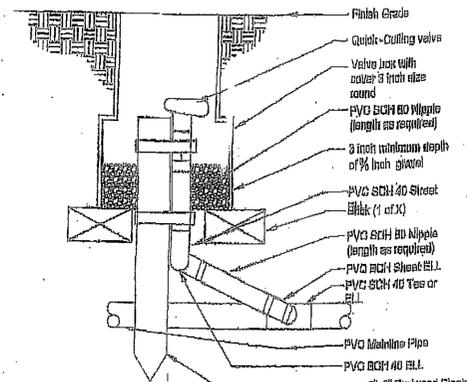
⁴ETWU (Annual Gallons Required) = ET_o x 0.62 x ETAF x Area
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, IA is the total landscape area in square feet, ETAF is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.



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 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
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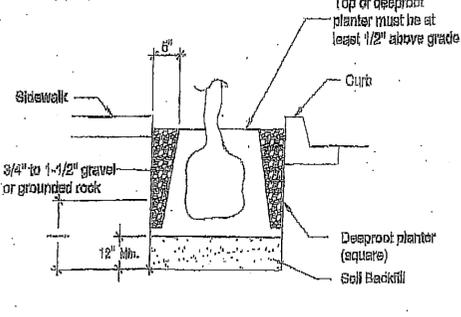


Pipe & wire trenching

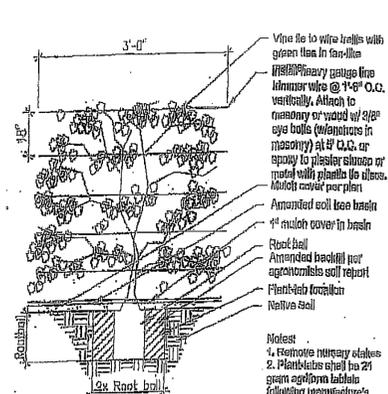


Quick coupling valve

Note:
A typical surround planting using the deeproot preformed planter



Tree Root barriers



Vine Planting detail

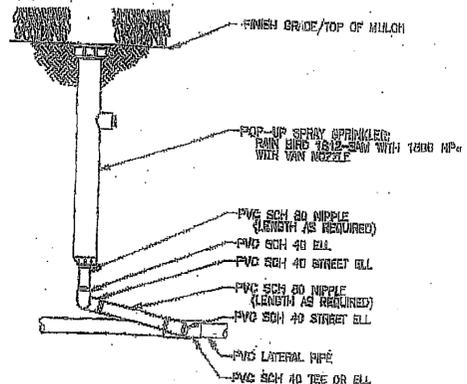
- Contractor shall verify plant count for bidding purposes.
 - Ground cover indicated by shall be continuous under shrub.
 - Planting areas which have no cover indicated shall receive 3" min. fine redwood bark as a ground cover.
 - Contractor shall guarantee plant material for 90 days after installation and replace any diseased or damaged materials during that one year period.
 - The following amendments shall be uniformly broadcast and thoroughly incorporate to a depth of 12" min. by rototiller equal amount per 1,000 sq.ft. Cu. yd. (2") nitrogen stabilized organic amendment from redwood sawdust, fir dust, or finely ground bark 5 lbs. ammonium sulfate.
- Note: This formula is a Std. mix and will change if there are any unusual soil conditions at the site. Compacted backfill shall be 100% on site soil.

Landscape Notes

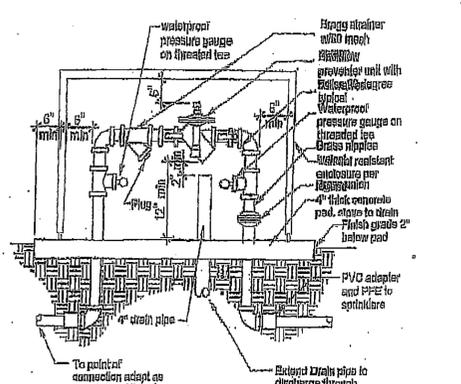
Minimum soil depth per inch

Soil Texture	1/2"	3/4"	1"	1 1/2"	2"	3"	4"	6"
Coarse sandy soil	2.00	2.00	2.00	1.50	1.50	1.00	1.00	0.50
Coarse sandy soil over compact lawn	1.75	1.50	1.25	1.50	1.00	0.75	0.75	0.40
Light sandy	1.75	1.50	1.25	0.80	1.00	0.80	0.75	0.40
Light sandy compacted surface	1.25	0.75	1.00	0.50	0.75	0.40	0.50	0.20
Uniform soil	1.00	0.50	0.80	0.80	0.50	0.30	0.40	0.20
Light over compact soil	0.80	0.60	0.60	0.25	0.40	0.16	0.30	0.10
Light clay over	0.80	0.25	0.15	0.30	0.12	0.05	0.10	0.05

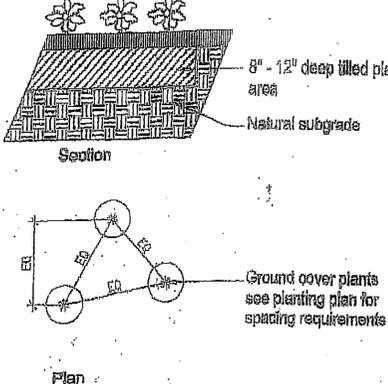
Soil characteristics



POP-UP SPRAY SPRINKLER



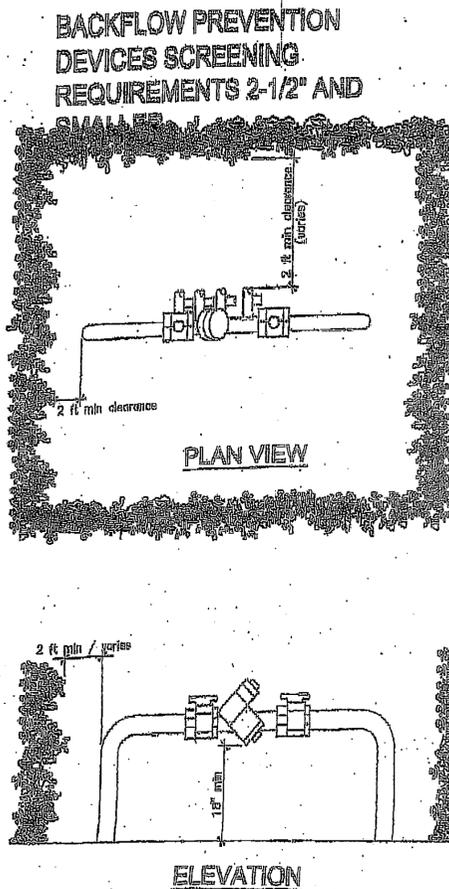
Backflow preventer



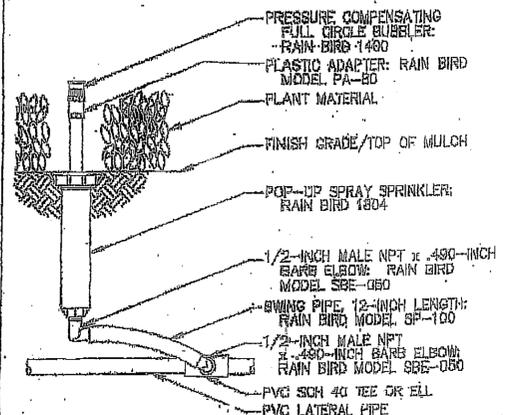
Ground Cover planting detail

- All irrigation lines under drives to be installed in pvc sleeve @ 18" depth min.
 - Locate all RCV's and MB's in planting areas. (typ.)
 - Jet all lines and trenches under paving 80% min.
 - Install remote control valve in ametek 12" box or equal (one valve per box) & marked "irrigation", located boxes in ground cover areas whenever possible and a min. 12" from paving or curbs.
 - The contractor shall provide owner with a completely operation system and clean set of marked prints as "as-built" drawing. Reference all trenches with dimensions to nearest building or paving.
 - The contractor shall warrant that the system will be a free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
- Note: All other requirements to be per city standards and specifications.

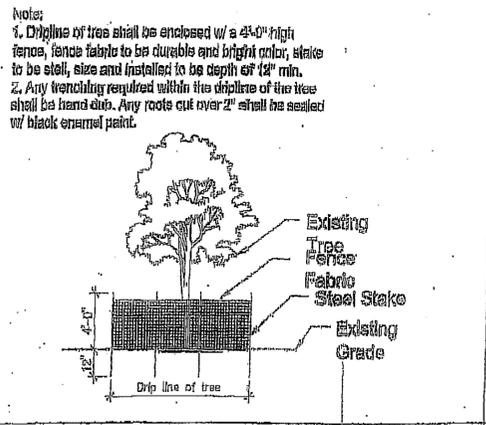
Irrigation notes



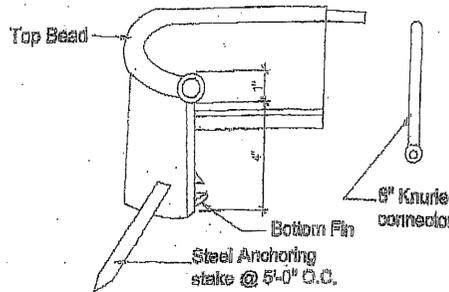
BACKFLOW DEVICE SCREENING DETAIL



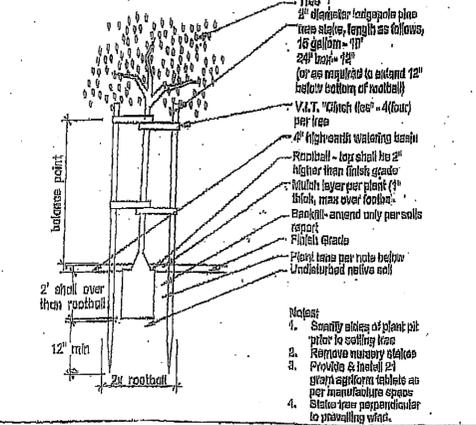
PRESSURE COMPENSATING FULL-CIRCLE BUBBLER



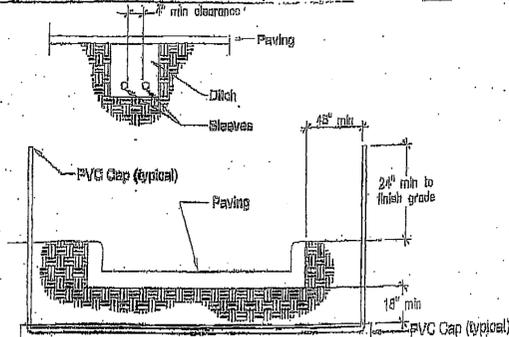
Projection of Existing Tree



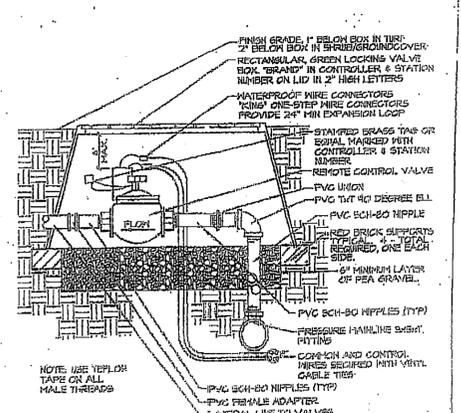
Polyethylene edging



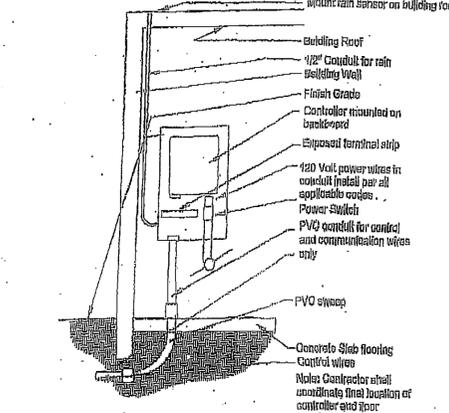
Tree staking detail



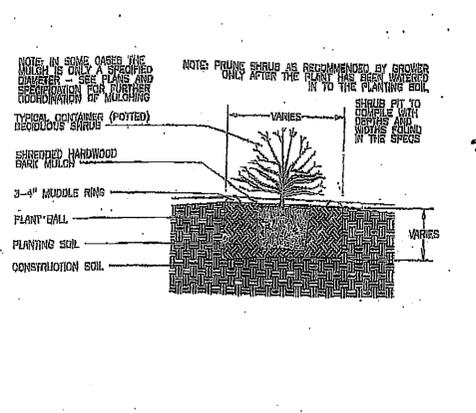
Sleeving



REMOTE CONTROL VALVE



Solid-state Controller



CONTAINER SHRUB PLANTING DETAIL

Revisions

NOTE: THE CONTRACTOR SHALL VERIFY THE PLANT COUNT FOR BIDDING PURPOSES. THE CONTRACTOR SHALL GUARANTEE THE PLANT MATERIAL FOR 90 DAYS AFTER INSTALLATION AND REPLACE ANY DISEASED OR DAMAGED MATERIALS DURING THAT ONE YEAR PERIOD. THE FOLLOWING AMENDMENTS SHALL BE UNIFORMLY BROADCAST AND THOROUGHLY INCORPORATE TO A DEPTH OF 12\"/>

Larry C. Tison & Associates
Larry C. Tison, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. Broadway Suite C Glendale, California 91205
818-241-5188
larryctison@gmail.com

LANDSCAPE DETAIL & SPECIFICATION PLAN



DRAWING: LOT 2
CHECKED: [Signature]
DATE: [Blank]
JOB NO.: [Blank]
SHEET: L-3