



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd. Suite B
Glendale, California 91208

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hamlet@zohrabians.com

www.zohrabians.com

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CLIENT:

Armen Orujyan

1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence

1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

PERSPECTIVE
RENDERING

DATE	04.17.24
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	



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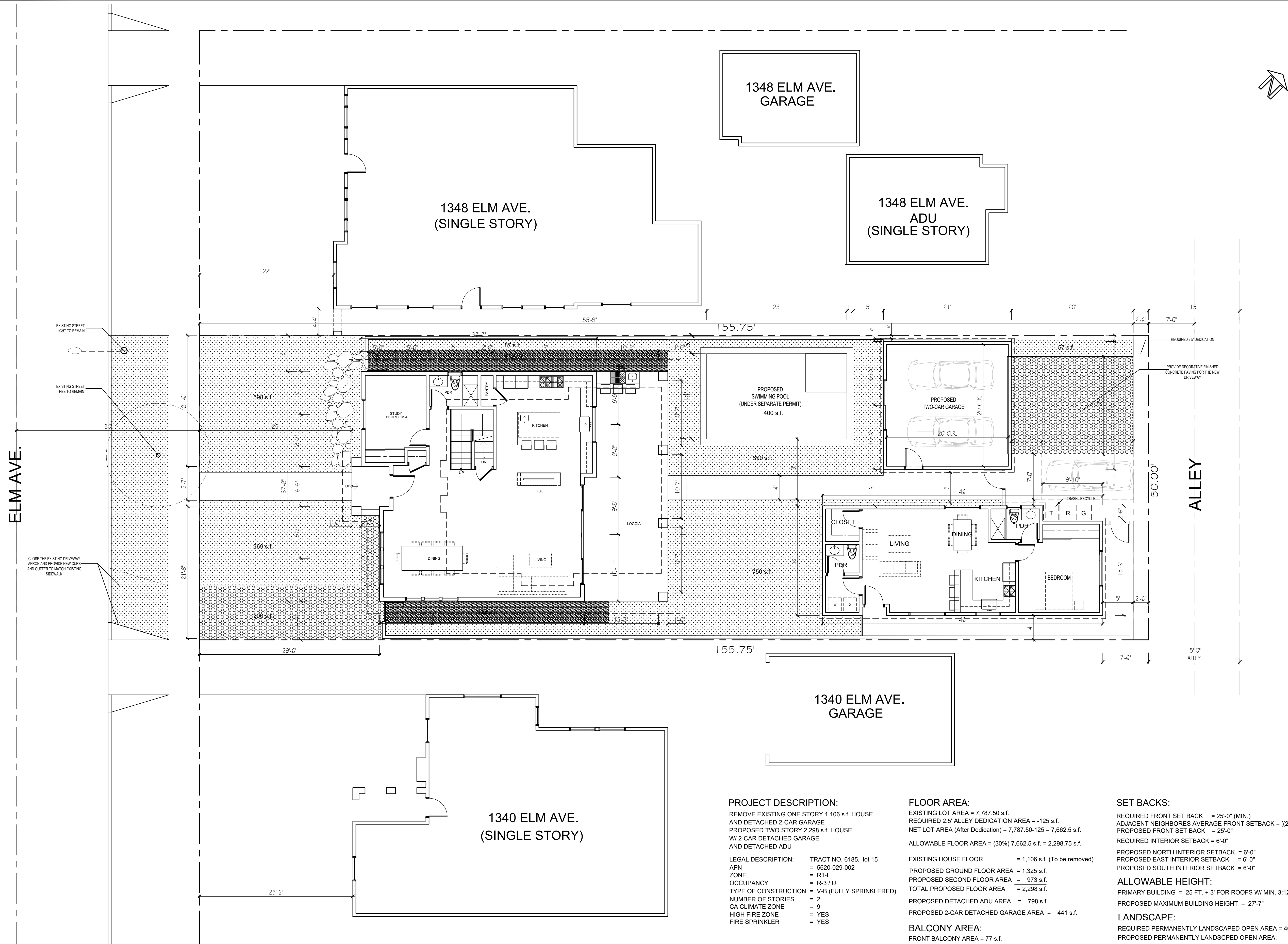
REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED SITE PLAN

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2





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PROJECT:

Orujyan Residence
1342 Elm Ave.
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REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED SITE PLAN

DATE	07.25.23
SCALE	1/8" = 1'-0"
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JOB NUMBER	110422
SHEET	

A2

ELM AVE.

CLOSE THE EXISTING DRIVEWAY
APRON AND PROVIDE NEW CURB
AND GUTTER TO MATCH EXISTING
SIDEWALK

EXISTING STREET
LIGHT TO REMAIN

EXISTING STREET
TREE TO REMAIN

1348 ELM AVE.
(SINGLE STORY)

1348 ELM AVE.
GARAGE

1348 ELM AVE.
ADU
(SINGLE STORY)

1340 ELM AVE.
GARAGE

1340 ELM AVE.
(SINGLE STORY)

PROJECT DESCRIPTION:

REMOVE EXISTING ONE STORY 1,106 s.f. HOUSE
AND DETACHED 2-CAR GARAGE
PROPOSED TWO STORY 2,298 s.f. HOUSE
W/ 2-CAR DETACHED GARAGE
AND DETACHED ADU

LEGAL DESCRIPTION: TRACT NO. 6185, lot 15
APN = 5620-029-002
ZONE = R-1
OCCUPANCY = R-3 / U
TYPE OF CONSTRUCTION = V-B (FULLY SPRINKLERED)
NUMBER OF STORIES = 2
CA CLIMATE ZONE = 9
HIGH FIRE ZONE = YES
FIRE SPRINKLER = YES

FLOOR AREA:

EXISTING LOT AREA = 7,787.50 s.f.
REQUIRED 2.5' ALLEY DEDICATION AREA = -125 s.f.
NET LOT AREA (After Dedication) = 7,787.50-125 = 7,662.5 s.f.
ALLOWABLE FLOOR AREA = (30%) 7,662.5 s.f. = 2,298.75 s.f.

EXISTING HOUSE FLOOR = 1,106 s.f. (To be removed)
PROPOSED GROUND FLOOR AREA = 1,325 s.f.
PROPOSED SECOND FLOOR AREA = 973 s.f.
TOTAL PROPOSED FLOOR AREA = 2,298 s.f.
PROPOSED DETACHED ADU AREA = 798 s.f.
PROPOSED 2-CAR DETACHED GARAGE AREA = 441 s.f.

BALCONY AREA:

FRONT BALCONY AREA = 77 s.f.
REAR BALCONY AREA = 70 s.f.

LOT COVERAGE :

ALLOWABLE LOT COVERAGE = (40%) 7,662.50 s.f. = 3,065 s.f.
PROPOSED BUILDING FOOT PRINT = 1,359 s.f.
PROPOSED ENTRY ROOF OVER HANG = 49 s.f.
PROPOSED REAR COVERED LOGGIA = 462 s.f.
PROPOSED 2-CAR GARAGE = 441 s.f.
TOTAL PROPOSED LOT COVERAGE = 2,311 s.f. = 30.16%

SET BACKS:

REQUIRED FRONT SET BACK = 25'-0" (MIN.)
ADJACENT NEIGHBORS AVERAGE FRONT SETBACK = $[(22')+(25'-2'')] / 2 = 23'-7"$
PROPOSED FRONT SET BACK = 25'-0"
REQUIRED INTERIOR SETBACK = 6'-0"

ALLOWABLE HEIGHT:

PRIMARY BUILDING = 25 FT. + 3' FOR ROOFS W/ MIN. 3:12 = 28'-0"
PROPOSED MAXIMUM BUILDING HEIGHT = 27'-7"

LANDSCAPE:

REQUIRED PERMANENTLY LANDSCAPED OPEN AREA = 40% (7,662.50 s.f.) = 3,065 s.f.
PROPOSED PERMANENTLY LANDSCAPED OPEN AREA:
598+369+300+128+750+57+400+390+87+172 = 3,251 s.f. = 42.42%

NOTE:

FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY
FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE
OF 10 FEET

ZONING NOTES:

- NO OAK, BAY OR SYCAMORE TREES ON OR WITHIN 20 FEET OF THE PROPERTY
- NO NEW ROOFTOP EQUIPMENT IS ALLOWED
- THE FOLLOWING ITEMS SHALL BE ON A SEPARATE PERMIT:
 - RETAINING WALLS / BOUNDARY WALLS
 - POOLS / SPAS / JACUZZIS
 - FENCES / TRELLIS / PATIO COVERS
 - GRADING / DRAINAGE / EROSION
 - FIRE SPRINKLERS

1

PROPOSED SITE PLAN

SCALE 1/8"=1'-0"



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PROJECT:

Orujyan Residence
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REVISIONS

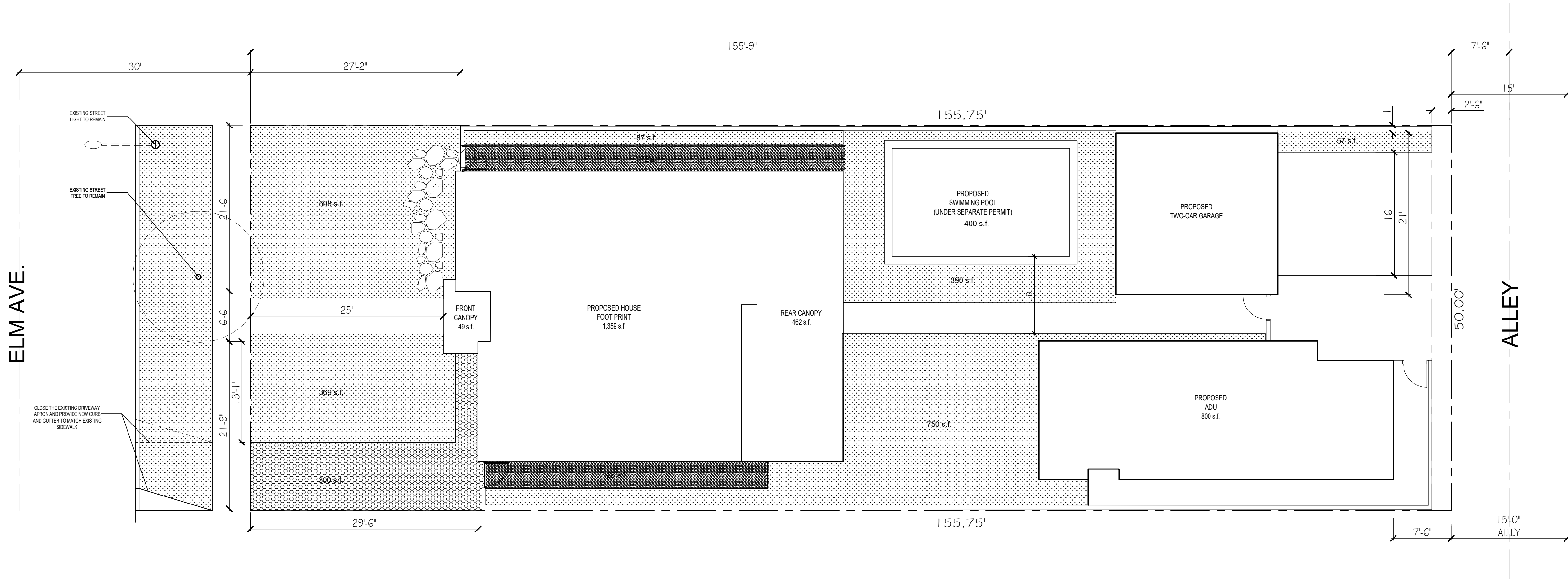
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED LOT COVERAGE AND
LANDSCAPE CALCULATIONS

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2.1



1 PROPOSED LOT COVERAGE AND LANDSCAPE CALCULATIONS

SCALE 1/8"=1'-0"

LOT COVERAGE :

ALLOWABLE LOT COVERAGE = (40%) 7,662.50 s.f. = 3,065 s.f.

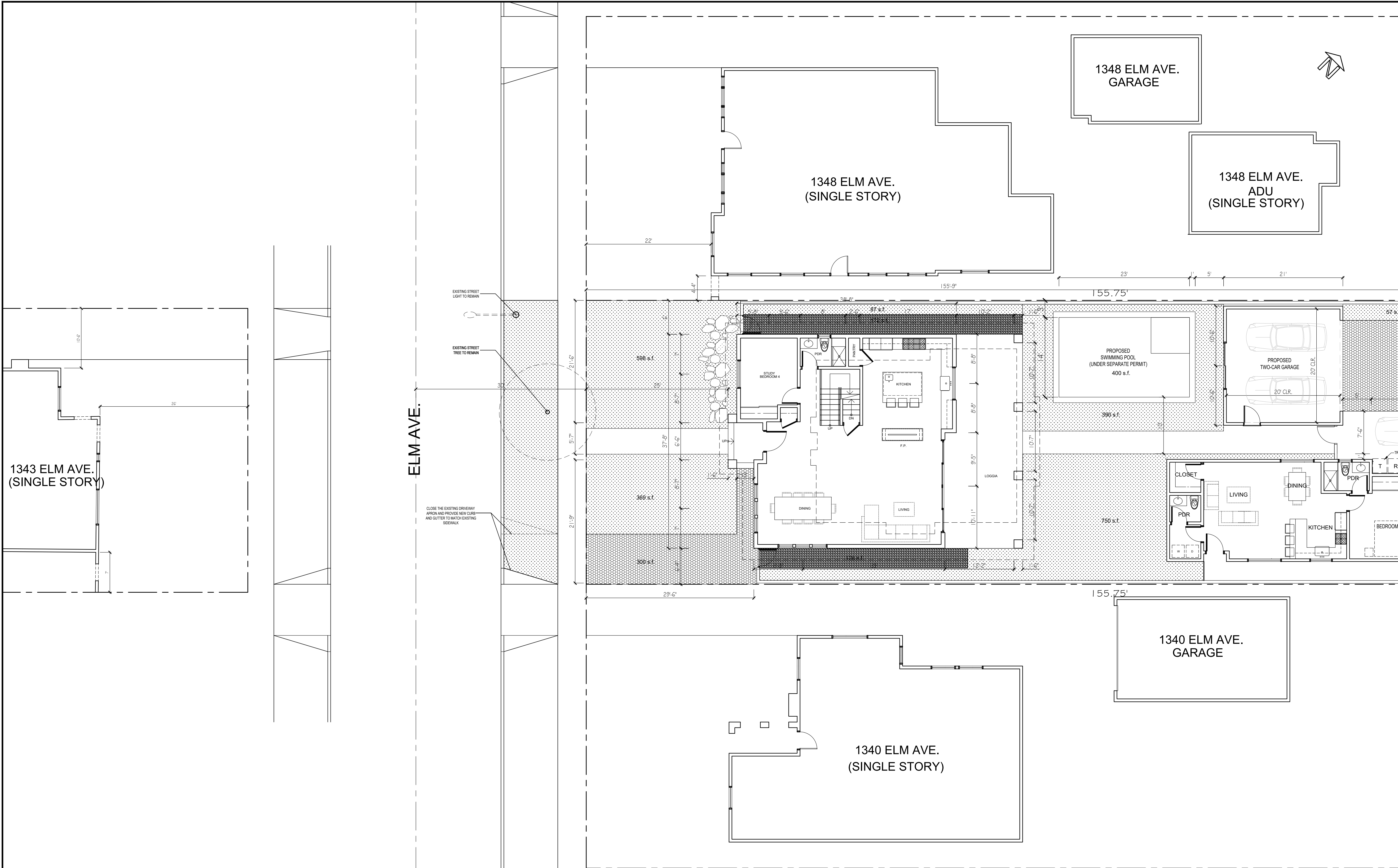
PROPOSED BUILDING FOOT PRINT = 1,359 s.f.
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PROPOSED REAR COVERED LOGGIA = 462 s.f.
PROPOSED 2-CAR GARAGE = 441 s.f.
TOTAL PROPOSED LOT COVERAGE = 2,311 s.f. = 30.16%

LANDSCAPE:

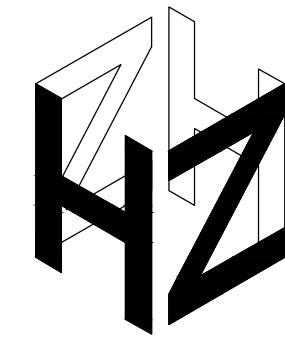
REQUIRED PERMANENTLY LANDSCAPED OPEN AREA = 40% (7,662.50 s.f.) = 3,065 s.f.

PROPOSED PERMANENTLY LANDSCAPED OPEN AREA:

598+369+300+128+764+57+400+390+87+172 = 3,265 s.f. = 42.61%



1 PROPOSED GROUND FLOOR WINDOWS AT ADJACENT PROPERTIES
SCALE 1/8"=1'-0"



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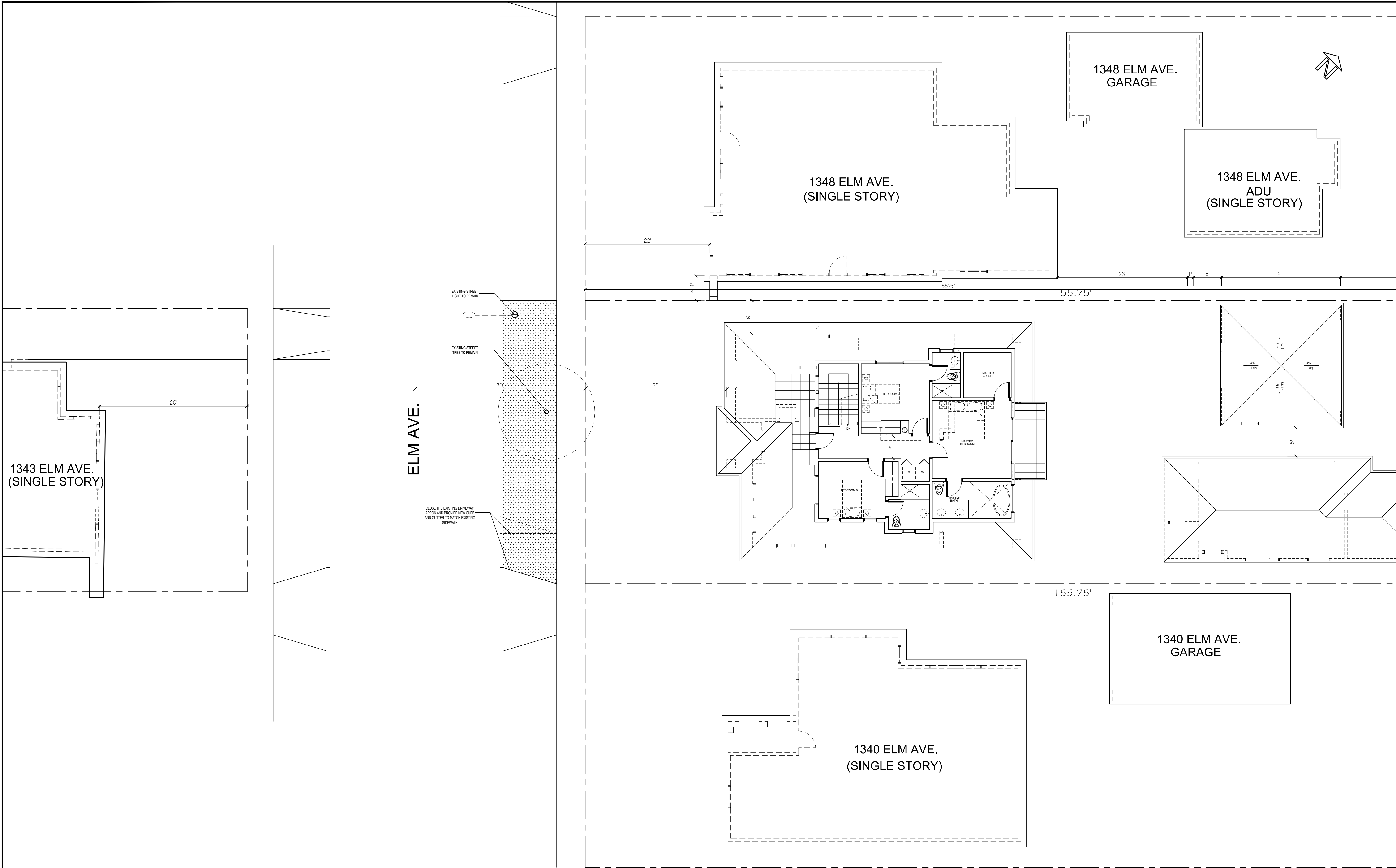
DESCRIPTION	DATE	BY

SHEET TITLE:

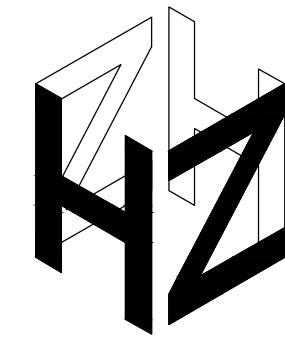
PROPOSED GROUND FLOOR
WINDOWS
TO ADJACENT PROPERTIES

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2.2



1 PROPOSED SECOND FLOOR WINDOWS AT ADJACENT PROPERTIES
SCALE 1/8"=1'-0"



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Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED SECOND FLOOR
WINDOWS
AT ADJACENT PROPERTIES

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2.3



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REVISIONS

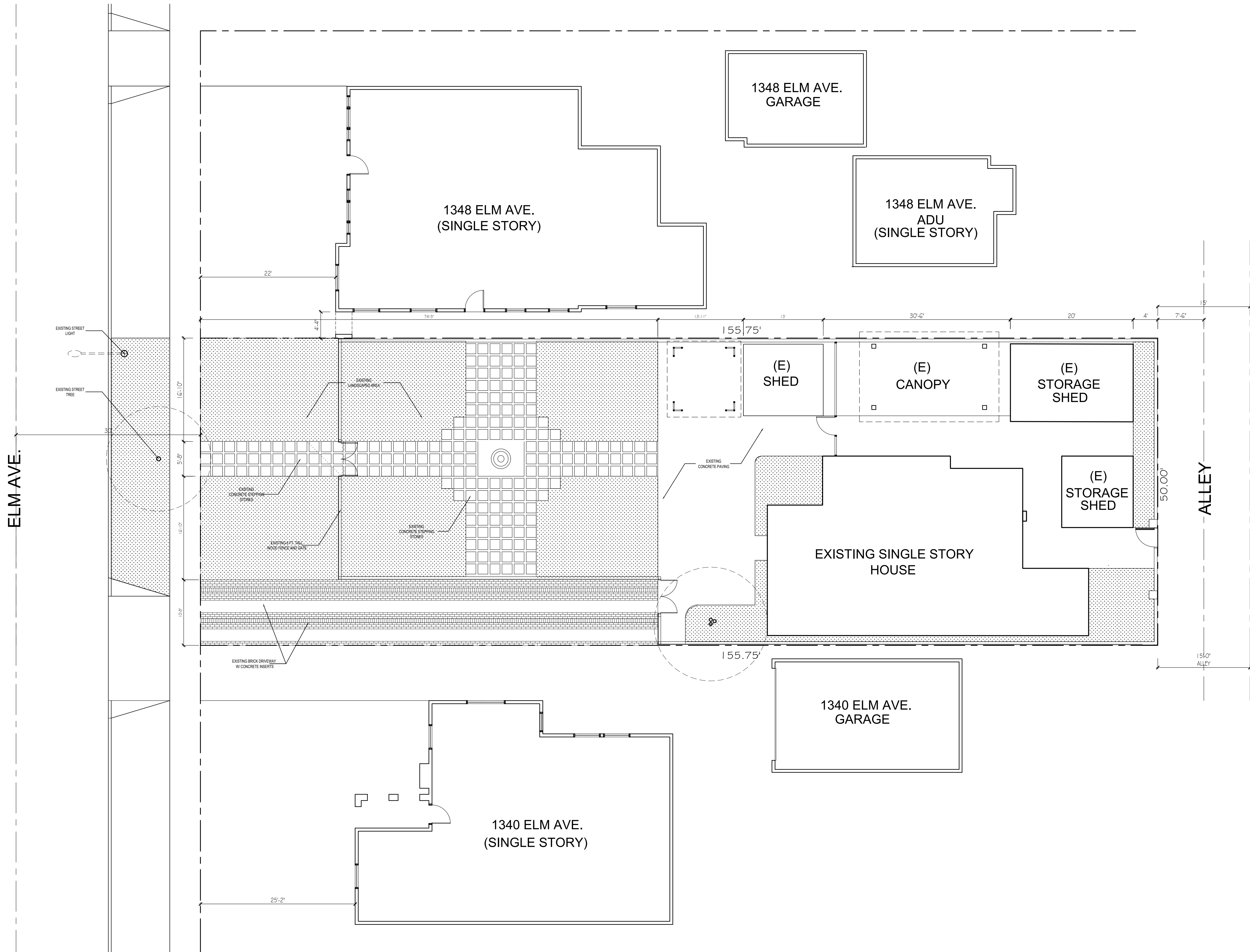
DESCRIPTION	DATE	BY

SHEET TITLE:

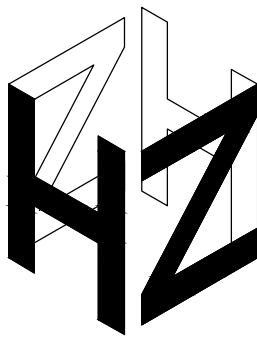
EXISTING SITE PLAN

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A2.4



1 EXISTING SITE PLAN
SCALE 1/8"=1'-0"



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REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
FIRST FLOOR PLAN

DATE	07.25.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A3.1

LOCAL EXHAUST KITCHEN VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR
THE DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

WHOLE-BUILDING VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
CONTINUOUS FAN FLOW (CFM) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE WHOLE-BUILDING VENTILATION FAN
AND FOR THE DUCT DESIGN FOR THE
WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

LOCAL EXHAUST BATHROOM VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE
DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 4"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

ASHRAE STANDARD EQUATION

$$Q_{fan} = 0.01A_{floor} + 7.5(N + 1)_{Dr}$$

$$Q_{fan} = 0.01(4519) + 7.5(6)$$

$$Q_{fan} = 90$$



PROVIDE CONTINUOUSLY OPERATING
WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30

KEY NOTES:

- 1- PREFABRICATED GAS FIREPLACE BY: SPARK MODERN FIRES (DIRECT VENT)
OMNI-TESTED LABORATORIES : ANSI Z21.88-2009/CSA 2.33-2009
- 2- GRANT COUNTER TOPS W/ 18" SPLASH OVER WOOD CABINETS
- 3- STAINLESS STEEL FARM SINK W/ GARBAGE DISPOSAL
- 4- STAINLESS STEEL BAR SINK
- 5- WOOD UPPER CABINETS
- 6- STOVE / OVEN WITH 100 CFM FAN
- 7- REFRIGERATOR / FREEZER
- 8- BUILT-IN WOOD CABINETS / SHELVES ENTERTAINMENT CENTER
- 9- DISH WASHER
- 10- WASHER
- 11- DRYER
- 12- W.C. W / VENT ABOVE
- 13- MARBLE COUNTER OVER WOOD CABINET W / UNDER-COUNTER SINK
- 14- FREE STANDING TUB
- 15- TILED SHOWER AND SEAT W / FRAME LESS TEMPERED GLASS SHOWER DOORS
- 16- TUB / SHOWER W / FRAMELESS TEMPERED GLASS ENCLOSURE DOORS
- 17- THIN SET CERAMIC TILES OVER WATER PROOFING. (MIN. 1/4":12" SLOPE TO DRAIN)

LEGEND:

PROPOSED WALLS

EXTERIOR WOOD FRAMED WALLS:
1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER
BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR
SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYP. BD.
ON THE INTERIOR SIDE. PROVIDE R-21 THERMALSOUND INSULATION IN STUD SPACE.

INTERIOR WOOD FRAMED PARTITIONS:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C.
PROVIDE 2X6 STUDS @ PLUMBING WALLS W/ R15 INSULATION



SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
(SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)



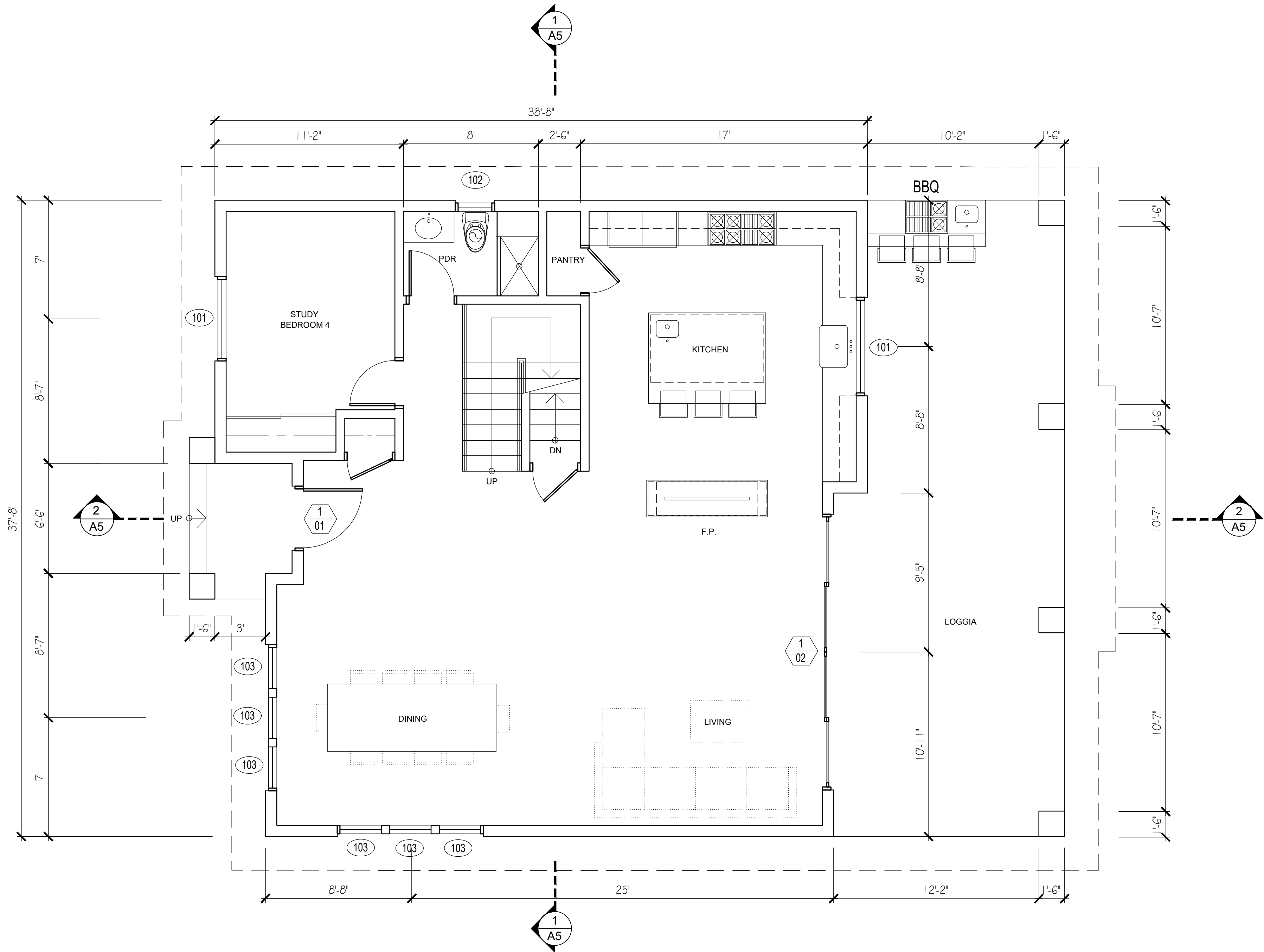
CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)



EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)



PROVIDE CONTINUOUSLY OPERATING
WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30



1 PROPOSED BUILDING GROUND FLOOR PLAN
SCALE 1/4"=1'-0"



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REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
SECOND FLOOR

DATE 02.06.23

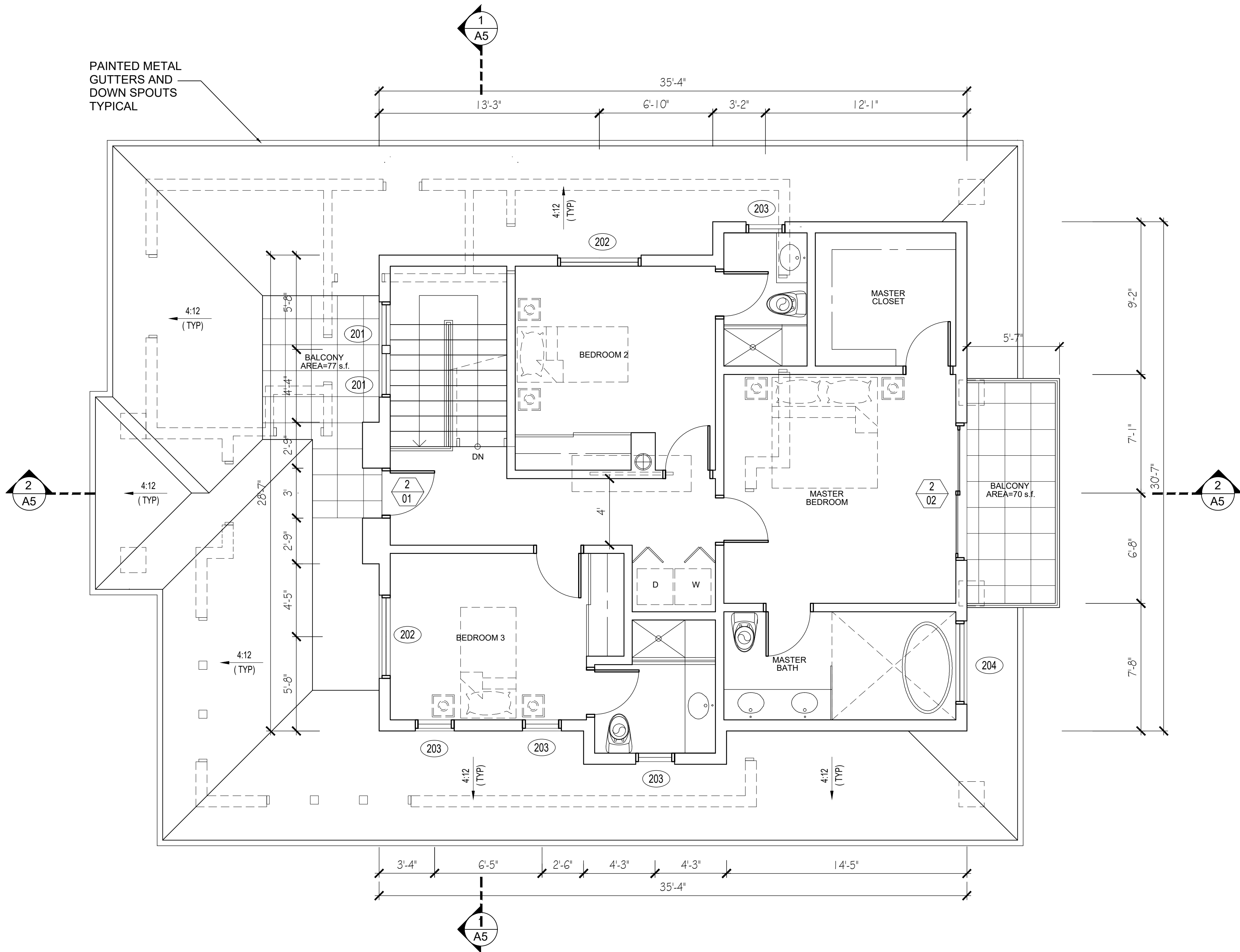
SCALE 1/4" = 1'-0"

DRAWN BY HZ

JOB NUMBER 110422

SHEET

A3.2



1 PROPOSED BUILDING SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

LOCAL EXHAUST KITCHEN VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
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THE DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

WHOLE-BUILDING VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
CONTINUOUS FAN FLOW (CFM) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE WHOLE-BUILDING VENTILATION FAN
AND FOR THE DUCT DESIGN FOR THE
WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1.

LOCAL EXHAUST BATHROOM VENTILATION RATE SUMMARY
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BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE
DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 4"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

ASHRAE STANDARD EQUATION

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$$Q_{fan} = 0.01(4519) + 7.5(6)$$
$$Q_{fan} = 90$$

PROVIDE CONTINUOUSLY OPERATING
WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30

KEY NOTES:

- 1- PREFABRICATED GAS FIREPLACE BY: SPARK MODERN FIRES (DIRECT VENT)
OMNI-TESTED LABORATORIES : ANSI Z21.88-2009/CSA 2.33-2009
- 2- GRANT COUNTER TOPS W/ 18" SPLASH OVER WOOD CABINETS
- 3- STAINLESS STEEL FARM SINK W/ GARBAGE DISPOSAL
- 4- STAINLESS STEEL BAR SINK
- 5- WOOD UPPER CABINETS
- 6- STOVE / OVEN WITH 100 CFM FAN
- 7- REFRIGERATOR / FREEZER
- 8- BUILT-IN WOOD CABINETS / SHELVES ENTERTAINMENT CENTER
- 9- DISH WASHER
- 10- WASHER
- 11- DRYER
- 12- W.C. W / VENT ABOVE
- 13- MARBLE COUNTER OVER WOOD CABINET W / UNDER COUNTER SINK
- 14- FREE STANDING TUB
- 15- TILED SHOWER AND SEAT W / FRAME LESS TEMPERED GLASS SHOWER DOORS
- 16- TUB / SHOWER W / FRAMELESS TEMPERED GLASS ENCLOSURE DOORS
- 17- THIN SET CERAMIC TILES OVER WATER PROOFING (MIN. 1/4":12" SLOPE TO DRAIN)

LEGEND:

- PROPOSED WALLS
EXTERIOR WOOD FRAMED WALLS:
1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER
BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR
SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYP. BD.
ON THE INTERIOR SIDE, PROVIDE R-21 THERMAL/SOUND INSULATION IN STUD SPACE.
- INTERIOR WOOD FRAMED PARTITIONS:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C.
PROVIDE 2X6 STUDS @ PLUMBING WALLS W/ R15 INSULATION
- SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
(SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)
- CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
- EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)
- PROVIDE CONTINUOUSLY OPERATING
WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30



ARCHITECT Inc.

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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

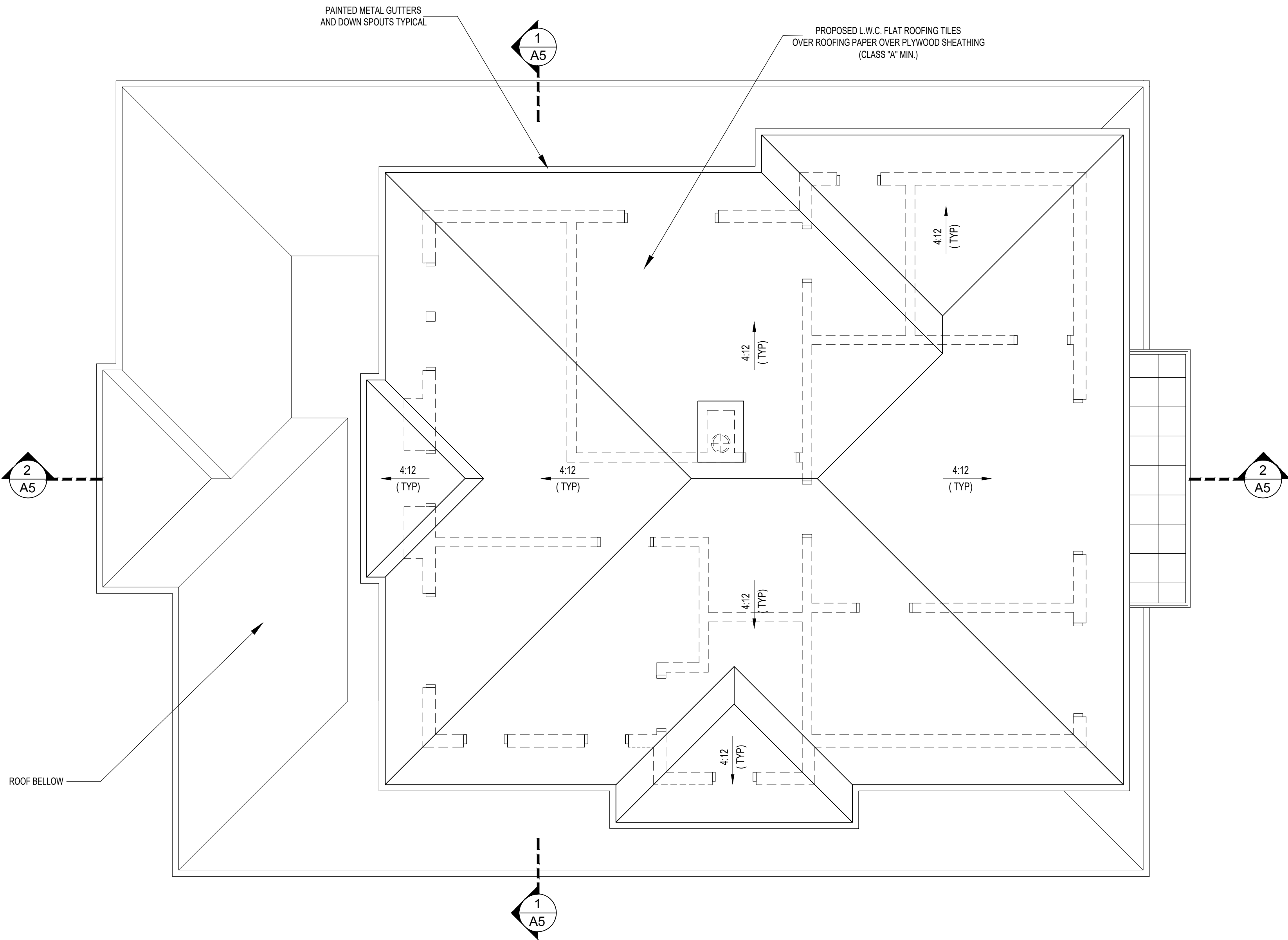
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE ROOF PLAN
ROOF PLAN

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A3.3



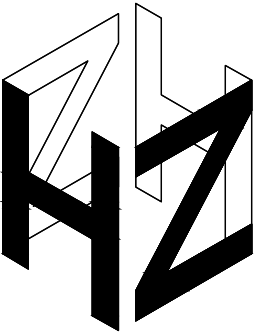
1 PROPOSED BUILDING ROOF PLAN
SCALE 1/4"=1'-0"

UPPER ROOF ATTIC VENTILATION
ATTIC AREA TO BE VENTED =2,000 S.F.
REQUIRED VENTILATION =1/150 (2,000 S.F.) = 13.3 S.F.
PROPOSED VENTS :
2 LOUVERED VENTS (30"X36")= 2 (7.5 s.f.) = 15 S.F.
TOTAL ATTIC VENTILATION AREA PROVIDED = 15 S.F.
(OPENINGS SHALL HAVE CORROSION-RESISTANT, WIRE MESH WITH 1/8" MIN & 1/4" MAX. OPENINGS (TYP.)

ATTIC VENTILATION
TOTAL ATTIC AREA TO BE VENTED = 1,083 sq. ft.
TOTAL REQUIRED VENT AREA =1,083 /150 = 7.22 sq. ft.
PROVIDE:
4 LOUVERED ROOF VENTS = 4 (24" X 12") = 8 sq. ft.

SOLAR SYSTEM
PROVIDE SPACE FOR FUTURE SOLAR INSTALLATION
MINIMUM SPACE REQUIREMENT = 250 S.F.
SOLAR PANEL 39" X 65" = 17.6 S.F.
PROPOSED SPACE FOR FUTURE SOLAR INSTALLATION
15 SOLAR PANELS X 17.6 = 264 S.F.

FUTURE ACCESS FOR SOLAR SYSTEM
PROVIDE FUTURE ACCESS FOR SOLAR SYSTEM. PROVIDE A MINIMUM OF ONE-INCH ELECTRICAL CONDUIT FROM THE ELECTRICAL SERVICE EQUIPMENT TO AN ACCESSIBLE LOCATION IN THE ATTIC OR OTHER APPROVED LOCATIONS



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REVISIONS

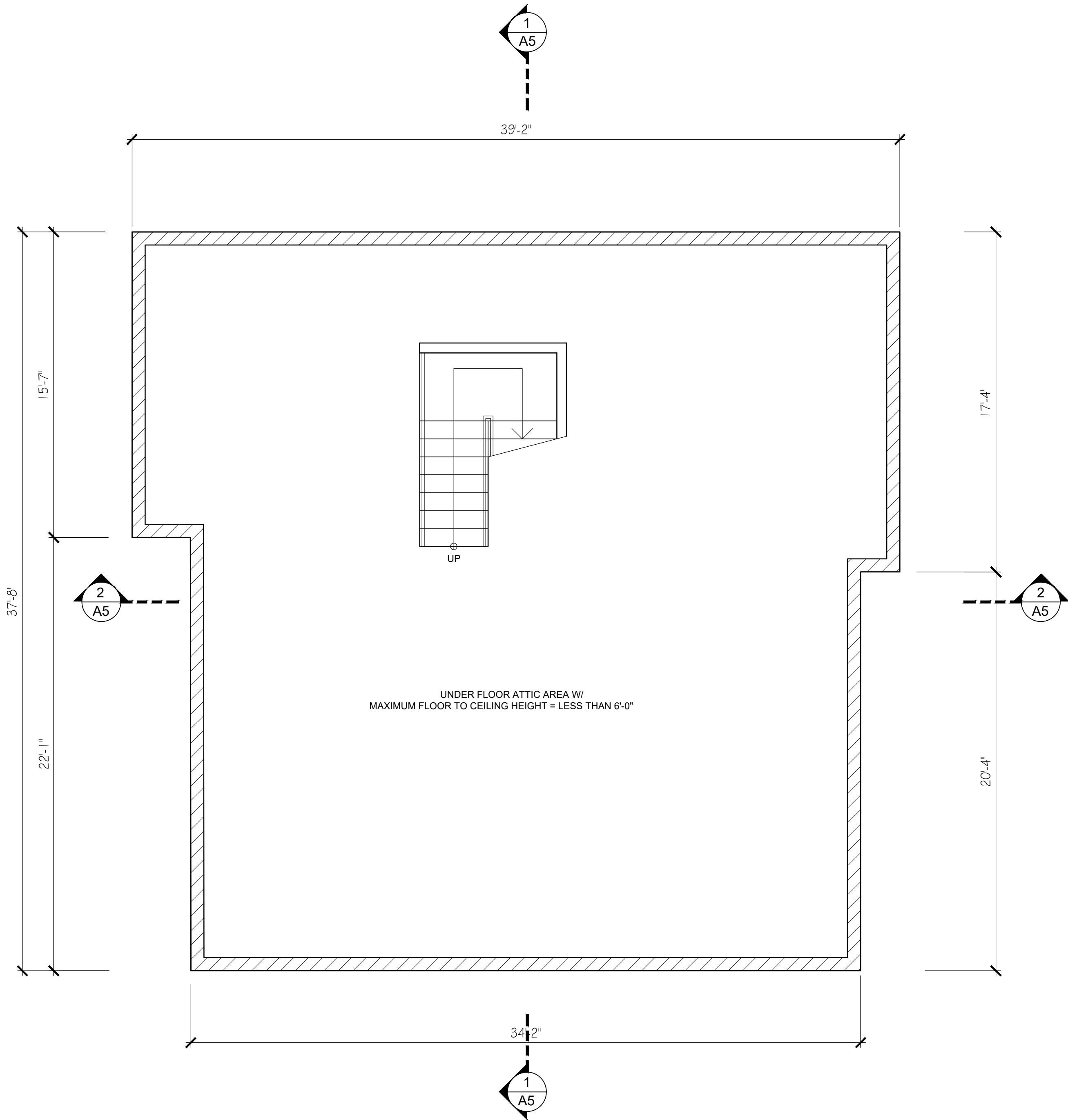
DESCRIPTION	DATE	BY

SHEET TITLE:

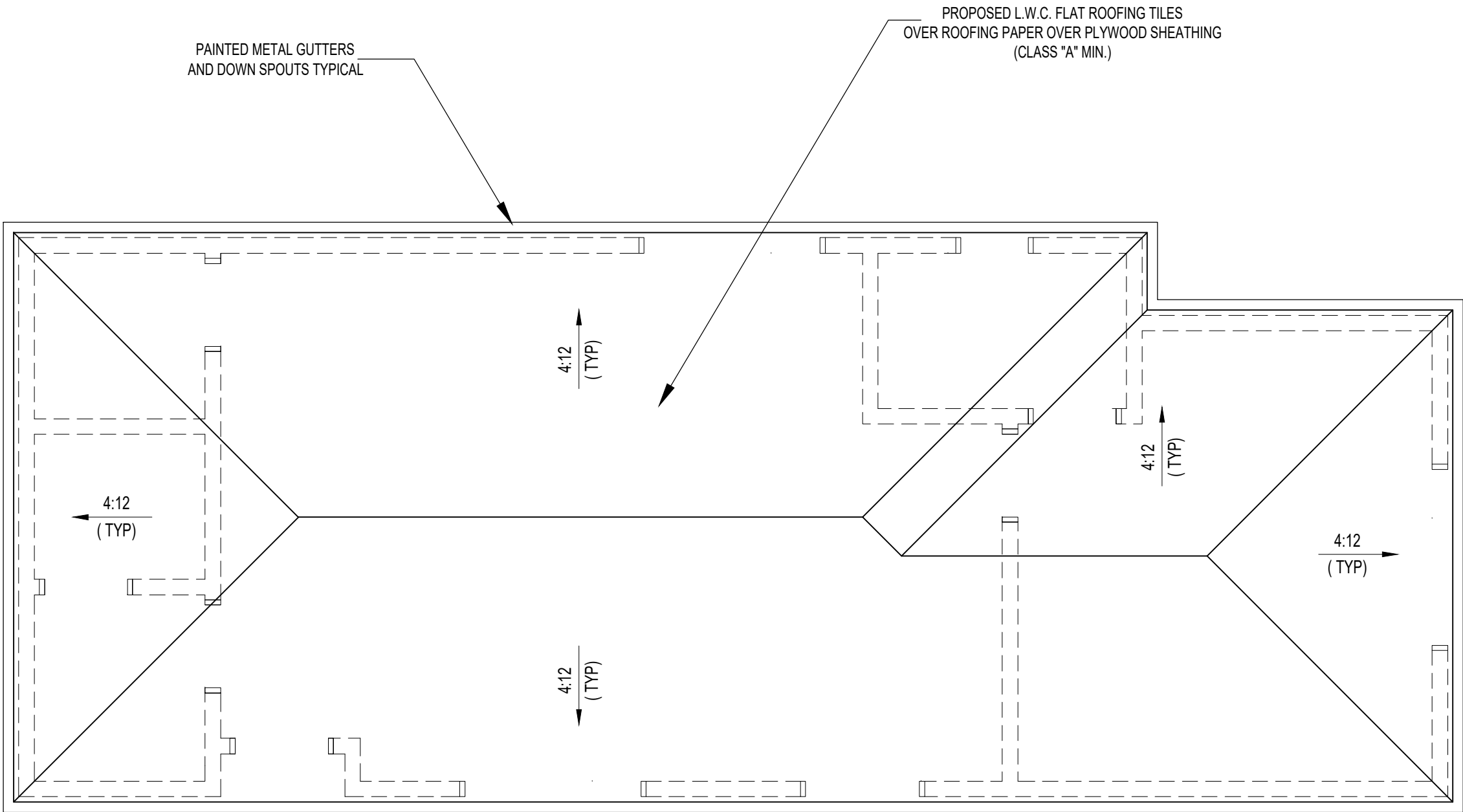
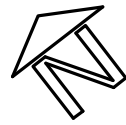
PROPOSED UNDER FLOOR AREA

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

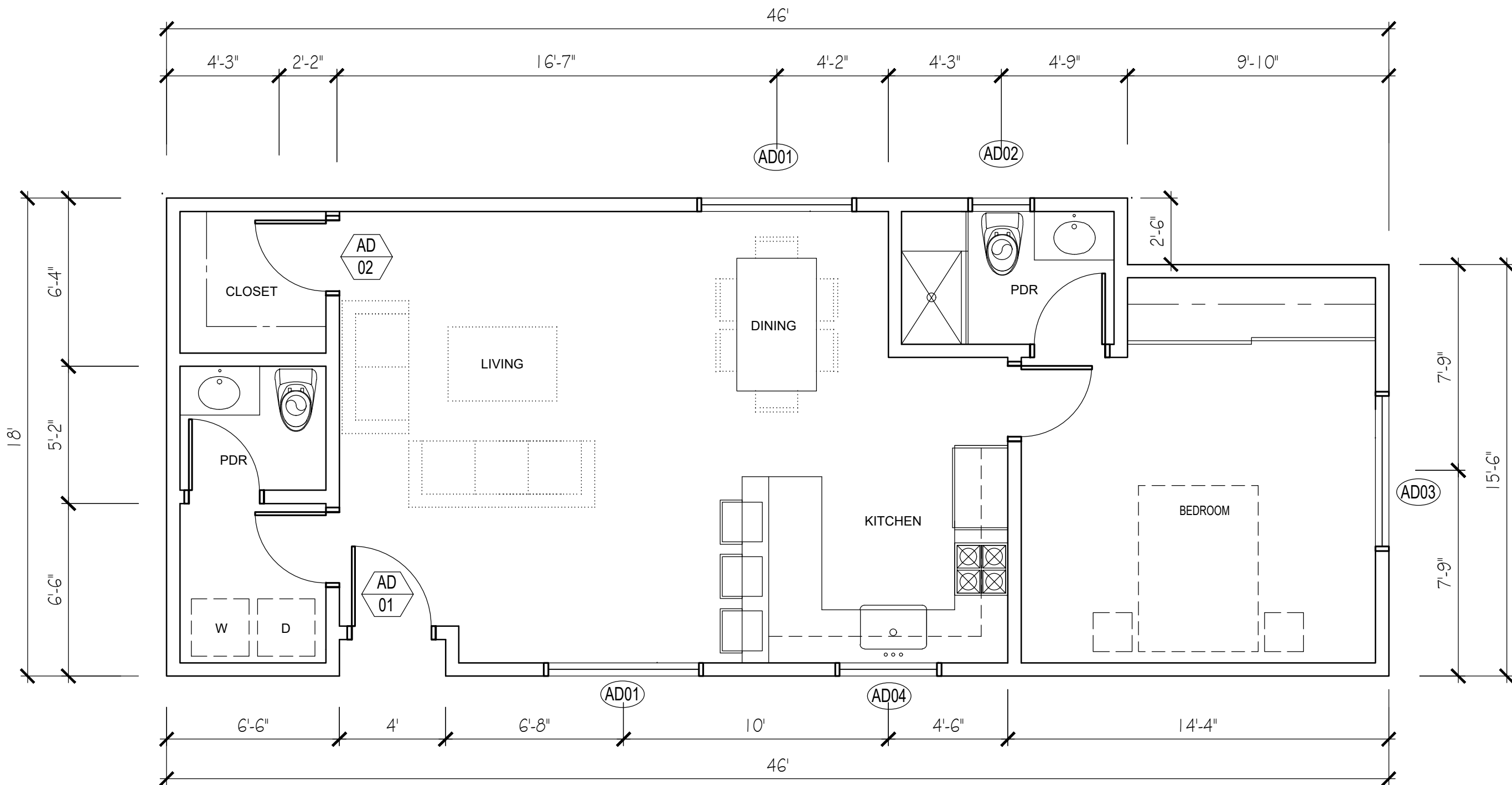
A3.4



1 UNDER FLOOR AREA
SCALE 1/4"=1'-0"



2 PROPOSED ADDITIONAL DWELLING UNIT ROOF PLAN
SCALE 1/4"=1'-0"



1 PROPOSED ADDITIONAL DWELLING UNIT FLOOR PLAN
SCALE 1/4"=1'-0"

LOCAL EXHAUST KITCHEN VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR
THE DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

WHOLE-BUILDING VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
CONTINUOUS FAN FLOW (CFM) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE WHOLE-BUILDING VENTILATION FAN
AND FOR THE DUCT DESIGN FOR THE
WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

LOCAL EXHAUST BATHROOM VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE
DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.

DUCT SIZE (IN) = 4"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

ASHRAE STANDARD EQUATION
$$Q_{fan} = 0.01A_{floor} + 7.5(N + 1)$$
$$Q_{fan} = 0.01(4519) + 7.5(6)$$
$$Q_{fan} = 90$$

PROVIDE CONTINUOUSLY OPERATING
WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30

KEY NOTES:

- 1- PREFABRICATED GAS FIREPLACE BY SPARK MODERN FIRES (DIRECT VENT)
OMNI-TESTED LABORATORIES : ANSI Z21.86-2009/CSA 2.23-2009
- 2- GRANT COUNTER TOPS W/ 18" SPLASH OVER WOOD CABINETS
- 3- STAINLESS STEEL FARM SINK W/ GARBAGE DISPOSAL
- 4- STAINLESS STEEL BAR SINK
- 5- WOOD UPPER CABINETS
- 6- STOVE / OVEN WITH 100 CFM FAN
- 7- REFRIGERATOR / FREEZER
- 8- BUILT-IN WOOD CABINETS / SHELVES ENTERTAINMENT CENTER
- 9- DISH WASHER
- 10- WASHER
- 11- DRYER
- 12- W.C. W / VENT ABOVE
- 13- MARBLE COUNTER OVER WOOD CABINET W / UNDR- COUNTER SINK
- 14- FREE STANDING TUB
- 15- TILED SHOWER AND SEAT W / FRAME LESS TEMPERED GLASS SHOWER DOORS
- 16- TUB / SHOWER W / FRAMELESS TEMPERED GLASS ENCLOSURE DOORS
- 17- THIN SET CERAMIC TILES OVER WATER PROOFING. (MIN. 1/4" 12' SLOPE TO DRAIN)

LEGEND:

- PROPOSED WALLS
EXTERIOR WOOD FRAMED WALLS:
1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER
BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR
SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" TYPE "X" GYP. BD.
ON THE INTERIOR SIDE. PROVIDE R-21 THERMAL/SOUND INSULATION IN STUD SPACE.
- INTERIOR WOOD FRAMED PARTITIONS:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C.
PROVIDE 2X6 STUDS @ PLUMBING WALLS W/ R15 INSULATION
- SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
(SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)
- CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
- EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)
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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED DETACHED A.D.U.
FLOOR AND ROOF PLANS

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A3.5



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PROJECT:

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REVISIONS

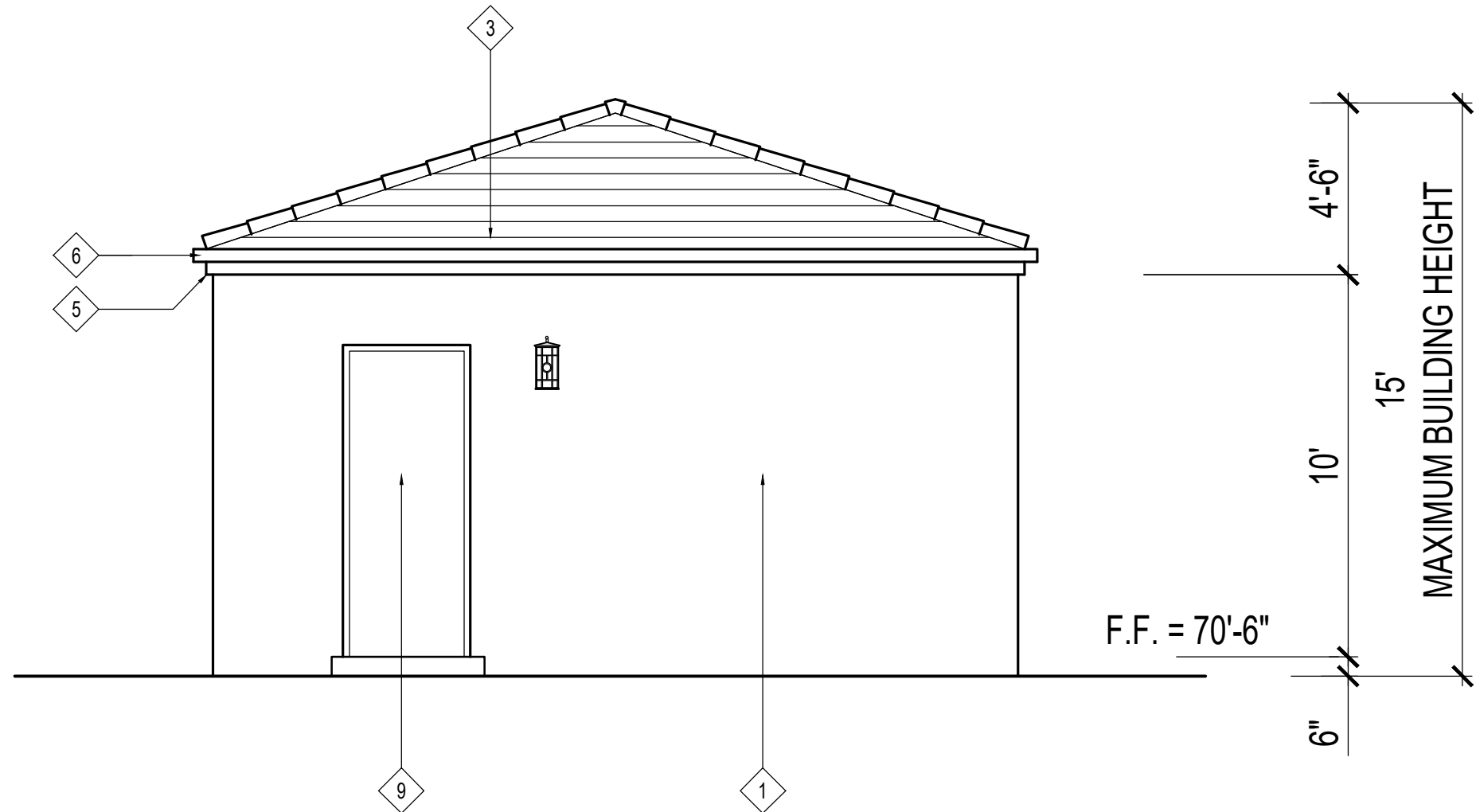
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED DETACHED GARAGE
PLANS AND ELEVATIONS

DATE	02.06.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

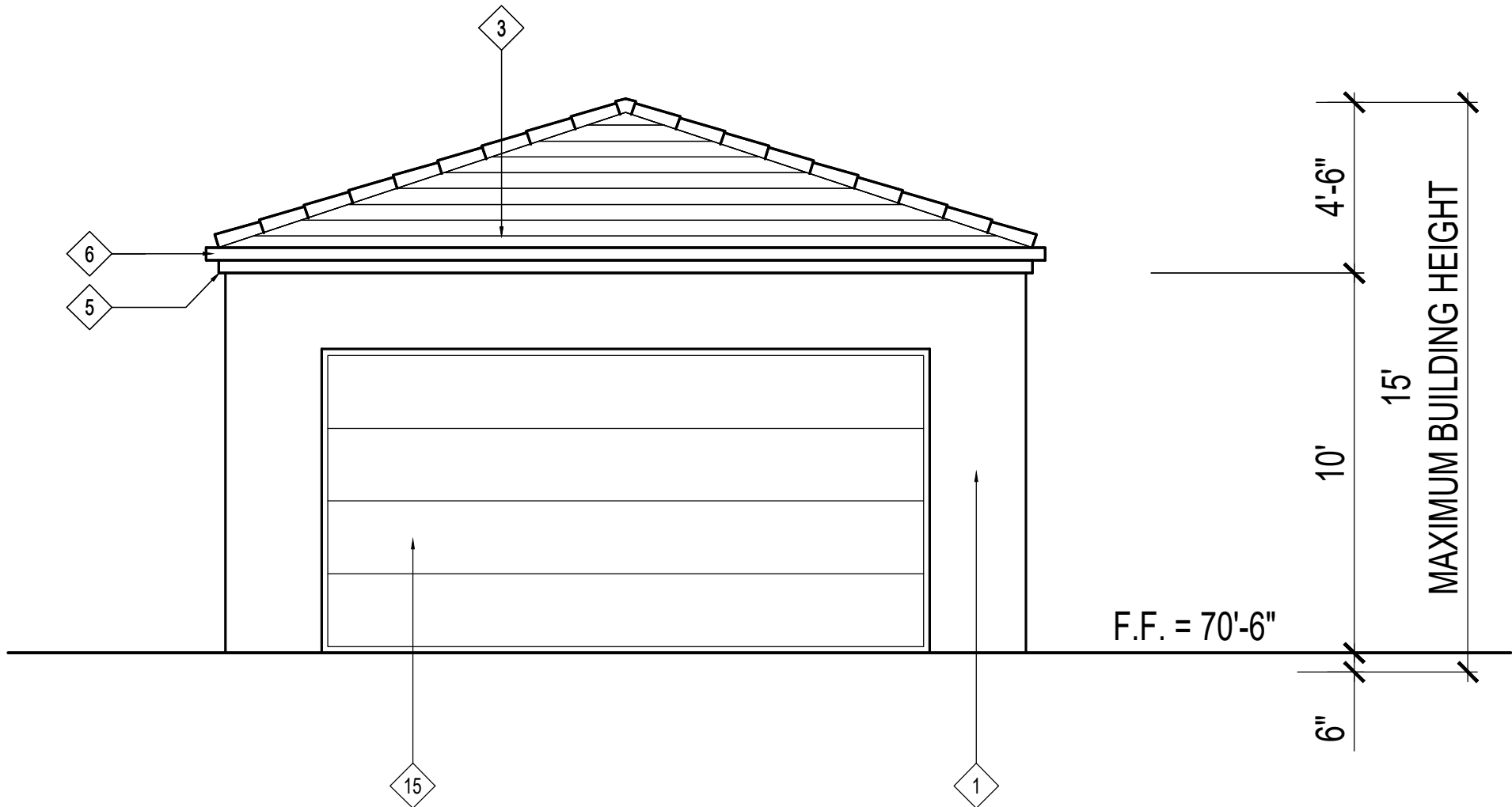
A3.6



PROPOSED GARAGE SOUTH ELEVATION

4

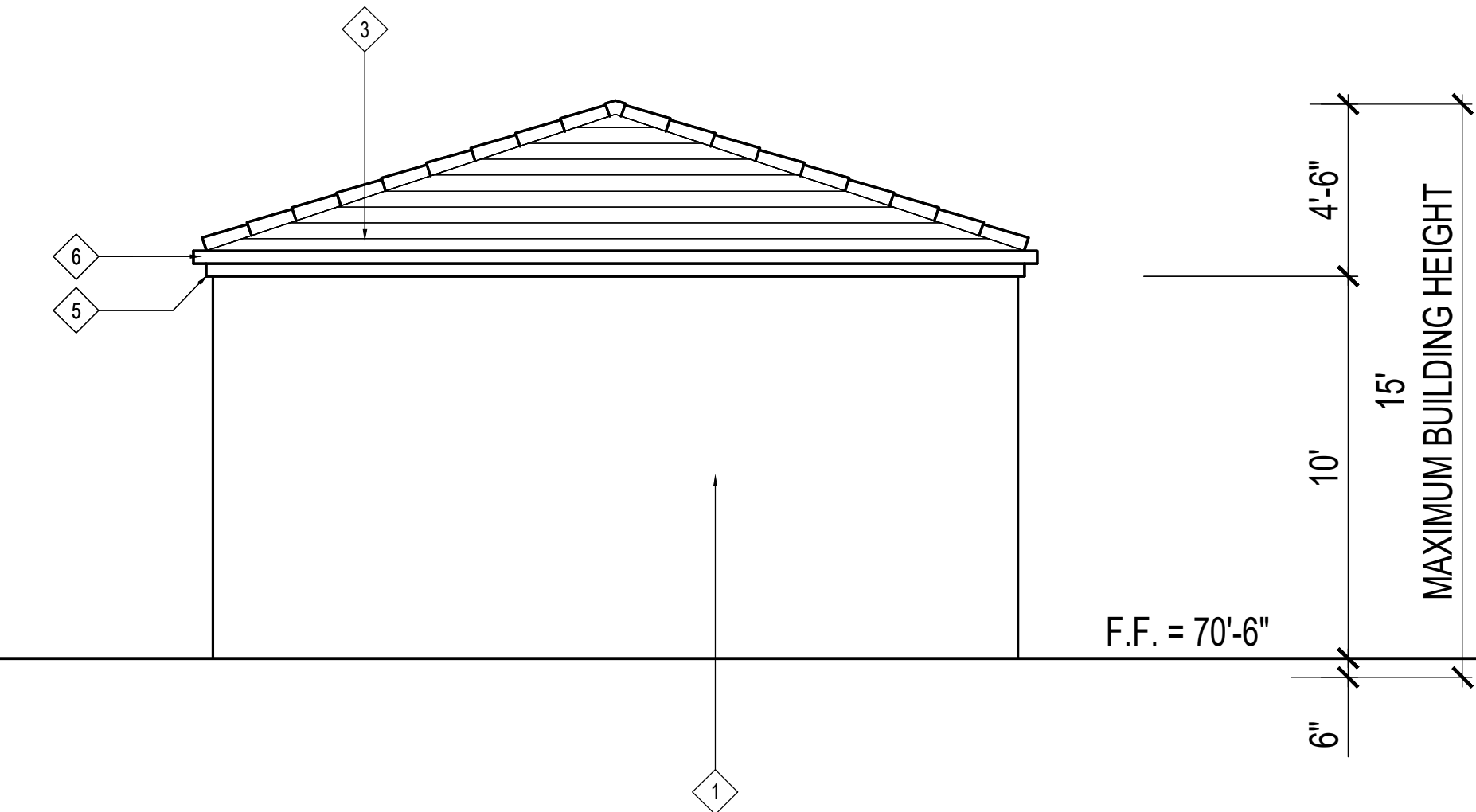
SCALE 1/4" = 1'-0"



PROPOSED GARAGE EAST ELEVATION

3

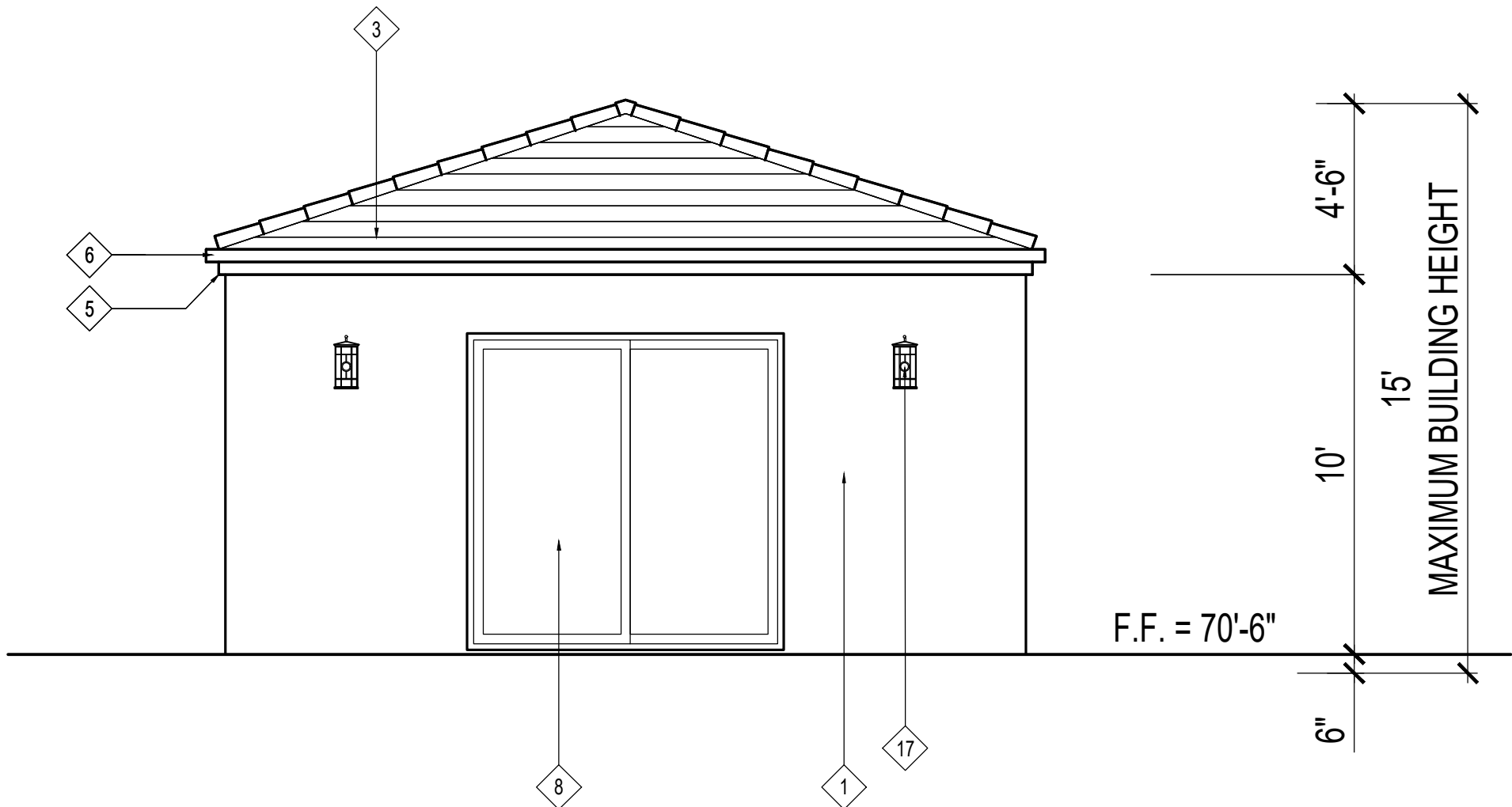
SCALE 1/4" = 1'-0"



PROPOSED GARAGE NORTH ELEVATION

6

SCALE 1/4" = 1'-0"



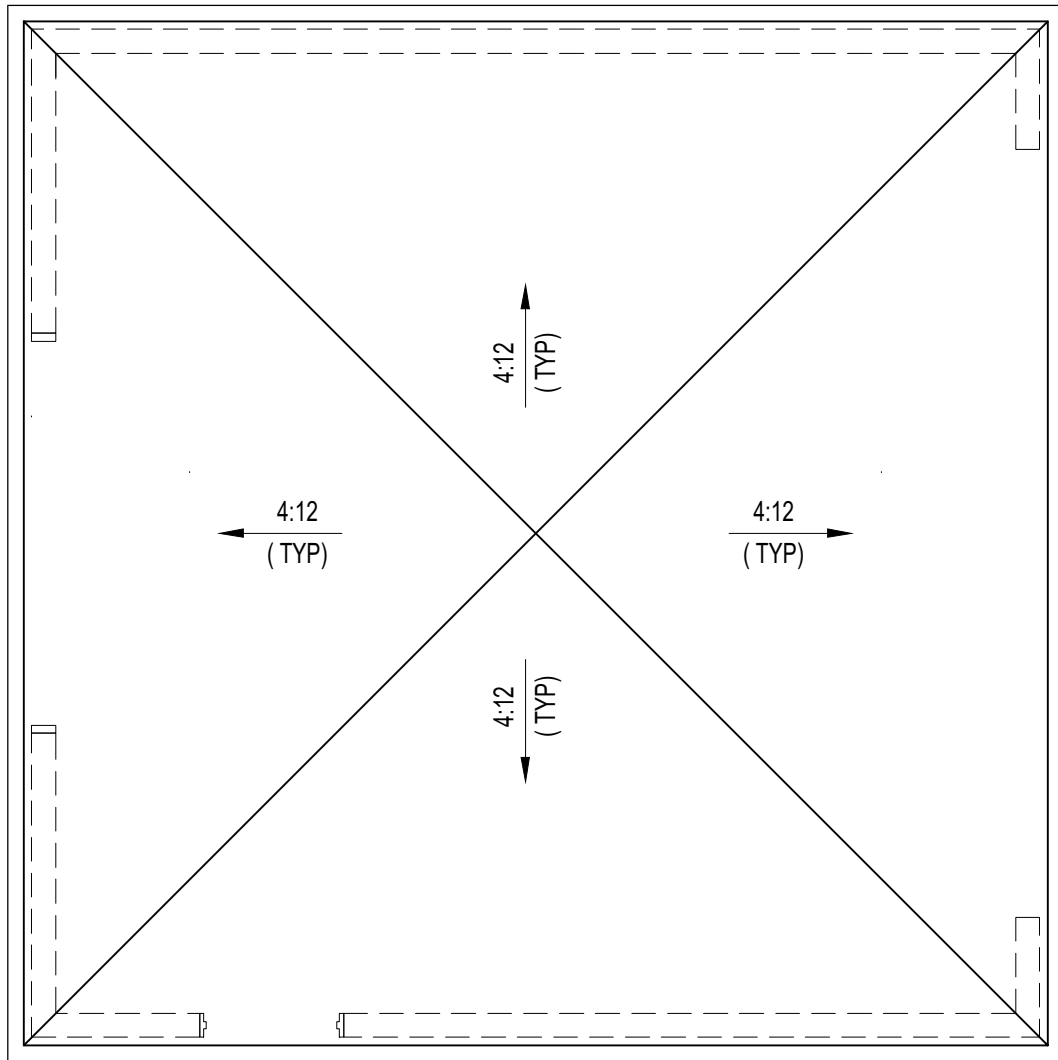
PROPOSED GARAGE EAST ELEVATION

5

SCALE 1/4" = 1'-0"

KEY NOTES :

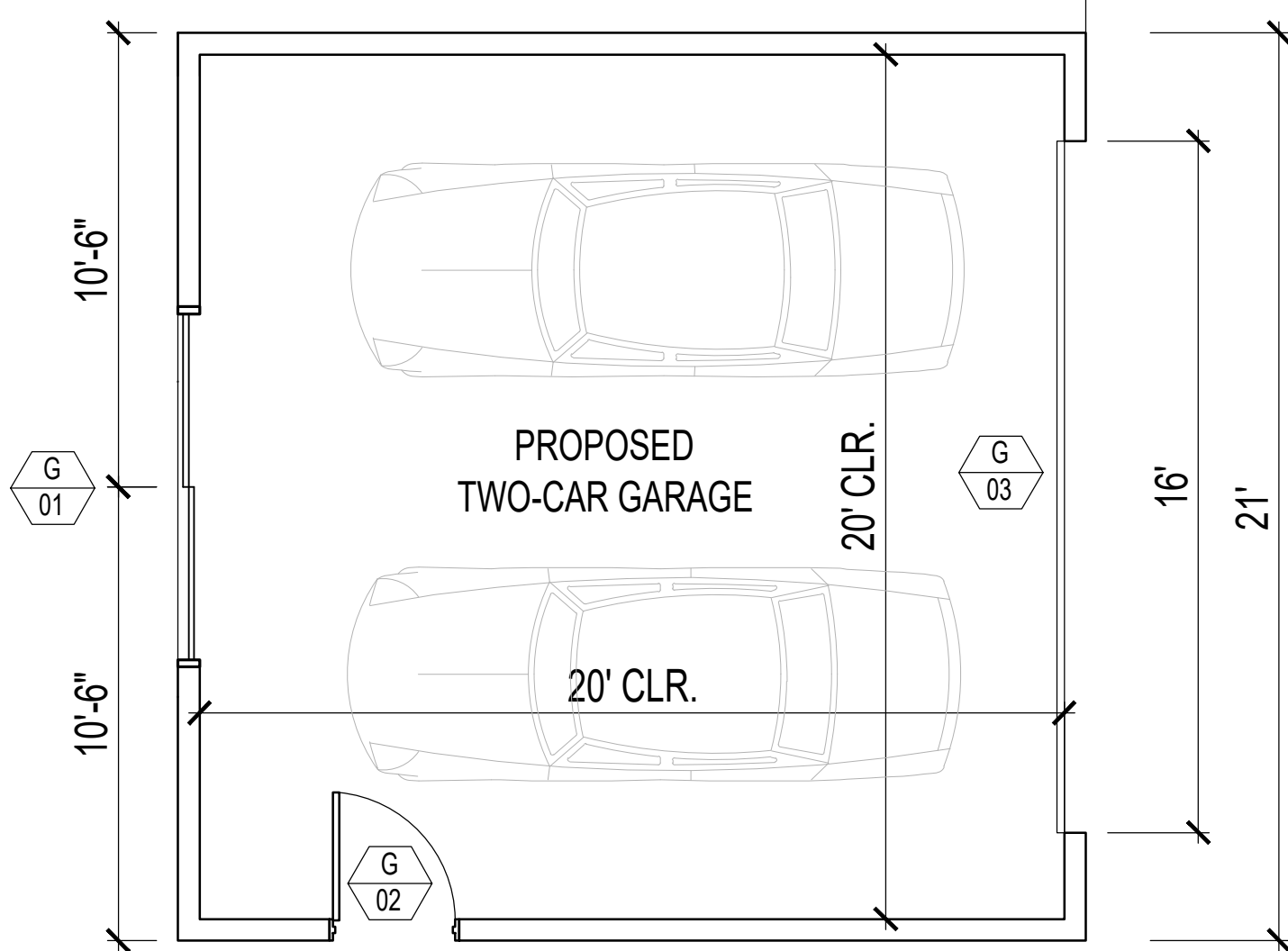
- | | | |
|---|---|--|
| 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
COLOR : Lahabra Stucco (Chablis) | 5- PLASTERED EAVE FASCIA
COLOR : Crystal White | 11- PAINTED METAL RAILING / GUARDRAIL
COLOR : Black |
| 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
COLOR : Lahabra Stucco (Chablis) | 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black | 12- PRE-CAST CONCRETES STEPS
COLOR : Natural Gray |
| 3- FLAT L.W. CONC. ROOF TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate | 7- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony | 13- PRE-CAST CORNICE / TRIM
COLOR : Natural Gray |
| 4- PRE-CAST MOLDING / SURROUND
COLOR : Natural Concrete Gray | 8- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony | 14- PAINTED METAL CHIMNEY CAP
COLOR : Black |
| | 9- PAINTED HOLLOW METAL ENTRY DOOR
COLOR : Black | 15- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black |
| | 10- PAINTED METAL GATE
COLOR : Black | 16- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black |
| | | 17- PRE-FINISHED METAL WALL LIGHT
COLOR : Black |



PROPOSED GARAGE EAST ELEVATION

2

SCALE 1/4" = 1'-0"



PROPOSED GARAGE EAST ELEVATION

1

SCALE 1/4" = 1'-0"



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1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
WEST AND SOUTH ELEVATIONS

DATE	07.25.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A4.1



PROPOSED BUILDING WEST ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED BUILDING SOUTH ELEVATION

SCALE 1/4" = 1'-0"



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REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
EAST AND NORTH ELEVATIONS

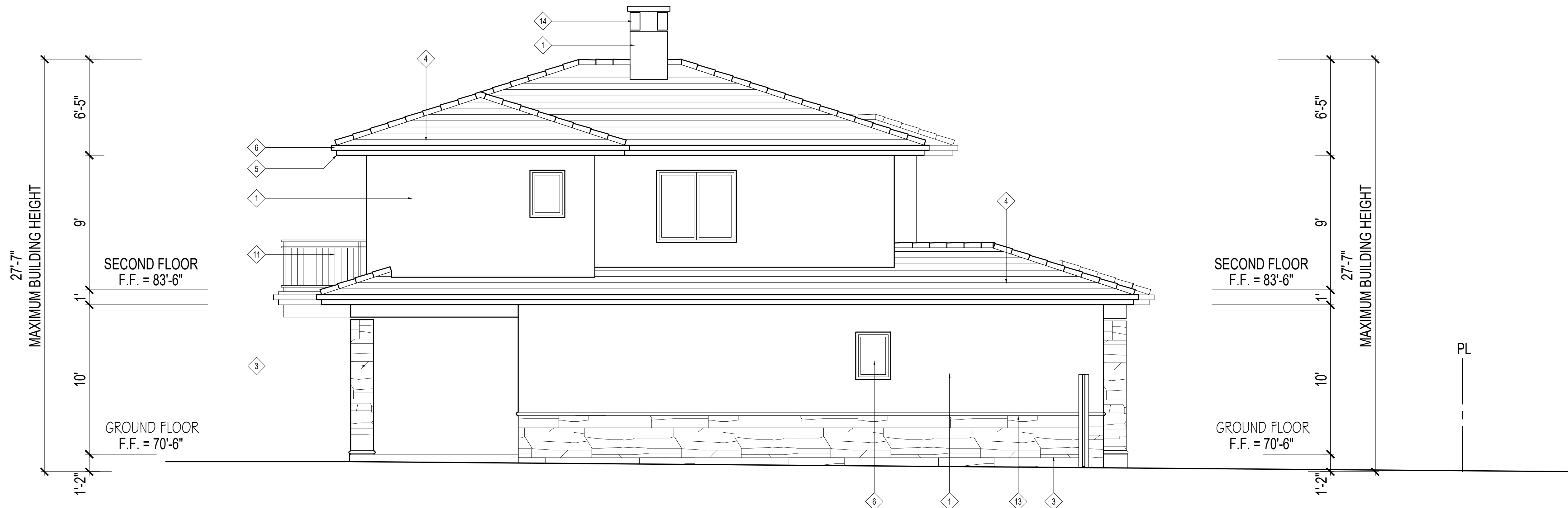
DATE	07.25.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A4.2



PROPOSED BUILDING EAST ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED BUILDING NORTH ELEVATION

SCALE 1/4" = 1'-0"



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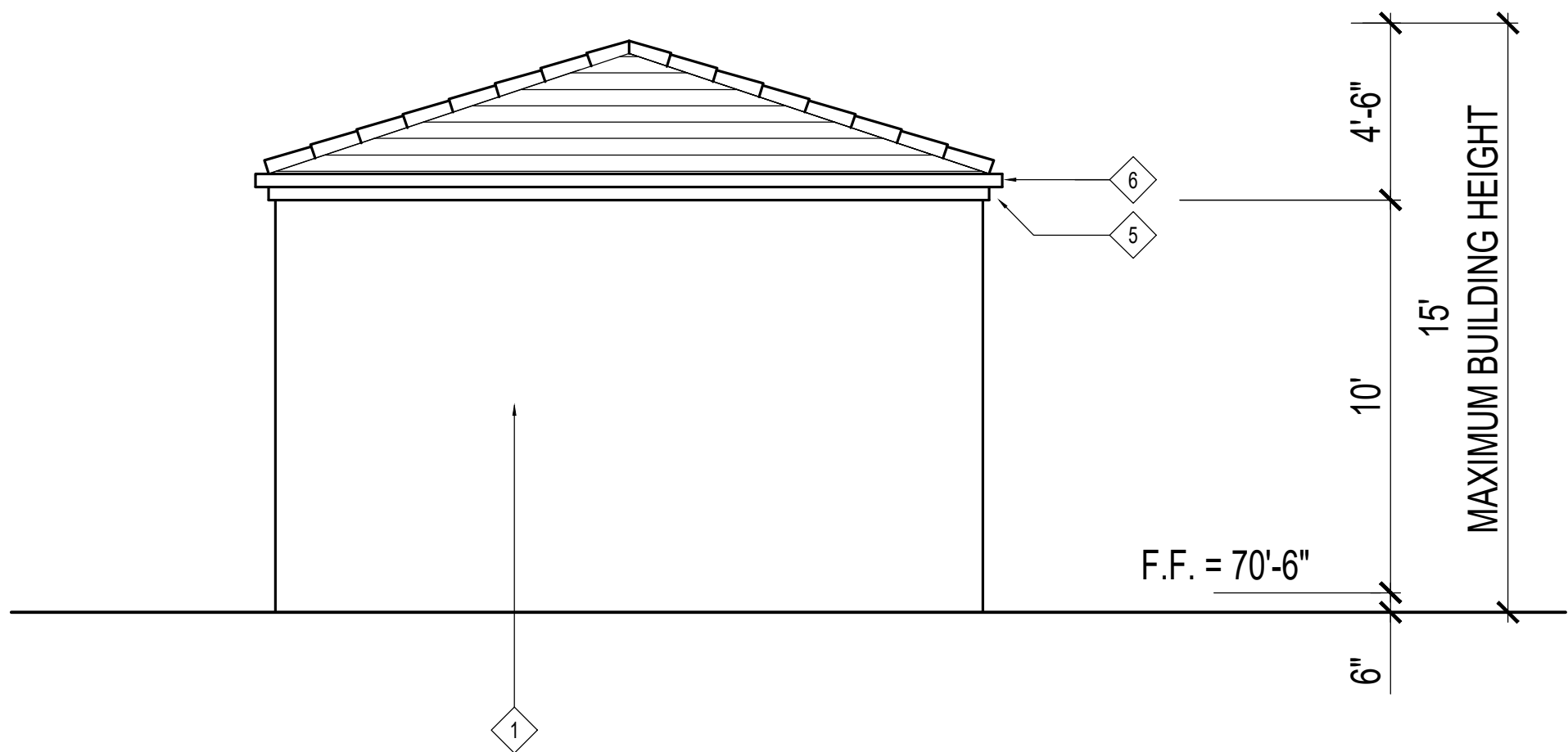
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED DETACHED A.D.U.
PLANS AND ELEVATIONS

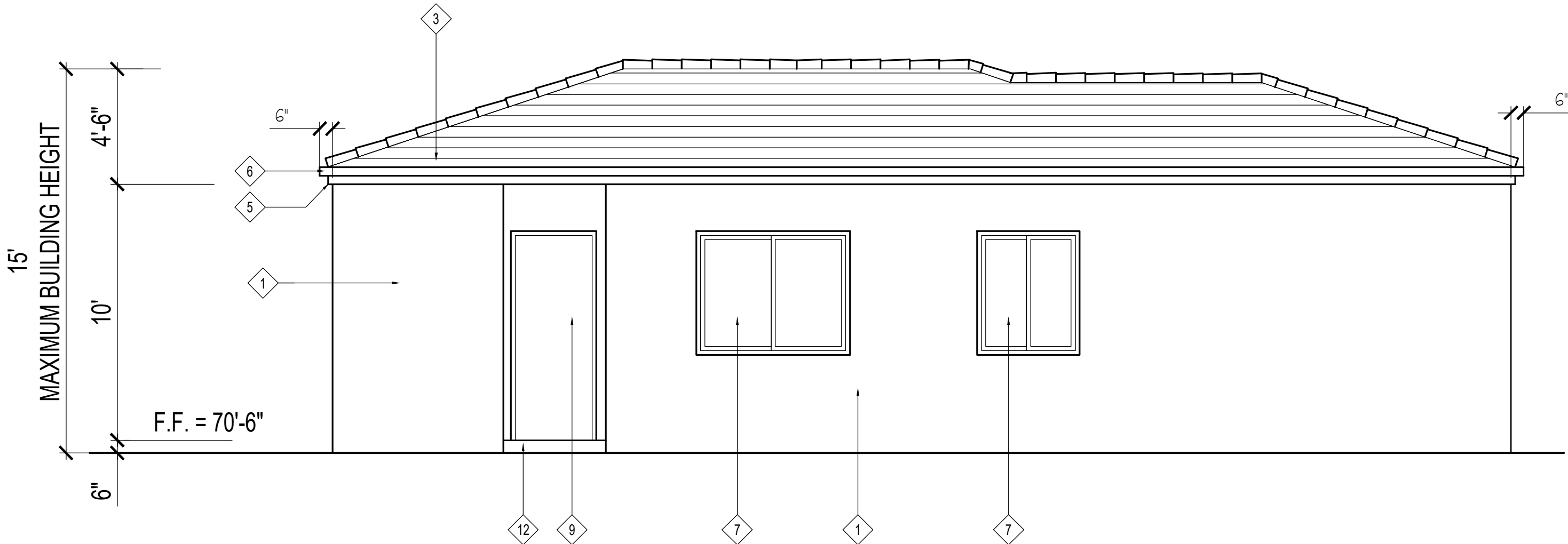
DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A4.3



2 PROPOSED ADU WEST ELEVATION

SCALE 1/4" = 1'-0"

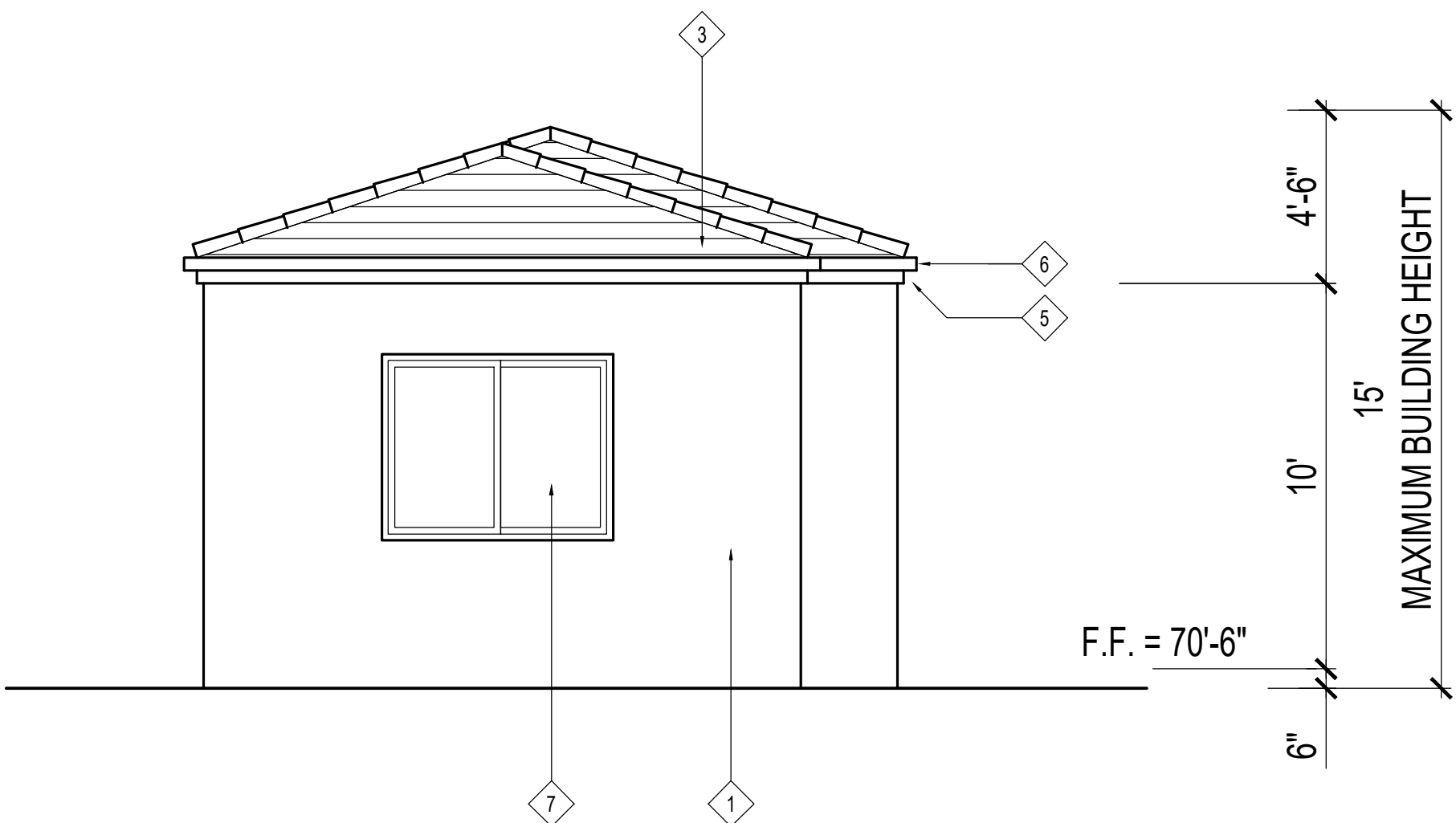


1 PROPOSED ADU SOUTH ELEVATION

SCALE 1/4" = 1'-0"

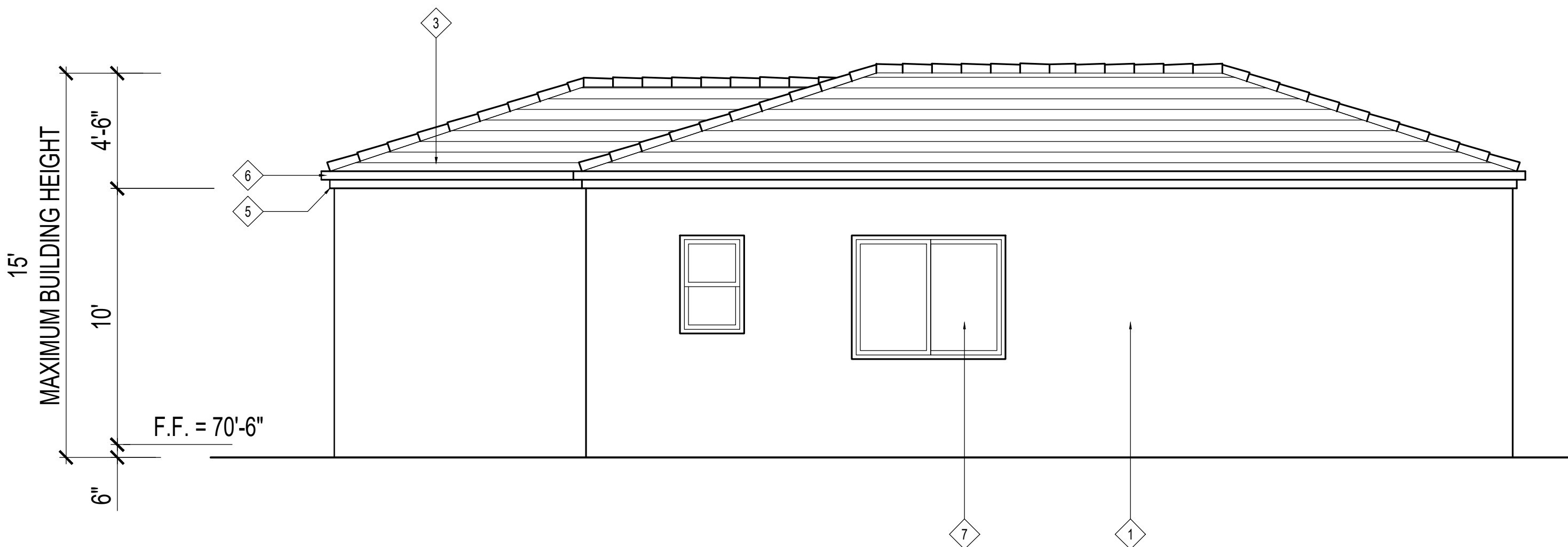
KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
COLOR : Lahabra Stucco (Chablis)
- 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
COLOR : Lahabra Stucco (Chablis)
- 3- FLAT L.W. CONC. ROOF TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate
- 4- PRE-CAST MOLDING / SURROUND
COLOR : Natural Concrete Gray
- 5- PLASTERED EAVE FASCIA
COLOR : Crystal White
- 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black
- 7- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony
- 8- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony
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COLOR : Black
- 10- PAINTED METAL GATE
COLOR : Black
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COLOR : Black
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COLOR : Natural Gray
- 13- PRE-CAST CORNICE / TRIM
COLOR : Natural Gray
- 14- PAINTED METAL CHIMNEY CAP
COLOR : Black
- 15- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black
- 16- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- 17- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



4 PROPOSED ADU EAST ELEVATION

SCALE 1/4" = 1'-0"

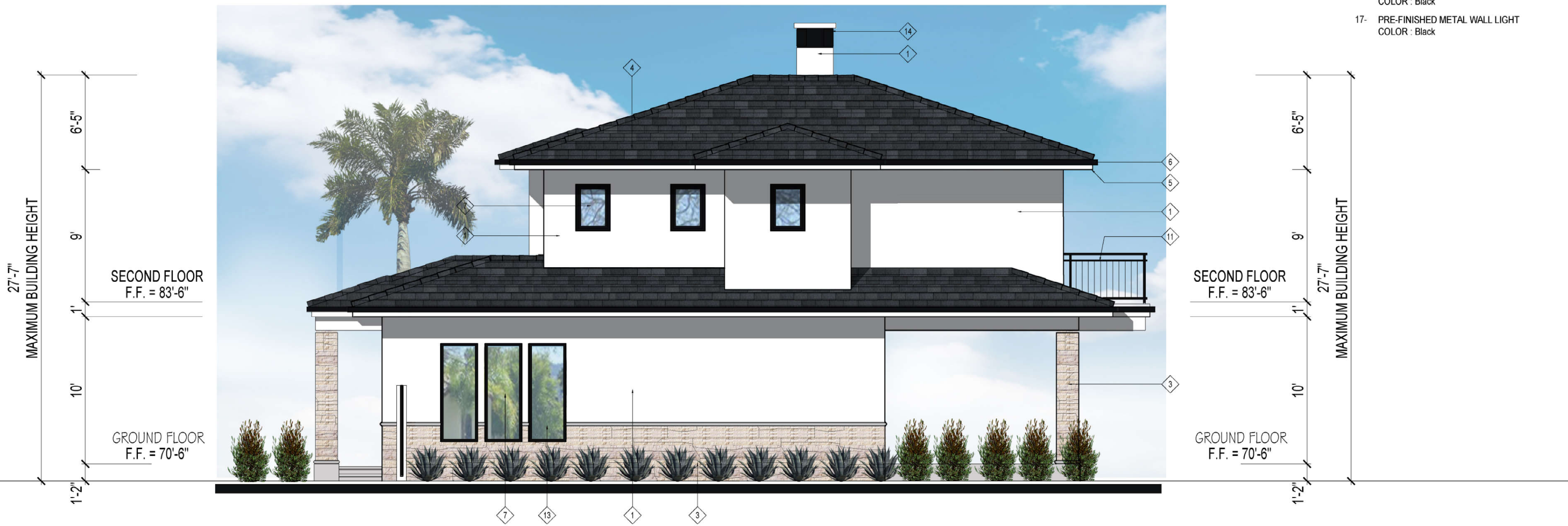


3 PROPOSED ADU NORTH ELEVATION

SCALE 1/4" = 1'-0"



1
PROPOSED BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"



2
PROPOSED BUILDING SOUTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
COLOR : LaHabra Stucco (Crystal White)
- 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
COLOR : LaHabra Stucco (Crystal White)
- 3- CULTURED STONE - "HEWN STONE SPAN" VENEER
COLOR : Gray / Tan
- 4- L.W. CONC. FLAT ROOFING TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate
- 5- PLASTERED EAVE FASCIA
COLOR : Crystal White
- 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black
- 7- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony
- 8- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony
- 9- PAINTED HOLLOW METAL ENTRY DOOR
COLOR : Black
- 10- PAINTED METAL GATE
COLOR : Black
- 11- PAINTED METAL RAILING / GUARDRAIL
COLOR : Black
- 12- PRE-CAST CONCRETE STEPS AND COLUMN BASE
COLOR : Natural Gray
- 13- PRE-CAST TRIM
COLOR : Natural Gray
- 14- PAINTED METAL CHIMNEY CAP
COLOR : Black
- 15- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black
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COLOR : Black
- 17- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd. Suite B
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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

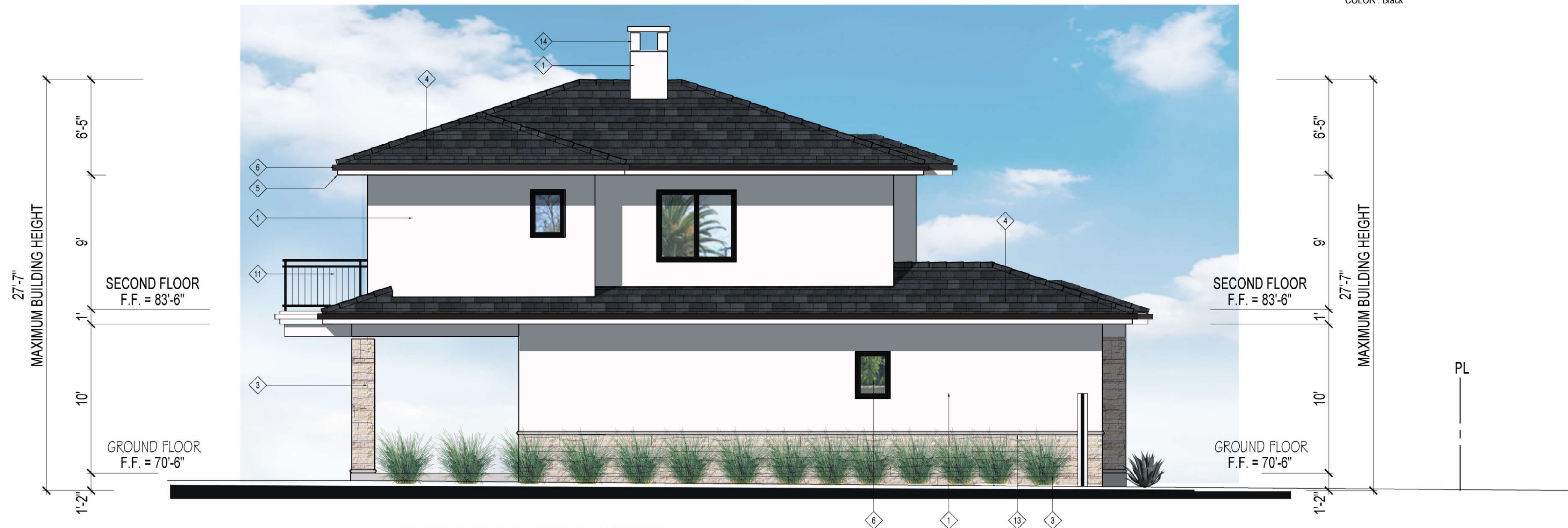
PROPOSED HOUSE
WEST AND SOUTH ELEVATIONS

DATE	07.25.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A4.1



1 PROPOSED BUILDING EAST ELEVATION
SCALE 1/4" = 1'-0"



2 PROPOSED BUILDING NORTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
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COLOR : LaHabra Stucco (Crystal White)
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COLOR : Gray / Tan
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COLOR : Crystal White
- 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
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- 9- PAINTED HOLLOW METAL ENTRY DOOR
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- 10- PAINTED METAL GATE
COLOR : Black
- 11- PAINTED METAL RAILING / GUARDRAIL
COLOR : Black
- 12- PRE-CAST CONCRETE STEPS AND COLUMN BASE
COLOR : Natural Gray
- 13- PRE-CAST TRIM
COLOR : Natural Gray
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COLOR : Black
- 16- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- 17- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



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Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

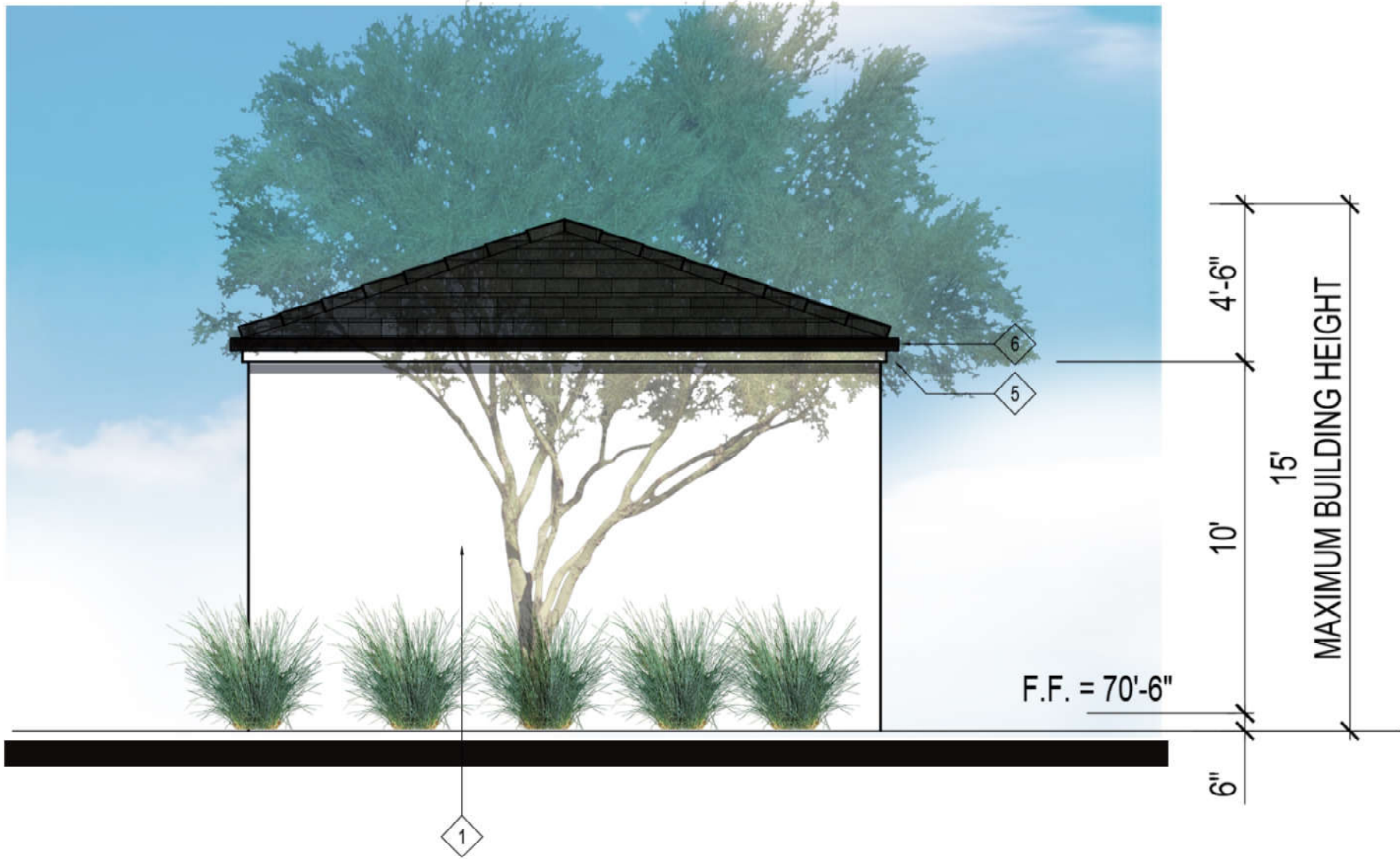
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED HOUSE
EAST AND NORTH ELEVATIONS

DATE	07.25.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A4.2



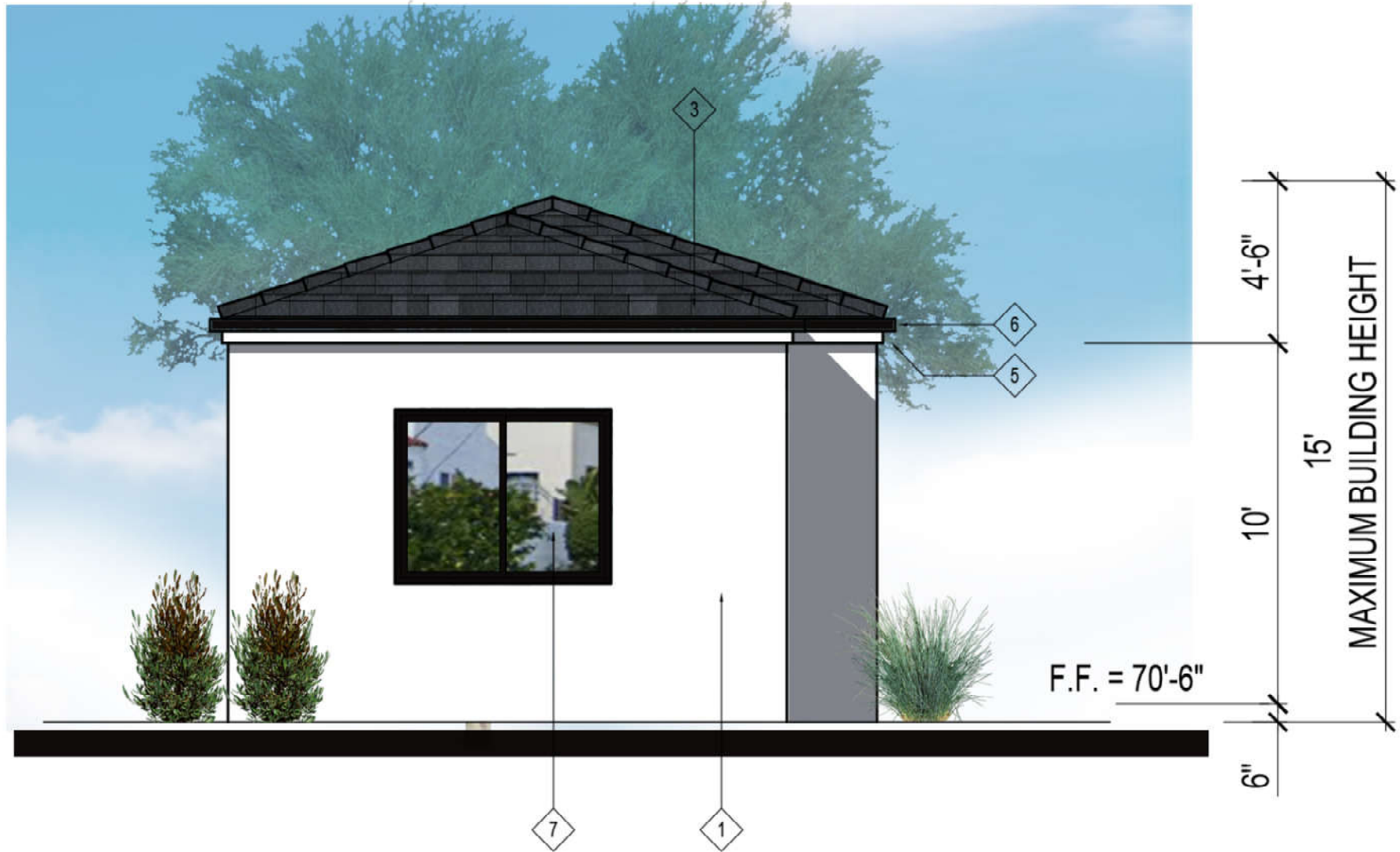
2 PROPOSED ADU WEST ELEVATION
SCALE 1/4" = 1'-0"



1 PROPOSED ADU SOUTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
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- 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
COLOR : LaHabra Stucco (Crystal White)
- 3- FLAT L.W. CONC. ROOF TILES OVER 2-#30 ROOFING PAPER
COLOR : Black Slate
- 4- PRE-CAST MOLDING / SURROUND
COLOR : Natural Concrete Gray
- 5- PLASTERED EAVE FASCIA
COLOR : Crystal White
- 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : Black
- 7- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony
- 8- FIBER GLASS FRAMED DUAL GLAZED PATIO DOOR
COLOR : Ebony
- 9- PAINTED HOLLOW METAL ENTRY DOOR
COLOR : Black
- 10- PAINTED METAL GATE
COLOR : Black
- 11- PAINTED METAL RAILING / GUARDRAIL
COLOR : Black
- 12- PRE-CAST CONCRETES STEPS
COLOR : Natural Gray
- 13- PRE-CAST CORNICE / TRIM
COLOR : Natural Gray
- 14- PAINTED METAL CHIMNEY CAP
COLOR : Black
- 15- OBSCURED GLASS IN METAL FRAME SECTIONAL GARAGE DOOR
COLOR : Black
- 16- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- 17- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



4 PROPOSED ADU EAST ELEVATION
SCALE 1/4" = 1'-0"



3 PROPOSED ADU NORTH ELEVATION
SCALE 1/4" = 1'-0"



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CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED DETACHED A.D.U.
PLANS AND ELEVATIONS

DATE	07.25.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A4.3

ZOHRABIANS ARCHITECTS
3467 OCEAN VIEW BLVD. SUITE B
GLENDALE, CA. 91208
T.818.236.3619

PROJECT ADDRESS: 1342 ELM AVE. GLENDALE CA



DOUBLE BOX 15 $\frac{1}{2}$ " HIGH CLEAR GLASS
BLACK FRAME WALL LIGHT



MARVIN DOORS AND WINDOWS
ALL ULTREX - EBONY (BLACK)



L.W. CONC. FLAT ROOFING TILES
COLOR: BLACK SLATE



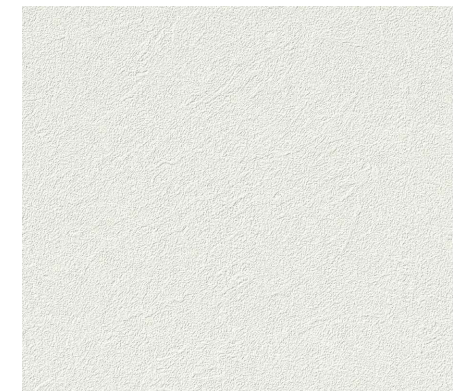
METAL TRIMS
ROOF FASCIA BOARD
METAL GUTTER AND DOWNSPOUTS, CHIMNEY
CAP, RAILING, FENCE WALL RAILING



PROPOSED DRIVEWAY / FRONT YARD WALKWAY
INTERLOCKING PAVERS



CULTURED STONE - "HEWN STONE SPAN" VENEER
COLOR: GRAY / TAN



LAHABRA STUCCO
SMOOTH FINISH - CRYSTAL WHITE



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Glendale, Ca. 91201

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Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

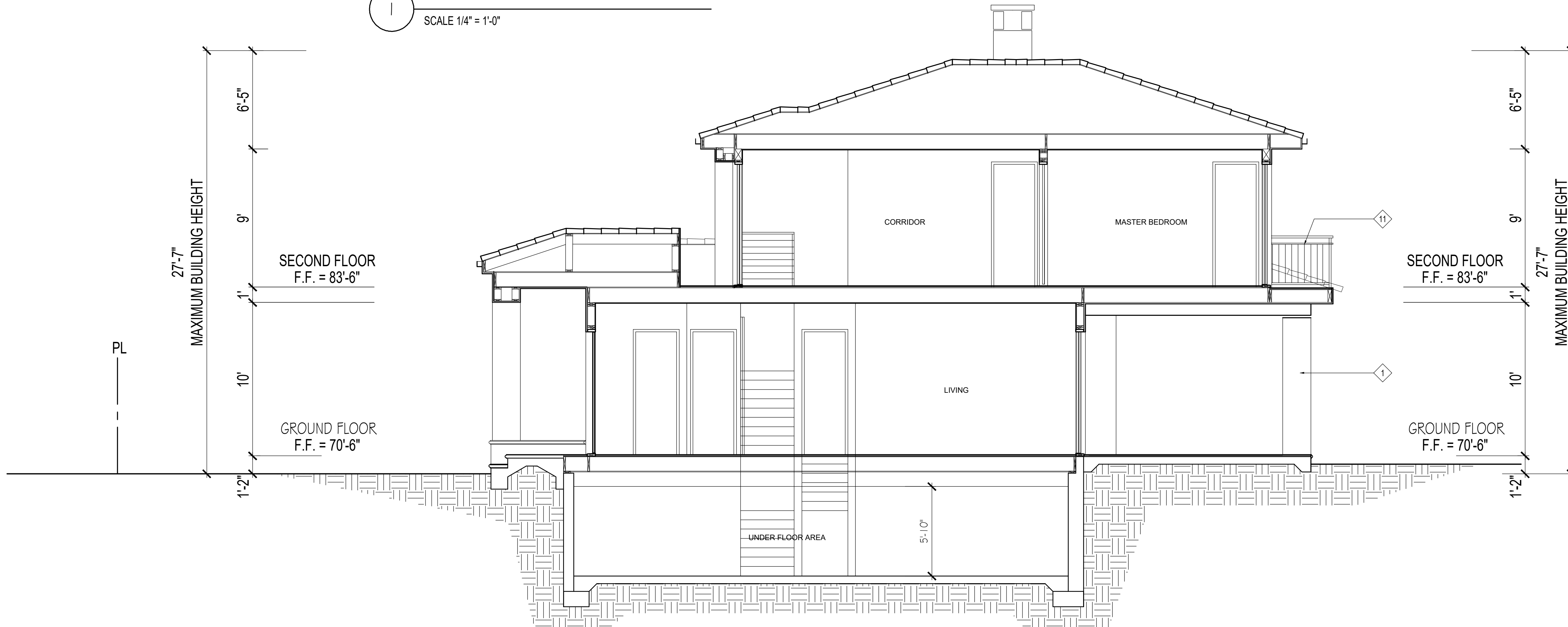
PROPOSED HOUSE SECTIONS

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DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

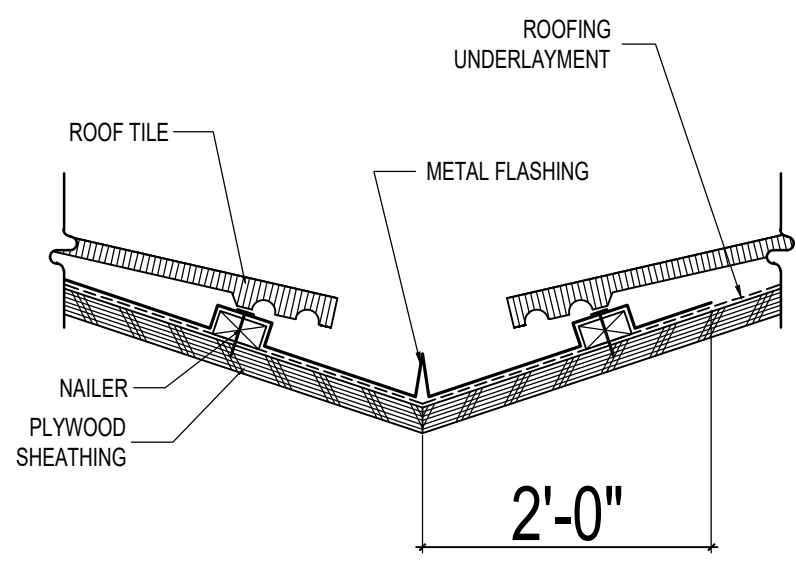
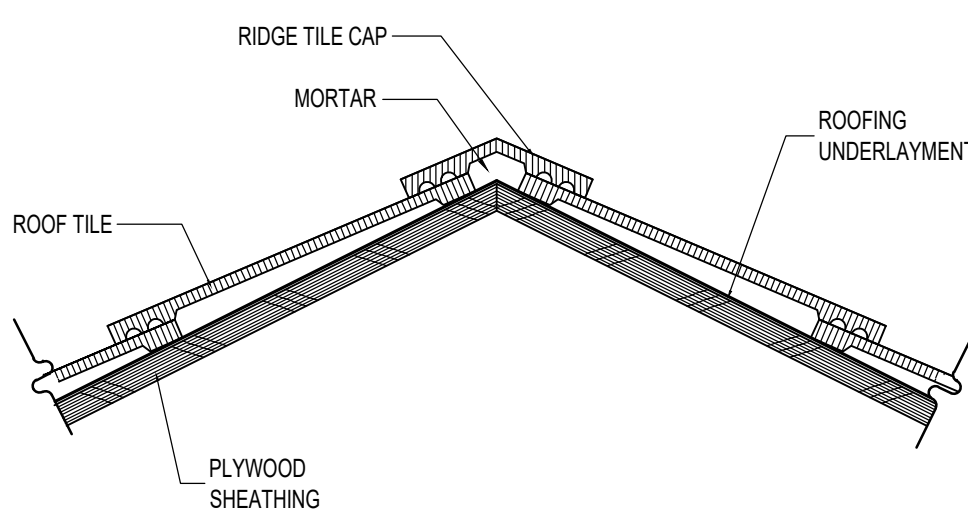
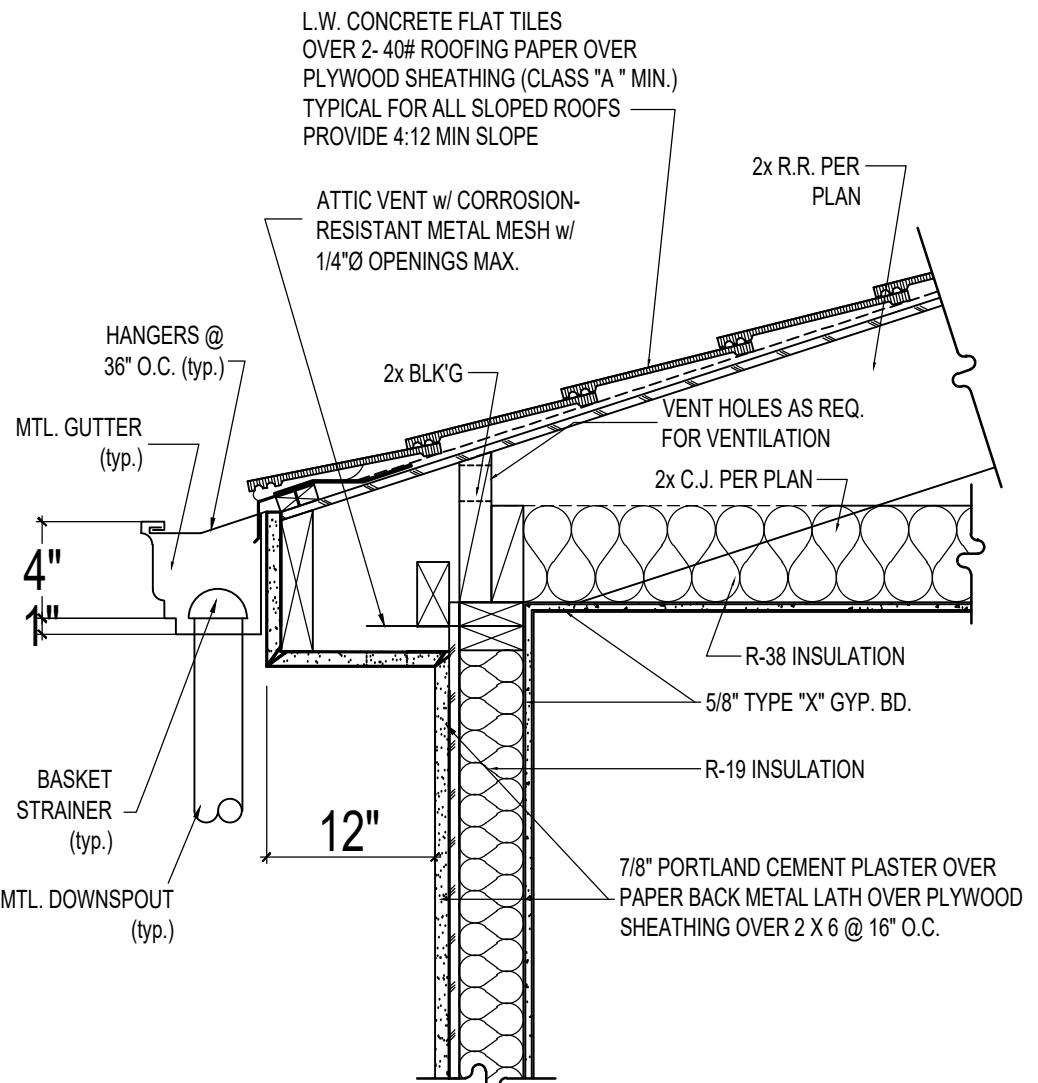
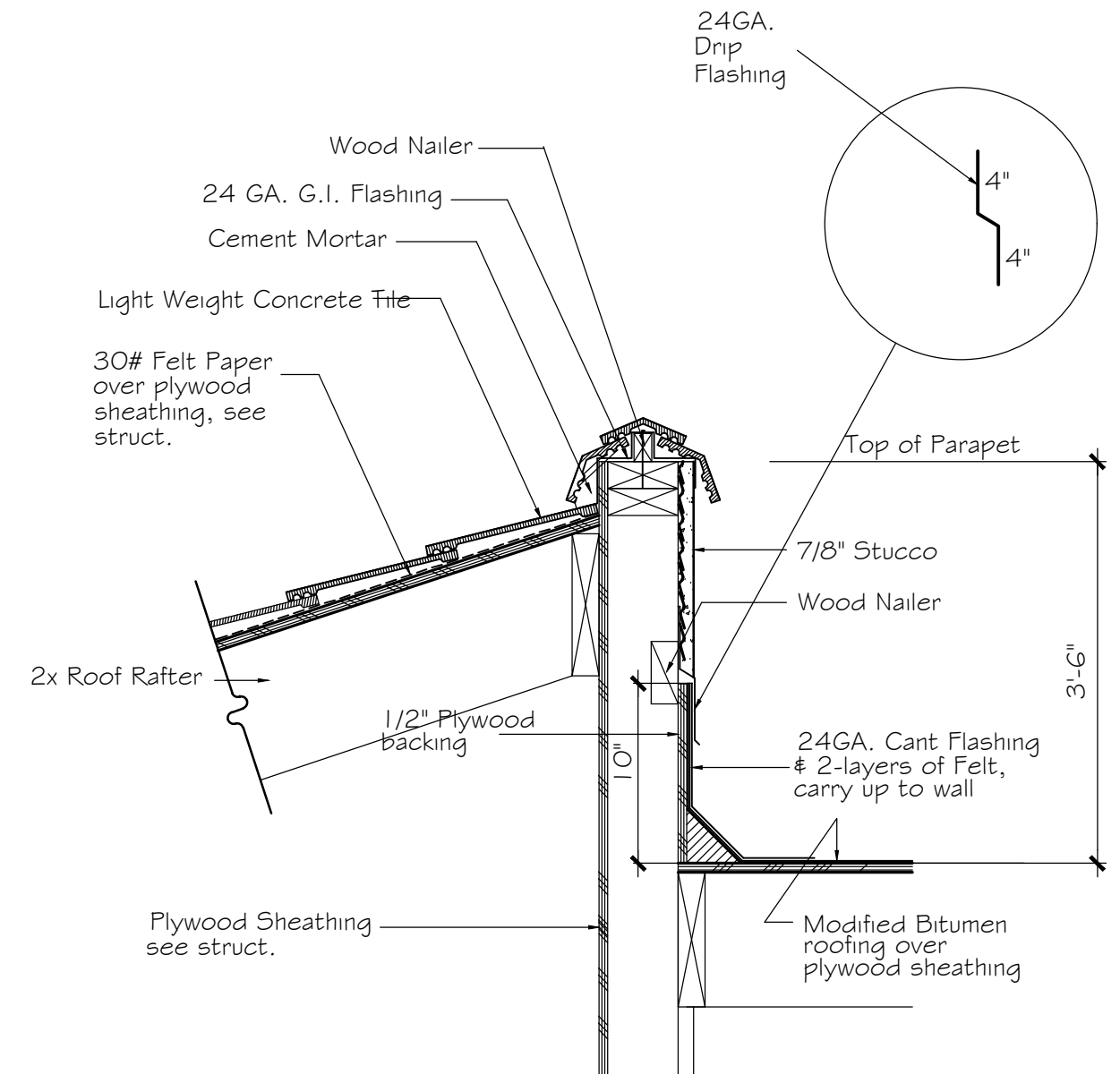
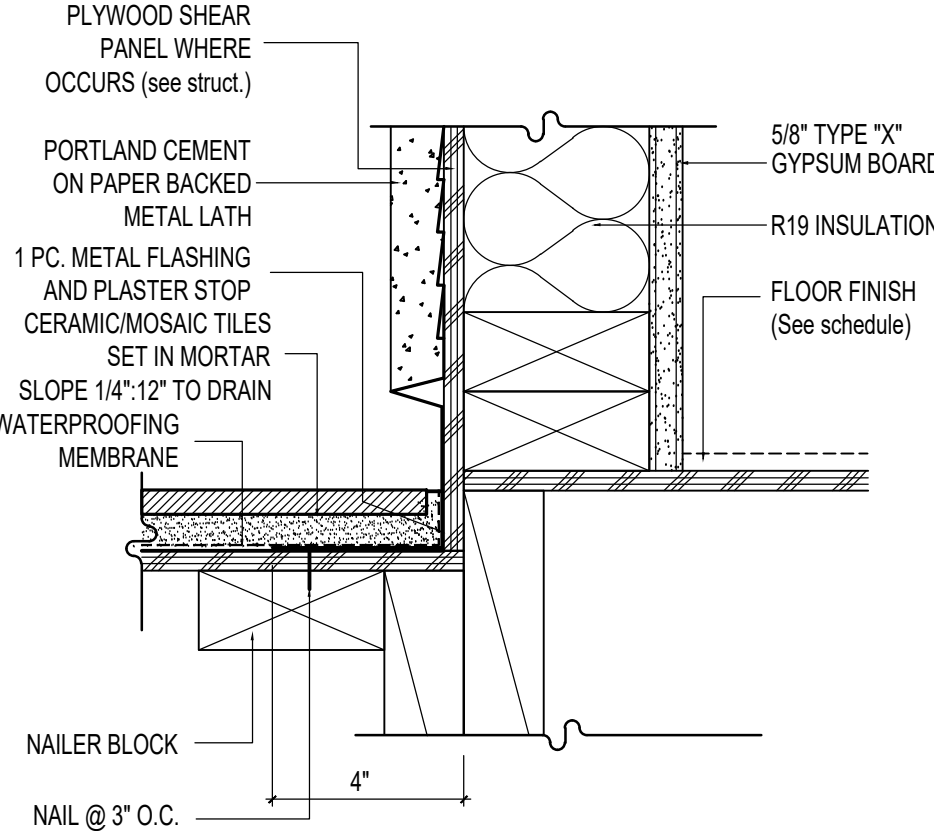
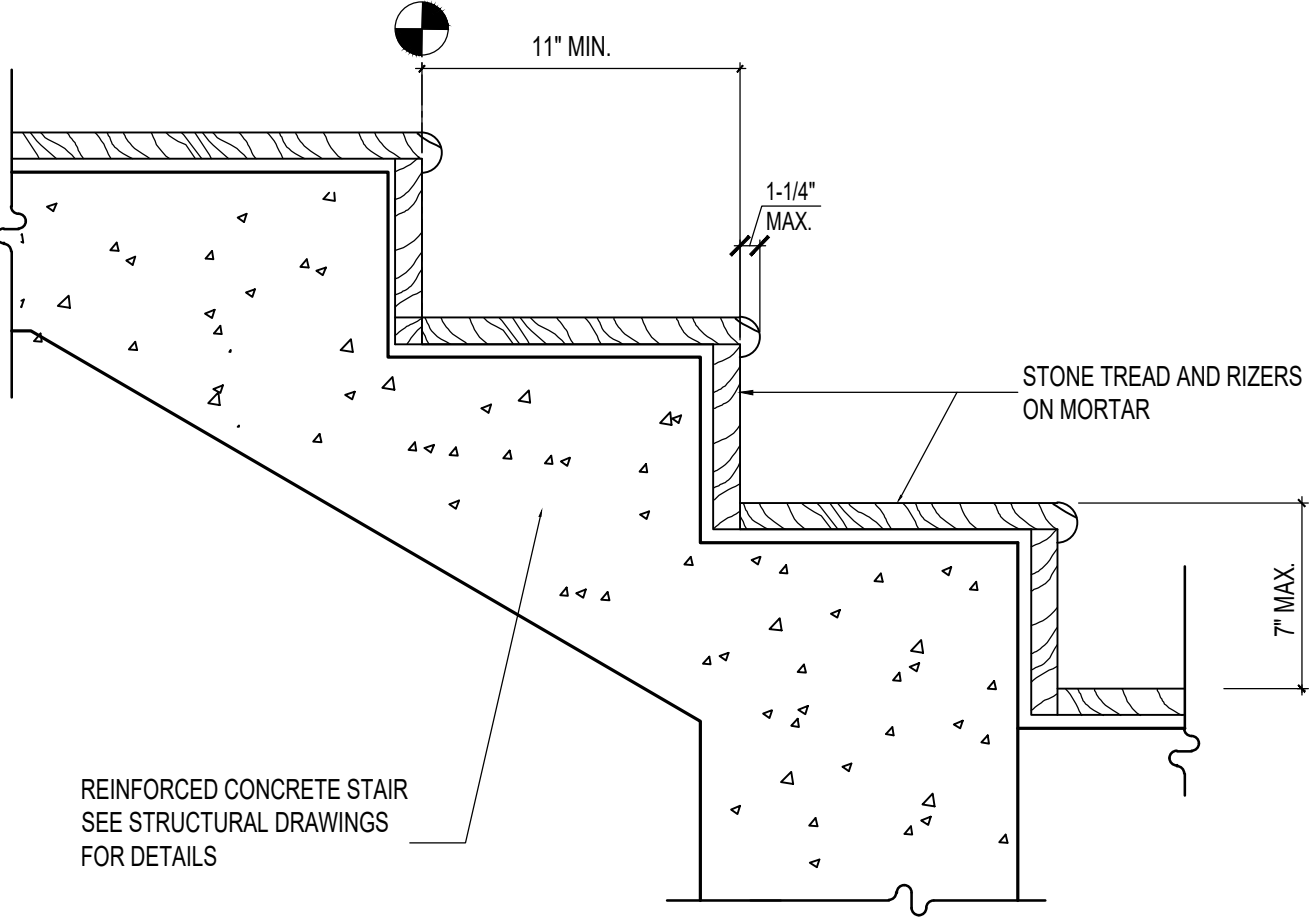
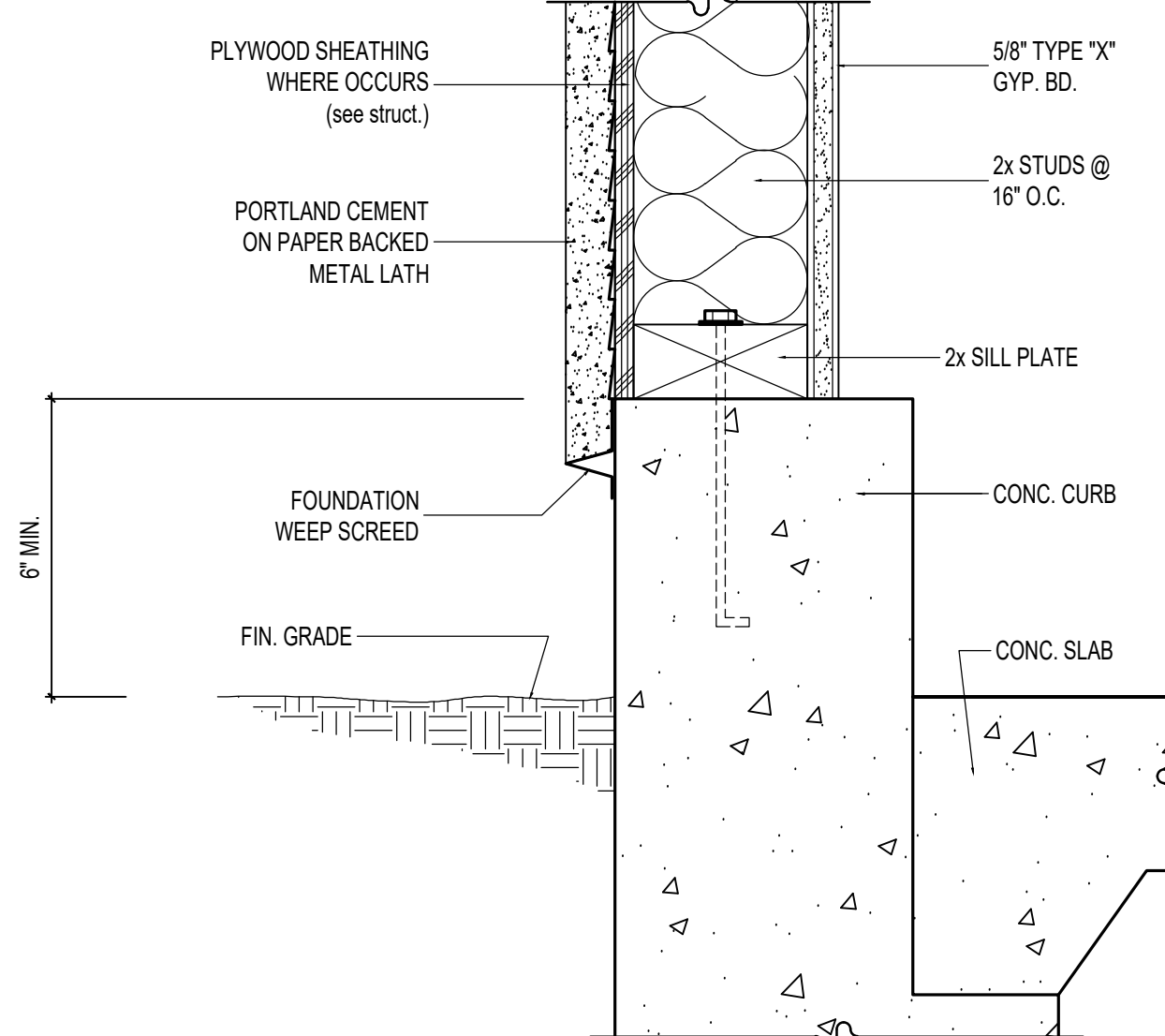
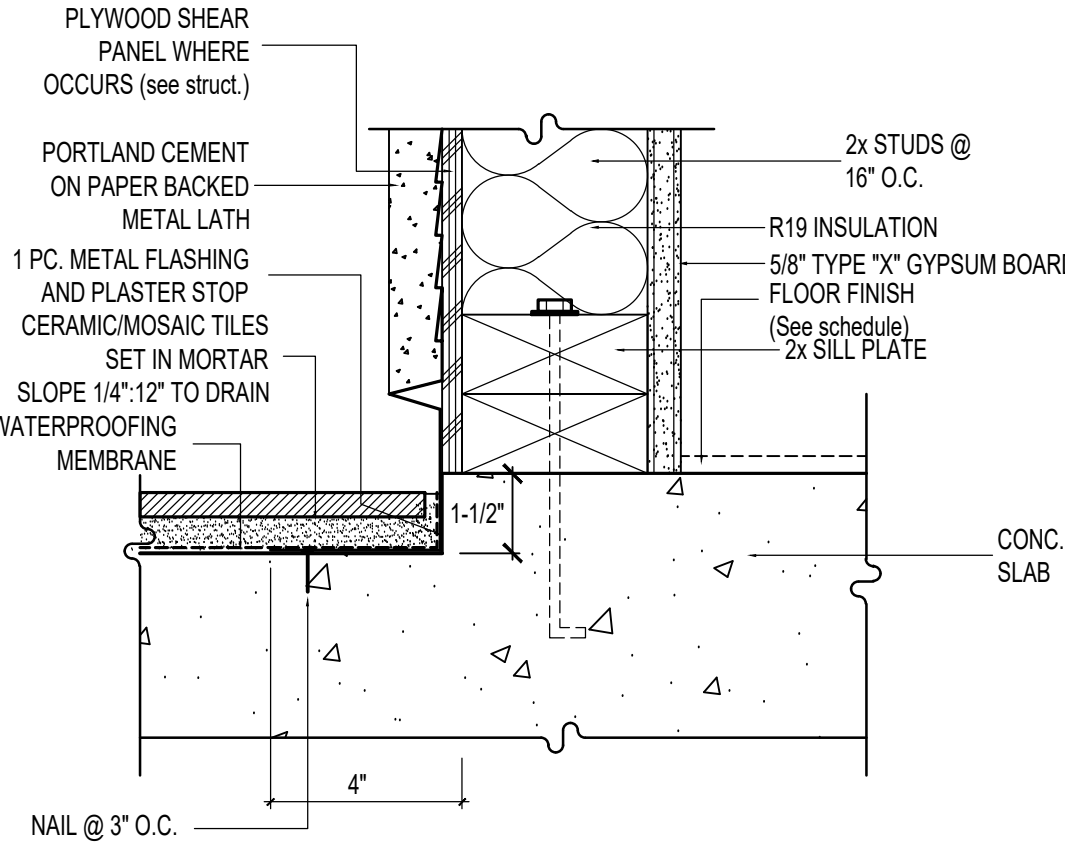
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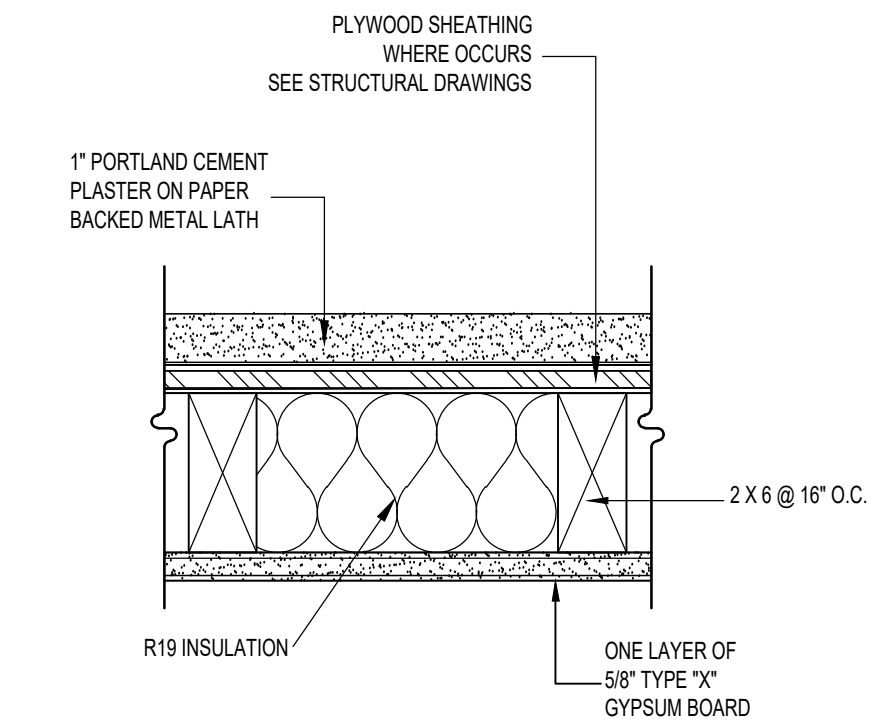


1 PROPOSED BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"

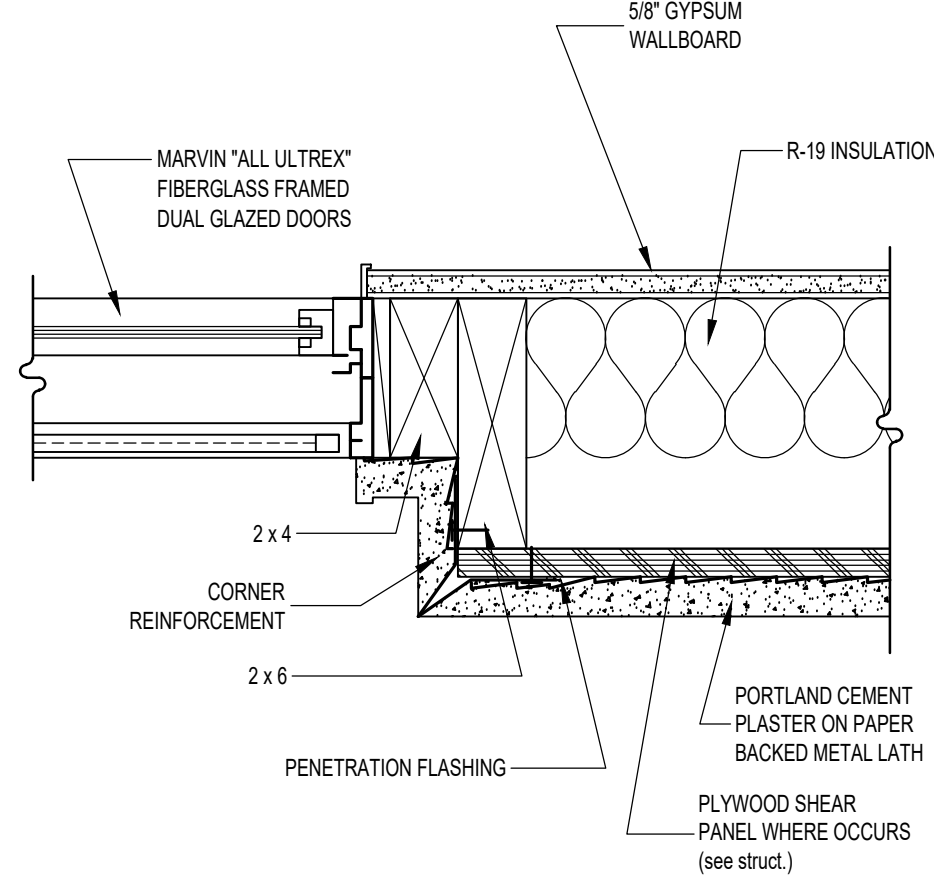
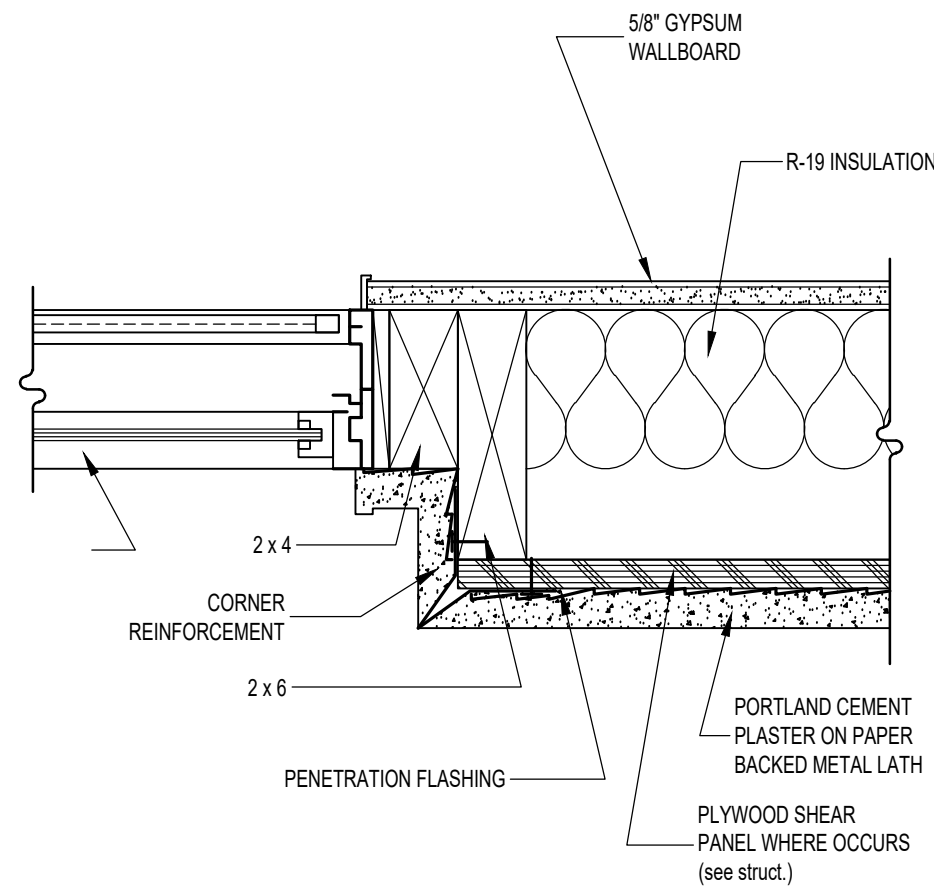


2 PROPOSED BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"

											
ROOF VALLEY		10	ROOF RIDGE		7	ROOF EAVE		4	ROOF MANSARD		1
											
		11			8	BALCONY/TERRACE		5			2
											
EXTERIOR STAIR		12	WEEP SCREED WITH CURB		9	CONCRETE SLAB DEPRESSION		6			3



TEST NUMBER = UL DES U303 STC = 50



1-HR RATED EXTERIOR WALL

10

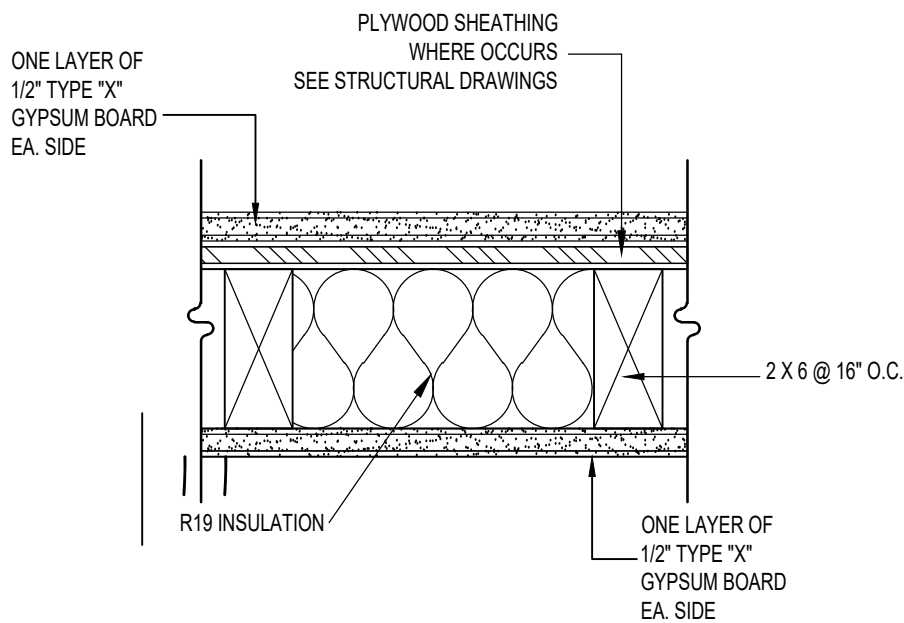
WINDOW JAMB

7

SLIDING GLASS DOOR JAMB

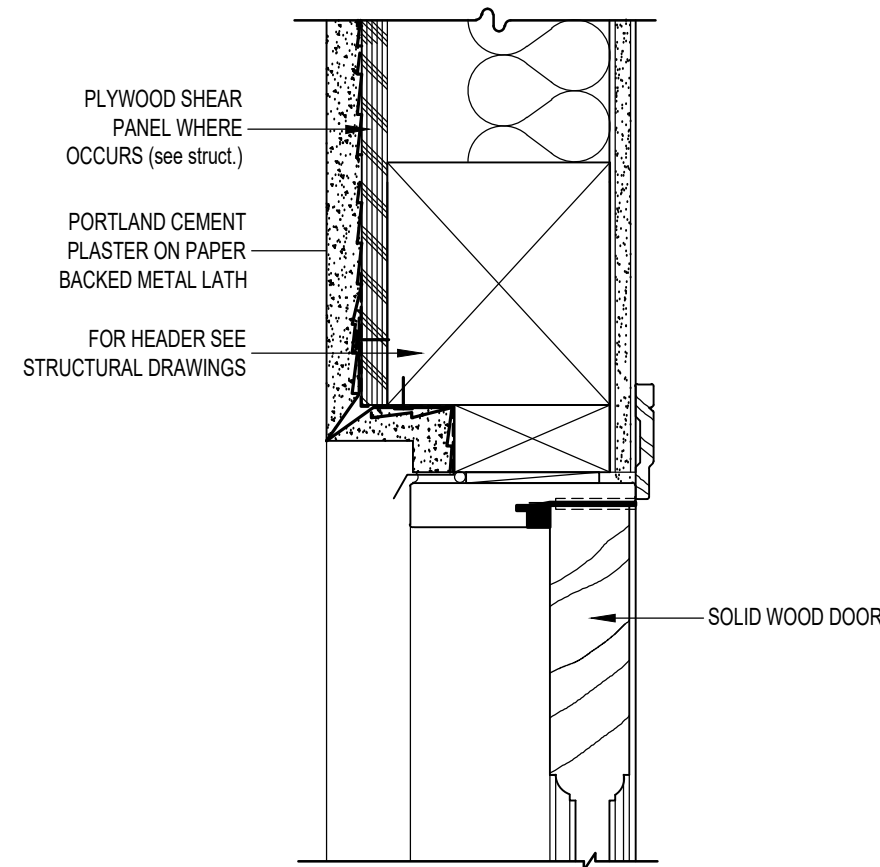
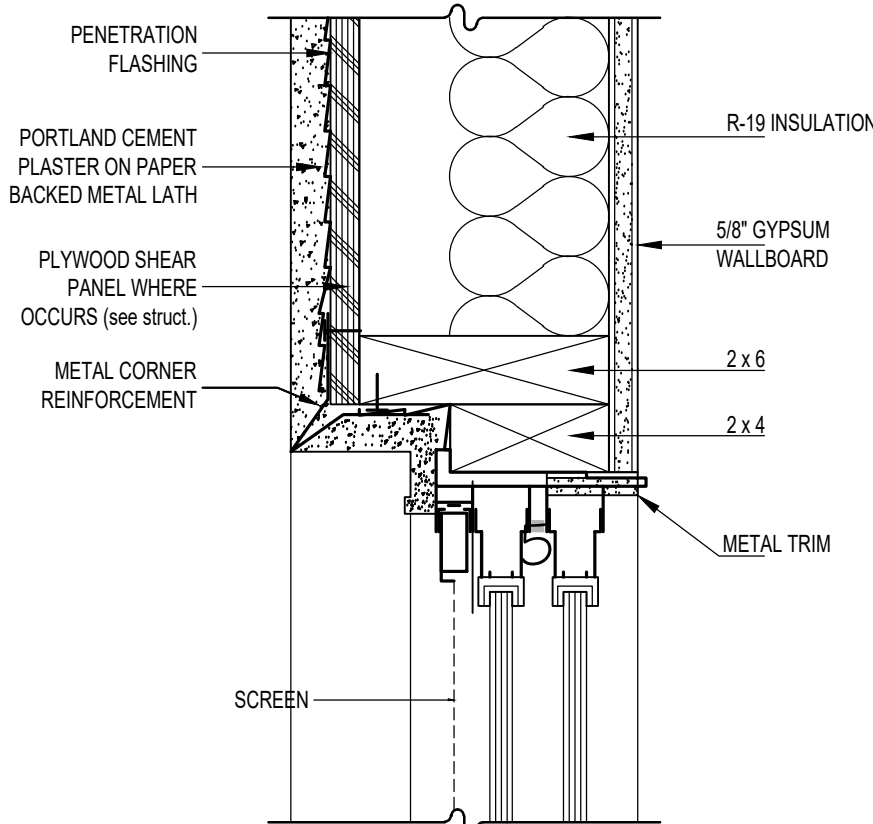
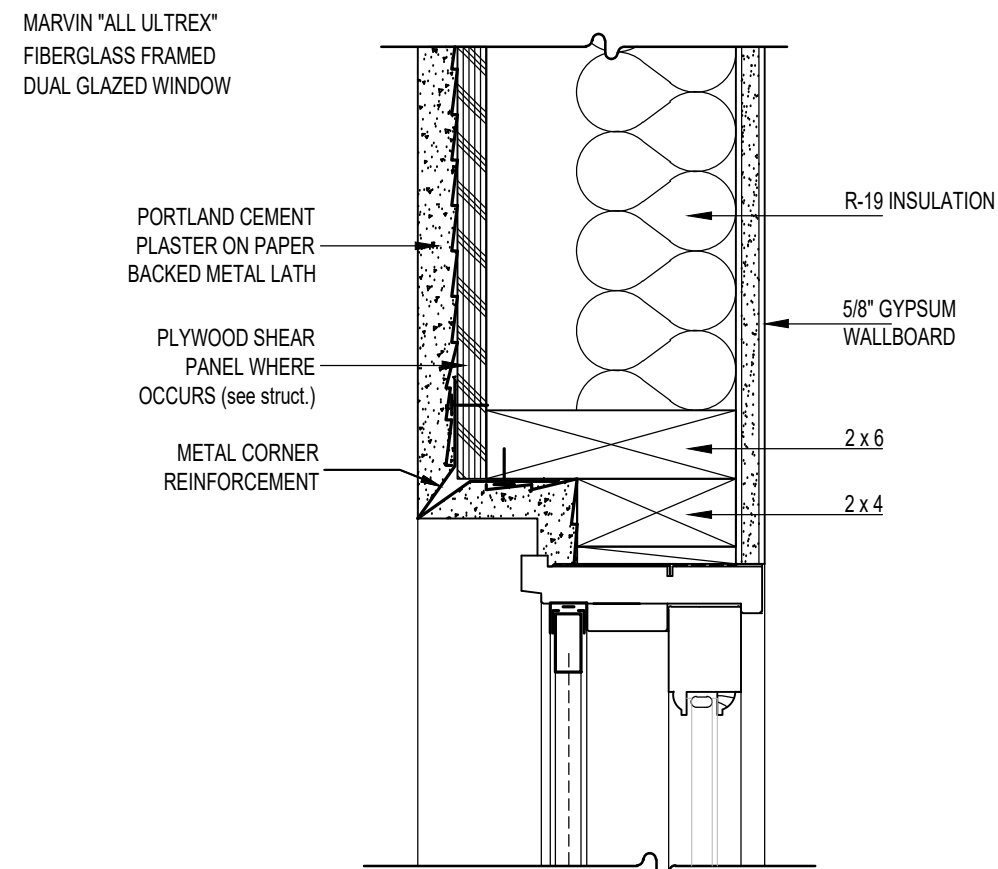
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1



GA FILE NO. WP 3239

STC = 50 -54



1-HR RATED INTERIOR WALL

11

WINDOW HEAD

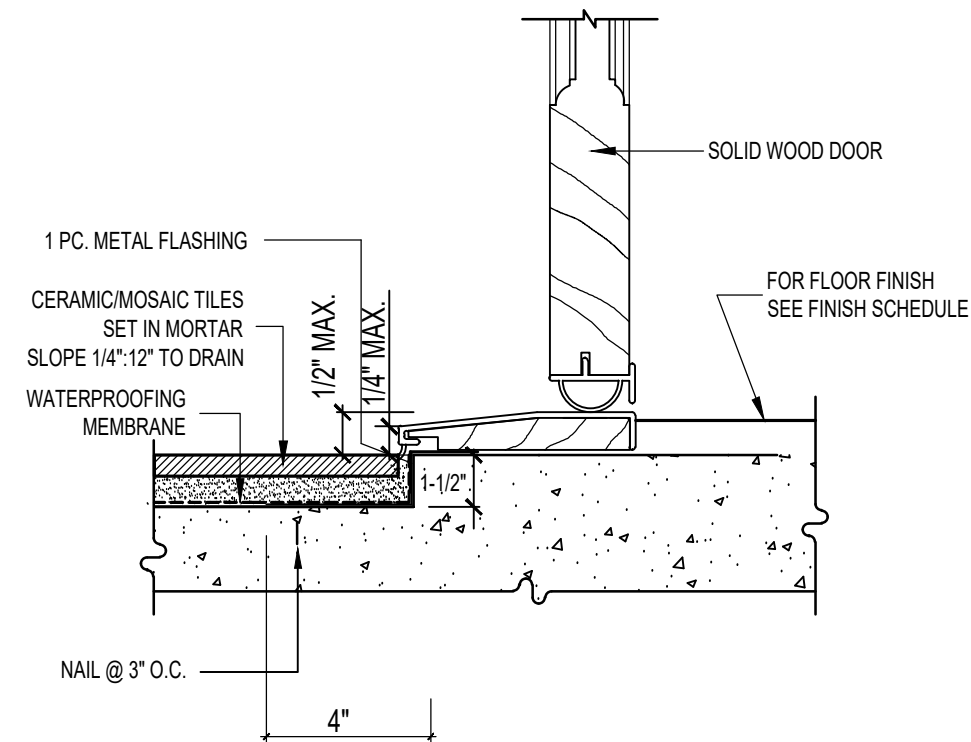
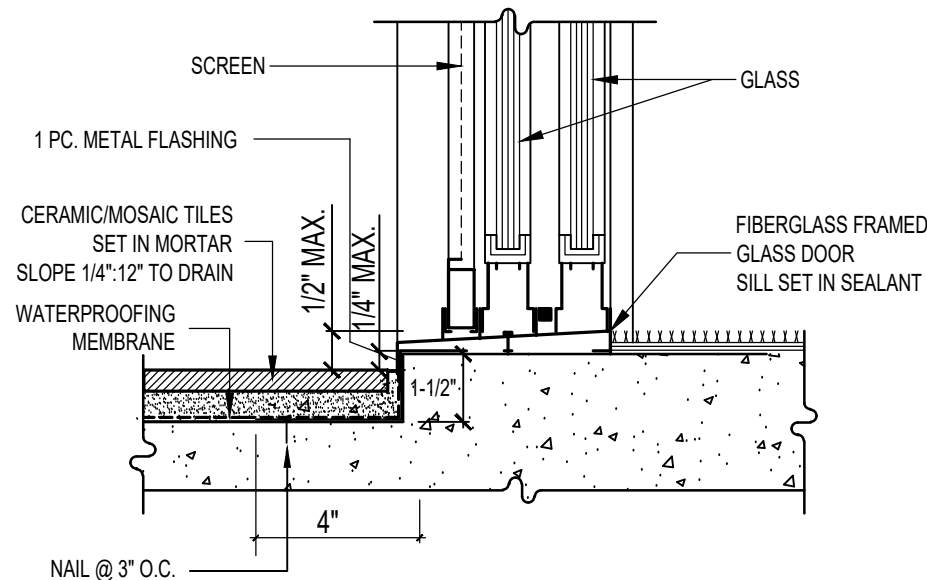
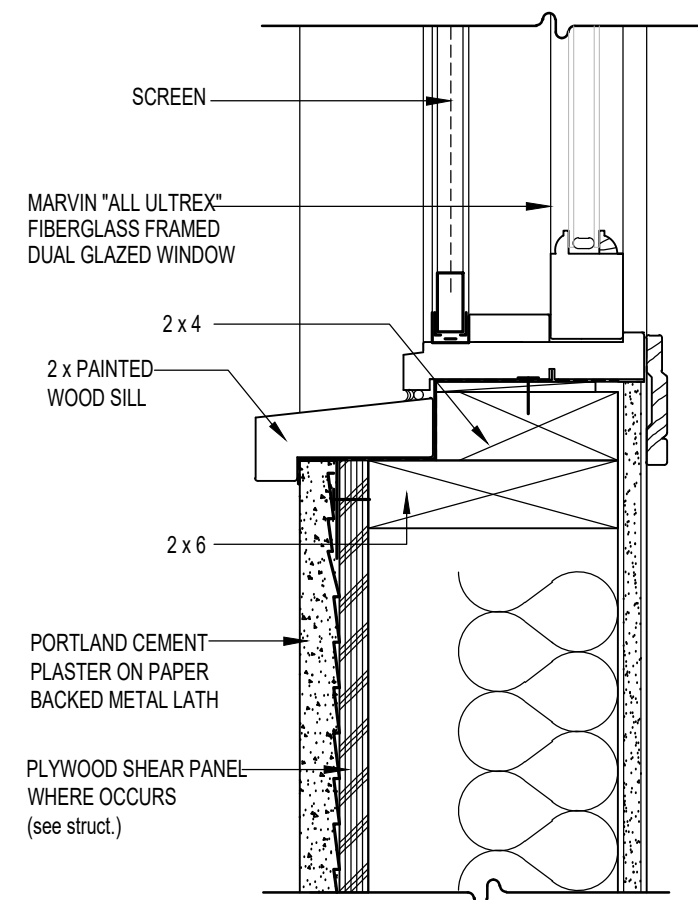
8

SLIDING GLASS DOOR HEAD

5

ENTRY DOOR HEAD

2



12

WINDOW SILL

9

SLIDING GLASS DOOR SILL

6

ENTRY DOOR THRESHOLD

3

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1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
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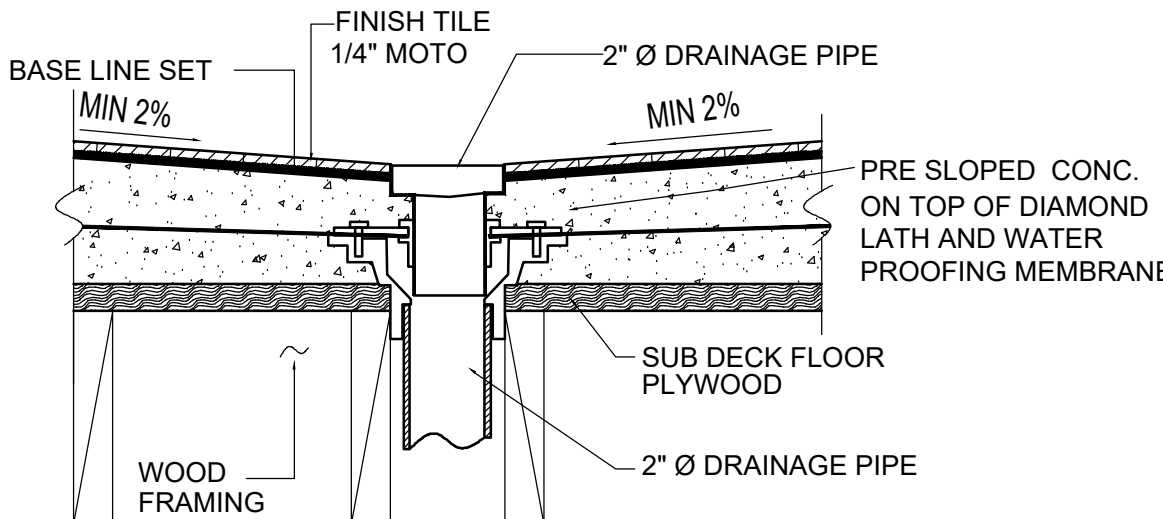
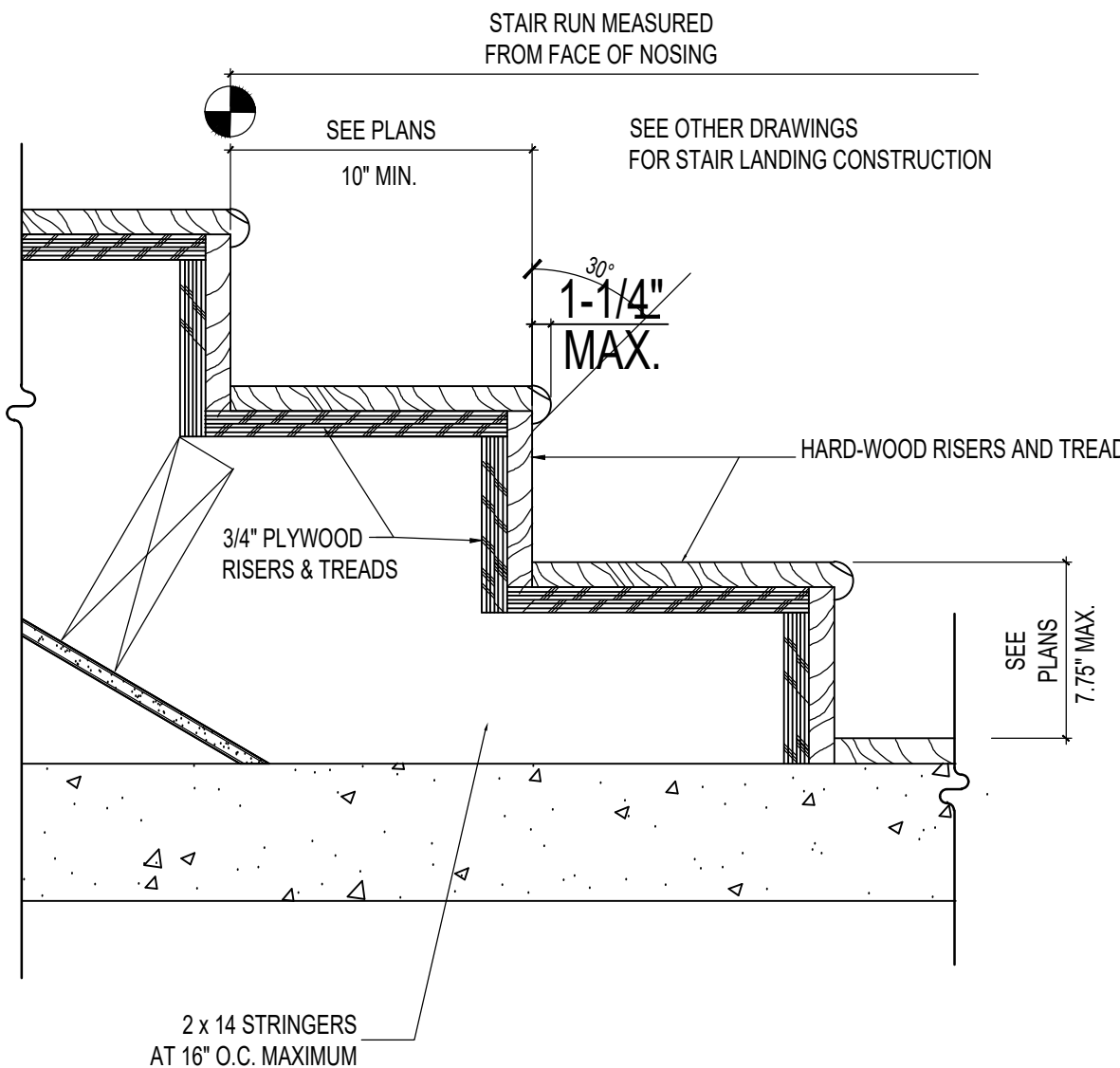
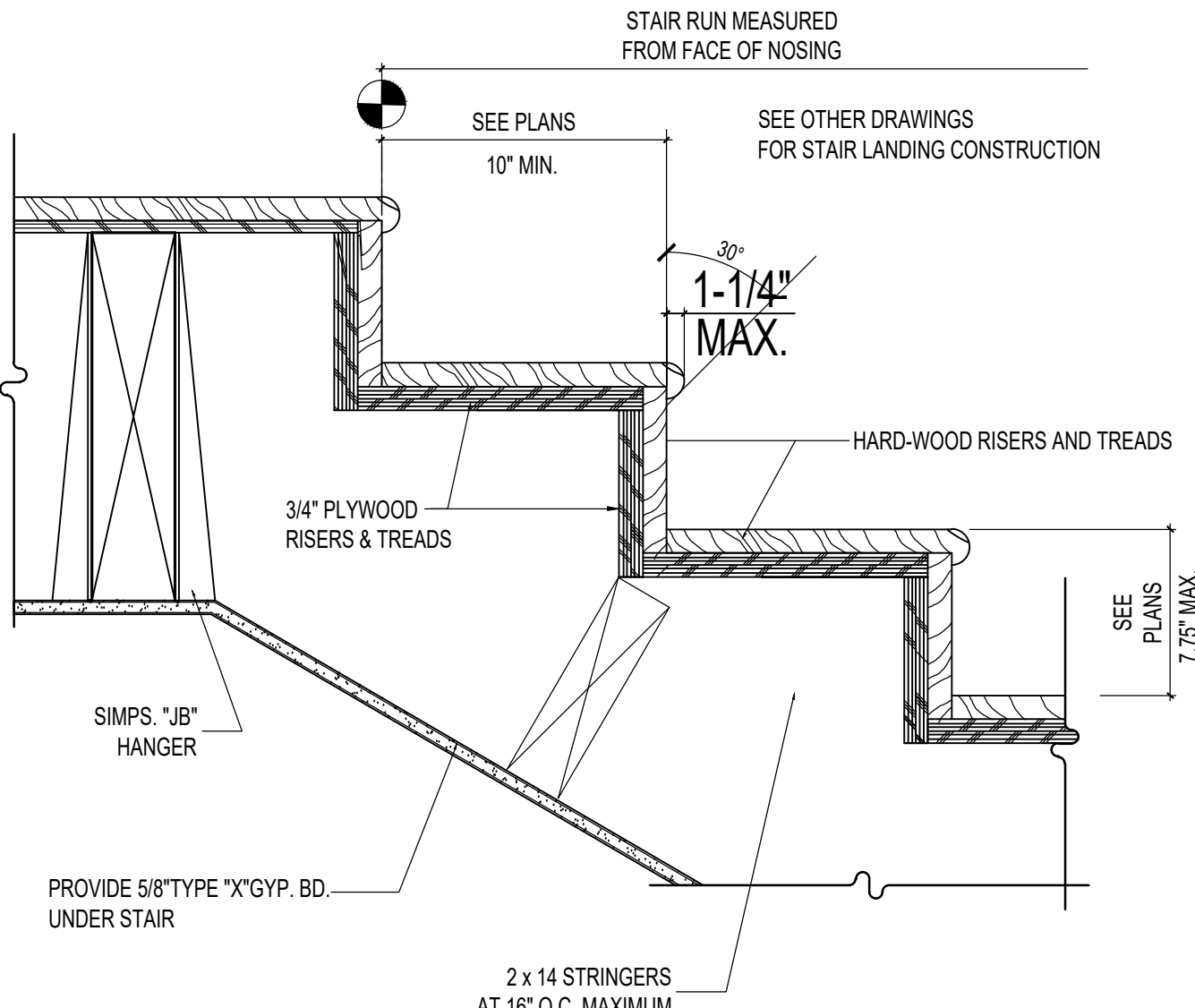
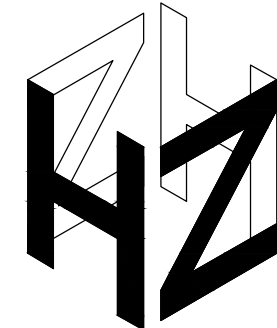
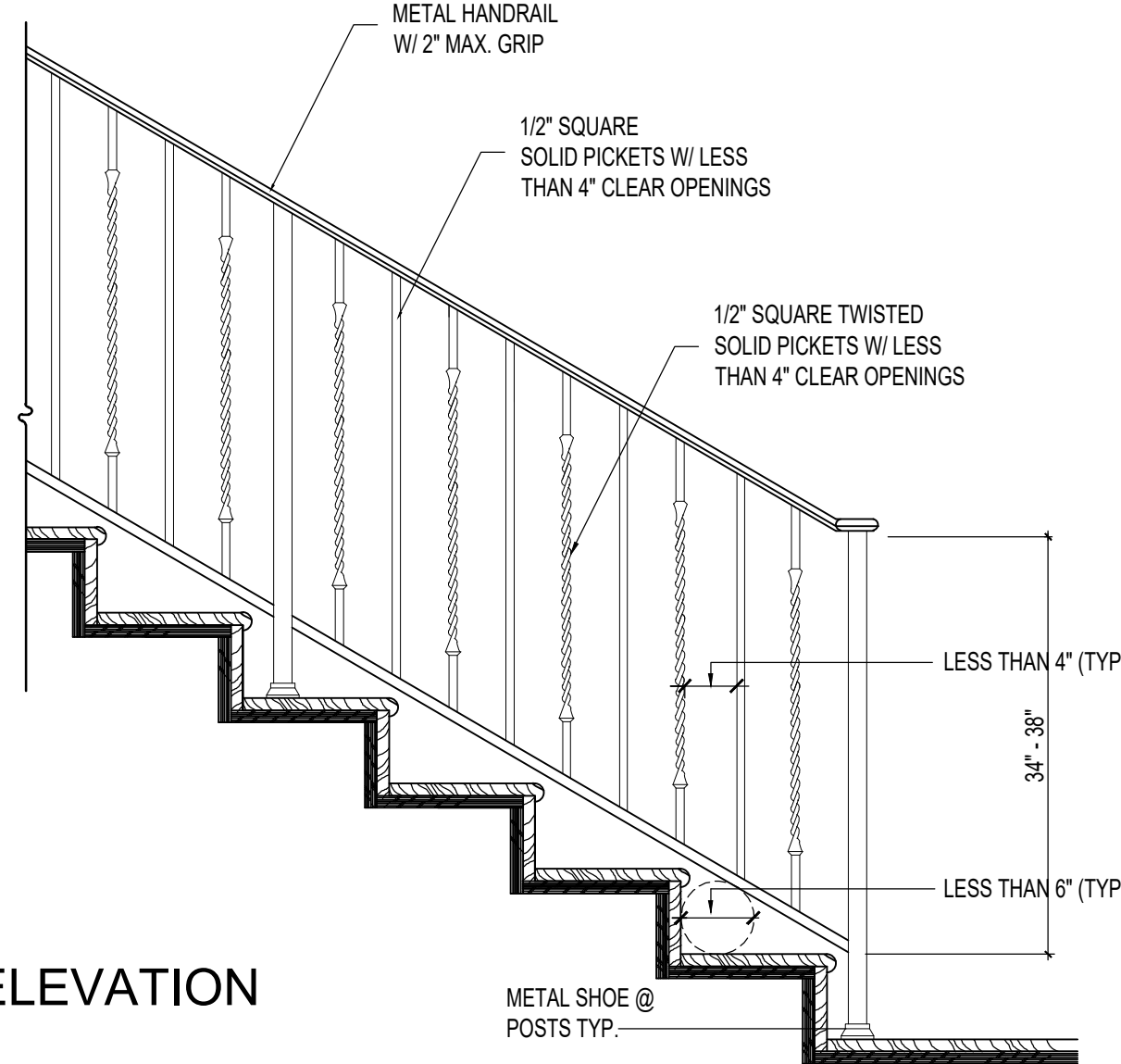
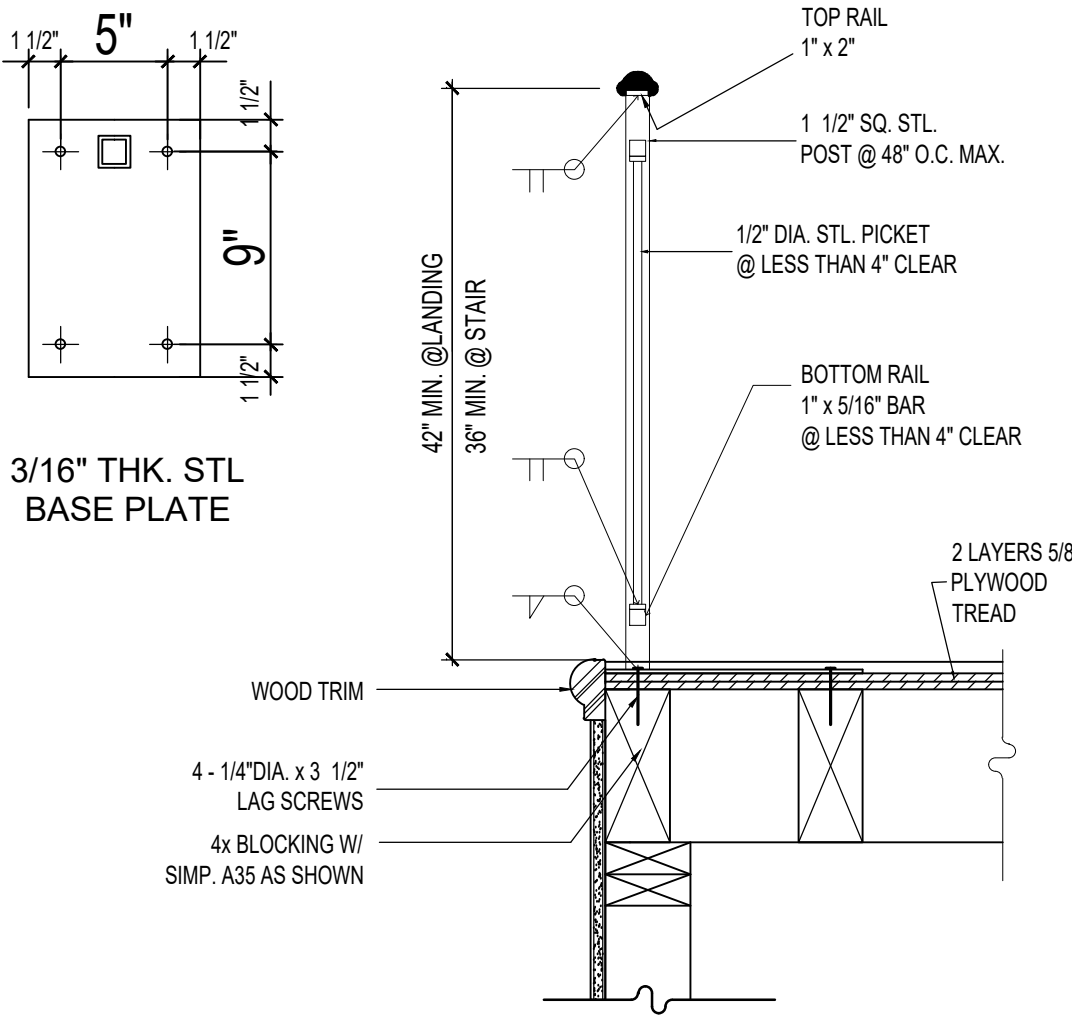
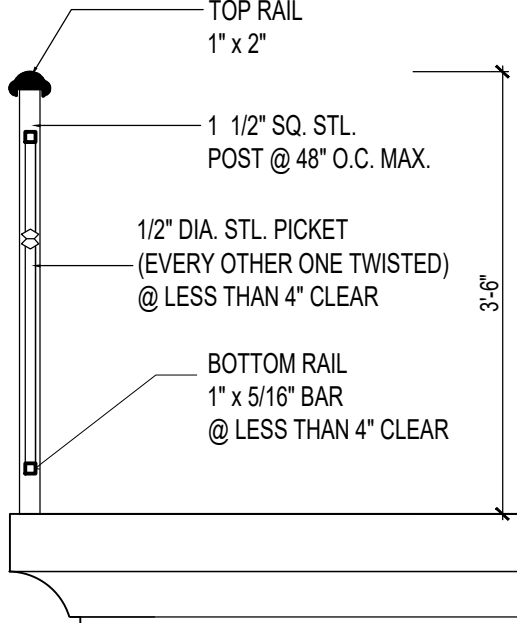
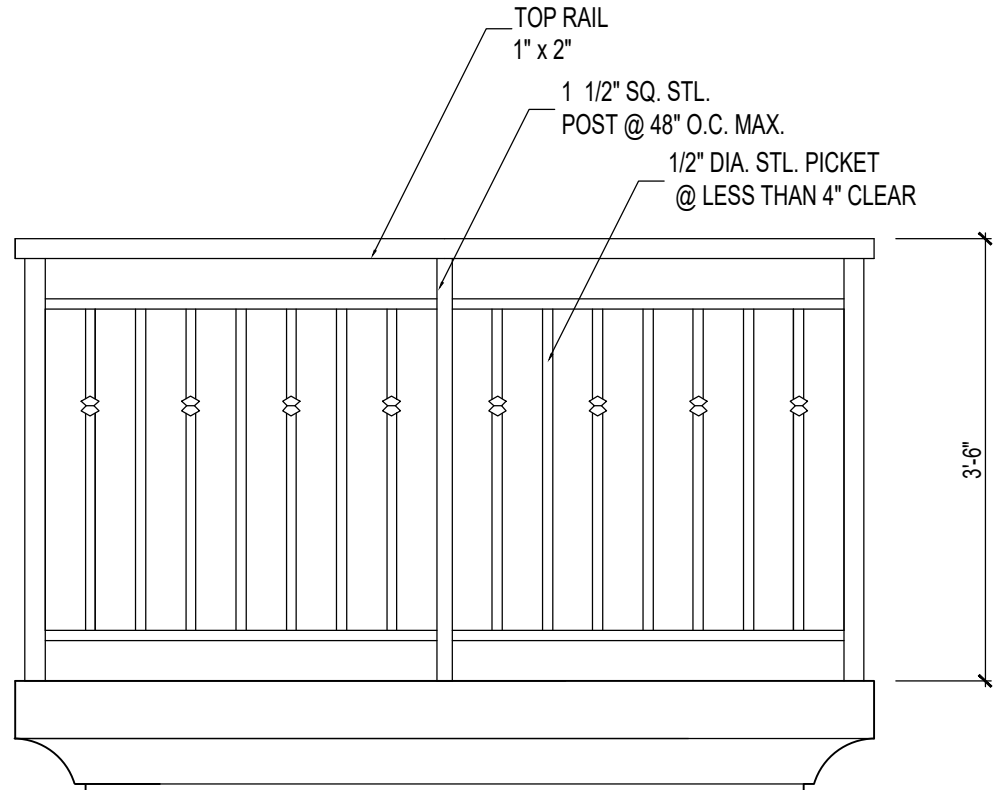
REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

DETAILS

DATE	07.25.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

A6.2

								<div><div><p>ARCHITECT INC.</p><p>Hamlet Zohrabians Architect, Inc. 3467 Ocean View Blvd, Suite B Glendale, California 91208</p><p>T +1 818.236.3619 hamlet@zohrabians.com</p><p>www.zohrabians.com</p></div><div>STAMP:</div><div><p>These drawings and specifications are the property and copyright of HAMLET ZOHRABIANS ARCHITECT INC., and shall not be used on any other work except by agreement with HAMLET ZOHRABIANS ARCHITECT INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of HAMLET ZOHRABIANS ARCHITECT INC. prior to the commencement of any work.</p><p>The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.</p></div><div>CLIENT:</div><div>Armen Orujyan 1342 Elm Ave. Glendale, Ca. 91201</div><div>PROJECT:</div><div>Orujyan Residence 1342 Elm Ave. Glendale, Ca. 91201</div><div>REVISIONS</div><table><thead><tr><th>DESCRIPTION</th><th>DATE</th><th>BY</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></tbody></table><div>SHEET TITLE:</div><div>DETAILS</div><table><tr><td>DATE</td><td>07.25.23</td></tr><tr><td>SCALE</td><td>N.T.S.</td></tr><tr><td>DRAWN BY</td><td>HZ</td></tr><tr><td>JOB NUMBER</td><td>110422</td></tr><tr><td>SHEET</td><td> </td></tr></table><div>A6.3</div></div>		DESCRIPTION	DATE	BY										DATE	07.25.23	SCALE	N.T.S.	DRAWN BY	HZ	JOB NUMBER	110422	SHEET	
DESCRIPTION	DATE	BY																													
DATE	07.25.23																														
SCALE	N.T.S.																														
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JOB NUMBER	110422																														
SHEET																															
	10	DECK DRAINAGE DETAIL	7	PRIVATE INTERIOR STAIR BOTTOM	4	PRIVATE INTERIOR STAIR TOP	1																								
				 <p>ELEVATION</p>		 <p>SECTION</p>																									
	11		8	PRIVATE INDIVIDUAL STAIR GUARDRAIL	5	INTERIOR GUARDRAIL	2																								
	12	TYPICAL BALCONY RAILING PROFILE			9	GUARDRAIL	3																								

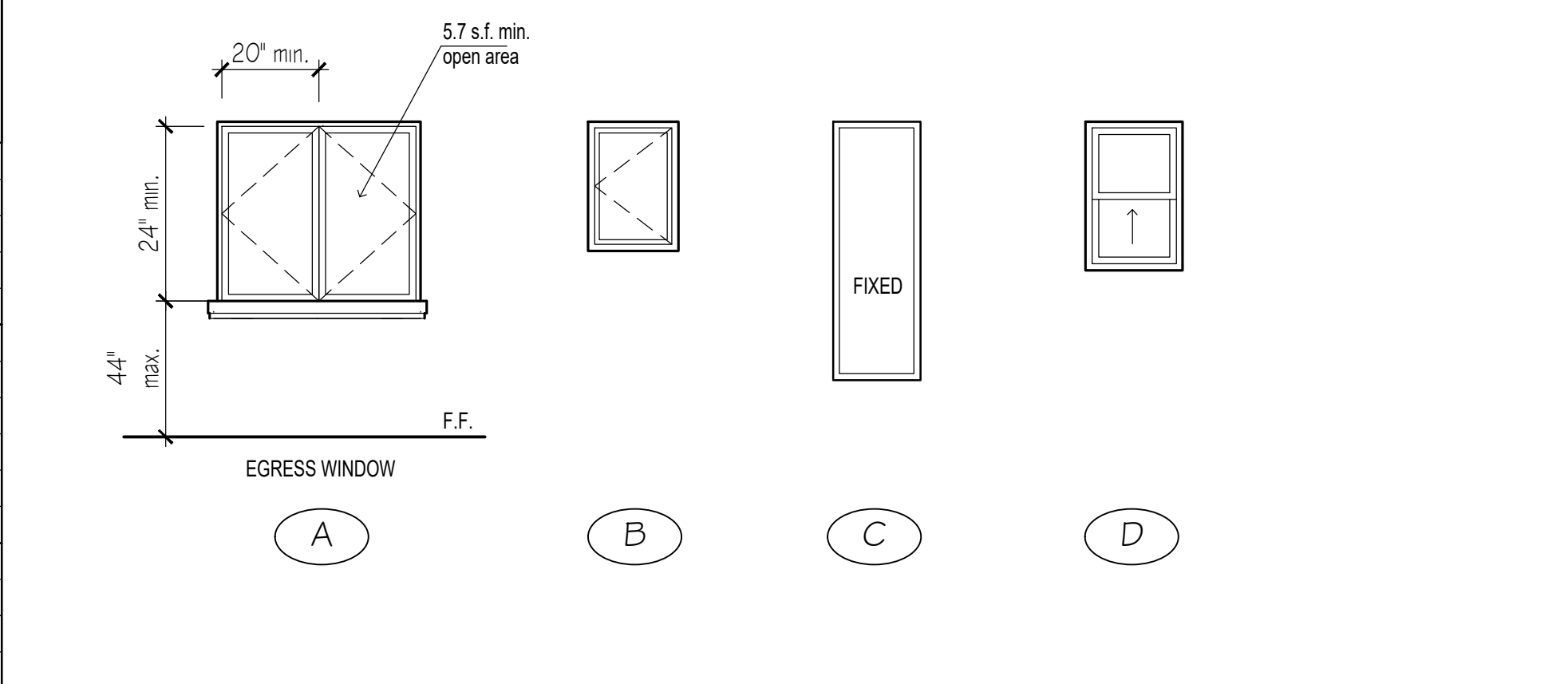
WINDOW SCHEDULE									
-----------------	--	--	--	--	--	--	--	--	--

	LEVEL	WINDOW				GLASS			FRAME				DETAILS			
		NO.	TYPE	QUNT.	WIDTH	HT	TYPE	COATING	THICKNESS	INSTALL	MATERIAL	FINISH	COLOR	HEAD	JAMB	SILL
HOUSE	FIRST FLOOR	101	A	1	5'-0"	5'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE			
		102	B	1	2'-0"	3'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE			
		103	C	6	2'-6"	6'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE			
	SECOND FLOOR	201	C	2	2'-6"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE			
		202	A	2	5'-0"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE			
		203	B	4	2'-0"	3'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE			
		204	A	1	5'-0"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE			
ADU	201	A	2	5'-0"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				
	202	C	1	1'-6"	2'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				
	203	B	5	2'-0"	3'-0"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				
	204	A	1	5'-4"	4'-6"	TEMPERED	CLEAR	DUAL 1/8"	NAIL-IN	FIBER GLASS	MFR.	DARK BRONZE				

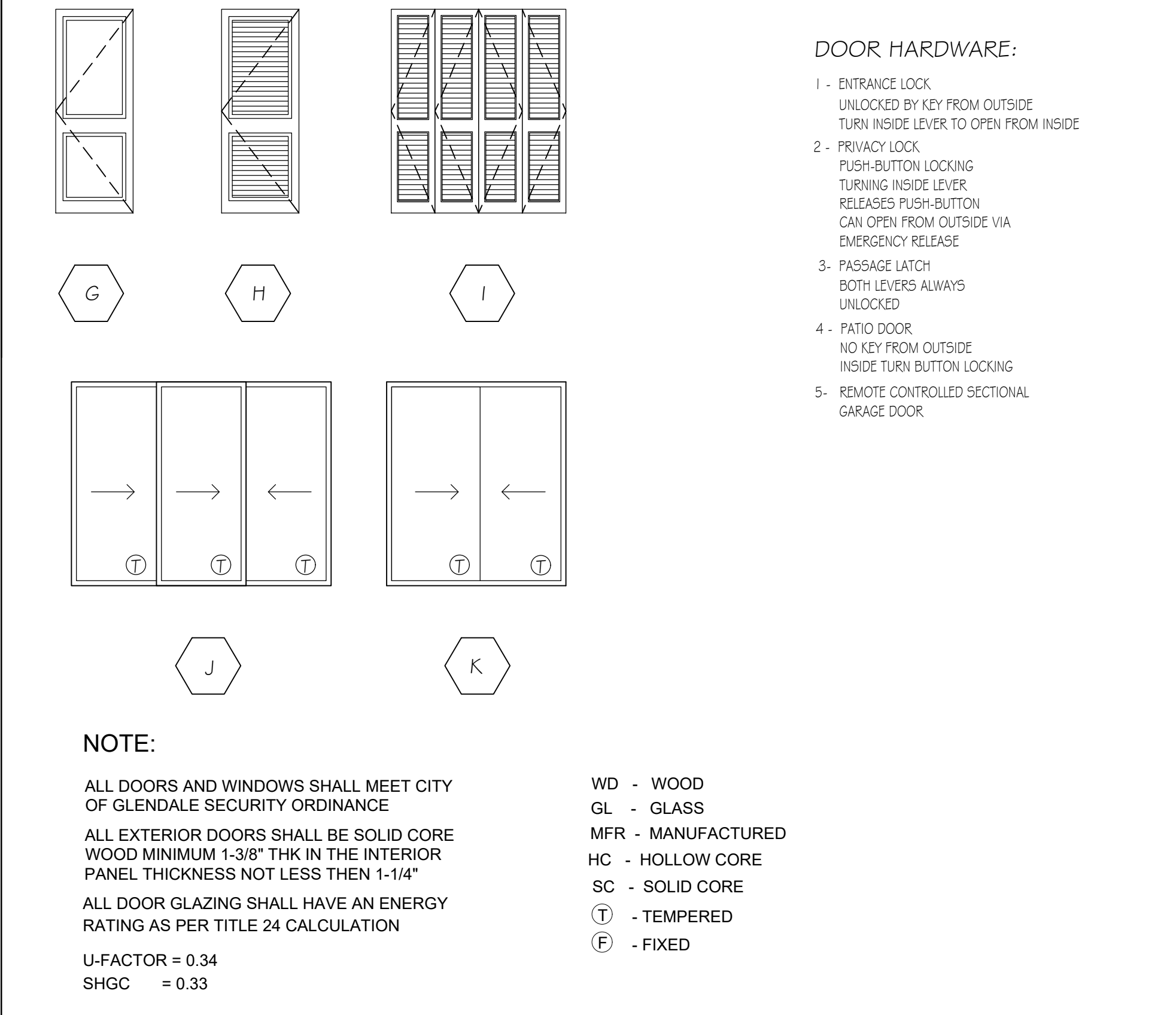
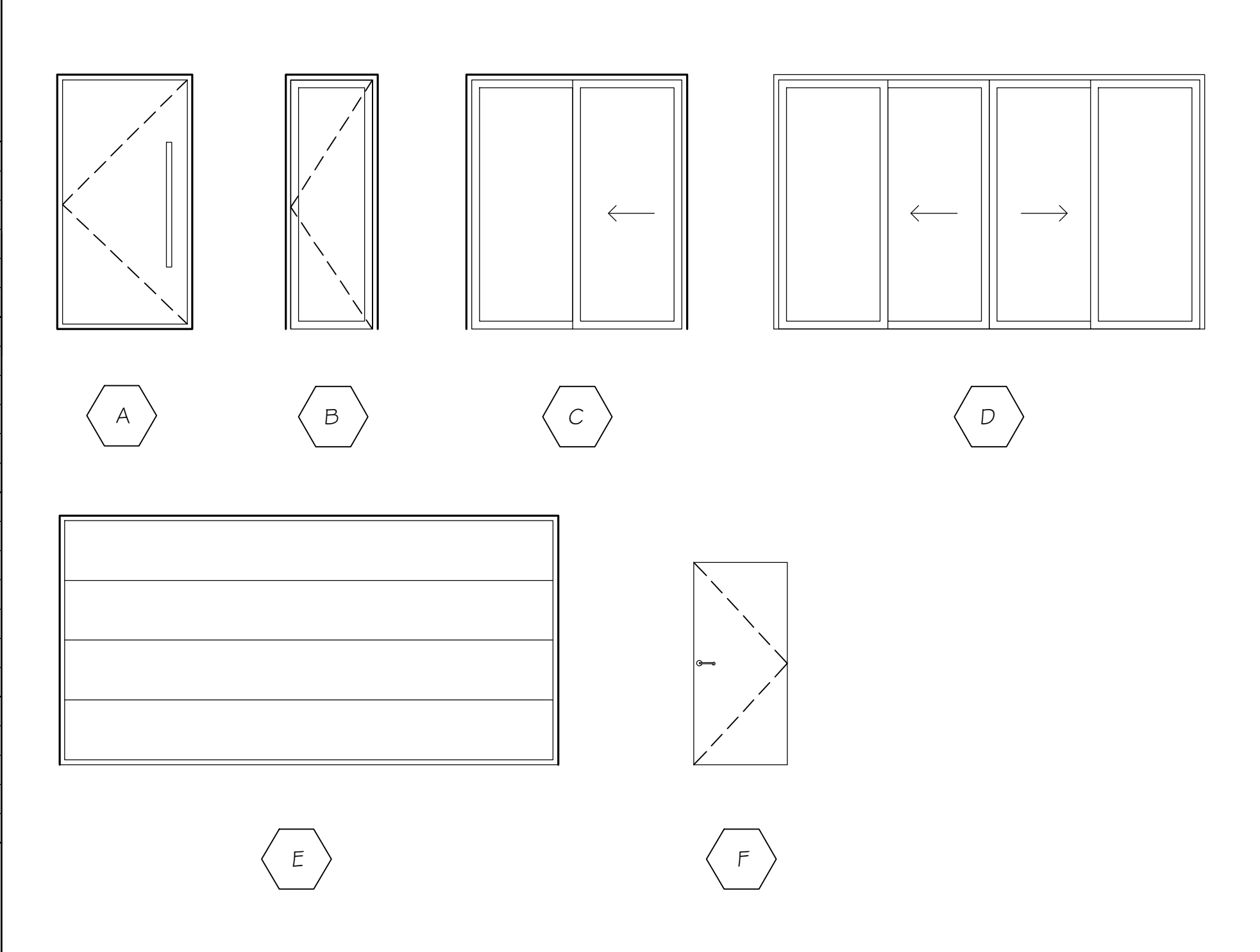
DOOR SCHEDULE

[illegible]

WINDOW TYPES



DOOR TYPES



ALL DOORS AND WINDOWS SHALL MEET CITY
OF GLENDALE SECURITY ORDINANCE

ALL EXTERIOR DOORS SHALL BE SOLID CORE
WOOD MINIMUM 1-3/8" THK IN THE INTERIOR
PANEL THICKNESS NOT LESS THEN 1-1/4"

ALL DOOR GLAZING SHALL HAVE AN ENERGY
RATING AS PER TITLE 24 CALCULATION

U-FACTOR = 0.34
SHGC = 0.33

WD - WOOD
GL - GLASS
MFR - MANUFACTURED
HC - HOLLOW CORE
SC - SOLID CORE
(T) - TEMPERED
(F) - FIXED



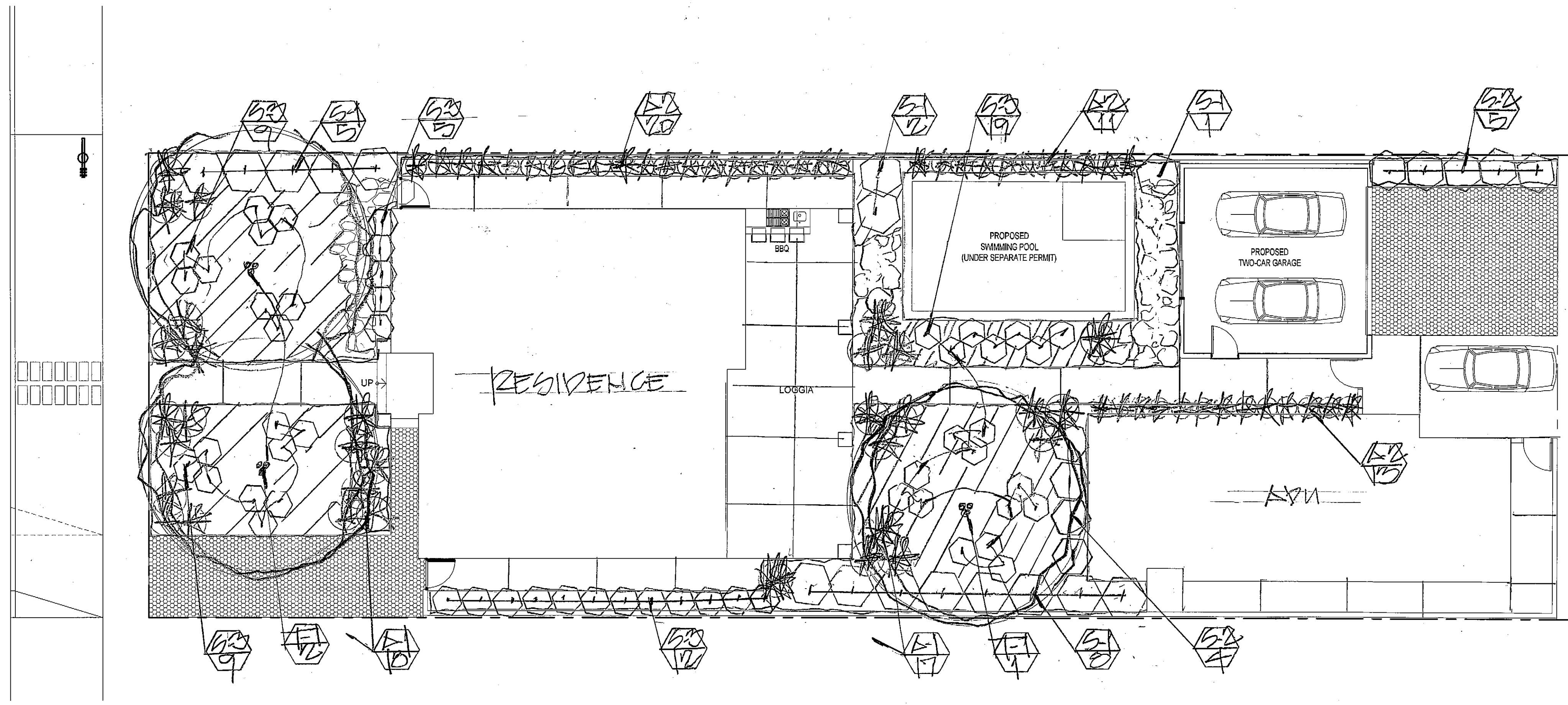
CLIENT:
Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS		
DESCRIPTION	DATE	BY

DATE	07.25.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	110422
SHEET	

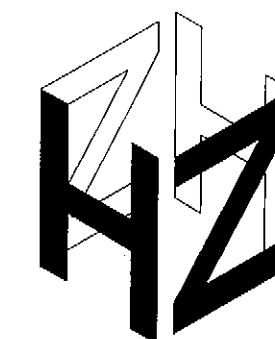
A7

ELM AVE.



ALLEY

SCALE: 1/8" = 1'-0"



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
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www.zohrabians.com

STAMP:

These drawings and specifications are the property and copyright of HAMLET ZOHABIAN ARCHITECT INC., and shall not be used on any other work except by agreement with HAMLET ZOHABIAN ARCHITECT INC. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of HAMLET ZOHABIAN ARCHITECT INC. prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:

Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

DATE	1-18-24
SCALE	1/8" = 1'-0"
DRAWN BY	LGT
JOB NUMBER	110422
SHEET	L-1

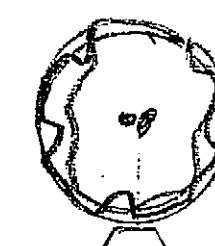
WATER USAGE/WINDS PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
LW T-1	OLEA EUROPAE 'SMITH HILL'	FRUITLESS OLIVE	24"X8"	3	-
LW S-1	DOVONIAE VISCOSA	HOPSEY BUSH	56X	10	5'0.0.
LW S-2	ALOYNE HUEGELI	BLUE HIBISCUS	56X	9	4'0.0.
LW S-3	LOVE 'BLUE FLAME'	BLUE FLAME CANE	56X	49	3'0.0.
LW A-1	DIETES BICOLOR	FOXTAIL LILY	56X	35	2'0.0.
LW A-2	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	56X	44	"
LW	GROUND COVER = SENECIO SERPENS	BLUE SENECIO	FLATS	AS NEEDED	12'0.0.

LW = LOW WATER USAGE/ P.F. 3

LANDSCAPE AREA = 2,154 SQ. FT.

LEGEND



PROPOSED TREE



PROPOSED SHRUB



PROPOSED ACCENT



PROPOSED GROUNDCOVER



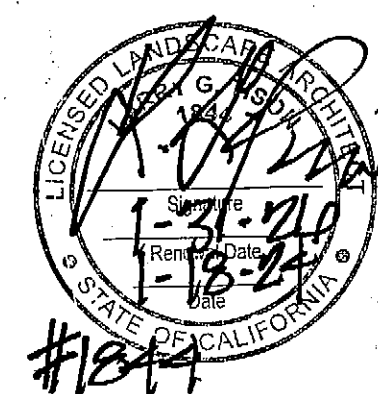
PLANT SYMBOL
QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

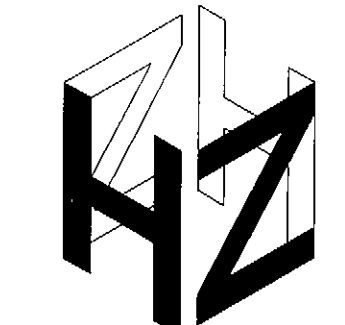
MELLO COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
818-241-9169

SCALE: 1/8" = 1'-0"



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CLIENT:
Armen Orujyan
1342 Elm Ave.
Glendale, Ca. 91201

PROJECT:
Orujyan Residence
1342 Elm Ave.
Glendale, Ca. 91201

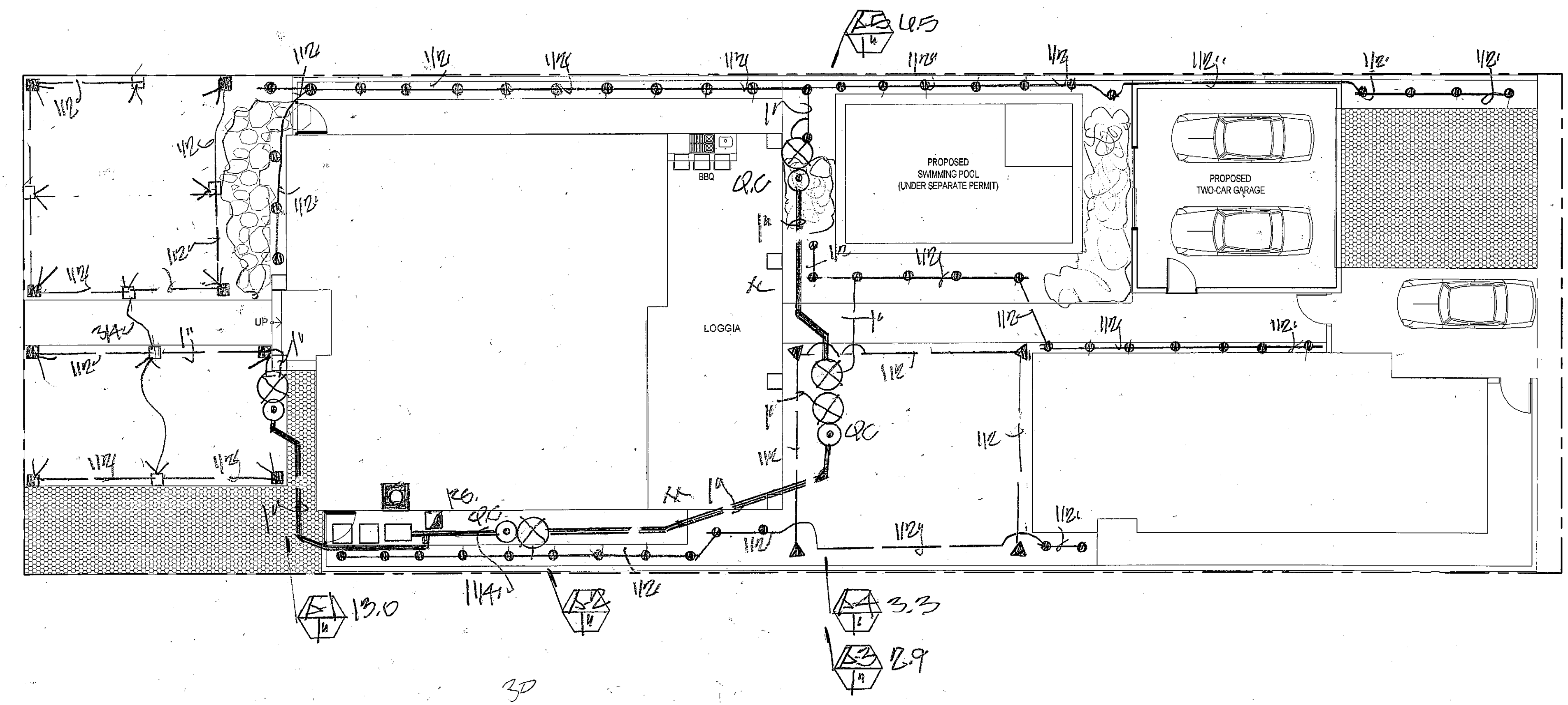
REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

DATE	1-18-24
SCALE	1/8" = 1'-0"
DRAWN BY	LEA
JOB NUMBER	110422
SHEET	L-2

ELM AVE.

ALLEY



Reference Evapotranspiration (ET_o) 149.7

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method ^a	Irrigation Efficiency (IE) ^b	ETAF (PFIE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1-1/4" SH	3	S	.75	.4	904	361.6	8,714
1-1/2" SH	3	S	.81	.37	1,476	551.8	1,475
1-3/4" SH	3	S	.75	.4	550	217.5	5,960
2-1/4" SH	3	B	.81	.37	130	48.6	1,305
2-3/4" SH	3	B	.81	.37	130	48.6	1,305
POOL	1.0	-	-	1.0	2,002	2,002	5,125
Totals					(A)	(B)	28,193
Special Landscape Areas							
Totals					(C)	(D)	28,193
ETWU Total							28,193
Maximum Allowed Water Allowance (MAWA)							32,098

^aHydrozone #/Planting Description E.g.
1. front lawn
2. low water use plantings
3. medium water use plantings
^bIrrigation Method
conventional spray
or drip
(B) = BUBBLER
^cETAF (Annual Gallons Required) = ET_o x [0.62] x [ETAF x IA] + [(1-ETAF) x SLA]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, IA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

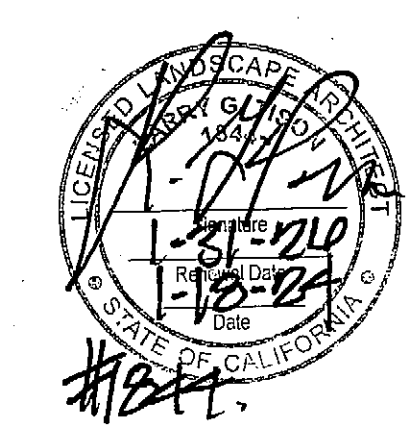
LEGEND

- WEATHER BASED CONTROLLER (RAINBIRD ESP-LINE 8 STATION)
- RAIN SENSOR (RAINBIRD RSD-BEX)
- BACKFLOW PREVENTER (FESCO 825-Y-1 1/2")
- QUICK-COUPLER (RAINBIRD 44LC)
- VALVE (RAINBIRD PEB SERIES)
- VALVE NO. / GPM
VALVE SIZE
- LATERAL LINE / SCHED 40 PVC
- MAINLINE / SCHED 40 PVC
- SHUT-OFF VALVE
- IRRIGATION METER

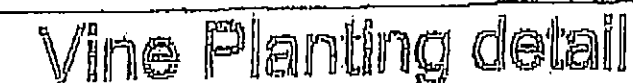
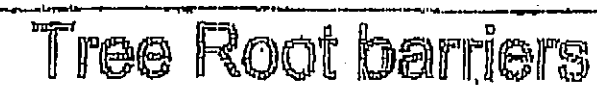
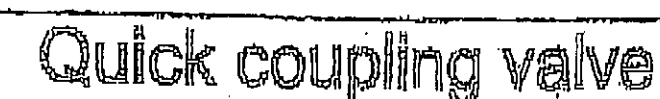
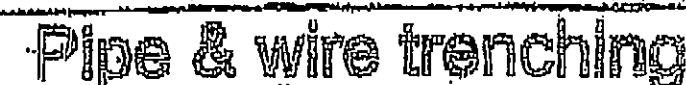
CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.
MANUAL SHUT-OFF VALVES SHALL BE REQUIRED; AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY. TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.
PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
A DIAGRAM OF THE IRRIGATION PLAN; SHOWING HYDROZONES SHALL BE KEPT WITHIN THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS; IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
AT THE TIME OF THE FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

(43.7)(12.62)(.55)(2,154 ft) = 0
MAWA = 32,098 GPM
ETWU = 28,193 GPM

IRRIGATION PLAN

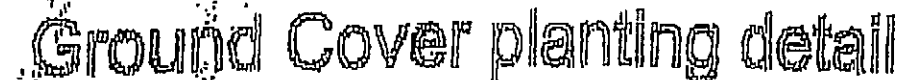
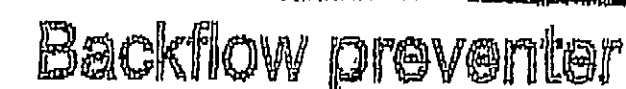
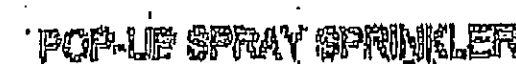


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LANDSCAPE ARCHITECTURE
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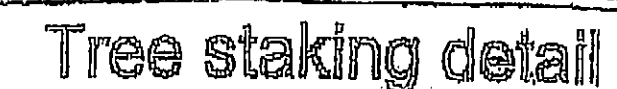
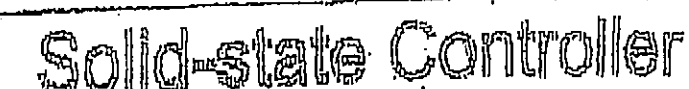
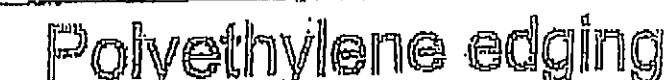
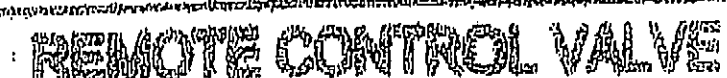
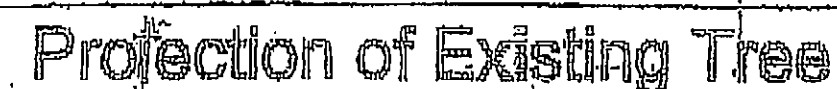
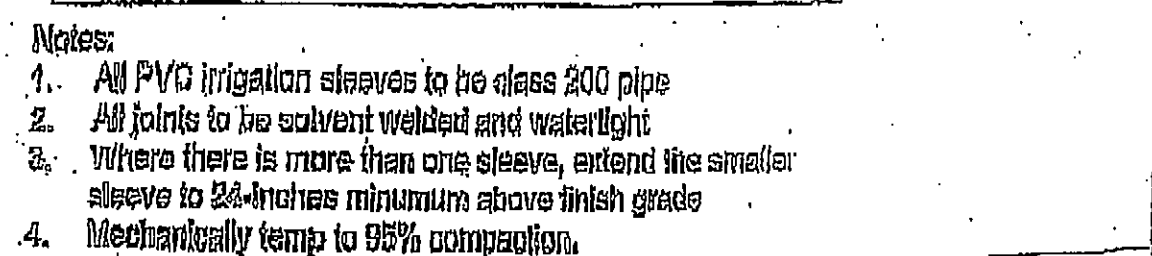
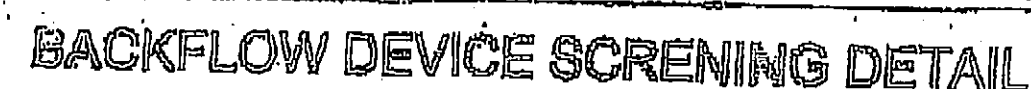


- ## Landscape Notes

Soil characteristics



- ## Irrigation notes



LANDSCAPE DETAIL & SPECIFICATION PLAN

