



Attachment # 3

DESIGN REVIEW BOARD RECORD OF DECISION

Meeting Date August 22, 2024 **DRB Case No.** PDR-002779-2024

Address 652 Robin Glen Drive

Applicant Suro Barchyan

Project Summary:

To demolish an existing two-story, 3,391 square-foot single-family residence (built in 1977) along with all accessory buildings and structures; and to construct a new 9,906 square-foot, two-story single-family residence, a new detached five-car garage, and a new infinity pool deck and pool cabana on an approximately 99,000 square-foot hillside site with an average current slope of 50 to 60 percent, located in the ROS-III zone (Residential Open Space - Floor Area Ratio District III).

Design Review:

Board Member	Motion	Second	Yes	No	Absent	Abstain
Lockareff			X			
Kaskanian	X		X			
Simonian		X	X			
Tchaghayan					X	
Welch					X	
Totals			3	0	2	
DRB Decision		Return for Redesign				

Conditions:

1. Reduce the proposed floor to ceiling height at the first and second floor; and lower the heights of the garage and pool cabana to provide better proportions and avoid the sense of monumentality as well as minimize the visual impact.
2. Redesign the facades that are visible from the street, particularly the east façade, to reduce the boxy appearance and monumentality of the house by stepping back the

second floor to follow the site topography, providing more articulations, using various roof heights and types, and incorporating a variation of materials/colors.

3. Revise the colors of the proposed exterior wall finishes to provide a distinct color palette.
4. Eliminate the balcony next to bedroom 5 (east side) to avoid potential privacy conflicts with the neighboring properties to the east.
5. Relocate the outdoor kitchen (BBQ counter) and HVAC condensers to the west side of the house.
6. Redesign the deck area and retaining walls on the west side to meet the zoning code height restriction.
7. Redesign the proposed retaining wall on the east side of the new house with the project's civil engineer to study the soil condition to avoid potential runoff.
8. Revise the landscape plan to replace the proposed shrubs on the east side of the house with drought-tolerant hedges or trees that will grow tall to provide privacy buffer.
9. Revise the proposed material for the windows to meet Building and Safety code (Title 24) requirements.

DRB Staff Member Aileen Babakhani, Senior Planner

Notes:

All resubmittals require a DRB application and fee payment. According to Section GMC 30.47.075, projects submitted after **180 days** following the DRB's decision date are to be considered as new projects and must submit a new DRB application and all corresponding materials, including new mailing list and labels.



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – HILLSIDE SINGLE FAMILY

August 22, 2024

Hearing Date

652 Robin Glen Drive

Address

Design Review Board (DRB)

Review Type

5630-009-017 and 5630-009-014

APN

PDR-002779-2024

Case Number

Suro Barchyan

Applicant

Aileen Babakhani

Case Planner

Alen Petrosyan

Owner

Project Summary

The applicant is proposing to demolish an existing two-story, 3,391 square-foot single-family residence (built in 1977) along with all accessory buildings and structures; and to construct a new 9,906 square-foot, two-story single-family residence, a new detached five-car garage, and a new infinity pool deck and pool cabana on an approximately 99,000 square-foot hillside site with an average current slope of 50 to 60 percent, located in the ROS-III zone (Residential Open Space - Floor Area Ratio District III).

Environmental Review

The project is exempt from CEQA review as a Class 3 "New Construction or Conversion of Small Structures" exemption pursuant to Section 15303 (a) and 15303 (e) of the State CEQA Guidelines, because the project is proposing to build one single-family residence and accessory (appurtenant) structures.

Existing Property/Background

The project site is an irregularly shaped, interior lot with an upsloping topography that consists of two adjoining lots, totaling approximately 99,000 square feet with an average current slope of 50 to 60 percent (according to the City Records). The site was originally developed in 1977 with an existing 3,391 square-foot, two-story single-family residence which is located on the southeast portion of the site. The current development features an attached three-car garage, a detached tennis court with an attached game room underneath located to the north side of the house, and a pool deck at the rear of the house. All existing buildings and associated structures are proposed to be demolished. The site contains one protected Oak tree (eight inches in trunk diameter), which is proposed to remain. As proposed, the project will involve an approximately 3,000 cubic yards of grading and a total of 69 percent of the site will remain as ungraded open space.

Research and analysis conducted by preservation staff finds that the property is not eligible for historic designation at the federal, state, or local level and is therefore not considered a historic resource under the California Environmental Quality Act (CEQA).

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: ROS FAR District: III

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

50% or greater average current slope. The project will involve an approximately 3,000 cubic yards grading (export).

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	15,782 sq.ft.	7,8776 sq.ft. to 66,528 sq.ft.	99,000 sq.ft.
Setback	15 ft.	3 ft. to 50 ft.	39.5 ft.
House size	3,214 sq.ft.	1,668 sq.ft. to 4,464 sq.ft.	9,906 sq.ft.
Floor Area Ratio	0.26	0.1 to 0.39	0.10
Number of stories	1 to 2 stories (31% of homes are two-story)	1 to 2-stories	2-stories

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography
- ☐ Alteration of landform minimized

Yards and Usable Open Space

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Avoid altering landform to create flat yards
- ☐ Outdoor areas integrated into open space
- ☐ Use of retaining walls minimized
- ☐ Provide landscaping to reduce visual impact of retaining walls
- ☐ Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consistent with predominant pattern on street
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Complementary to building design and surrounding site
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

Walls and Fences

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located
- ☐ Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed site planning will not alter the existing site planning significantly because the new house and its associated accessory buildings and structures will mostly be sited on the existing flat portions of the site, which had been previously graded in 1977 and 1984. The proposed development meets the required setbacks.
- The new two-story house will be built on the existing flat pad of the existing house, while the new house will be moved toward the north side of the site by approximately 30 feet. The proposed detached garage will replace the existing tennis court and game room that are located on the north side of the house. The proposed pool deck and open patio at the rear of the house will replace the existing pool deck and will be extended by approximately 4,300 square feet toward the south and west side of the existing flat pad while following the site topography. With the proposed additional grading of approximately 3,000 cubic yards, approximately 69 percent of the site will remain as ungraded open space.
- New retaining walls help to minimize the landform alterations and will replace the existing retaining walls in almost the same locations. The walls will have a white stucco finish, and new landscaping is proposed to reduce visual impact of the proposed retaining walls.
- The project's site does not directly face the street and is accessed from Robin Glen Drive by an approximately 100-foot-long and 44-foot-wide driveway. The driveway will remain unchanged; however, new stamped concrete, which is appropriate to the overall design is proposed for the driveway finish. The location and design of the new detached five-car garage are compatible with the primary building and meet the zoning code requirements.
- The existing protected Oak tree (eight inches in trunk diameter) which is located on the west side the existing tennis court will remain on the site. A condition of approval is added requiring the applicant to obtain required permits from Urban Forestry to protect the tree during construction. The proposed project will maintain most of the existing landscaping and new drought-tolerant landscaping is proposed which is complementary to the building design and surrounding. The new landscaping will help stabilize the soil erosion and any potential runoff to the adjoining properties located to the south and east of the proposed project.
- A new 4'-6" driveway gate is appropriately sized and located 35'-9" away from the street front property line. The gate includes wrought iron fences and stucco walls which are architecturally consistent with the proposed design and concept.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☐ yes ☐ n/a ☒ no

If “no” select from below and explain:

- ☐ Appropriate proportions and transitions
- ☒ Impact of larger building minimized

Staff is recommending conditions of approval to reduce the floor to ceiling height at the first and second floor; and to lower the height of the garage and pool cabana to provide better proportions and avoid the sense of monumentality as well as minimize the visual impact.

Building Relates to Existing Topography

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☐ yes ☐ n/a ☒ no

If “no” select from below and explain:

- ☒ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☒ Avoids sense of monumentality

Conditions of approval are recommended to reduce the floor to ceiling height at the first and second floor and to lower the height of the garage and pool cabana to provide better proportions and avoid the sense of monumentality as well as minimize the visual impact.

Roof Forms

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed architectural concept governs the mass and scale since the project reinforces a modern neo-classical architectural style which is characterized by larger scale, symmetrical forms, columns, friezes, and a preference for blank walls and simplicity of forms. In order to provide better proportions and avoid the sense of monumentality, as well as minimize the visual impact, staff is recommending conditions of approval to reduce the proposed floor to ceiling heights of 13.5 feet at the first floor and 11.5 feet at the second floor; and lower the height of the detached garage and pool cabana. With the recommended conditions, the mass and scale of the proposed project will be appropriate to the site and relate to the surrounding context because the design provides articulations at the elevations of the house, provides varied roof heights, fits within the neighborhood context of one and two-story homes, and meets the Hillside Design Guidelines as the house is designed to be located on the existing flat pad with the rear patio and new pool deck following the existing topography.
- While the proposed 9,906 square-foot house is larger than the neighborhood's average house size of 3,214 square feet (within 300 lineal feet of the subject property including adjoining properties), the proposed house relates to the approximately 99,000 square-foot size site, which is the largest site in the neighborhood with the average lot size of 15,782 square feet. Furthermore, the new house and associated buildings will not directly face any street since the site is located behind the neighboring parcels that face Robin Glen Drive. In addition, impact of the proposed larger building will be minimized due to the significant distances from the neighboring properties, higher elevation of the site, landscaping buffers, and the staff recommended conditions of approval.
- The proposed development relates to the existing topography because the new house, garage, pool deck, and retaining walls will be located primarily in the same location of the existing development and follow the natural terrain and site topography.
- As proposed, the overall height of the house is 32'-11" which is less than the maximum allowed 35'-0" height limit in this zone for houses with pitched roofs of a minimum 3-feet in 12-feet.
- The proposed roof consists of hipped roof (3-feet in 12-feet pitch) and flat roof in the center. The roof form reinforces the design concept, and the configuration of the roof is appropriate to the context.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

☐ Consistent architectural concept

- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☒ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately
- ☐ Natural colors appropriate to hillside area

Paving Materials

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades

- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The exterior design, detailing, distribution of materials, and colors meet the intent of the Hillside Design Guidelines and reinforce the proposed architectural style which blends into the neighborhood context of various architectural styles. The design utilizes high-quality materials which include smooth stucco finish (Dove Grey color), limestone wall finish (Mocca Cream color), precast moulding and details, clay barrel roof tiles, bronze color aluminum doors and windows, wrought iron railings (black).
- The front entry is well integrated into design, provides focal point, and the scale is appropriate to the overall design concept.
- The proposed fenestration complements the architectural style and features dark color aluminum windows with combination of casement and fixed operations with exterior precast sill and trim.
- While the proposed two-story house will be larger than the existing two-story house and will have an expanded pool deck and a rear balcony (adjacent to new bedrooms), which spans across the length of the rear façade, the proposed development does not appear to create any privacy conflict with the surrounding neighbors to the north, east, and south due to the site topography, significant distances from the neighboring homes, and the existing and proposed landscape buffers. In addition, no windows from public rooms directly faces the neighboring properties. The second-floor outdoor spaces (bedroom balconies) and the pool deck do not have direct views to the adjacent properties to the east as well. There is no neighboring property to the west side of the subject site.
- The proposed stamped concrete for the driveway finish relates to the design concept.
- New pool equipment, air-conditioning units, and trash storage bins are well screened and located out of public view.
- The project is proposing an internal roof drainage system, and no exterior gutters or downspouts are proposed.
- The design and materials of the proposed ancillary structures and buildings including a new detached garage, pool cabana, pool deck, gates, and walls are consistent with the main residence and complement the design.
- The location and design of the proposed light fixtures are appropriate to the overall design and concept.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions.**

1. Obtain required permits from the Maintenance Services Division (Urban Forestry) to protect the existing Oak tree on the site.
2. Reduce the proposed floor to ceiling height at the first and second floor; and lower the heights of the garage and pool cabana to provide better proportions and avoid the sense of monumentality as well as minimize the visual impact.

Attachments

1. Project's Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

DRAWING INDEX

ARCHITECTURAL

A - 0.00	COVER SHEET
A - 1.00	TOPOGRAPHIC SURVEY
A - 1.10	PROPOSED SITE PLAN
A - 1.11	EXISTING - PROPOSED SITE PLAN
A - 1.12	PROPOSED SITE SECTION
A - 1.20	NEIGHBORING PROPERTIES
A - 2.00	PROPOSED FIRST FLOOR PLAN
A - 2.10	PROPOSED SECOND FLOOR PLAN
A - 2.20	PROPOSED ROOF PLAN
A - 3.00	PROPOSED BUILDING ELEVATIONS
A - 3.10	PROPOSED BUILDING ELEVATIONS
A - 3.20	PROPOSED SECTIONS
A - 4.00	PROPOSED POOL CABANA ELEVATIONS
A - 4.01 a	EXISTING GARAGE ELEVATION & PLAN
A - 4.01 b	PROPOSED GARAGE ELEVATION & PLAN
A - 4.02	PROPOSED GATE AND POSTS ELEVATION
A - 6.00	WINDOW AND DOORS SCHEDULES
A - 6.01	WINDOW AND DOORS DETAILS
X - 1.00	3D RENDERING
X - 1.01	3D RENDERING
X - 1.02	3D RENDERING
X - 1.03	MOOD BOARD
X - 1.04	COLORLED ELEVATIONS
X - 1.05	COLORLED ELEVATIONS

STRUCTURAL

N/A

LANDSCAPE

L-1	PLANTING PLAN
L-2	PLANT PHOTOS

CIVIL

C-1	TITLE SHEET
C-2	GRADING PLAN
C-3	DRAINAGE PLAN
C-4	SECTIONS & DETAILS PLAN
C-5	EROSION CONTROL
C-6	EROSION CONTROL DETAILS
C-7	PROPOSED RETAINING WALL SECTIONS
C-8	EXISTING CONDITIONS

PROJECT SUMMARY

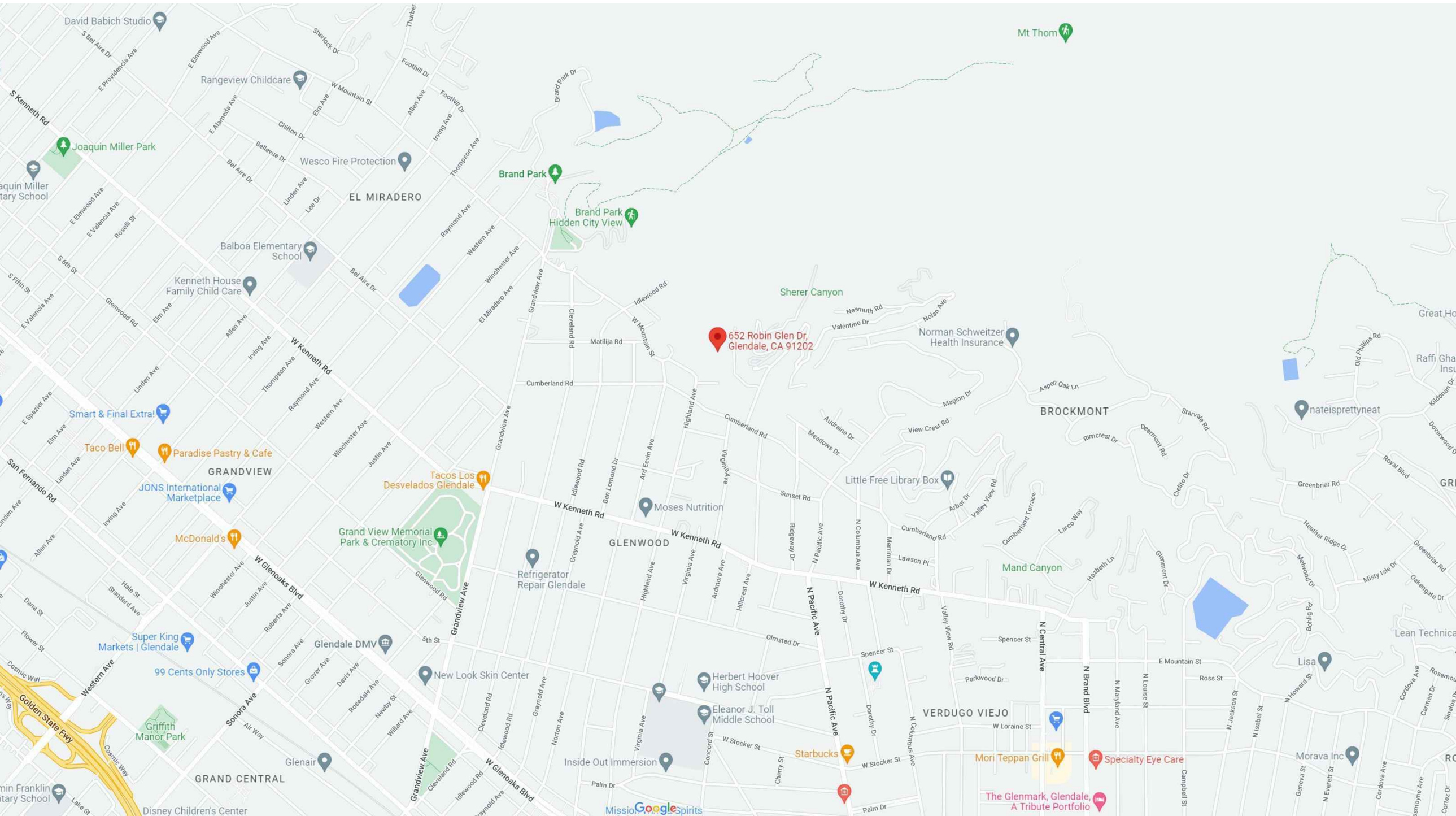
PROJECT ADDRESS	652 ROBIN GLEN DR, GLENDALE CA 91202
ASSESSOR PARCEL NO. (APN)	5630009017
ZONE DESCRIPTION	RESIDENTIAL OPEN SPACE FAR DUST III
LEGAL DESCRIPTION	FOR DESC SEE ACCESSOR'S MAPS W 20 FT OF ROS III
ZONING	ROS III
GENERAL PLAN & USE	LOW RESIDENTIAL
BUILDING HEIGHT	MAXIMUM 35'-0"
SETBACKS	REQUIRED 42'
STREET FRONT	15'
STREET SIDE	15'
INTERIOR	10'
PROPOSED FIRST FLOOR AREA	5,348 SQ.FT
PROPOSED PATIO	1,279 SQ.FT
PROPOSED SECOND FLOOR AREA	4,558 SQ.FT
EXISTING HOME	
2-STORY SINGLE FAMILY DWELLING WITH ATTACHED 2-CAR GARAGE.	
YEAR BUILT : 1977	TOTAL SIZE : 4,219 (SQ FT)

SCOPE OF WORK	DEMOLITION OF EXISTING SINGLE FAMILY DWELLING AND DETACHED GAME ROOM THAT HAS TENNIS COURT ON TOP. A NEW TWO STORIES 9,906 SQ.FT SINGLE FAMILY DWELLING WITH 1,249 SQ.FT DETACHED 5-CAR GARAGE AND 225 SQ.FT OF POOL CABANA AND NEW RETAINING WALLS
PROPOSED :	7 BEDROOMS / 6.5 BATHS
MAX FAR	= 4,500 SQ.FT + 8,900 SQ.FT = 13,400 SQ.FT
PROPOSED FAR	= 5348+ 4558 + (1249 - 700) = 10,455 SQ.FT
PROPOSED FAR	= 10,455 SQ.FT / 99,000 SQ.FT = 10%

LOT COVERAGE CALCULATIONS:	
LOT SIZE = 99,000 SQ.FT	
RESIDENTIAL FLOOR AREA (RFA):	
45% FOR THE 1ST 10,000 SQ.FT OF LOT AREA + 0.10 FOR THE PORTION OF LOT THEREAFTER	
PROPOSED LOT COVERAGE:	
1ST FLOOR	= 5,348 SQ.FT
PATIO	=1,279 SQ.FT
POOL CABANA	=225 SQ.FT
5 CAR GARAGE	=1,249 SQ.FT
PROPOSED LOT COVERAGE	=8,101 SQ.FT
MAX ALLOWED LOT COVERAGE = 40%	
PROPOSED LOT COVERAGE	=8,101 SQ.FT / 99,000 SQ.FT = 8%
LANDSCAPE CALCULATIONS:	
PROPOSED NEW LANDSCAPE: 18, 508.84 SQFT (rear yard) + 841.27 (pool) + 5,952 SQFT = 25,302.11 SQFT	
UNGRADED (E) LANDSCAPE SITE AREA: 53, 291.34 SQFT	
LANDSCAPE: 25,302.11 + 53, 291.34 = 78,593.45/99,000 = 79%	

FAR CALCULATIONS

Room Schedule			
Level	Name	Area	
1st floor F.F	BAR	209SF	
1st floor F.F	BATHROOM 1	49SF	
1st floor F.F	BATHROOM 2	64SF	
1st floor F.F	BEDROOM 1	124SF	
1st floor F.F	BEDROOM 2	242SF	
1st floor F.F	CHEF KITCHEN	126SF	
1st floor F.F	CLOSET 1	24SF	
1st floor F.F	CLOSET 2	47SF	
1st floor F.F	DINING ROOM	644SF	
1st floor F.F	ENTRY LOBBY	86SF	
1st floor F.F	FORMAL LIVING ROOM	551SF	
1st floor F.F	HALLWAY	984SF	
1st floor F.F	KITCHEN	662SF	
1st floor F.F	OFFICE	216SF	
1st floor F.F	PANTRY	181SF	
1st floor F.F	PANTRY & STORAGE	Redundant Room	
1st floor F.F	POWDER	50SF	
1st floor F.F	SEATING ROOM	516SF	
		5348SF	
GARAGE	5CAR	1249-700=	
		549SF	
2nd floor F.F	BATHOOM 5	66SF	
2nd floor F.F	BATHROOM 3	60SF	
2nd floor F.F	BATHROOM 4	60SF	
2nd floor F.F	BEDROOM 3	285SF	
2nd floor F.F	BEDROOM 4	251SF	
2nd floor F.F	BEDROOM 5	276SF	
2nd floor F.F	CLOSET 3	48SF	
2nd floor F.F	CLOSET 4	54SF	
2nd floor F.F	CLOSET 5	37SF	
2nd floor F.F	DESK	172SF	
2nd floor F.F	HALLWAY	1093SF	
2nd floor F.F	LAUNDRY	399SF	
2nd floor F.F	MASTER BATHROOM	264SF	
2nd floor F.F	MASTER BEDROOM	867SF	
2nd floor F.F	MASTER CLOSET	445SF	
2nd floor F.F	MASTER RESTROOM	27SF	
2nd floor F.F	PLAYROOM	181SF	
		4558SF	
		=10,455 SF	
		= 10%	



APPLICABLE CODES

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2023 GLENDALE BUILDING AND SAFETY CODE (GBSC) - ORDINANCE 5998
- 2023 GLENDALE REACH CODE (GRC) - ORDINANCE 5999

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL;
A SEPARATE APPLICATION AND PERMIT IS REQUIRED FOR:

- ELECTRICAL
- MECHANICAL
- PLUMBING
- POOL

THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION;

LEGEND SYMBOL
CALLOUT SYMBOLS

ENLARGED PLAN / DETAIL	INTERIOR ELEVATIONS
BUILDING / WALL SECTION	BUILDING ELEVATION
DETAIL SECTION	REVISION CLOUD & DELTA

TYPICAL SYMBOLS

COLUMN TAG	WINDOW TAG	FIXTURE / ACCESSORY TAG	DOOR TAG	WALL / FLOOR TYPE	ROOM NAME TAG	KEYNOTE with modifier	STAIR TAG	ALIGN OR FLUSH	STAIR DIRECTION	ELEVATION TARGET	FINISH ELEV. TARGET	FINISH TAG
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FLOOR SYMBOLS

AREA DRAIN	EXIT SIGN & DIRECTION	STEP TRANSITION	CURB TRANSITION	DOOR	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP	CARBON MONOXIDE ALARM, HARD-WIRED W/BATTERY BACK-UP
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HVAC SYMBOLS

MECH EXHAUST	MECH SUPPLY / TRANSFER	MECH RETURN	EXIT SIGN & DIRECTION	ROOM OCCUPANCY LOAD & ACCESSIBLE EXIT PATH	ROOM OCCUPANCY DETAILS	1 HOURS RATED FIREWALL	2 HOURS RATED FIREWALL
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LIFE SAFETY
SYMBOLS

ABBREVIATIONS

	ACUSTIC TILE	(N)	NEW
	ACUSTICAL	NOM.	NOMINAL
	ADJACENT	N.	NORTH
ADJUST.	ADJUSTABLE	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISH FLOOR	N.T.S.	NOT TO SCALE
AGGR.	AGGREGATE	NO.	NUMBER
ALT.	ALTERNATE	#	NUMBER
ALUM.	ALUMINIUM		
APPROX.	APPROXIMATE	P. PAIR	
ARCH.	ARCHITECTURAL	PTD.	PAINTED DISPENSER
A.D.	AREA DRAIN	PTN.	PARTITION
ASB.	ASBESTOS	P. LAM.	PLASTIC LAMINATE
A.B.P.	ASPHALTIC BUILDING PAPER	PT.	PLATE
ASPH.	ASPHALT	PLWD.	PLYWOOD
@	AT	P.T.	POINT
		PDS	POINT OF SALE
BM.	BEAM	PRCST	PRECAST
BITUM.	BITUMINOUS		
BLKG.	BLOCKING	(R)	RELOCATE
BD.	BOARD	RAD	RADIUS
BOT.	BOTTOM	R.W.L.	RAIN WATER LEADER
BLDG.	BUILDING	RWDW	REDWOOD
CAB.	CABINET	REF	REFERENCE
C.I.	CAST IRON	REFR	REFRIGERATOR
C.B.	CATCH BASIN	REG	REGISTER
CLKG.	CAULKING	REINF	REINFORCED
	CEILING	REQ	REQUIRED
	CHAIN LINK	RESIL	RESILIENT
	CEMENT	R.	RISER
CTR.	CENTER	R.D.	ROOF DRAIN
CER.	CERAMIC	RM	ROOM
C.T.	CERAMIC TILE	R.O.	ROUGH OPENING
CLR.	CLEAR		
CL.	CLOSET	SCHED.	SCHEDULE
COL.	COLUMN	SECT.	SECTION
CONC.	CONCRETE	S.S.	SERVICE SINK
CONN.	CONNECTION	HDW.	SHEET
CONSTR.	CONSTRUCTION	SH.	SHELF
CONT.	CONTINUOUS	SHR.	SHOWER
CORR.	CORRIDOR	SHL.	SIMILAR
CNTR.	COUNTER	S.O.G.	SLAB ON GRADE
CTSK.	COUNTERSUNK	S.D.	SOAP DISPENSER
		S.C.	SOLID CORE
DBL.	DOUBLE	S.	SOUTH
DEPT.	DEPARTMENT	SPEC.	SPECIFICATION
DET.	DETAIL	SQ.	SQUARE
DIA.	DIAMETER	SST.	STAINLESS STEEL
D.O.	DIMENSION	STD.	STANDARD
D.M.	DOOR OPENING	STA.	STATION
DN.	DOWN	STL	STEEL
D.S.	DOWNSPOUT	STOR.	STORAGE
DWR.	DRAWER	STRL	STRUCTURAL
DWG.	DRAWING	SUSP.	SUSPENDED
D.S.P.	DRY STANDPIPE	SYM.	SYMMETRICAL
(E)	EXISTING		
EA.	EACH	TEL.	TELEPHONE
E.	EAST	T.V.	TELEVISION
E.W.C.	ELECTRIC WATER COOLER	T.G.	TEMPERED GLAZING
ELEC.	ELECTRIC	TER.	TERRAZZO
ELB.	ELECTRICAL PANEL BOARD	THK.	THICK
E.	ELEVATION	T.P.D.	TOILET PAPER DISPENSE
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
EMER.	EMERGENCY	T.J.I.	TRUSS JOIST I-BEAM
ENCL.	ENCLOSURE	T.O.	TOP OF
EQ.	EQUAL	T.O.C.	TOP OF CURB
EQPT.	EQUIPMENT	T.O.P.	TOP OF PAVEMENT
E.S.T.	EXISTING	T.O.S.	TOP OF SLAB
EXP.	EXPANSION	T.O.STL	TOP OF STEEL
E.J.	EXPANSION JOIST	T.O.W.	TOP OF WALL
EXPO.	EXPOSED	T.B.	TOWEL BAR
EXT.	EXTERIOR	TRD.	TREAD
		T.S.	TUBE STEEL
F.O.S.	FACE OF STUDS	TYP.	TYPICAL
FIN.	FINISH		
FT.	FEET	VERT.	VERTICAL
F.A.	FIRE ALARM		
F.E.	FIRE EXTINGUISHER	W.C.	WATER CROSET
F.E.C	FIRE EXTINGUISHER CABINET	WP.	WATERPROOF
F.O.C.	FACE OF CONCRETE	WT.	WEIGHT
F.O.F.	FACE OF FINISH	W.	WEST
FPFR.	FIREPROOF	W/	WITH
FLASH.	FLASHING	W/O	WITHOUT
FL.	FLOOR	WD.	WOOD
F.D.	FLOOR DRAIN	W.O.	WHERE OCCURES
FT.	FOOT		
FTG.	FOOTING		
FDN.	FOUNDATION		
FURR.	FURRING		
GALV.	GALVANIZED		
GA.	GAUGE		
GL.	GLASS		
G.B.	GRAB BAR		
G.R.	GRADE		
GND.	GROUND		
GSM.	GALVANIZED SHEET METAL		
GYP.	GYPSPUM		
HDW.	HARDWARE		
HDWD.	HARD WOOD FLOOR		
HGT.	HEIGHT		
H.A.	HOLLOW CORE		
H.M.	HOLLOW METAL		
HORZ.	HORIZONTAL		
HB.	HOSE BIBB		
HR.	HOUR		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		
JB.	JOIST BEARING		
JT.	JOINT		
KT.	KITCHEN		
LAB.	LABORATORY		
LAM.	LAMINATE		
LAV.	LAVATORY		
LT.	LIGHT		
LKR.	LOCKER		
MH.	MANHOLE		
MFR.	MANUFACTURER		
M.O.	MASONRY OPENING		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
M.C.	MEDICINE CABINET		
MEMB.	MEMBRANE		
MTL.	METAL		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
M.R.	MOISTURE RESISTANT		
MTD.	MOUNTED NEW		



PROJECT ADDRESS
652Robin Glen Dr,
Glendale , CA 91207

OWNER
Owner

STRUCTURAL
Approver

CIVIL ENGINEERING
Author

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DRAWING TITLE

Topographic
survey

SCALE
DRAWING
NUMBER

DATE
06/11/2024 A-1.00

LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL "A" OF PARCEL MAP-GLN. NO. 1087-A, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 29 PG 37 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:

THE BEARING N00°02'40"W, ON THE CENTERLINE OF ARCEL "A" OF PARCEL MAP-GLN. NO. 1087-A, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 29 PG 37 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SURVEYOR'S NOTE:

THIS MAP SHOULD BE USED FOR REFERENCE PURPOSES ONLY.
NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE BOUNDARY SHOWN.

ASSUMED BENCHMARK:
OR

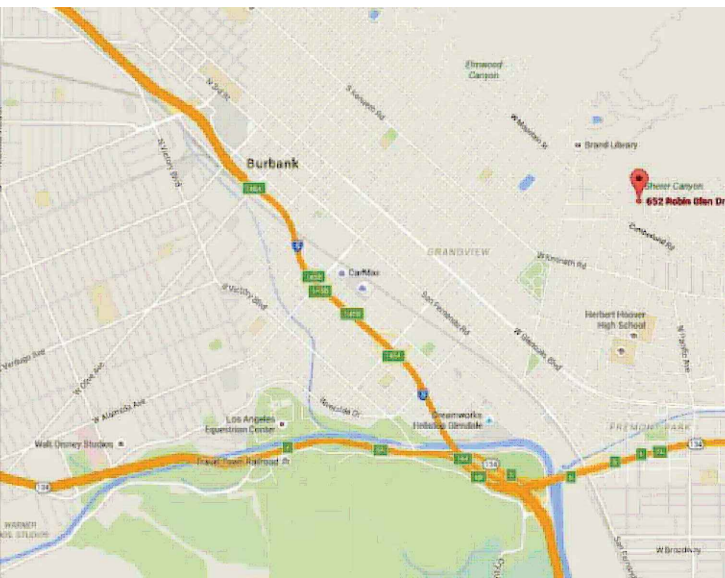
BENCHMARK:
ASSUMED ELEVATION OF 100.00'
SEWER MANHOLE

SYMBOLS:

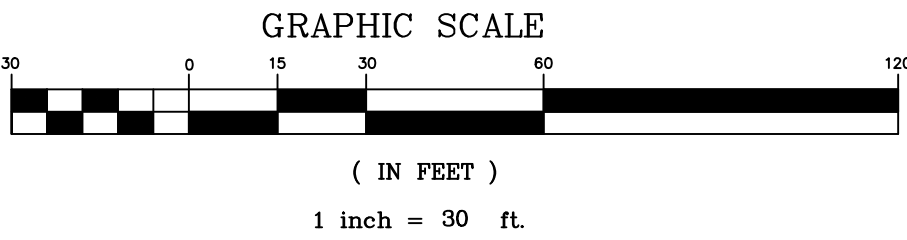
AIRCONDITIONING UNIT	IRRIGATION VALVE	STREET LIGHT
CABLE TV BOX	MAIL BOX	STREET LIGHT BOX
CATCH BASIN	PALM TREE	TELEPHONE MANHOLE
COLUMN	PARK METER	TRAFFIC LIGHT CONTROL BOX
DRAIN	PINE TREE	TREE
FIRE HYDRANT	POWER POLE	WATER METER
GAS METER	POWER POLE ANCHOR	WATER VALVE
GAS VALVE	SEWER CL OUT	WATER VAULT
GATE POST	SEWER MANHOLE	
GTE PULL BOX	STORM DRAIN MANHOLE	

LEGEND:

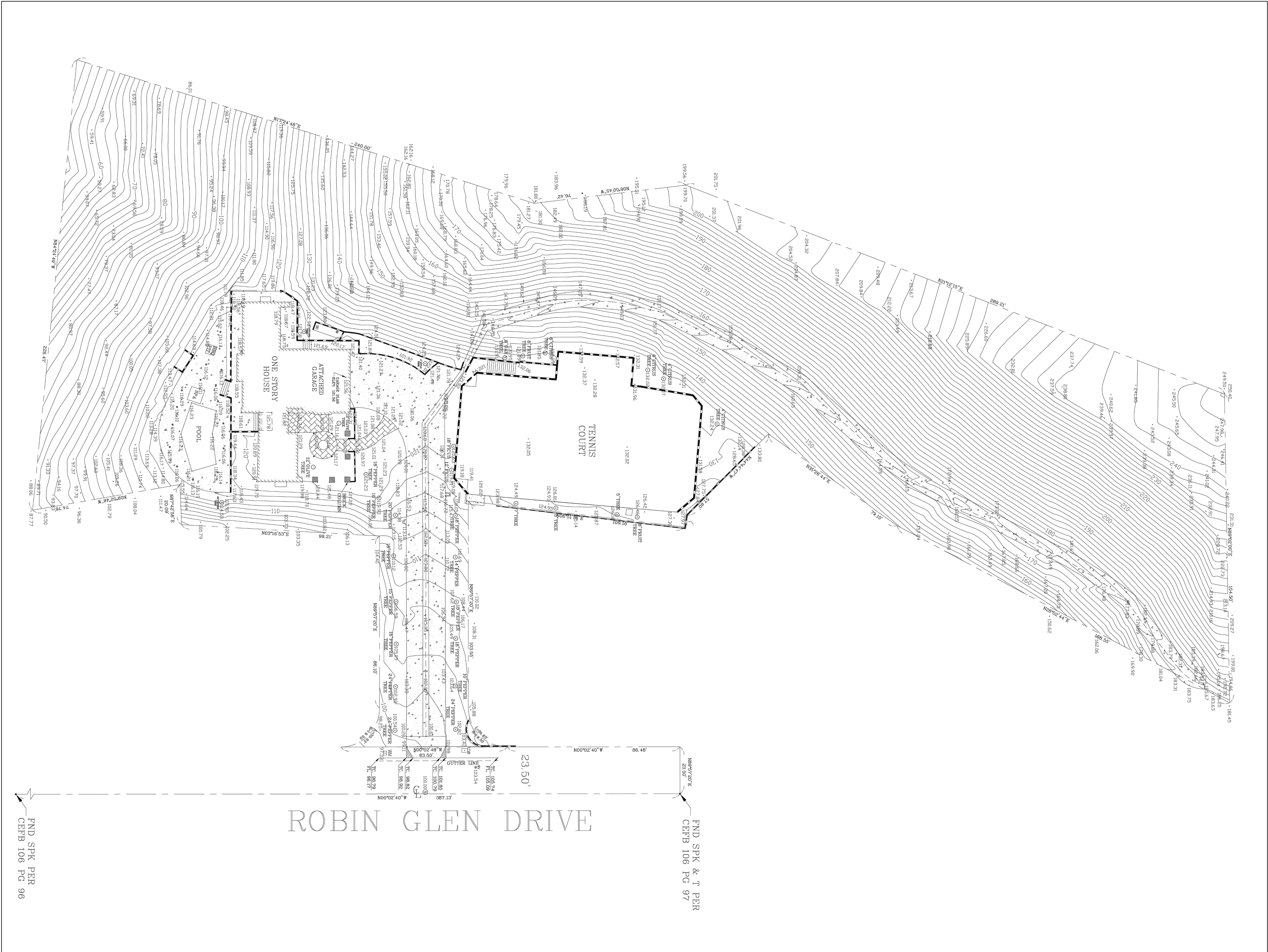
ASP - ASPHALT	PC - PROPERTY CORNER
BC - BUILDING CORNER	PG - PAGE
BM - BENCHMARK	PI - POINT OF INTERSECTION
BW - BACK OF WALK	PL - PROPERTY LINE
CB - CATCH BASIN	R / PL - PLANTER
CEFB - CITY ENGINEER'S FIELD BOOK	POL - POINT ON LINE
CF - CURB FACE	PWT - PAVEMENT
C/L - CENTERLINE	PM - PARCEL MAP
C.L.F. - CHAIN LINK FENCE	(R) - RECORD
COL - COLUMN	ROE - REGISTERED CIVIL ENGINEER
CONC - CONCRETE	S.S.M. - STANDARD SURVEY MONUMENT
(Dd) - DEED	SMH - SEWER MANHOLE
ELEC - ELECTRIC	S & T - SPIKE & TIN
EP - EDGE OF PAVEMENT	SPK/W - SPIKE & WASH
ESMT. - EASEMENT	TC - TOP OF CURB ELEV.
FB - FIELD BOOK	TR - TRACT MAP
FF - FINISH FLOOR ELEV.	TW - TOP OF WALL ELEV.
FL - FLOWLINE ELEV.	WF - WROUGHT IRON FENCE
FS - FINISH SURFACE	N/LY - NORTHERLY
INTER - INTERSECTION	N/O - NORTH OF
P - IRON PIPE	S/LY - SOUTHERLY
LS - LAND SURVEYOR	S/O - SOUTH OF
L & T - LEAD & TACK	E/LY - EASTERLY
(M) - MEASURED	E/O - EAST OF
MB - MAP BOOK	W/LY - WESTERLY
NG - NATURAL GRADE	
OH - OVERHANG	
BRICK PATTERN	PROPERTY LINE CENTERLINE
CONCRETE PATTERN	WALL
ASPHALT PATTERN	8" CONCRETE BLOCK WALL
	BUILDING LINE
	CHAIN LINK FENCE
	WOOD FENCE
	WROUGHT IRON FENCE



VICINITY MAP
NOT TO SCALE



TITLE:	TOPOGRAPHIC SURVEY 652 ROBIN GLEN DRIVE, GLENDALE, CA. 91202	JOB NO.:	624
CLIENT:	SURO BARCHYAN	DATE:	06/14/16
SCALE:	1" = 30'	REVISION (S):	
DESIGNED BY:	M.A. California Land Services. Inc.		
DRAWN BY:	M.A.B. Sherman Oaks, CA 91423		
CHECKED BY:	W.M.R. Phone: 8181-986-4225 Email: wrastocky@yahoo.com	SHEET	1
		OF 1 SHEET	



ROBIN GLEN DRIVE

23.50'

PND SPK & T PRR
CEFB 106 PG 97

PND SPK PRR
CEFB 106 PG 96

SCALE 1" = 30'

PLAN CHECK SET

652 Robin Glen Dr,

FLOOR PLAN GENERAL NOTES

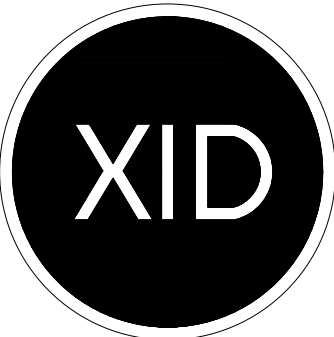
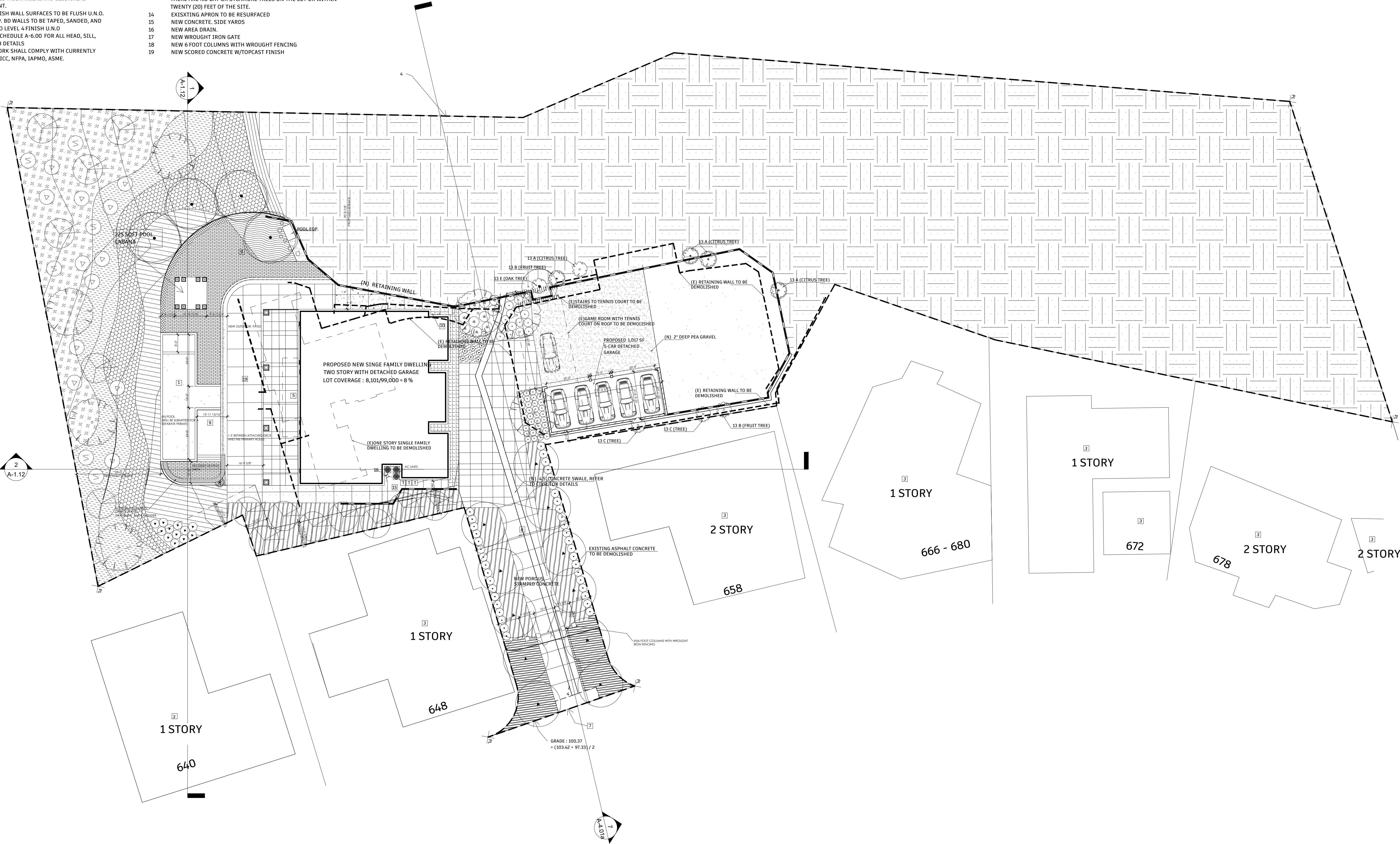
1. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK.
2. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB AND TOP UNDERLAYMENT UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE TO BE TO FINISHED SURFACES UNLESS NOTED OTHERWISE.
3. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED.
4. REFER TO SHEET A-0.00 FOR SYMBOLS, ABBREVIATIONS, AND WALL TYPE LEGEND.
5. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING.
6. (CONT) BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
7. ALL FINISH WALL SURFACES TO BE FLUSH U.N.O.
8. ALL GYP. BD WALLS TO BE TAPED, SANDED, AND PRIMED TO LEVEL 4 FINISH U.N.O
9. DOOR SCHEDULE A-6.00 FOR ALL HEAD, SILL, AND JAMB DETAILS
10. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED ICC, NFPA, IAPMO, ASME.

SITE PLAN NOTES

- 1 (N) 6'-0" DEEP POOL PER STRUCTURAL(UNDER SEPARATE PERMIT).
- 2 BARRELS PER CIVIL ENGINEER.
- 3 ADJACENT NEIGHBORS, NOT IN SCOPE.
- 4 PROPERTY LINE.
- 5 NON SLIP TRAVERTINE PAVERS
- 6 NEW 4" TH. STAMPED CONCRETE DRIVEWAY (POROUS)
- 7 EX. 6" CURB : N/A
- 8 ROOF DRAIN DOWNSPOUT TO CONNECT TO STORMWATER PLANTER UNDER PAVED WALKWAY.
- 9 LINEAR PAVERS
- 10 (N) DIGITAL SUN SMART SENSOR SPRINKLER SYSTEM (SEE SHEET AD-1.0 DETAIL #10 FOR SPECIFICATIONS.) IRRIGATION CONTROLLERS MUST BE SOIL OR WEATHER BASED.
- 11 EX. 6' HIGH BLOCK WALL.
- 12 EX. FENCE. TO BE DEMOLISH
- 13 EX. TREE TO REMAIN
- A. CITRUS
- B. FRUIT TREE
- C. TREE
- D. PEPPER TREE
- E. OAK TREE
- THERE ARE NO BAY OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY (20) FEET OF THE SITE.
- 14 EXISXTING APRON TO BE RESURFACED
- 15 NEW CONCRETE. SIDE YARDS
- 16 NEW AREA DRAIN.
- 17 NEW WROUGHT IRON GATE
- 18 NEW 6 FOOT COLUMNS WITH WROUGHT FENCING
- 19 NEW SCORED CONCRETE W/TOPCAST FINISH

HATCH LEGEND

- Artificial turf
- Water
- Flowers and plants
- Stone
- Concrete
- Slope
- EXISTING RETAINING WALL TO BE DEMOLISHED
- NEW RETAINING WALL AS PER THE APPLICABLE DEVELOPMENT STANDARDS (GMC 30.11.070 AND GMC 30.30.010 B:
- I- RETAINING WALLS WITHIN 5'-0" OF INTERIOR SETBACKS ARE LIMITED TO UP TO 3'-0" IN HEIGHT.
- II- RETAINING WALLS WHICH ARE HIDDEN FROM VIEW FROM THE PUBLIC STREET BY PRIMARY OR ACCESSORY STRUCTURES THAT ARE UP SLOPE FROM THEIR PUBLIC STREET ACCESS MAY HAVE A MAXIMUM EXPOSED HEIGHT OF 15 FEET AT ANY POINT ALONG THE WALL.
- III- RETAINING WALLS WHICH DO NOT MEET THE ABOVE CRITERIA ARE LIMITED TO 5 FEET IN HEIGHT.



XID DESIGN BUILD LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917

PROJECT ADDRESS

652 Robin Glen Dr,
Glendale , CA 91207

OWNER

Owner

STRUCTURAL

Approver

CIVIL ENGINEERING

Author

Revision 1

4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
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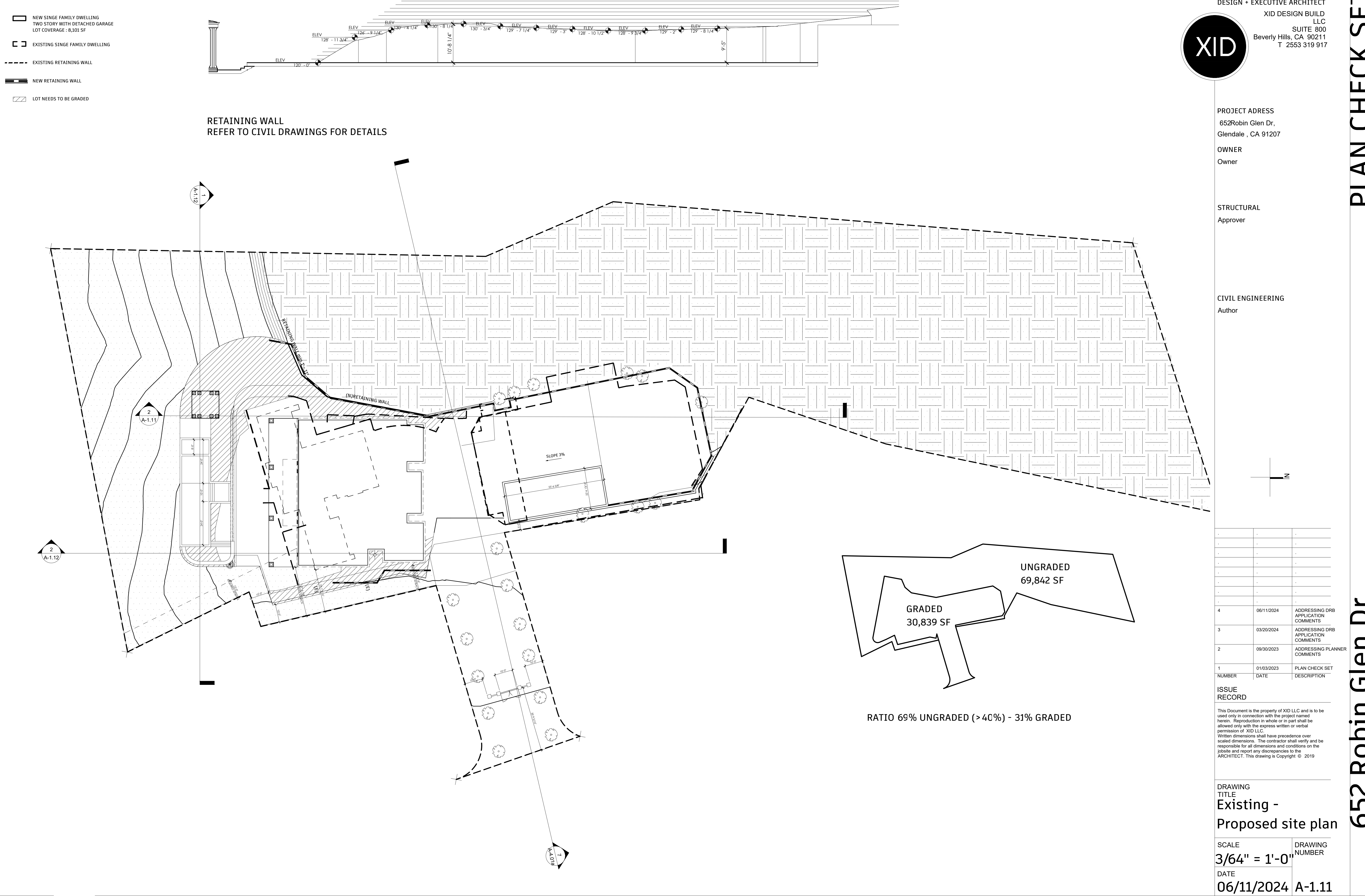
DRAWING TITLE

Proposed site plan

SCALE	DRAWING NUMBER
3/64" = 1'-0"	
DATE	
06/11/2024	A-1.10

PLAN CHECK SET

652 Robin Glen Dr,



- NEW SINGE FAMILY DWELLING
TWO STORY WITH DETACHED GARAGE
LOT COVERAGE : 8,101 SF
- EXISTING SINGE FAMILY DWELLING
- EXISTING RETAINING WALL
- NEW RETAINING WALL
- LOT NEEDS TO BE GRADED

RETAINING WALL
REFER TO CIVIL DRAWINGS FOR DETAILS

DESIGN + EXECUTIVE ARCHITECT

XID

XID DESIGN BUILD
LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917

PROJECT ADDRESS
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DRAWING
TITLE
Existing -
Proposed site plan

SCALE 3/64" = 1'-0"	DRAWING NUMBER
DATE 06/11/2024	A-1.11

DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD
LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917

XID

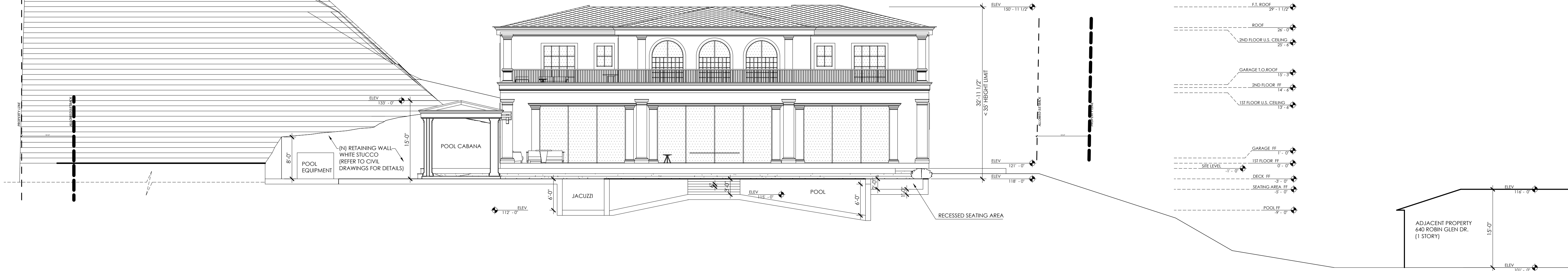
PROJECT ADDRESS
652Robin Glen Dr,
Glendale , CA 91207

OWNER
Owner

STRUCTURAL
Approver

CIVIL ENGINEERING
Author

SECTION 01



SECTION 02



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DRAWING TITLE

Proposed site section

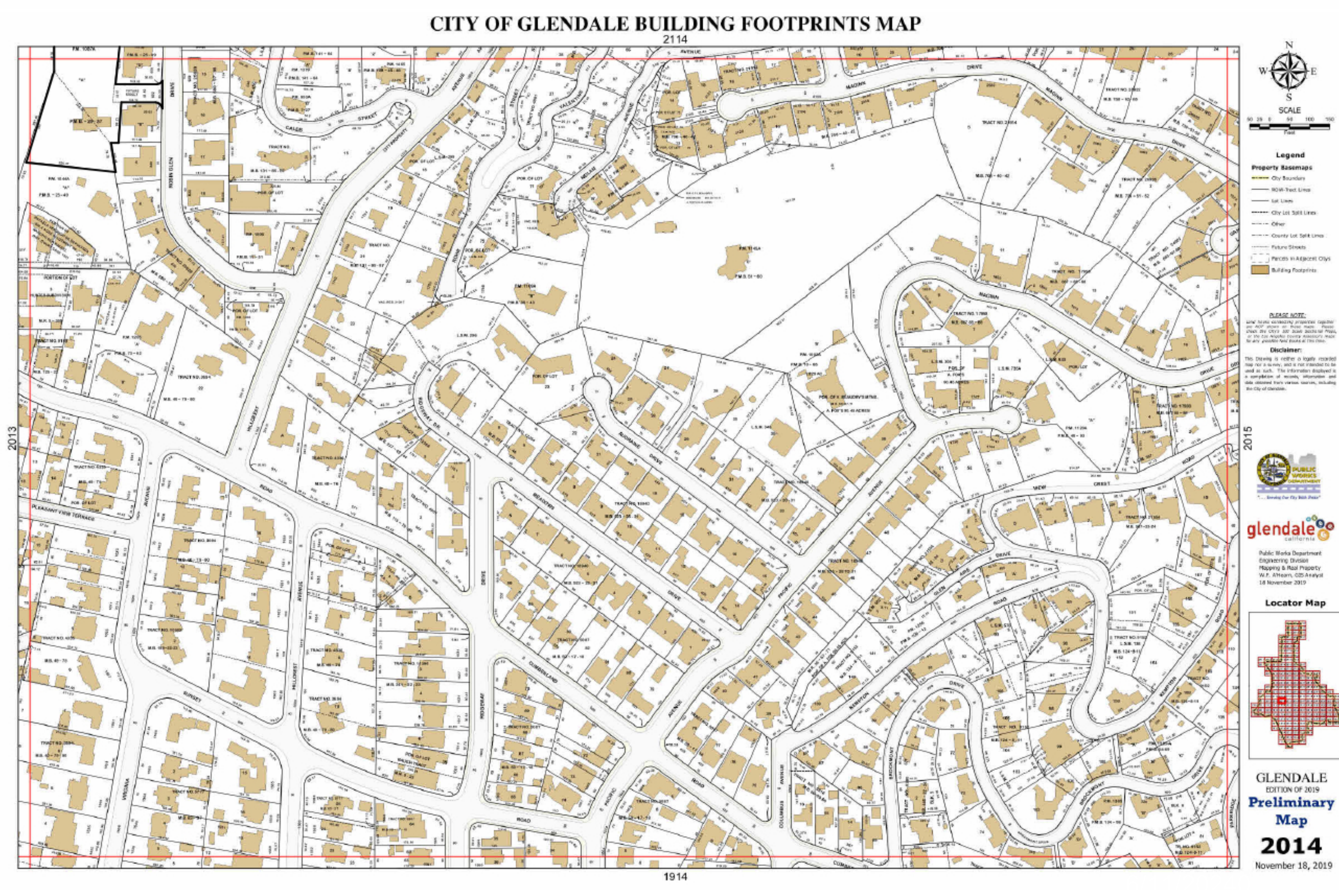
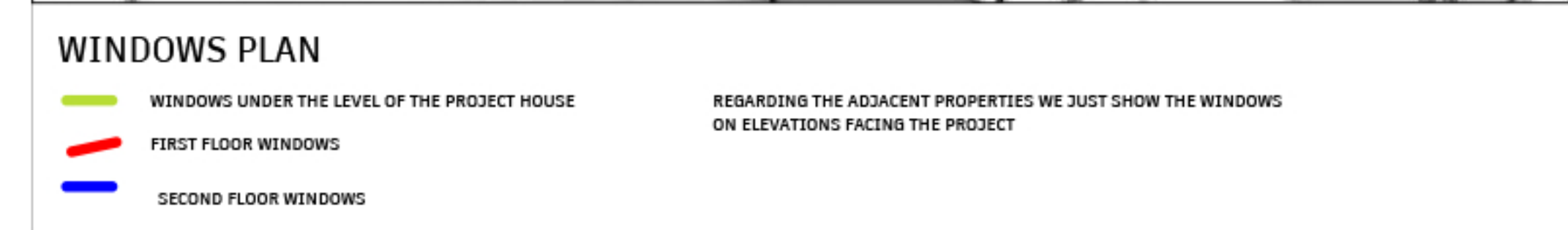
SCALE
1" = 10'-0"

DATE
06/11/2024

DRAWING NUMBER
A-1.12

PLAN CHECK SET

652 Robin Glen Dr,



STRUCTURAL
Approver

CIVIL ENGINEERING
Author

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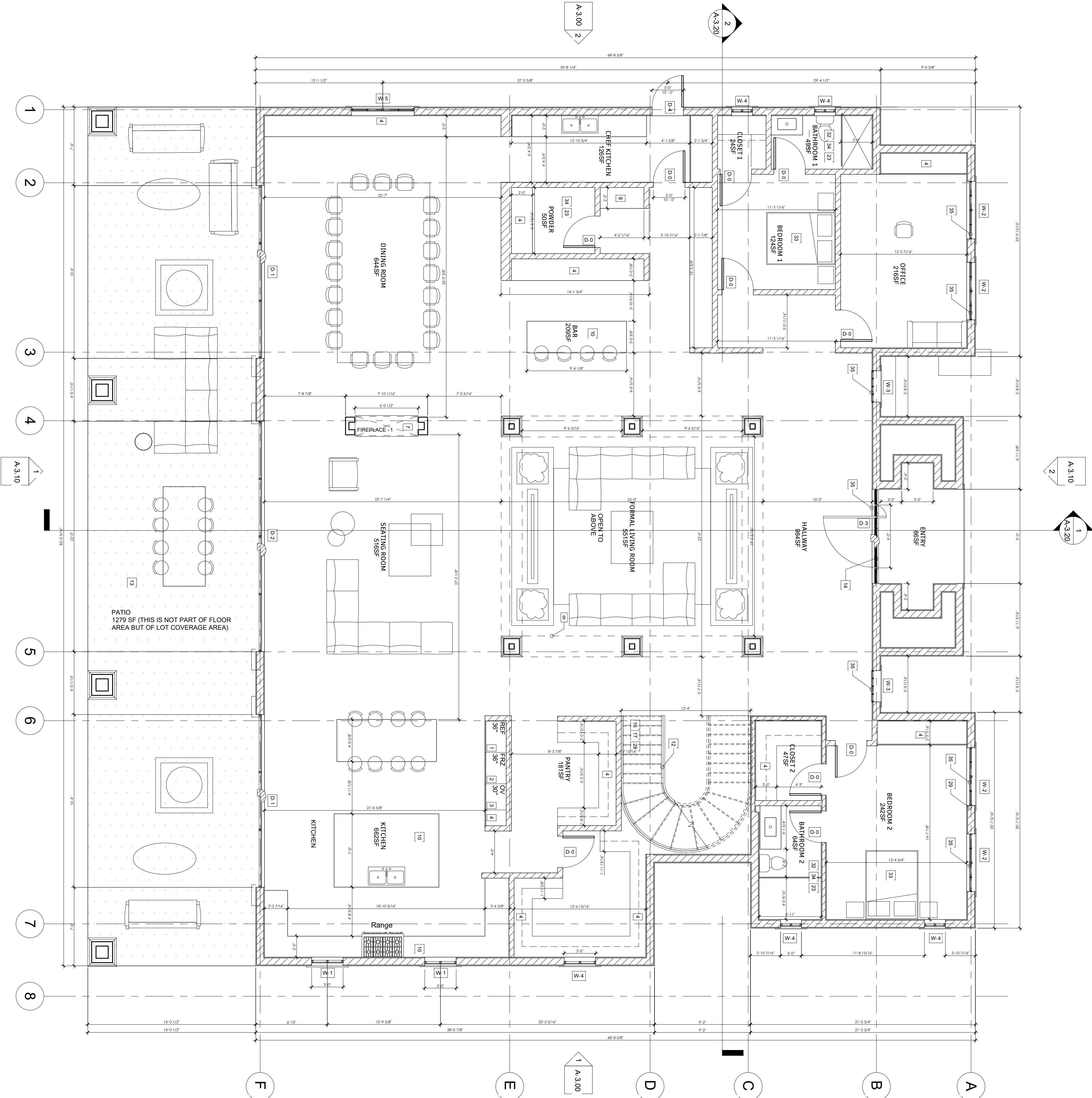
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DRAWING TITLE	
Neighboring properties	
SCALE	DRAWING NUMBER
DATE	
06/11/2024	A-1.20

6522 Robin Glen Dr,
PLAN CHECK SET



- 1

ENERGY STAR RATED REFRIGERATOR, MAKE AND MODEL T.B.D.
- 2

ENERGY STAR RATED FREEZER, MAKE AND MODEL T.B.D.
- 3

COOKTOP, OVEN AND EXHAUST HOOD, MAKES AND MODELS T.B.D. BY OWNER. PROVIDE POWER & GAS CONNECTIONS AS REQUIRED.
- 4

MILLWORK, FINISH T.B.D.
- 5

ENERGY STAR RATED WASHING MACHINE, MAKE AND MODEL T.B.D. BY OWNER.
- 6

ENERGY STAR RATED CLOTHES DRYER, MAKE AND MODEL T.B.D. BY OWNER.
- 7

DIRECT VENT, SEALED COMBUSTION TYPE GAS FIREPLACE BY HEATILATOR MODEL CRAVE 74"x72-1/4". MAXIMUM 2" PROJECTION IN REQUIRED YARD IS ALLOWED PER SECTION 12.22 C 20 (b). SEE AD-7.0 FOR SPECIFICATION.
- 8

COAT POLE AND SHELVEING T.B.D. BY OWNER. LINE OF FLOOR ABOVE.
- 9

KITCHEN ISLAND, T.B.D. BY OWNER.
- 10

42" TEMPERED GLASS GUARDRAIL LARR #25084.
- 11

FOR GLASS HANDRAILS & GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16
- 12

2022 CBC A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)
- 13

TILE PATIO
- 14

ENTRY DOOR IS 7' WIDE BY 10' HIGH (R311.2) AND OPENS ON A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD.
- 15

1-HR 5/8" FIRE-RESISTANCE DRYWALL AND GARAGE CEILING.
- 16

STAIRS PER STRUCTURAL. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7 + R303.8)
- 17

LANDING TO BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS. (R311.3.1).
- 18

FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES: -1" MINIMUM INSIDE DIAMETER INSTALLED TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT.
- 19

THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
- 20

- SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.
- 21

- THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- 22

- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS *EV CAPABLE*. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED *EV CAPABLE*.
- 23

FIRE-RETARDANT-TREATED WOOD SIDING IDENTIFIED FOR EXTERIOR USE THAT COMPLIES WITH THE REQUIREMENTS OF SECTION 2303.2
- 24

RAISED PLANTERS @ 3'-6" HEIGHT. NA
- 25

ROOF COVERINGS AND DECKS SHALL BE FIRE-RETARDANT PER IBC 1505 & 1503.
- 26

ROOF DRAIN DOWNSPOUT CONCEALED IN WALL TO CONNECT TO STORMWATER PLANTER UNDER PAVED WALKWAY BELOW.
- 27

THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
- 28

a. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- 29

b. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1)
- 30

DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WITH SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK (R302.5.1).
- 31

VEHICULAR ACCESS DOORS SHALL COMPLY WITH R 612.4.
- 32

a. SURFACE OF GARAGE SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL AND SLOPED TO DRAIN TOWARD THE MAIN VEHICULAR ENTRY.
- 33

b. THE GARAGE SHALL BA SEPARATED FROM THE DWELLING AND ITS ATTIC BY TYPE X DRYWALL ON CEILING AND WALLS, IN ACCORDANCE WITH TABLE R302.6.
- 34

c. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO.26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- 35

GRASS/PAVERS AREA NA
- 36

STAIRWAY DETAILS:
- 37

a. 7.75" MAXIMUM RISE & 10" MINIMUM RUN. (R311.7.5)
- 38

b. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
- 39

c. MINIMUM 36" CLEAR WIDTH. (R311.7.1)
- 40

d. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)
- 41

e. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.8.3)
- 42

f. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312.1.3)
- 43

(SEE SHEET AD-1.0 DETAIL 01 FOR SPECIFICATION)
- 44

EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM- 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5.0 SF AT GRADE LEVEL) & 44" MAXIMUM TO SILL. (R310.1)
- 45

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7). NA
- 46

PARKING AND TURNING AREAS WITHIN 15'-OF PROPERTY LINE MUST BE ENCLOSED BY 59" HIGH SOLID WALL- 12-21/64 (d); (e); (f) NA
- 47

MULTIPLE SHOWER HEADS SERVING ONE SHOWER. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° AT A POINT 3FT ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- 48

BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.
- 49

GLAZING IN THESE LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3

DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD LLC

SUITE 800

Beverly Hills, CA 90211

T 2553 319 917

XID

PROJECT ADDRESS

652 Robin Glen Dr,
Glendale , CA 91207

OWNER

Owner

STRUCTURAL

Approver

CIVIL ENGINEERING

Author

06/11/2024

ADDRESSING DRB APPLICATION COMMENTS

03/20/2024

ADDRESSING DRB APPLICATION COMMENTS

09/30/2023

ADDRESSING PLANNER COMMENTS

01/03/2023

PLAN CHECK SET

ISSUE RECORD

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DRAWING TITLE

PROPOSED FIRST FLOOR PLAN

SCALE

3/16" = 1'-0"

DATE

06/11/2024

DRAWING NUMBER

A-2.00

SYMBOL LEGEND

FINISH TRANSITION

DOOR

CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP

CARBON MONOXIDE ALARM, HARD-WIRED W/BATTERY BACK-UP

FINISH LEGEND

TYPES	NAME	DESCRIPTION
PAIN	PT 1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD /
	PT 2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD
TILE	T1	THIN SET FLOOR TILE, SIZE & COLOR TBD BY
	T2	THIN SET FLOOR TILE, SIZE & COLOR TBD BY
BASE	BM1	WOOD BASE TRIM, PROFILE AND FINISH TBD BY
	T5	BASE TILE, SIZE AND COLOR TBD BY
WD	WD1	WOOD FLOORING, FINISH TBD BY
MISC	CT1	KITCHEN COUNTERTOP, COLOR & FINISH TBD BY
	CT2	BATHROOM COUNTERTOP, COLOR & FINISH BY
	CO	SEALED CONCRETE FLOORING
	DC	EXTERIOR DECK COATING, DEK- 0-TEX OR EQ. (LARR2630# COLOR TBD)

FIXTURE SCHEDULE

NAME	DESCRIPTION
P-1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD (BY OWNER)
P-2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD (BY OWNER)
P-3	THIN SET FLOOR TILE, SIZE & COLOR TBD (BY OWNER)
P-4	THIN SET FLOOR TILE, SIZE & COLOR TBD (BY OWNER)
P-5	WOOD BASE TRIM, PROFILE AND FINISH TBD (BY OWNER)
P-6	BASE TILE, SIZE AND COLOR TBD (BY OWNER)
P-7	WOOD FLOORING, FINISH TBD (BY OWNER)
P-8	KITCHEN COUNTERTOP, COLOR & FINISH TBD (BY OWNER)
P-9	BATHROOM COUNTERTOP, COLOR & FINISH TBD (BY OWNER)
P-10	SEALED CONCRETE FLOORING COLOR TBD (BY OWNER)

PROVIDE ALL REQUIRED CONNECTIONS FOR ALL FIXTURES

NOTE: G.C. TO PROVIDE ALL ELECTRICAL, PLUMBING, MECHANICAL, FUSES, EXHAUST, CONNECTIONS AND RELATED INFRASTRUCTURE REQUIRED FOR THE FUNCTION AND OPERATION OF ALL DEVICES, APPLIANCES, FIXTURES, ECT.

652 Robin Glen Dr, PLAN CHECK SET

PROJECT ADDRESS

652 Robin Glen Dr,
Glendale , CA 91207

OWNER

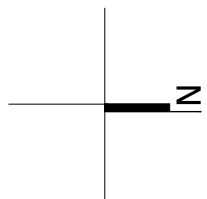
Owner

STRUCTURAL

Approver

CIVIL ENGINEERING

Author

[illegible]

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DRAWING

TITLE
Proposed second
floor plan

SCALE

$$3/16'' = 1'-0''$$

DATE _____






06/11/2024

DRAWING

NUMBER

A-2.10

SYMBOL LEGEND

	FINISH TRANSITION		WINDOW
	DOOR		
	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP		
	CARBON MONOXIDE ALARM, HARD-WIRED W/BATTERY BACK-UP		

FINISH LEGEND

TYPE	NAME	DESCRIPTION
PAINTS	PT1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD /
	PT2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD
TILE	T1	THIN SET FLOOR TILE, SIZE & COLOR TBD BY
	T2	THIN SET FLOOR TILE, SIZE & COLOR TBD BY
BASE	BM1	WOOD BASE TRIM, PROFILE AND FINISH TBD BY
	T5	BASE TILE, SIZE AND COLOR TBD BY
WD	W1	WOOD FLOORING, FINISH TBD BY
MISC	CT1	KITCHEN COUNTERTOP, COLOR & FINISH TBD BY
	CT2	BATHROOM COUNTERTOP, COLOR & FINISH BY
	CO	SEALED CONCRETE FLOORING
	DC	EXTERIOR DECK COATING, DEX- O-TEX OR EQ. (LARR2630# COLOR TBD)

FIXTURE SCHEDULE

NAME	DESCRIPTION
P-1	INT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD (BY OWNER)
P-2	EXT. WALL LOW-VOC PAINT, COLOR, SHEEN TBD (BY OWNER)
P-3	THIN SET FLOOR TILE, SIZE & COLOR TBD (BY OWNER)
P-4	THIN SET FLOOR TILE, SIZE & COLOR TBD (BY OWNER)
P-5	WOOD BASE TRIM, PROFILE AND FINISH TBD (BY OWNER)
P-6	BASE TILE, SIZE AND COLOR TBD (BY OWNER)
P-7	WOOD FLOORING, FINISH TBD (BY OWNER)
P-8	KITCHEN COUNTERTOP, COLOR & FINISH TBD (BY OWNER)
P-9	BATHROOM COUNTERTOP, COLOR & FINISH TBD (BY OWNER)
P-10	SEALED CONCRETE FLOORING COLOR TBD (BY OWNER)

PROVIDE ALL REQUIRED CONNECTIONS FOR ALL
FIXTURES

NOTE: G.C. TO PROVIDE ALL ELECTRICAL, PLUMBING, MECHANICAL, FUSES, EXHAUST, CONNECTIONS AND RELATED INFRASTRUCTURE REQUIRED FOR THE FUNCTION AND OPERATION OF ALL DEVICES, APPLIANCES, FIXTURES, ECT.

	ENERGY STAR RATED REFRIGERATOR, MAKE AND MODEL T.B.D.
2	ENERGY STAR RATED FREEZER, MAKE AND MODEL T.B.D.
3	COOKTOP, OVEN AND EXHAUST HOOD, MAKES AND MODEL T.B.D. BY OWNER. PROVIDE POWER & GAS CONNECTIONS AS REQUIRED.
4	MILLWORK, FINISH T.B.D.
5	ENERGY STAR RATED WASHING MACHINE, MAKE AND MODEL T.B.D. BY OWNER.
6	ENERGY STAR RATED CLOTHES DRYER, MAKE AND MODEL T.B.D. BY OWNER.
7	DIRECT VENT, SEALED COMBUSTION TYPE GAS FIREPLACE BY HEATILATOR MODEL CRAVE 74"x72-1/4". MAXIMUM 2" PROJECTION IN REQUIRED VARY IS ALLOWED PER SECTION 12.22 C (b). SEE AD-7.0 FOR SPECIFICATION.
8	COAT POLE AND SHELVING T.B.D. BY OWNER.
9	LINE OF FLOOR ABOVE.
10	KITCHEN ISLAND, T.B.D. BY OWNER.
11	2" TEMPERED GLASS RAIL OR RAILR LARR #25084.
12	FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 2022 CBC A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM MINIMUM THICKNESS OF THE GLASS SHALL BE 1/4" INCH. (2407)
13	TITLE PATIO
14	2" TEMPERED GLASS RAIL OR RAILR LARR #25084. AND OPENS ON A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD.
15	1-HR 5/8" FIRE-RESISTANCE DRYWALL AND GARAGE CEILING.
16	STAIRS PER STRUCTURAL. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7 - R303.8)
17	1. THE RAILWAY SHALL BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS. (R311.3.1)
18	FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES: -1" MINIMUM INSIDE DIAMETER INSTALLED TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT.
19	THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
20	- SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.
21	- THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
22	- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED <i>EV CAPABLE</i> .
23	FIRE-RETARDANT-TREATED WOOD SIDING IDENTIFIED FOR EXTERIOR USE THAT COMPLIES WITH THE REQUIREMENTS OF SECTION 2303.2
24	RABCE PANELS @ 9'-6" HEIGHT. NA
25	COVERINGS AND DECKS SHALL BE FIRE-RETARDANT PER LABC 1508-1503.
26	ROOF DRAIN DOWNSPOUT CONCEALED IN WALL TO CONNECT TO STORMWATER PLANTER UNDER PAVED WALKWAY BELOW.
27	THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
28	a. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DESIGNED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
29	b. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.(4.506.1)
30	DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WITH SELF-CLOSING AND SELF-LATCHING DEVICES. BA SEPARATED FROM THE DWELLING AND ITS ATTIC BY TYPE X DRYWALL ON CEILING AND WALLS, IN ACCORDANCE WITH TABLE R302.6.
31	c. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. .NO.26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.52)
32	d. GRASS/PAVERS AREA NA
33	STAIRWAY DETAILS: a. 7.75" MAXIMUM RISE & 10" MINIMUM RUN. (R311.7.5) b. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
34	c. MINIMUM 36" CLEAR WIDTH. (R311.7.1) d. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1) e. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.8.3) f. MAXIMUM 4" GAGE SPACING OPENING BETWEEN RAIL (R312.1.3) (SEE SHEET AD-01 DETAIL 01 FOR SPECIFICATION)
35	EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM-24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5/7 1/2" MINIMUM AREA (5.0 5' AT GRADE LEVEL) & 44" MINIMUM TO SILL. (R310.1)
36	ENCLOSED ACCESSIBLE SPACE-UNDER-STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE, AND ANY SOLIDS PROTECTED ON THE ENCLOSED-SIDE WITH 1/2" INCH GYPSUM BOARD. (R302.7)
37	1. PARKING AND TURNING AREAS WITHIN 15'-0" PROPERTY LINE MUST BE ENCLOSED BY 5'-0" HIGH SOLID WALL- 12-21A6 (4); (e); (f) NA
38	2. MULTIPLE SHOWER HEADS SERVING ONE SHOWER. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3' ABOVE THE FLOOR AND 2' FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
39	BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.
40	3. GLAZING IN THESE LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3



PROJECT ADDRESS

652 Robin Glen Dr,
Glendale , CA 91207

OWNER

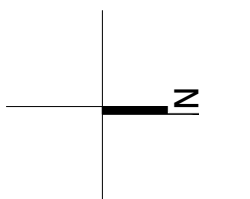
Owner

STRUCTURAL

Approver

CIVIL ENGINEERING

Author



ROOF PLAN NOTES

- 1 AREA SUITABLE FOR FUTURE INSTALLATION OF
- 2 ELECTRICAL SOLAR PANELS WITH 1" MINIMUM
- 3 CONCRETE TERMINATION.
- 4 LINE OF WALL BELOW.
- 5 ENERGY STAR RATED HVAC UNITS PER
- 6 MECHANICAL DEFERRED SUBMITTAL
- 7 MECHANICAL UNIT PAD PER STRUCTURAL
- 8 ROOF DRAIN.
- 9 ROOF GUTTER, N/A
- 10 GYP/TILES ROOF/ PLANA - FLAT INTERLOCKING/
11 EBOY GRAY. ESR 1759.
- 12 THE MAIN ELECTRICAL SERVICE PANEL SHALL
- 13 HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION
- 14 OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE
- 15 SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE
- 16 SHALL BE POSITIONED TO THE RIGHT OF THE MAIN SERVICE
- 17 FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT
- 18 LOCATION AND SHALL BE PERMANENTLY MARKED
- 19 FOR A FUTURE SOLAR ELECTRIC (4.2114, ENERGY
- 20 CODE 110.10) N/A
- 21 THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM
- 22 RATING OF: 200 AMP, 120/240V, N/A
- 23 ROOF COVERINGS AND DECKS SHALL BE FIRE-
24 RETARDANT PER CBC 2022
- 25 ROOF DRAIN DOWNSPUT TO BE CONNECTED TO
- 26 STORE WATER BARRELS UNDER PAVED WALKWAY
- 27 BELOW
- 28 OYAGIN ATTIC VENT MODEL (M) NET FREE
- 29 VENTILATION AREA / HIGH & LOW: 98.5SG. IN.

REQUIRED ATTIC VENTILATION

O'HAGIN ATTIC VENT MODEL (M) NET FREE VENTILATION
AREA/ HIGH & LOW: 98.5 SQ IN

ROOF ATTIC AREA = 3,290 SQ FT
3,290 X 144 = 473,760 SQ IN

REQUIRED VENT AREA = $473,760 \times 1/300 = 1,579.2$ SQ IN

NOTE:
HIGH VENTS SHALL BE LOCATED A MAXIMUM OF 3FT.
LOWER THAN THE ROOF HIGH POINT OR RIDGE BEAM.

[illegible]

4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNING COMMENTS
1	01/03/2023	PLAN CHECK SET
NUMBER	DATE	DESCRIPTION

ISSUE RECORD

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DRAWING
TITLE

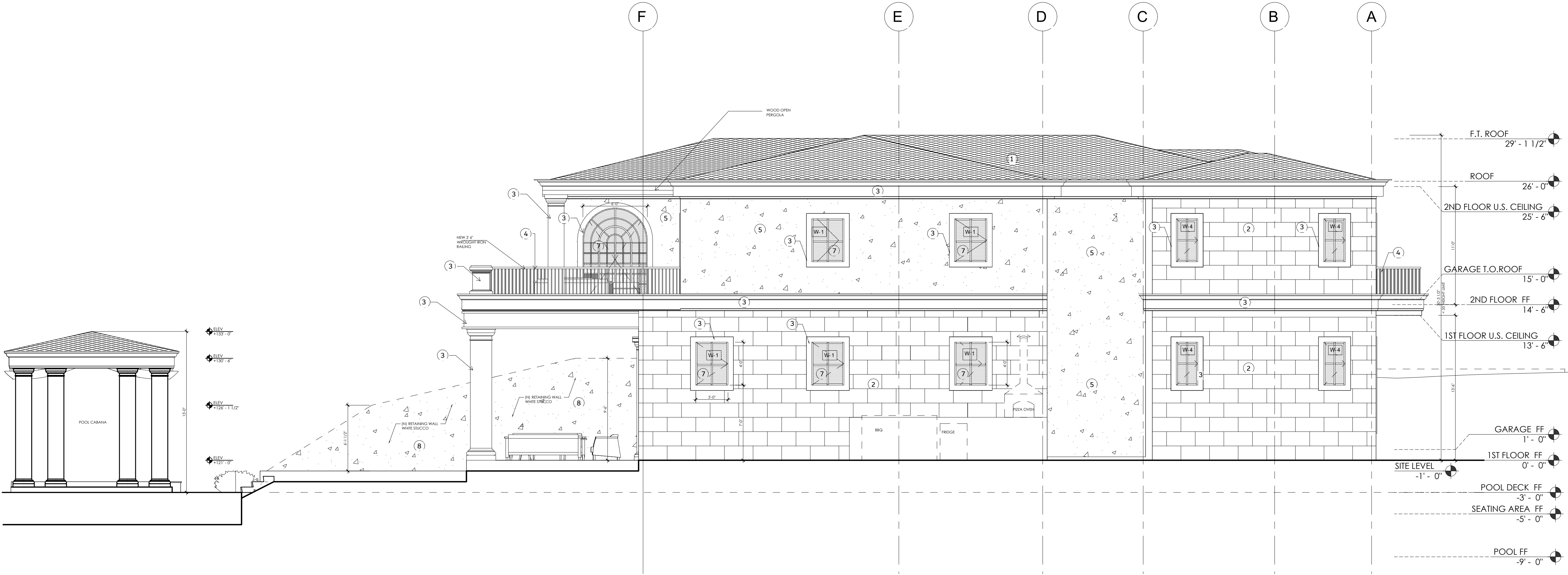
Proposed roof plan

SCALE	DRAWING NUMBER
3/16" = 1'-0"	

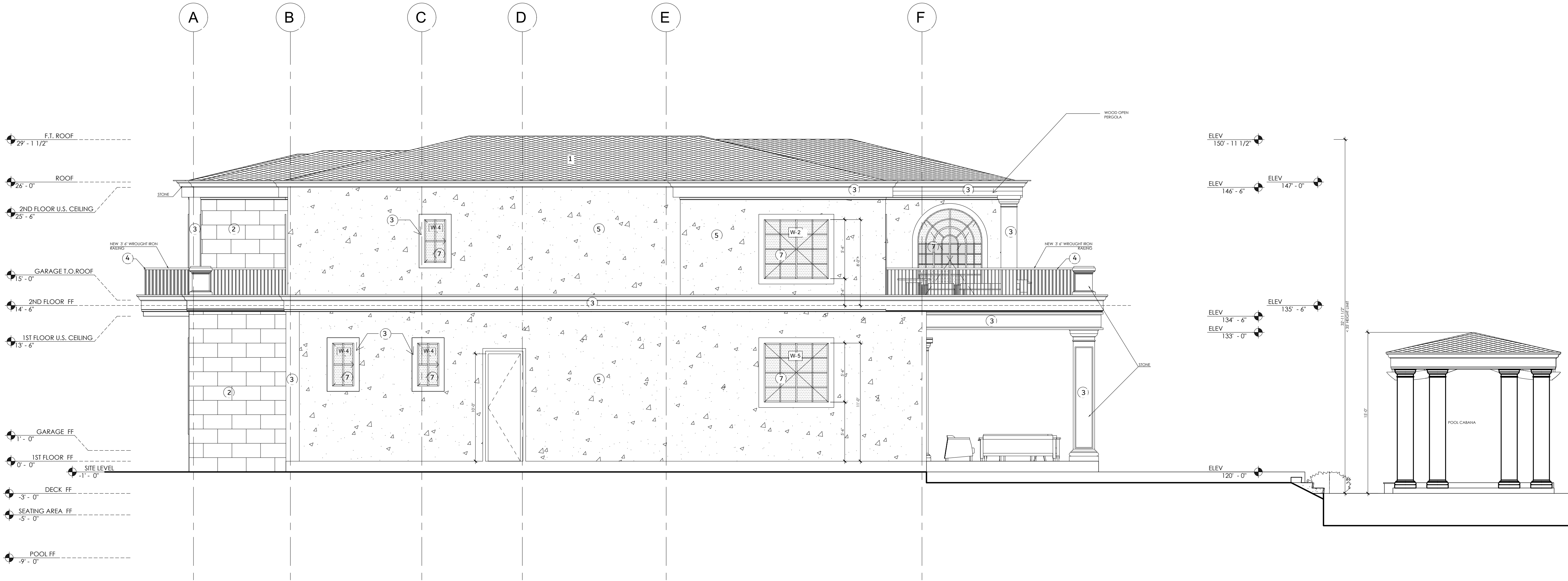
DATE	06/11/2024	A-2.20
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NUMBER

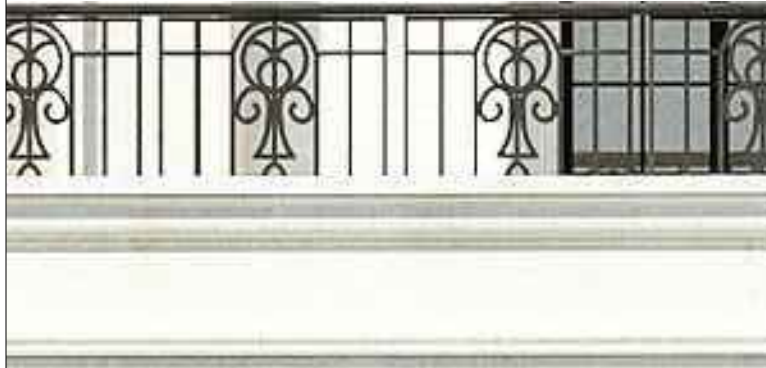
A-2.20



1 - EAST ELEVATION



2 - WEST ELEVATION



DETAIL RAILING

DESIGN + EXECUTIVE ARCHITECT
XID DESIGN BUILD
LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917



ELEVATION MATERIALS

- GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY. ESR 1759.
- REBEL BEIGE LIGHT CREAM HONED LIMESTONE, 24" x 16"
- PRECAST STONE COLUMNS, EAVES AND TRIMS IN BEIGE LIGHT CREAM HONED FINISH
- 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- VENITIAN STUCCO
- OUTSIDE LIGHTING
- BLACK ALUMINIUM WINDOWS & DOORS.
- WHITE STUCCO

ELEVATION NOTES

- A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED TO HAVE POSITIVE DRAINAGE AND PROTECTIVE COATINGS.
- B ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- C VEHICULAR ACCESS DOORS SHALL COMPLY WITH CRC CHAPTER 10
- D LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (CRC 401.3)
- E EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44" MAXIMUM TO STILL (CRC 310.1).
- F DOWNSPOUT CONNECTED TO PLANTER BOX.
- G TEMPERED GLAZING.

NOTE : PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FRIST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, R# 25079-1.

PROJECT ADDRESS

652Robin Glen Dr,
Glendale , CA 91207

OWNER

Owner

STRUCTURAL

Approver

CIVIL ENGINEERING

Author

*	*	*
*	*	*
*	*	*
*	*	*
*	*	*
*	*	*
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4	06/11/2024	ADDRESSING APPLICATION COMMENTS
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ISSUE

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DRAWING

TITLE
Proposed Building
Elevations

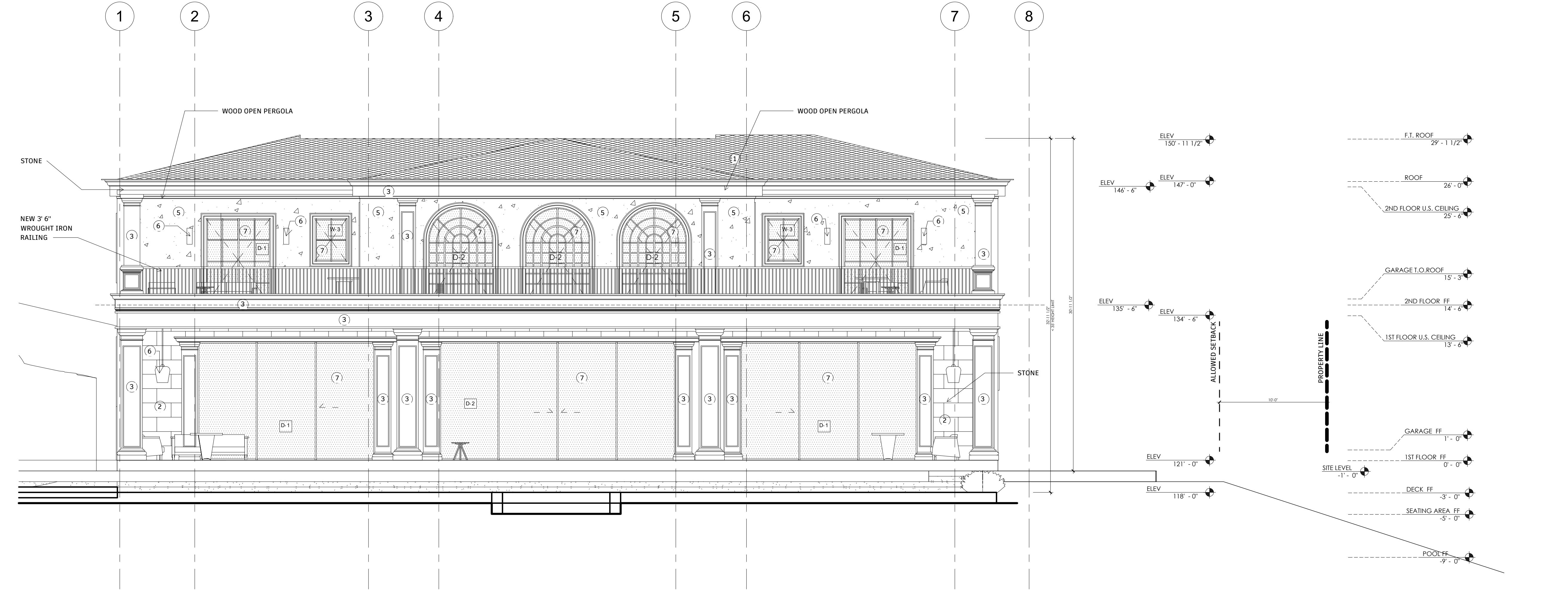
SCALE
3/16" = 1'-0"

DATE
06/11/2024

DRAWING
NUMBER
A-3.00

PLAN CHECK SET

652 Robin Glen Dr,



1 - SOUTH ELEVATION



2 - NORTH ELEVATION



XID DESIGN BUILD LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917

ELEVATION MATERIALS

- ① GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY. ESR 1759.
- ② REBEL BEIGE LIGHT CREAM HONED LIMESTONE, 24" x 16"
- ③ PRECAST STONE COLUMNS, EAVES AND TRIMS IN BEIGE LIGHT CREAM HONED FINISH
- ④ 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- ⑤ VENITIAN STUCCO
- ⑥ OUTSIDE LIGHTING
- ⑦ BLACK ALUMINIUM WINDOWS & DOORS.
- ⑧ WHITE STUCCO

ELEVATION NOTES

- A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED TO HAVE POSITIVE DRAINAGE AND PROTECTIVE COATINGS.
- B ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- C VEHICULAR ACCESS DOORS SHALL COMPLY WITH CRC CHAPTER 10
- D LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (CRC 401.3)
- E EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44" MAXIMUM TO STELL (CRC 310.1).
- F DOWNSPOUT CONNECTED TO PLANTER BOX.
- G TEMPERED GLAZING.

NOTE : PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FRIST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, R#R 25079-1.

PROJECT ADDRESS

652Robin Glen Dr,
Glendale , CA 91207

OWNER

Owner

STRUCTURAL

Approver

CIVIL ENGINEERING

Author

- 1 GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY. ESR 1759.
- 2 WHITE LIMESTONE
- 3 BLACK ALUMINIUM WINDOWS & DOORS.
- 4 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON

DETAIL RAILING

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DRAWING TITLE

Proposed Building
Elevations

SCALE
3/16" = 1'-0"

DATE
06/11/2024

DRAWING
NUMBER
A-3.10

PLAN CHECK SET

652 Robin Glen Dr,

DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD
LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917



PROJECT ADDRESS
652 Robin Glen Dr,
Glendale , CA 91207

OWNER
Owner

STRUCTURAL
Approver

CIVIL ENGINEERING
Author

ELEVATION NOTES

- 1 TILE BALCONY/PATIO PER OWNER. BALCONIES NEED TO HAVE POSITIVE DRAINAGE AND PROTECTIVE COATINGS.
- 2 ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE FIRST 9FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- 3 VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4
- 4 LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6INCHES WITHIN THE FIRST 10FEET (R401.3).
- 5 EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (.5SF AT GRADE LEVEL) AND 44" MAXIMUM TO SILL (R 310.1)
- 6 DOWNSPOUT CONNECTED TO PLANTER BOX.
- 7 TEMPERED GLAZING.

NOTE : PROVIDE ANTI-GRAFITTI FINISH WITHIN THE FRIST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, RRR# 25079-T.

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4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS

1	01/03/2023	PLAN CHECK SET
NUMBER	DATE	DESCRIPTION

ISSUE
RECORD

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DRAWING
TITLE

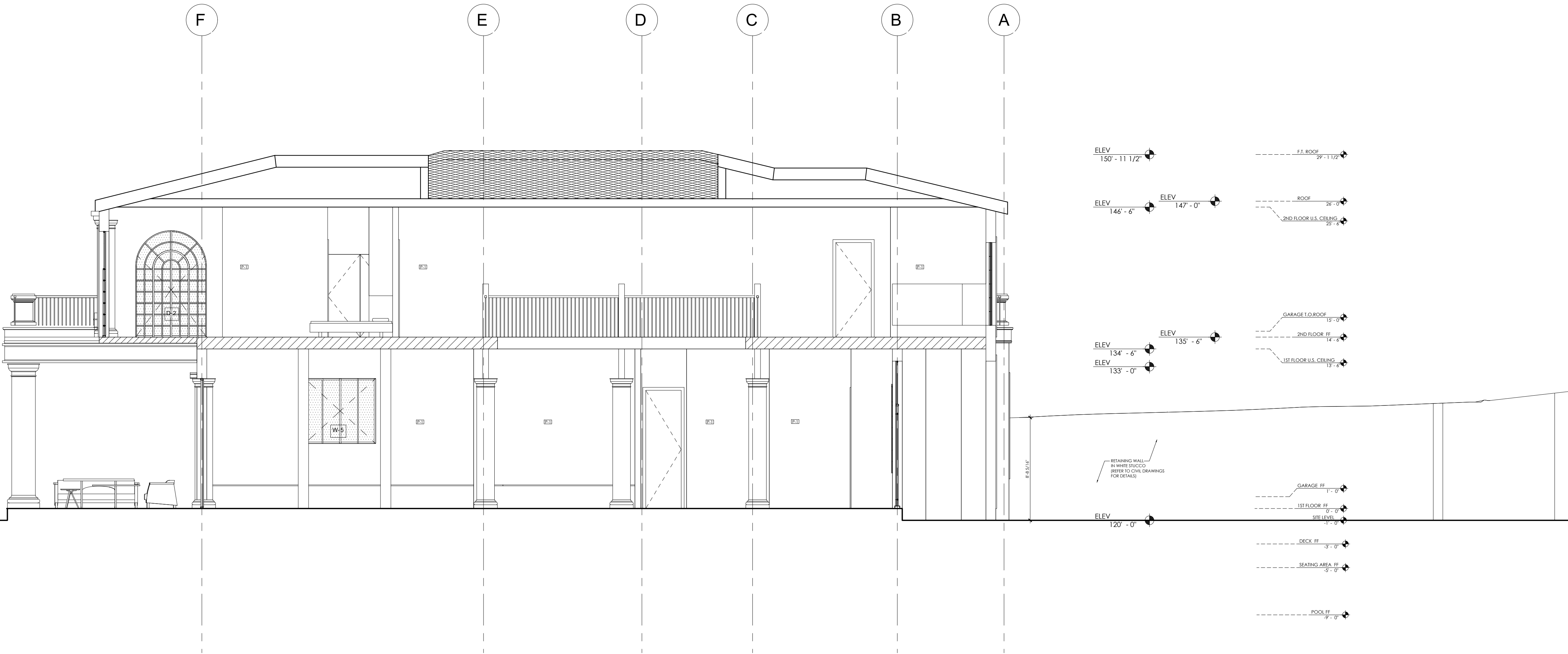
Proposed sections

SCALE
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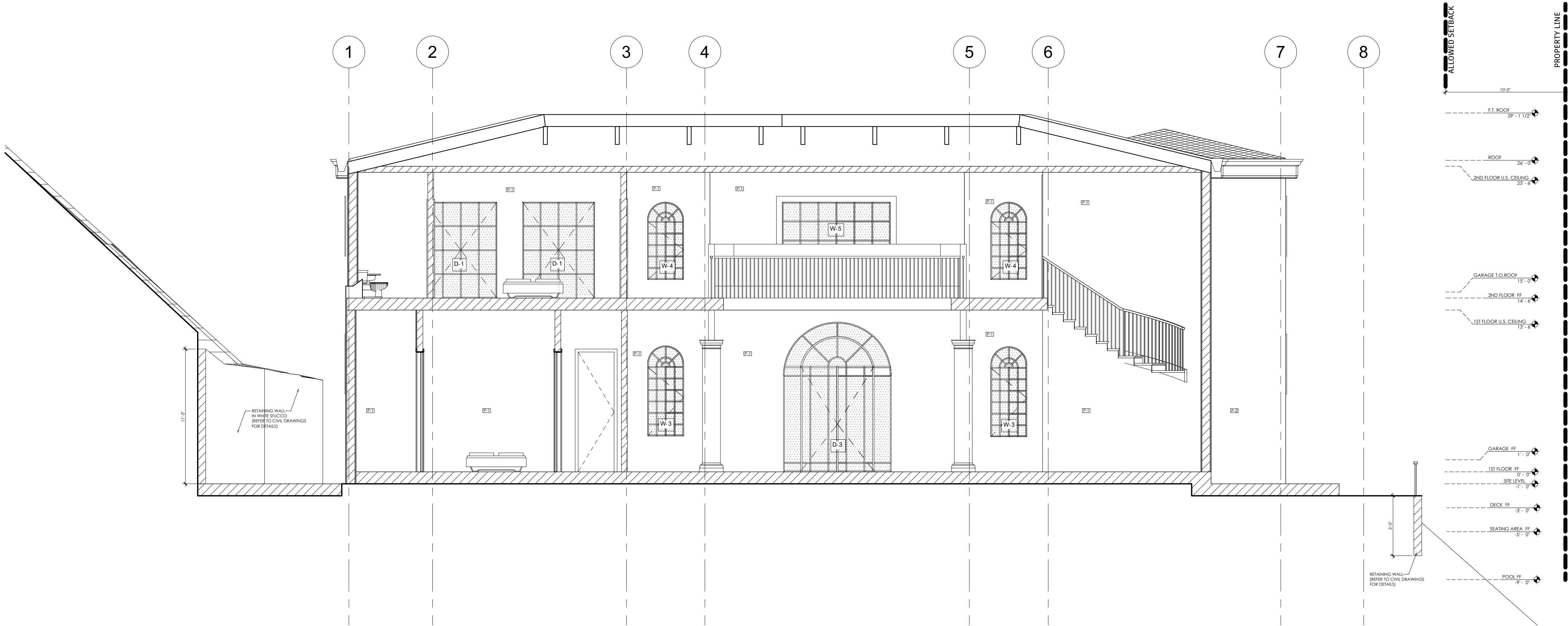
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DATE
06/11/2024

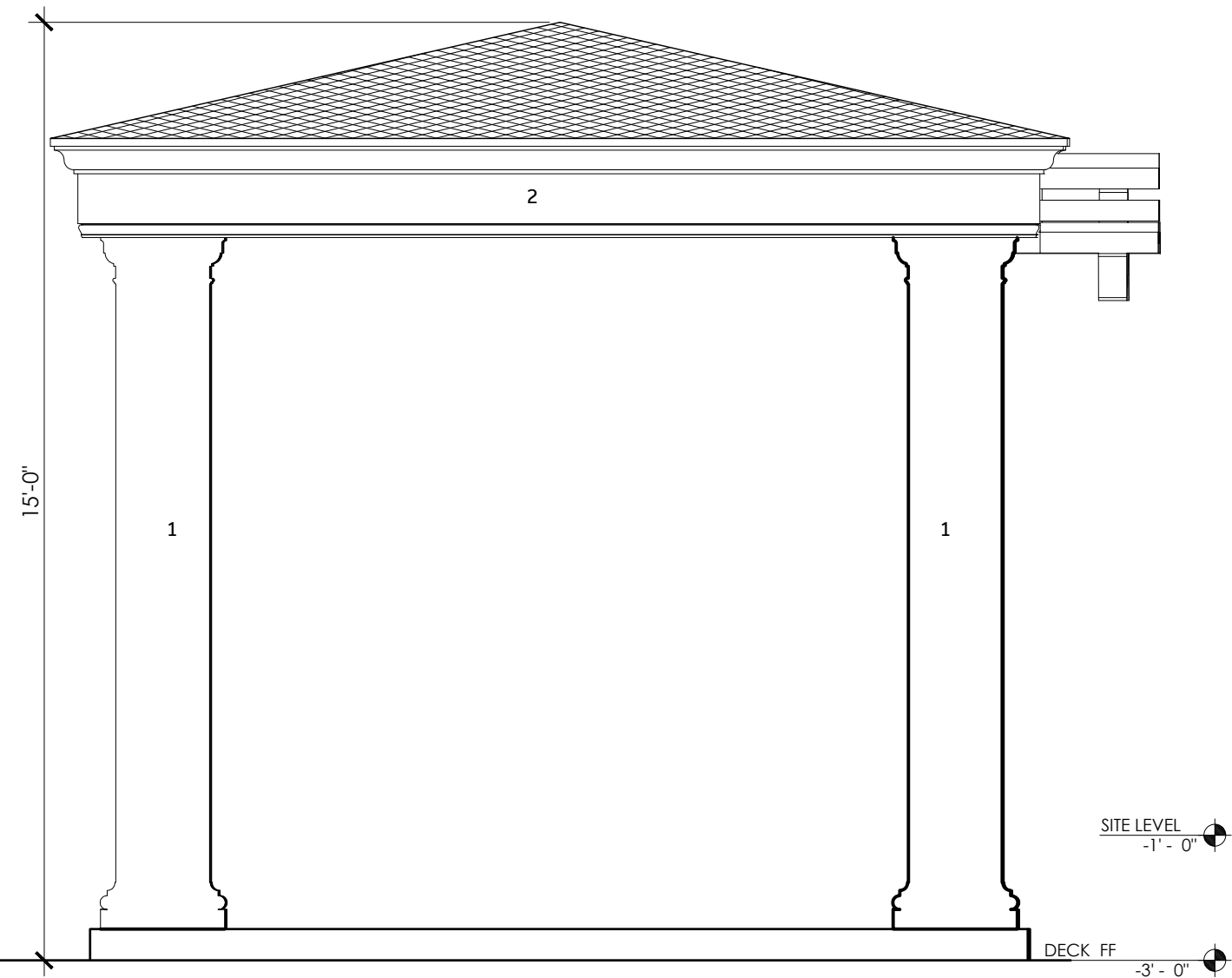
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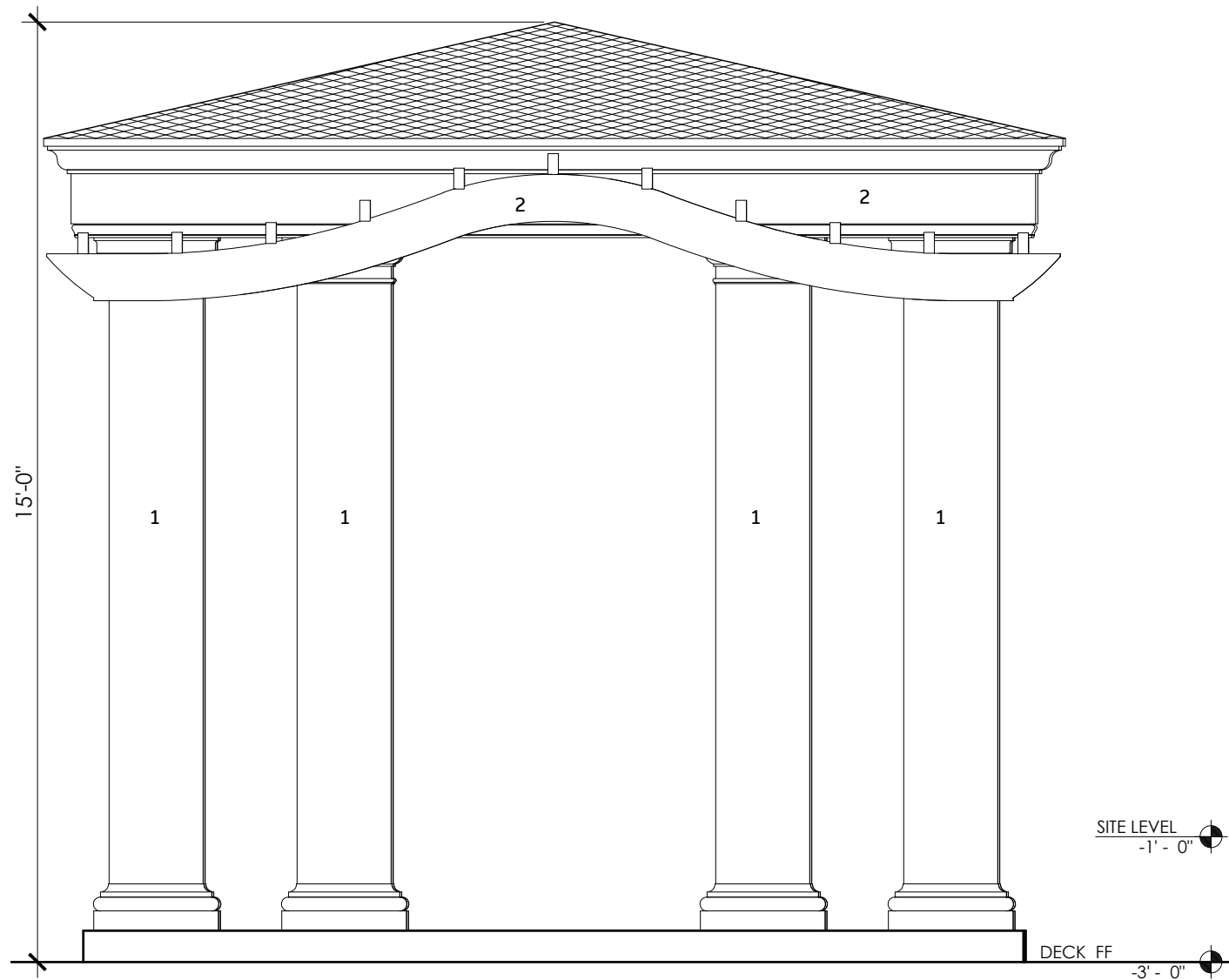
SECTION 1



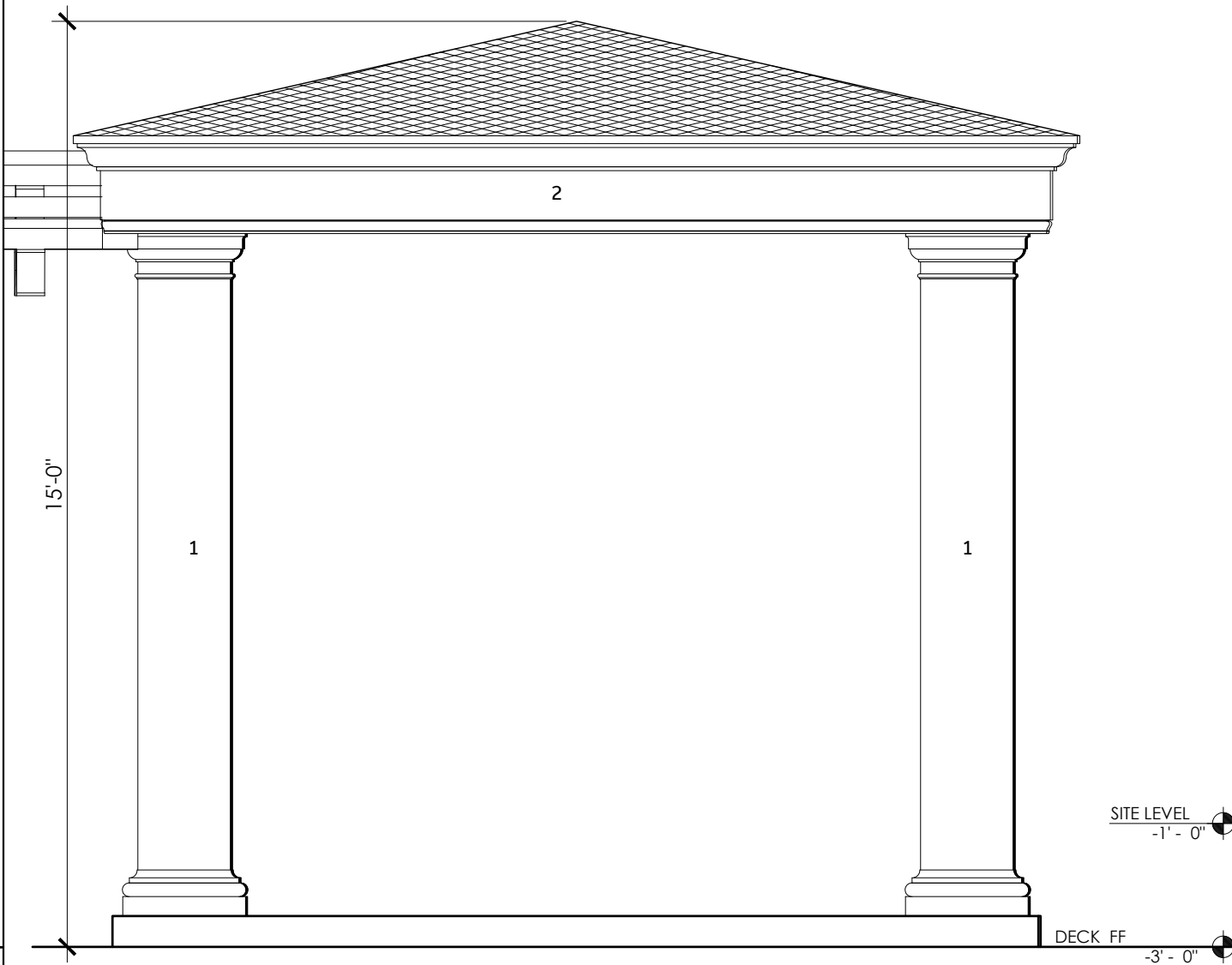
SECTION 2



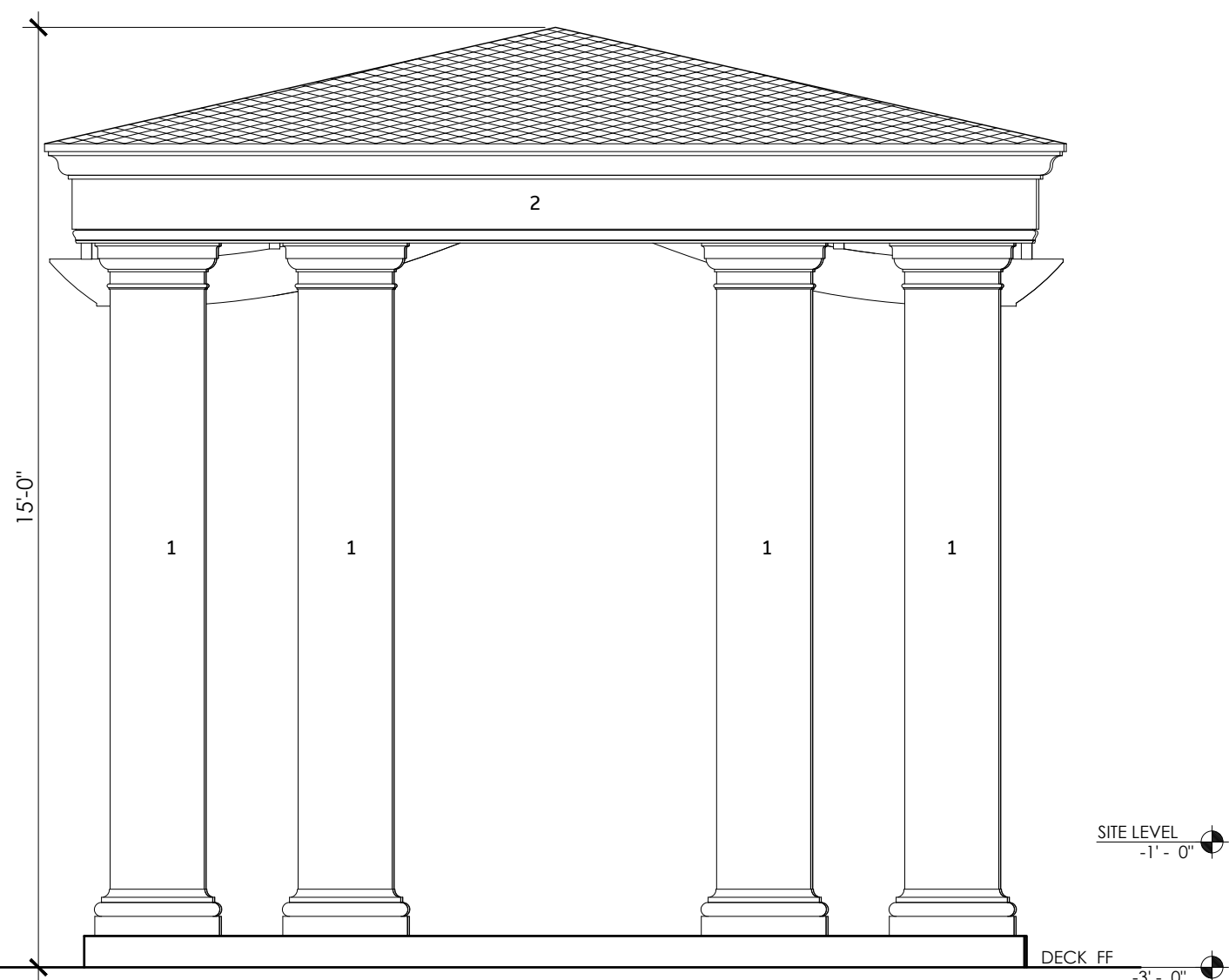
ELEVATION 1



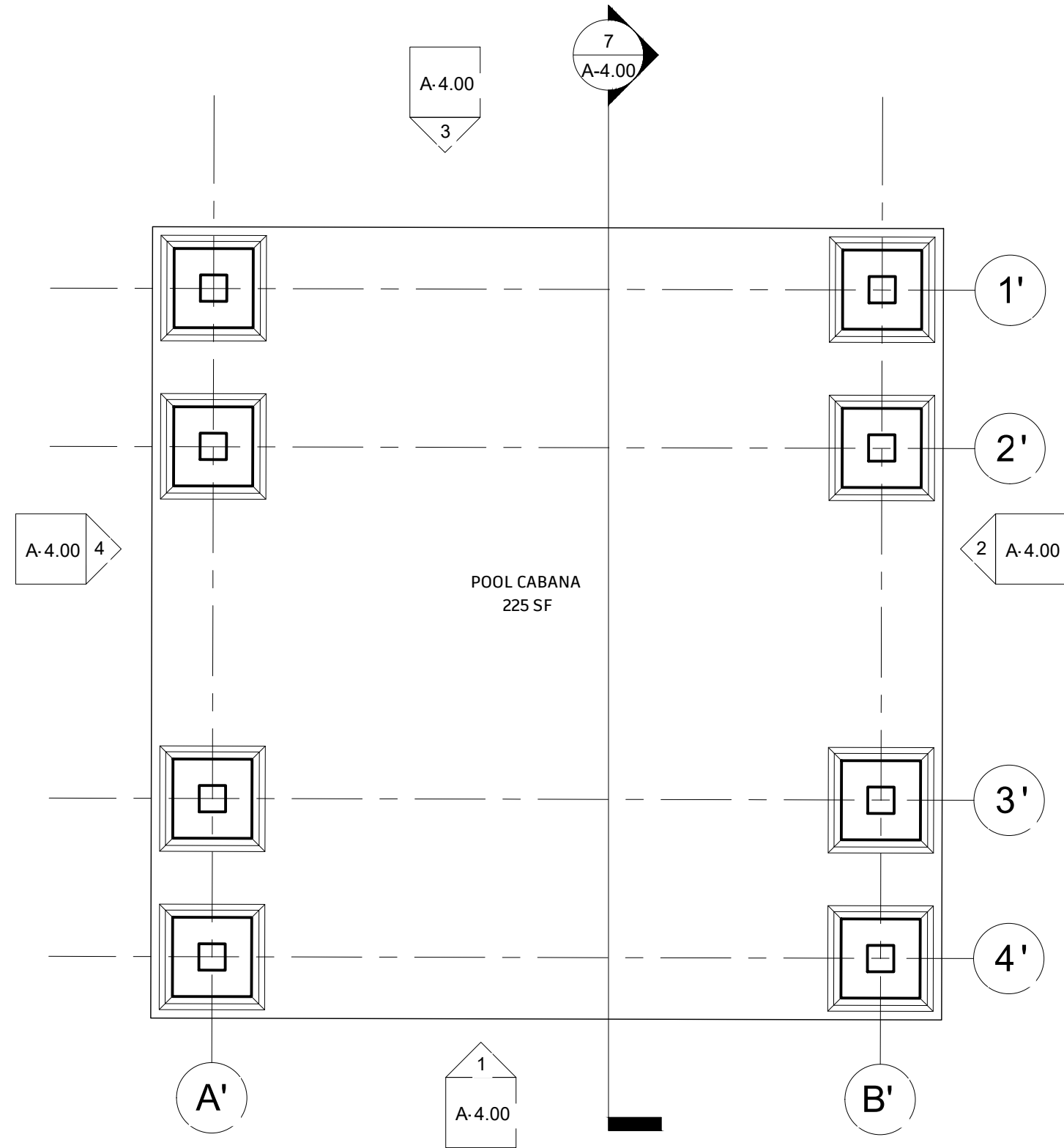
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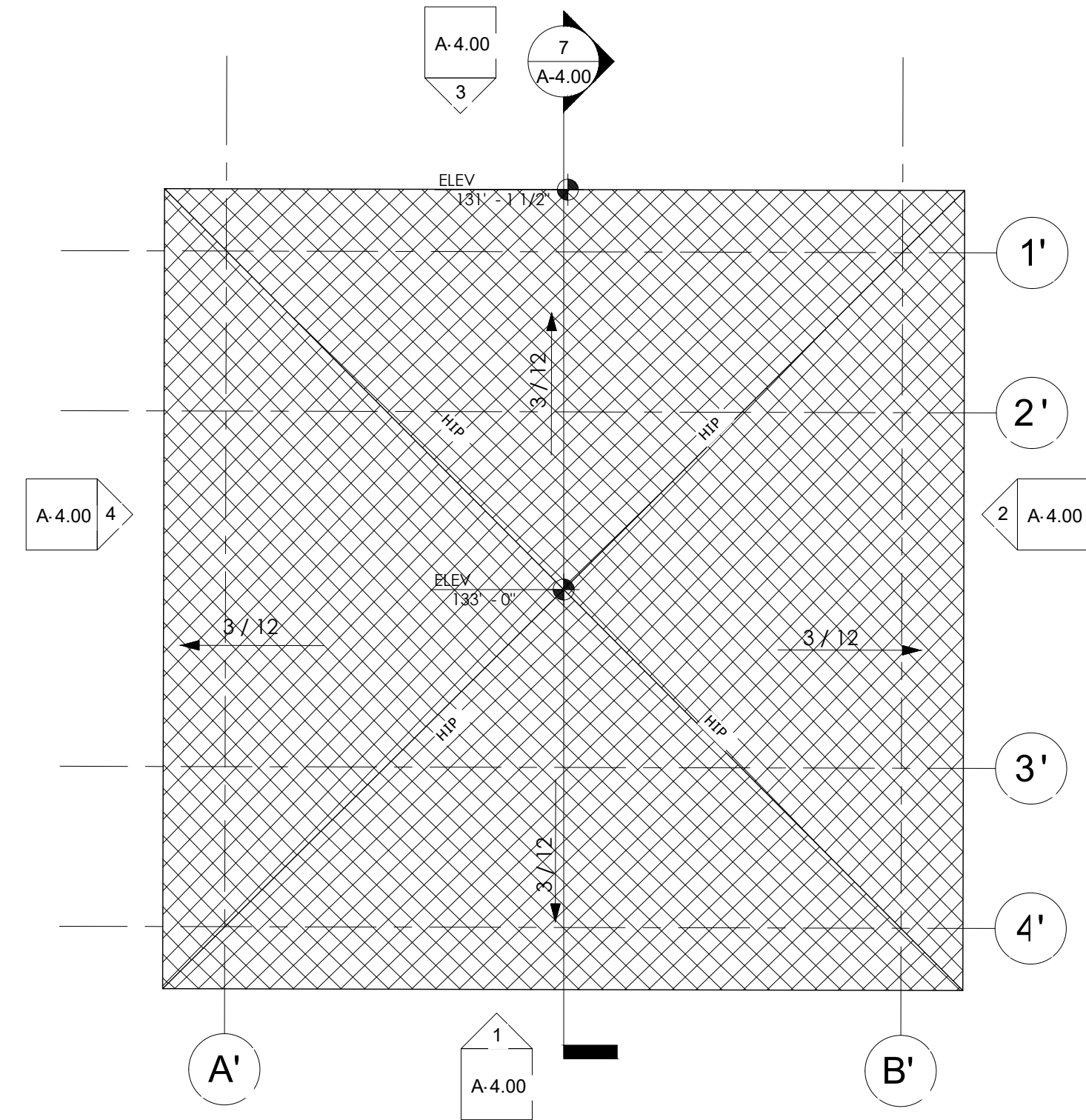
ELEVATION 3



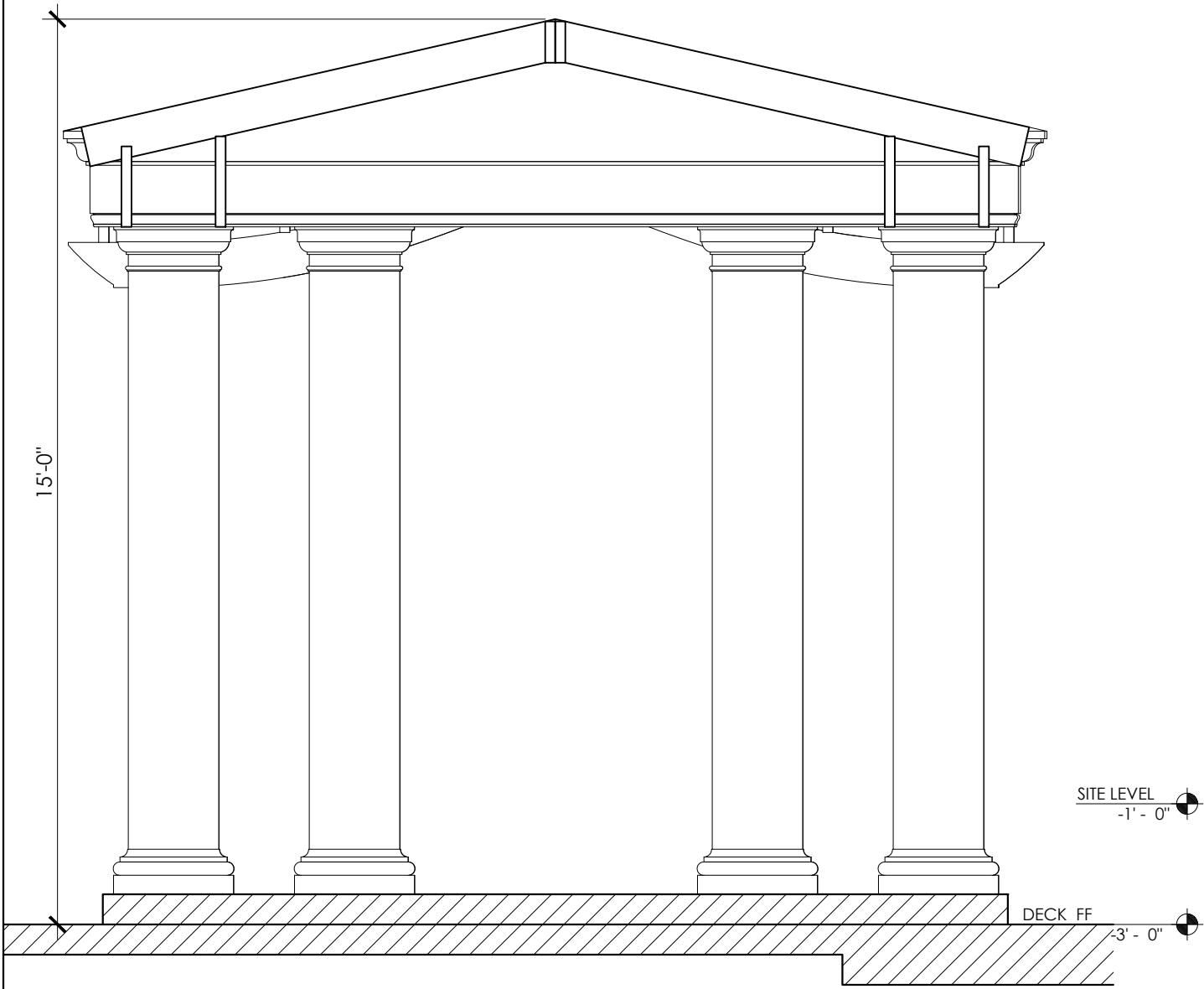
ELEVATION 4



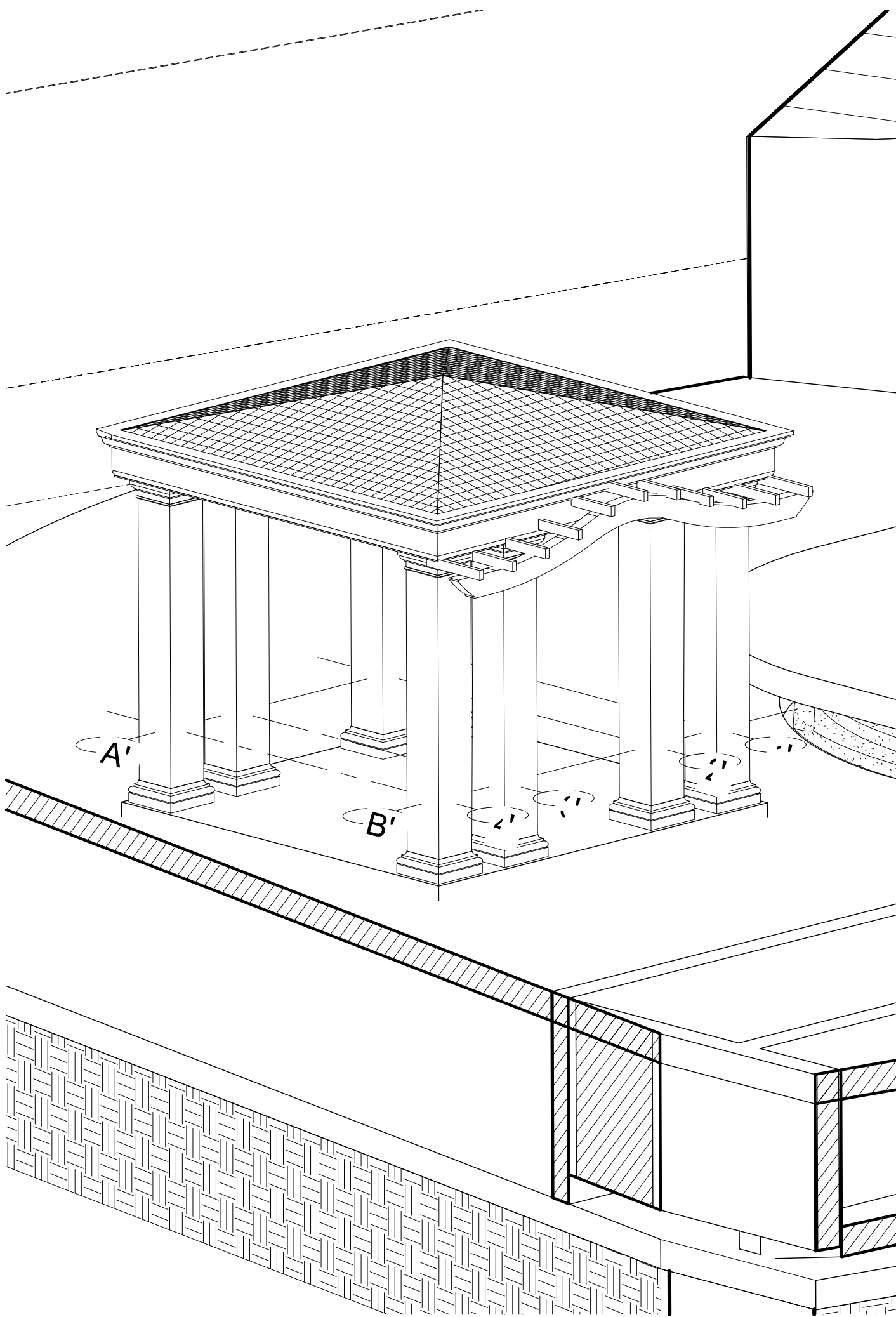
POOL FG PLAN



ROOF PLAN



SECTION 7



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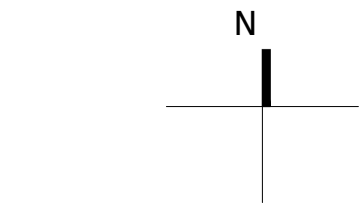
PROJECT ADDRESS
652 Robin Glen Dr,
Glendale, CA 91207

OWNER
Owner

STRUCTURAL
Approver

CIVIL ENGINEERING
Author

ELEVATION MATERIALS
1 WHITE LIMESTONE
2 WHITE STUCCO



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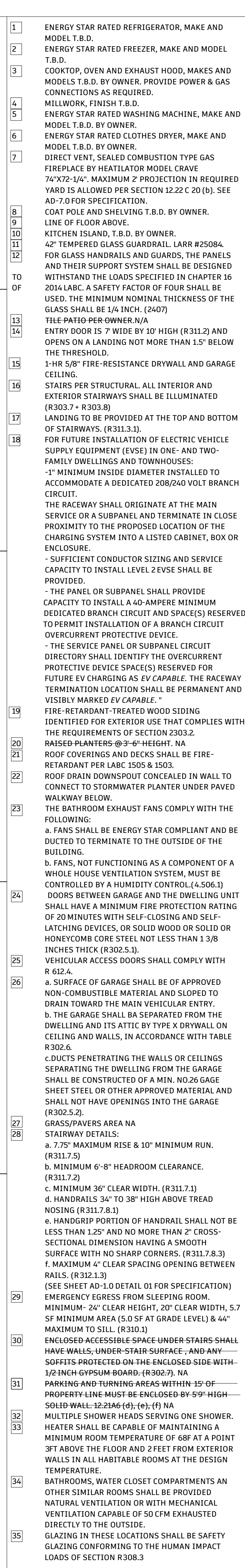
DRAWING TITLE

Proposed Pool
Cabana Elevations

SCALE
3/8" = 1'-0"

DATE
06/11/2024

DRAWING
NUMBER
A-4.00



652 Robin Glen Dr,
PLAN CHECK SET

DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD
LLC

SUITE 800
Beverly Hills, CA 90211
T 2553 319 917

XID

PROJECT ADDRESS
652Robin Glen Dr,
Glendale , CA 91207

OWNER
Owner

STRUCTURAL
Approver

CIVIL ENGINEERING
Author

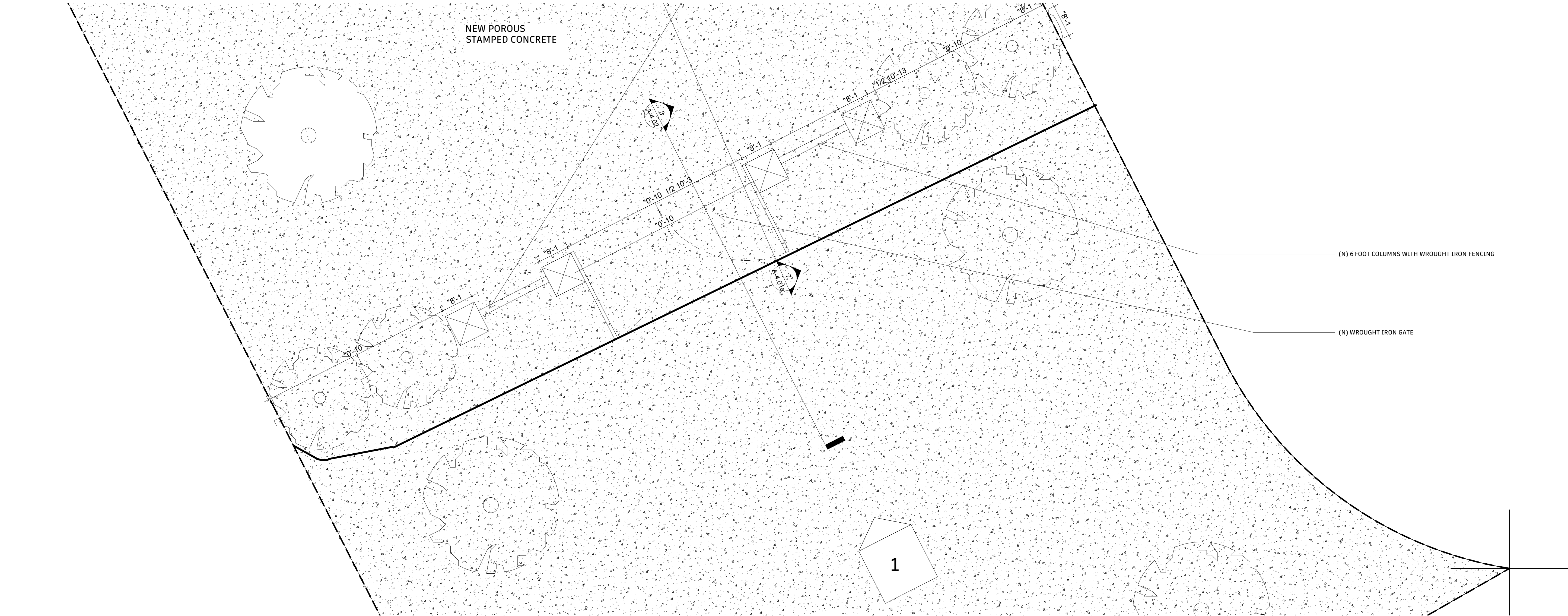
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ISSUE
RECORD

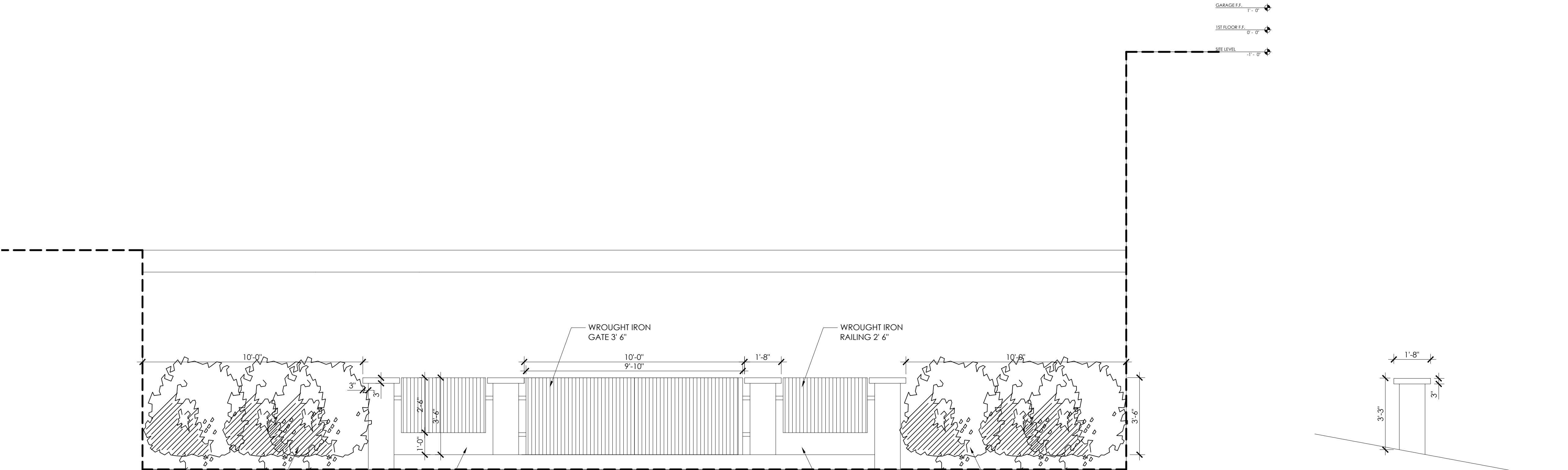
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DRAWING
TITLE
Proposed Gate and
posts elevation

SCALE 3/8" = 1'-0"	DRAWING NUMBER
DATE 06/11/2024	A-4.02



PLAN



ELEVATION 1

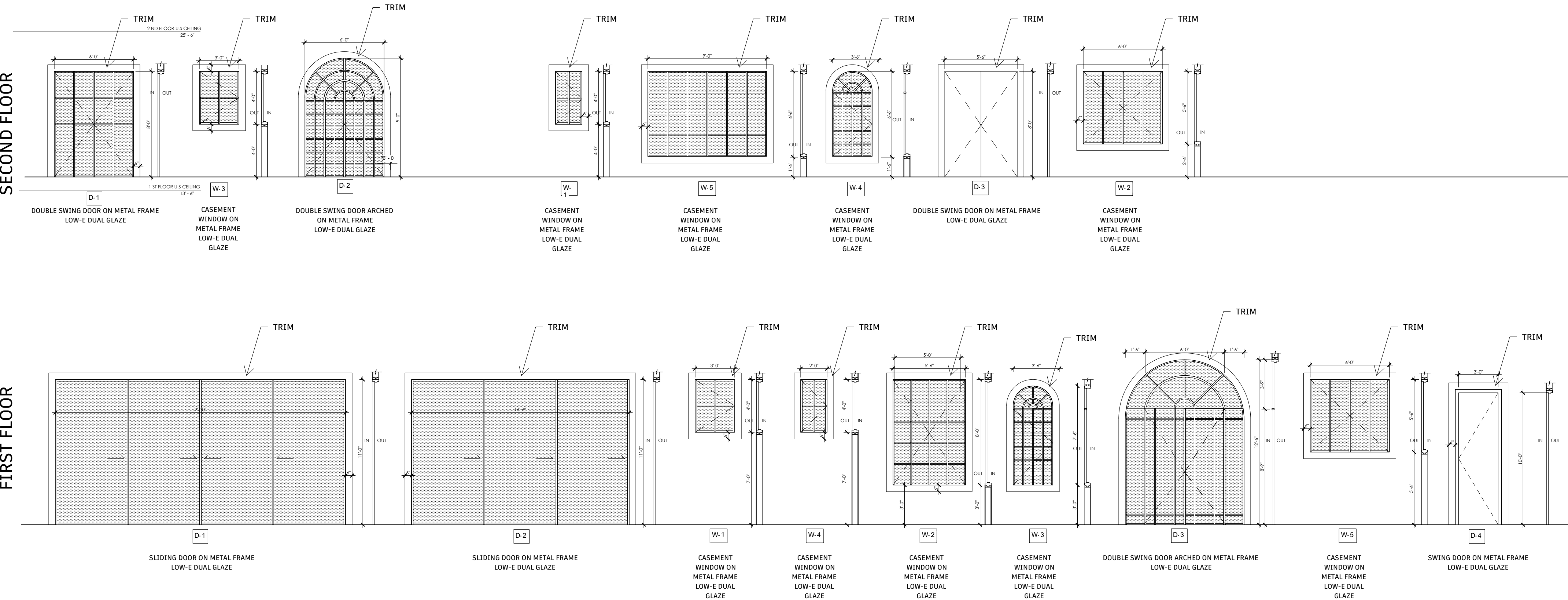
SECTION 3

DOOR SCHEDULE

DOOR NO.		DOOR							FRAMES			DETAILS				QUANTITY	REMARKS	
		WIDTH	HEIGHT	THICK	TYPE	MATERIAL		SAFETY	GRIDS / SDL	MATERIAL	FINISH	LABEL	HEAD	JAM	SILL			SILL / TRIM MATERIAL
1ST FLOOR	D-0	3' - 00"	9' - 00"	0' - 1 1/2"	HINGED	WOOD				ALUMINIUM	BLACK	N/A	9' - 01"	0' - 01"	N/A	WHITE LIMESTONE	11	INT : BEDROOM, CLOSET, BATHROOM, POWDER, OFFICE
	D-1	16' - 6"	11' - 00"	0' - 1 1/2"	POCKET	GLASS				ALUMINIUM	BLACK	N/A	11' - 01"	0' - 01"	N/A	WHITE LIMESTONE	2	EXT : DINING ROOM
	D-2	22' - 00"	11' - 00"	0' - 1 1/2"	POCKET	GLASS				ALUMINIUM	BLACK	N/A	11' - 01"	0' - 01"	N/A	WHITE LIMESTONE	1	EXT : DINING ROOM
	D-3	6' - 00"	8' - 00"	0' - 1 1/2"	PIVOT	GLASS		X	X	ALUMINIUM	BLACK	N/A	8' - 01"	0' - 01"	N/A	WHITE LIMESTONE	1	ENTRY
	D-4	3' - 00"	11' - 00"	0' - 1 1/2"	HINGED	GLASS				ALUMINIUM	BLACK	N/A	11' - 01"	0' - 01"	N/A	WHITE LIMESTONE	1	CHEF KITCHEN
2ND FLOOR	D-0	3' - 00"	8' - 00"	0' - 1 1/2"	HINGED	WOOD				ALUMINIUM	BLACK	N/A	8' - 01"	0' - 01"	N/A	WHITE LIMESTONE	13	INT : BEDROOM, CLOSET, BATHROOM
	D-1	5' - 6"	8' - 00"	0' - 1 1/2"	HINGED	WOOD			X	ALUMINIUM	BLACK	N/A	8' - 01"	0' - 01"	N/A	WHITE LIMESTONE	6	EXT : MASTER BATHROOM, BEDROOM, CLOSET
	D-2	6' - 00"	8' - 00"	0' - 1 1/2"	FRENCH	GLASS			X	ALUMINIUM	BLACK	N/A	8' - 01"	0' - 01"	N/A	WHITE LIMESTONE	5	EXT : MASTER BEDROOM
	D-3	5' - 6"	8' - 00"	0' - 1 1/2"	FRENCH	GLASS			X	ALUMINIUM	BLACK	N/A	8' - 01"	0' - 01"	N/A	WHITE LIMESTONE	1	INT : MASTER BATHROOM

WINDOW SCHEDULE

WINDOW NO.	QUANTITY		WINDOW													WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR	FRAMES			DETAILS			REMARKS	
			WIDTH	HEIGHT	THICK	MATE- RIAL	VISIBLE FROM STREET? Y/N	TYPE	FRAME TYPE	GRIDS / SDL	BUILD NEW SILL & FRAME Y/N	BEDROOM Y/N	ENERGY EFFICIENT Y/N	TEMPERED GLASS	FIRE HAZARD ZONE		MATERIAL	FINISH	LABEL	HEAD	JAM	SILL		SILL / TRIM MATERIAL
1ST FLOOR	W-1	2	3' - 00"	4' - 00"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	Y	Y	N	N	N	ALUMINIUM	BLACK	N/A	11' - 01"	7' - 00"	0' - 01"	WHITE LIMESTONE	KITCHEN, BATHROOM 2
	W-2	4	5' - 6"	8' - 00"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	N	Y	Y	N	Y	ALUMINIUM	BLACK	N/A	11' - 01"	3' - 00"	0' - 01"	WHITE LIMESTONE	OFFICE, BEDROOM
	W-3	2	3' - 00"	7' - 6"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	N	Y	Y	N	Y	ALUMINIUM	BLACK	N/A	10' - 6"	3' - 00"	0' - 01"	WHITE LIMESTONE	HALLWAY
	W-4	6	2' - 00"	4' - 00"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	Y	Y	N	N	N	ALUMINIUM	BLACK	N/A	11' - 01"	7' - 00"	0' - 01"	WHITE LIMESTONE	BATHROOM 1, 2, PANTRY & STORAGE
	W-5	1	6' - 00"	5' - 6"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	N	Y	N	N	N	ALUMINIUM	BLACK	N/A	11' - 01'	5' - 6"	0' - 01"	WHITE LIMESTONE	DINING ROOM
2ND FLOOR	W-1	6	2' - 00"	4' - 00"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	Y	Y	N	N	N	ALUMINIUM	BLACK	N/A	8' - 00"	4' - 00"	0' - 01"	WHITE LIMESTONE	BATHROOM 3, 4, 5, PLAYGROUND
	W-2	1	6' - 00"	5' - 6"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	N	Y	N	N	N	ALUMINIUM	BLACK	N/A	11' - 01'	2' - 6"	0' - 01"	WHITE LIMESTONE	MASTER BATHROOM
	W-3	2	3' - 00"	4' - 00"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	N	Y	N	N	N	ALUMINIUM	BLACK	N/A	8' - 00"	4' - 00"	0' - 01"	WHITE LIMESTONE	MASTER RESTROOM, CLOSET 5
	W-4	2	3' - 00"	6' - 5"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	N	Y	N	N	N	ALUMINIUM	BLACK	N/A	7' - 11 3/4"	1' - 6 3/4"	0' - 01"	WHITE LIMESTONE	HALLWAY
	W-5	1	9' - 00"	6' - 5 1/4"	0' - 1 1/2"	GLASS	N	CASEMENT	NAIL-IN	X	Y	N	Y	N	N	N	ALUMINIUM	BLACK	N/A	8' - 00"	1' - 6 3/4"	0' - 01"	WHITE LIMESTONE	DESK



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T 2553 319 917

DOOR NOTES

- DOOR DIMENSIONS INDICATED ARE NORMAL. PROVIDE UNDERCUT AS REQUIRED TO CLEAR ALL FLOOR FINISHES.
- BUILDING GLAZING: DUAL PANE LOW-E-NON-METAL FRAMED GLAZING WITH NFRC U-VALUE OF 0.28 AND NFRC SHGC OG 0.26.
- ALL DOOR HARDWARE TO BE SATIN NICKEL FINISH, AND LATCHED DOORS TO HAVE LEVER-TYPE HANDLES.
- ALL EXTERIOR ENTRY/EXIT DOORS SHALL SWING OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
- LANDING AT A DOOR SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL NO LESS THAN 36".
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED PER CBC 2406.3
A. INGRESS AND EGRESS DOORS.
B. PANELS IN SLIDING OR SWINGING DOORS.
C. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, AND SHOWERS. ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-00" OF STANDING SURFACE.
D. IF WITHIN 2'-00" OF VERTICAL EDGE OF CLOSED DOOR AND LESS THAN 5'-00" OF WALKING SURFACE.
E. IN WALL ENCLOSING STAIRWAY LANDING.
F. GUARDS AND HANDRAILS AROUND STAIRS AND ALL BALCONIES.

COMMENTS

- ALL DIMENSIONS ARE NOMINAL AND HOW TO OUTSIDE OF FRAME. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO PLACING WINDOW ORDER.
- BUILDING GLAZING: DUAL PANE LOW-E-NON-METAL FRAMED GLAZING WITH A NFRC-VALUE OF 0.28 AND NFRC-SHGC-VALUE OF 0.26
- BEDROOMS SHALL HAVE AT LEAST ONE OPENABLE ESCAPE WINDOW. THESE WINDOWS MUST HAVE A MIN. OPENABLE AREA OF 5.7 SF, A MIN. CLR. OPENABLE HT. OF 24", A MIN. NET CLR. OPENABLE WIDTH OF 20", AND A SILL HT. NOT OVER 44" AFF. (SECTION 210.4 2001 CBC).

GENERAL NOTES

- ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDING INSTALLATION INSTRUCTIONS ONLY.
- CONTACT ARCHITECT IMMEDIATELY IF CONTACT INFORMATION INDICATED OR MATERIAL SPECIFICATION INFORMATION IS INCORRECT OR OUT OF DATE.
- CONTRACTOR TO PROVIDE OWNER WITH ALL MANUFACTURER WARRANTY INFORMATION FOR ALL MATERIALS USED AT PROJECT CLOSEOUT.
- NO SUBSTITUTIONS PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. PROVIDE ONE SAMPLE AND SPECIFICATIONS/CUT SHEET INFORMATION TO ARCHITECT FOR ANY PROPOSED SUBSTITUTIONS.

PROJECT ADDRESS

652Robin Glen Dr,
Glendale , CA 91207

OWNER

Owner

STRUCTURAL

Approver

CIVIL ENGINEERING

Author

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NUMBER	DATE	DESCRIPTION

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DRAWING TITLE

WINDOWS AND
DOORS SCHEDULE

SCALE	DRAWING NUMBER
3/16" = 1'-0"	
DATE	
06/11/2024	A-6.00

PLAN CHECK SET

652 Robin Glen Dr,



DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD
LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917

XID

PROJECT ADDRESS
652Robin Glen Dr,
Glendale , CA 91207

OWNER
Owner

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CIVIL ENGINEERING
Author

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DRAWING TITLE

3D Rendering

SCALE NTS	DRAWING NUMBER X-1.00
DATE 06/11/2024	



XID

DESIGN + EXECUTIVE ARCHITECT

XID DESIGN BUILD LLC

SUITE 800

Beverly Hills, CA 90211

T 2553 319 917

PROJECT ADDRESS
652Robin Glen Dr,
Glendale , CA 91207

OWNER
Owner

STRUCTURAL
Approver

CIVIL ENGINEERING
Author

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DRAWING TITLE

3D Rendering

SCALE	DRAWING NUMBER
NTS	
DATE	
06/11/2024	X-1.01

PLAN CHECK SET

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XID DESIGN BUILD LLC

SUITE 800

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DRAWING TITLE

3D Rendering

SCALE	DRAWING NUMBER
NTS	
DATE	
06/11/2024	X-1.02

PLAN CHECK SET

652 Robin Glen Dr,

MCA CLAY ROOF TILE : CLASSIC TAPERED MISSION

B330-R Old Santa Barbara Blend
(Dark Variation within Blend)
Solar Reflectance – 0.33
Thermal Emittance – 0.84

Tile specifications
Actual Size : 19" x 7.5" (5")
Exposed Size : 16" x 10" O.CC
Weight per square : 1008 lbs.
Weight per piece : 5.6 lbs.
No. of pieces per square : 180 pcs (90 tops and 90 pans)

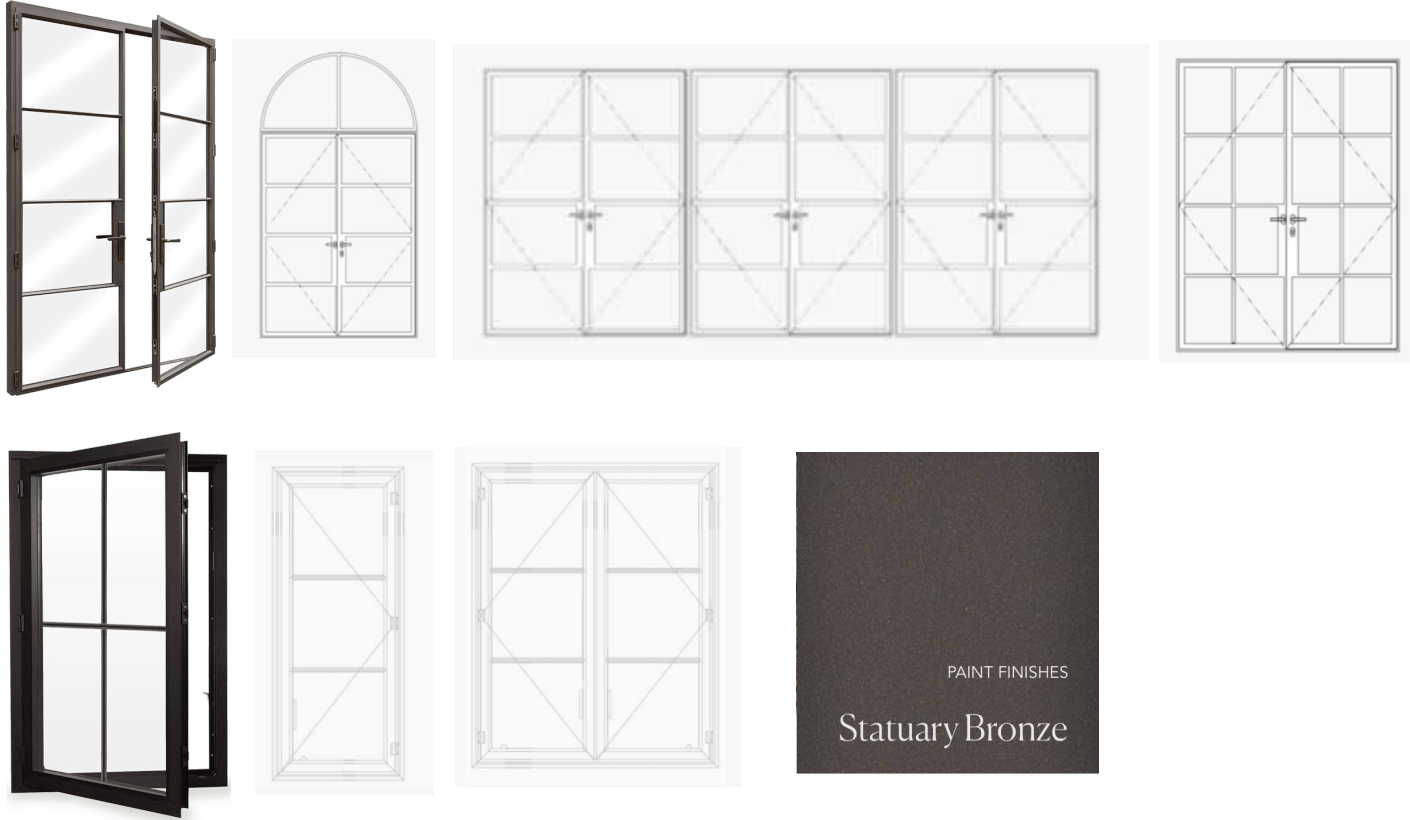


FRONT YARD PAVERS



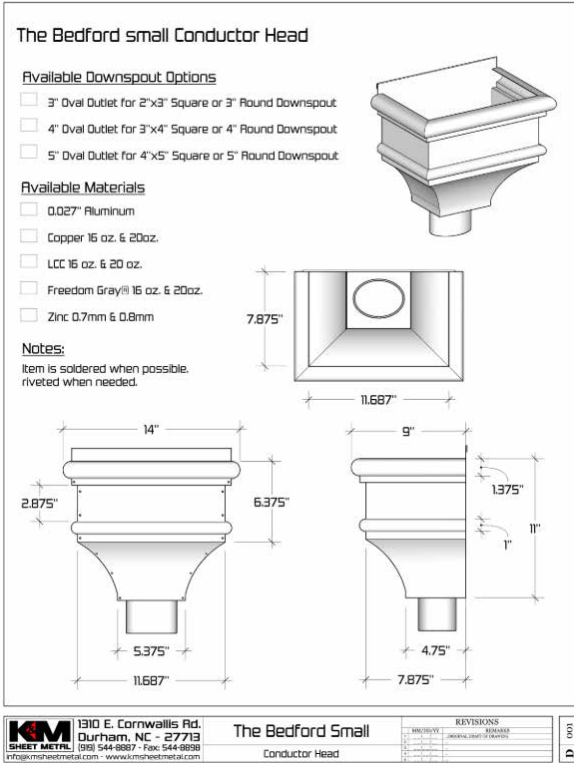
CUSTOM FRENCH DOORS & WINDOWS

Arcadia Steel Lock Aluminium
Premium Ionized
1" Dual-Glazed Low-E Glass



HEAD COLLECTORS & CONCEALED GUTTERS & DOWNSPOUTS

K & M Sheet Metal
The Bedford Small in Dark Bronze



XID DESIGN BUILD LLC
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Beverly Hills, CA 90211
T 917 319 2553

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Glendale , CA 91207

OWNER

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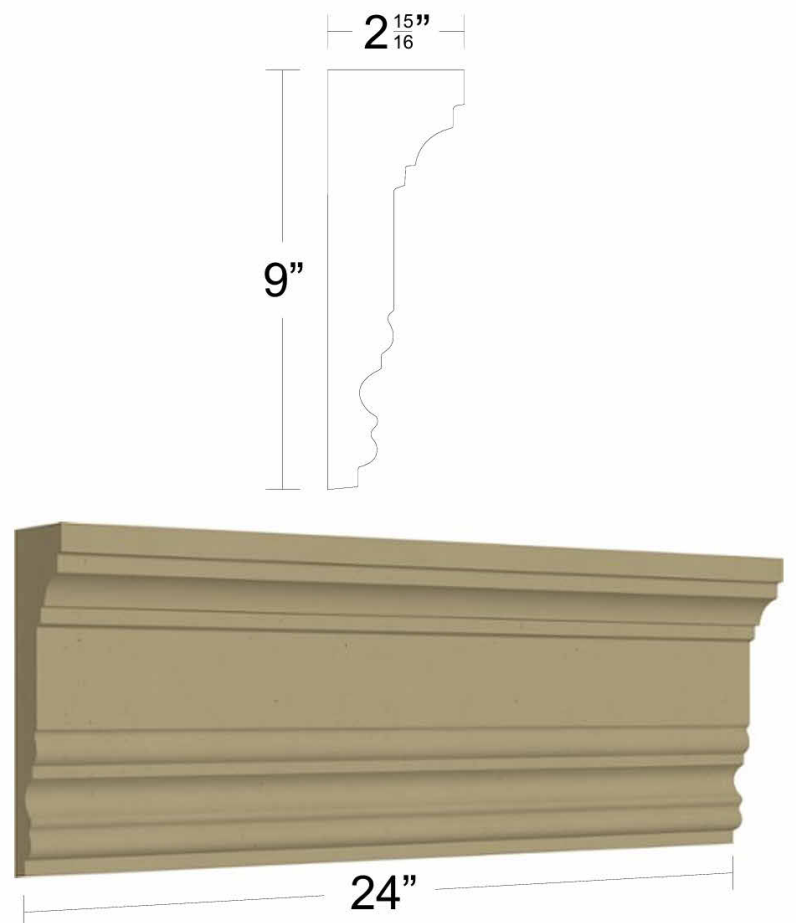
Author

ROOF EAVE DETAIL

TEL 916-386-1430
FAX 916-386-0605

HANDALSTONE
Moulding
Product Code: M731

Handalstone@sbglobal.net
www.handalstone.com



LIMESTONE FINISHES

Stoneland : Mocca creme

Dimensions : 117" x 68"



RAILING DETAILS

Black wrought iron



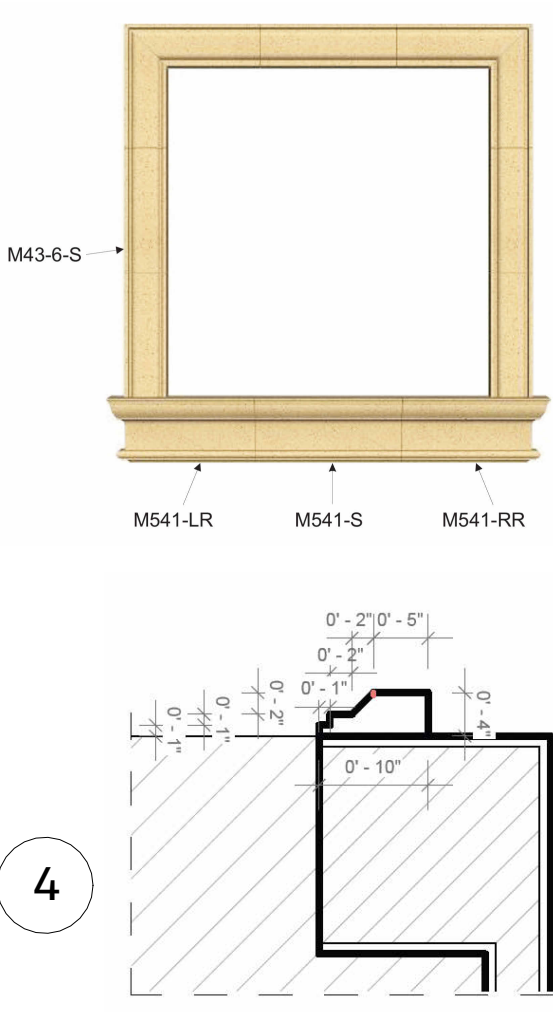
STUCCO MATERIAL

La Habra - Smooth Steel Trowel

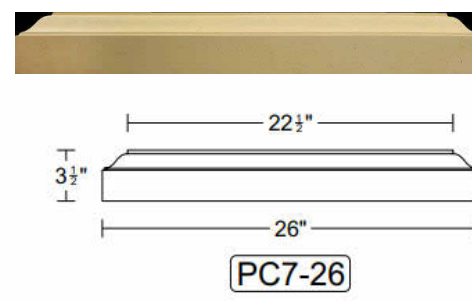
X-40 Dove Grey
Base 200 or B



LIMESTONE PRECAST DETAIL



Custom Door Surrounds DS9
Door Handalstone



CUSTOM ARCHED ENTRY FRENCH DOOR

Urban Doors Co.
PU24 Mystic Cedar
Matt

EXTERIOR LIGHTING

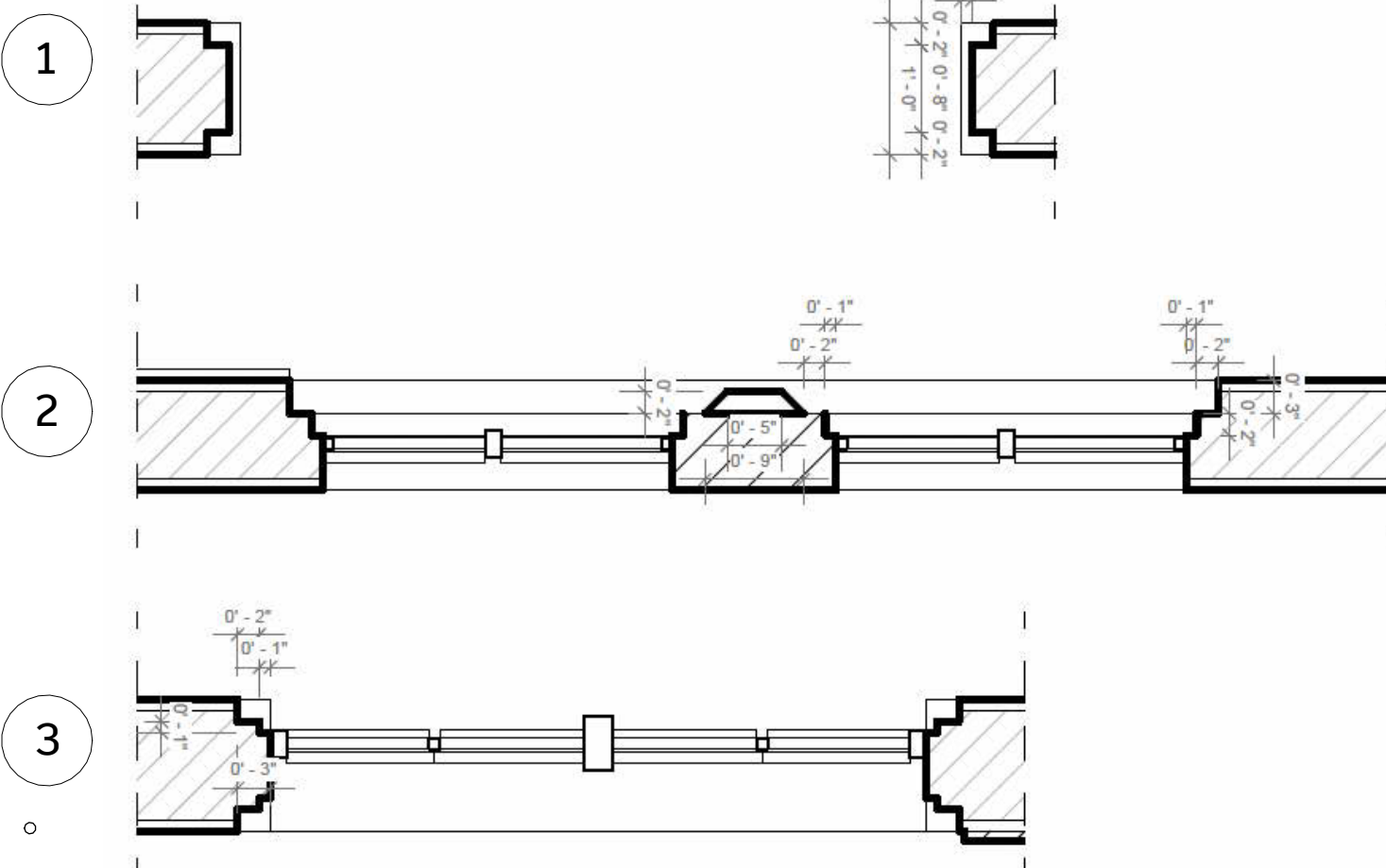
RH OUTDOOR 17IN BRONZE PENDANT

- Steel-tube construction with clear tempered glass
- Rated for four 60W max. E12 candelabra bulbs
- 110-120V manufactured to US standards for US and Canadian markets
- Certified to Damp UL electrical standard
- Hardwire
- Requires installation by a licensed electrician. RH delivery service does not include installation.

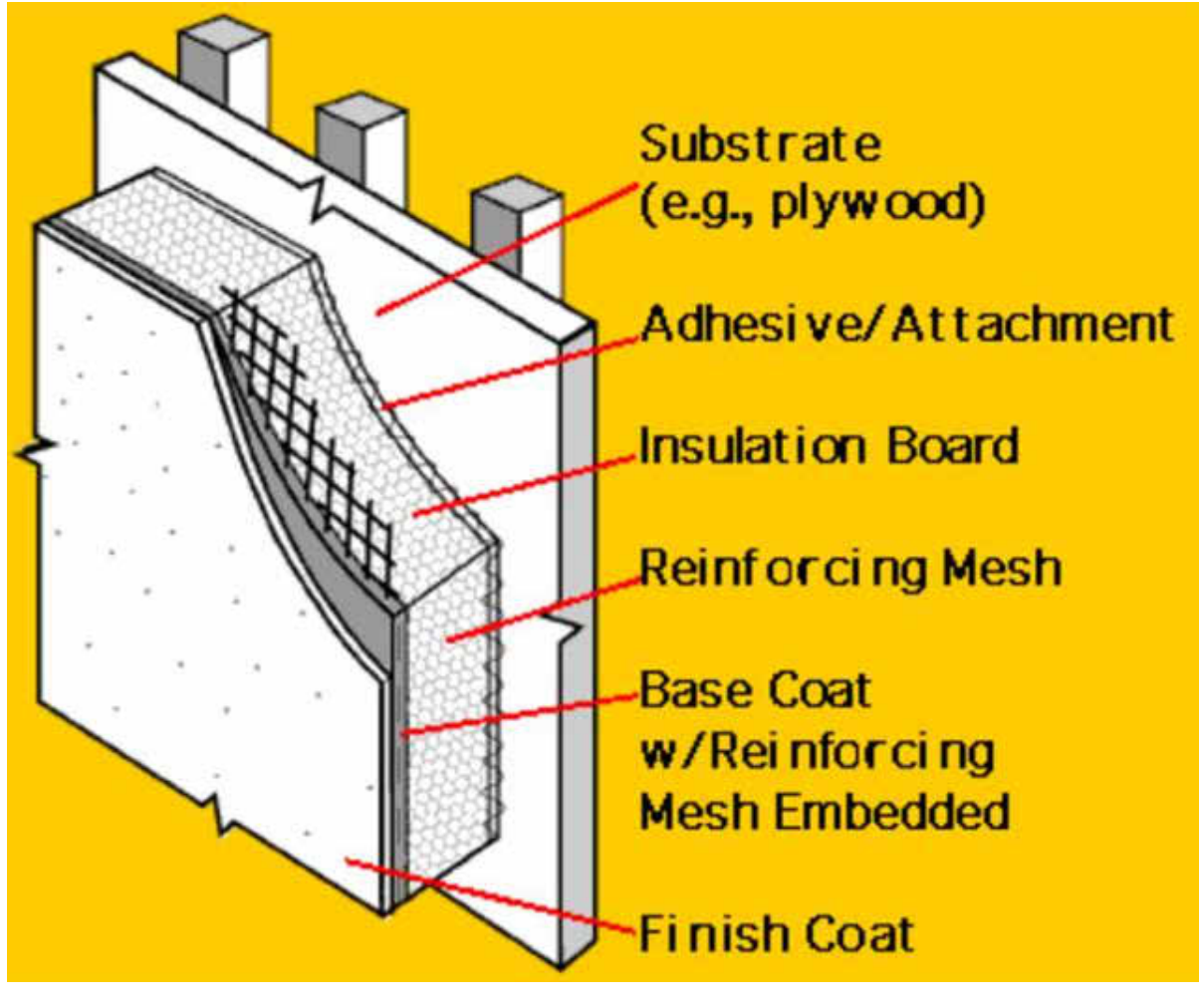


DOORS & WINDOWS TRIM

Plans :



EIFs DETAILS



-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS
1	01/03/2023	PLAN CHECK SET
NUMBER	DATE	DESCRIPTION

ISSUE RECORD

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DRAWING TITLE

MOOD BOARD

SCALE

DATE

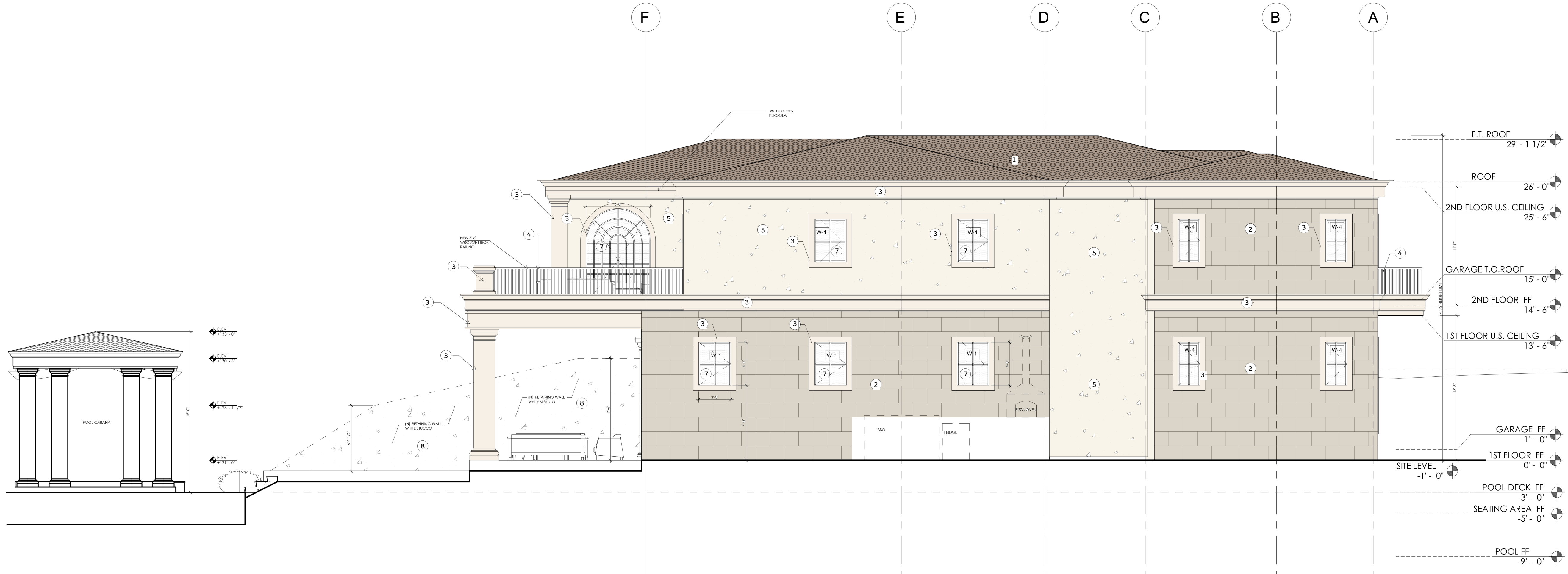
06/11/2024

DRAWING NUMBER

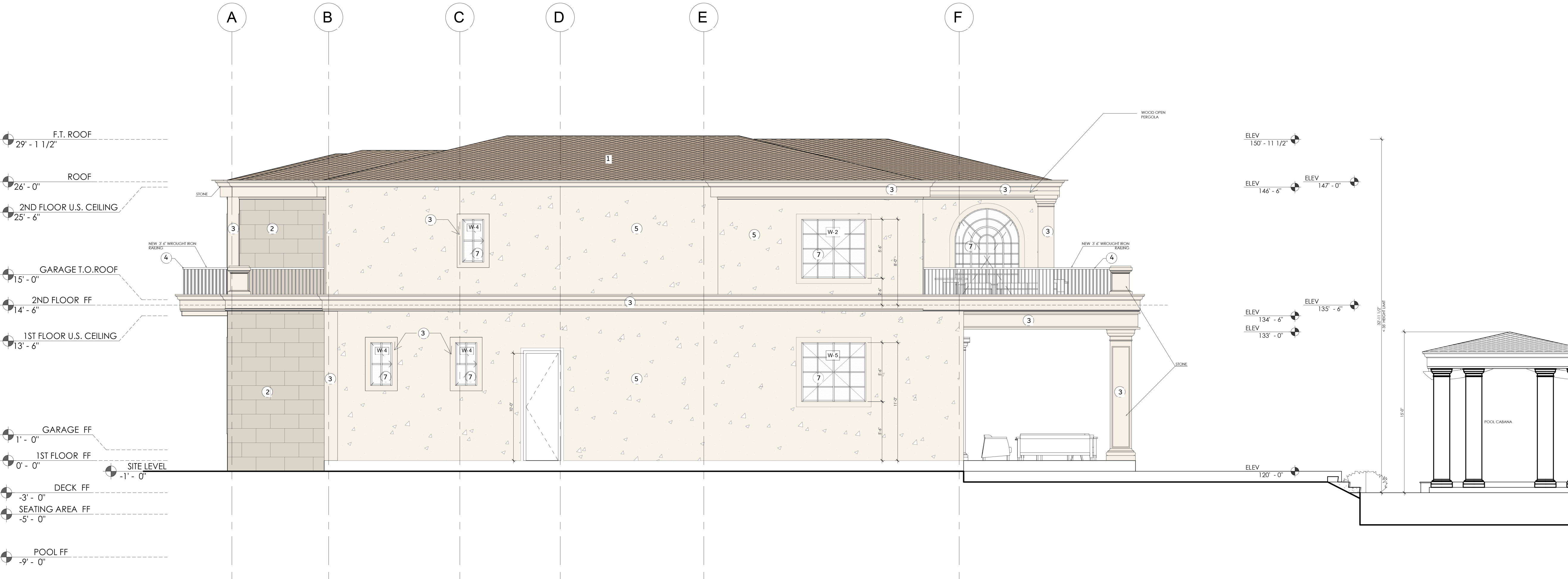
X-1.03

PLAN CHECK SET

652 Robin Glen Dr,



1 - EAST ELEVATION



2 - WEST ELEVATION



DESIGN + EXECUTIVE ARCHITECT
XID DESIGN BUILD
LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917

PROJECT ADDRESS
652Robin Glen Dr,
Glendale , CA 91207

OWNER
Owner

STRUCTURAL
Approver

CIVIL ENGINEERING
Author

ELEVATION MATERIALS

- GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY. ESR 1759.
- REBEL BEIGE LIGHT CREAM HONED LIMESTONE, 24" x 16"
- PRECAST STONE COLUMNS, EAVES AND TRIMS IN BEIGE LIGHT CREAM HONED FINISH
- 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- VENITIAN STUCCO
- OUTSIDE LIGHTING
- BLACK ALUMINIUM WINDOWS & DOORS.
- WHITE STUCCO

ELEVATION NOTES

- A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED TO HAVE POSITIVE DRAINAGE AND PROTECTIVE COATINGS.
- B ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- C VEHICULAR ACCESS DOORS SHALL COMPLY WITH CRC CHAPTER 10
- D LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (CRC 401.3)
- E EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44" MAXIMUM TO SILL (CRC 310.3).
- F DOWNSPOUT CONNECTED TO PLANTER BOX.
- G TEMPERED GLAZING.

NOTE : PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FRIST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, R# 25079-1.



DETAIL RAILING

4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
3	03/20/2024	ADDRESSING DRB APPLICATION COMMENTS
2	09/30/2023	ADDRESSING PLANNER COMMENTS

NUMBER	DATE	DESCRIPTION
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DRAWING
TITLE
Proposed Building
Elevations

SCALE
3/16" = 1'-0"

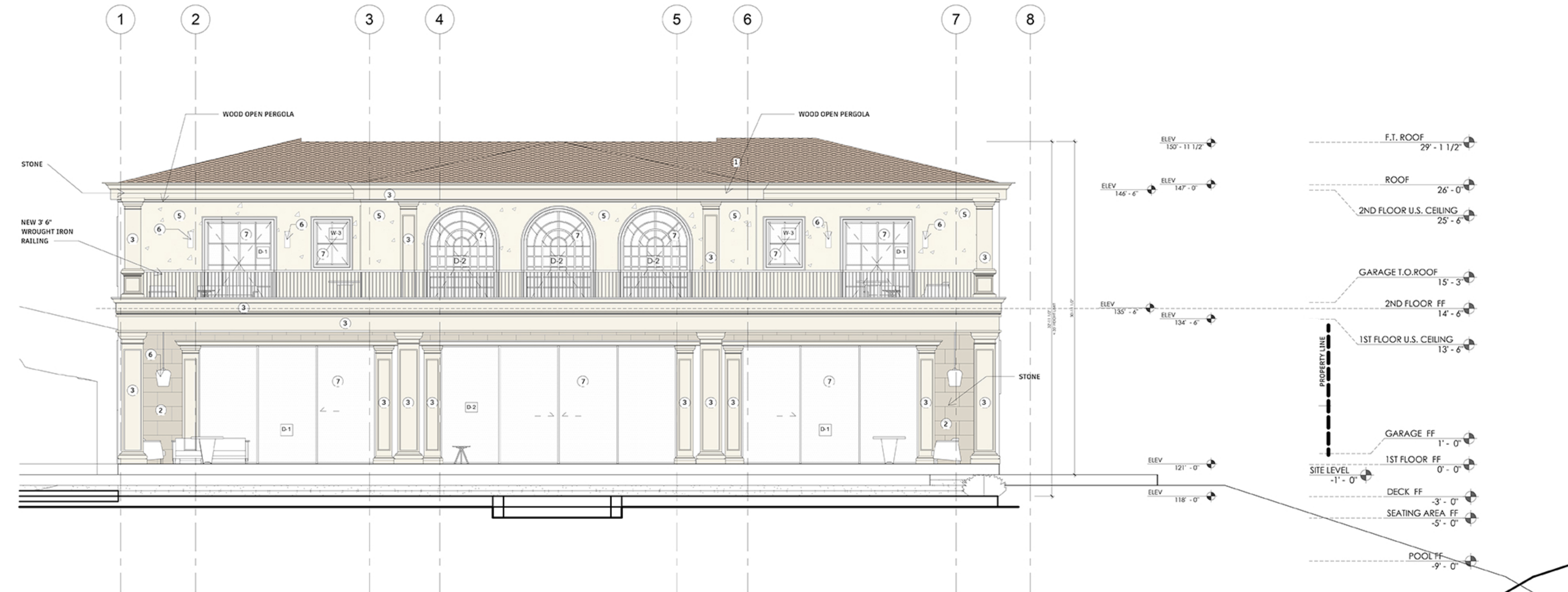
DATE
06/11/2024

DRAWING
NUMBER

X-1.04

PLAN CHECK SET

652 Robin Glen Dr,



1 - SOUTH ELEVATION



2 - NORTH ELEVATION



XID DESIGN BUILD LLC
SUITE 800
Beverly Hills, CA 90211
T 2553 319 917

ELEVATION MATERIALS

- 1 GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY, ESR 1759.
- 2 REBEL BEIGE LIGHT CREAM HONED LIMESTONE, 24" x 16"
- 3 PRECAST STONE COLUMNS, EAVES AND TRIMS IN BEIGE LIGHT CREAM HONED FINISH
- 4 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON
- 5 VENITIAN STUCCO
- 6 OUTSIDE LIGHTING
- 7 BLACK ALUMINIUM WINDOWS & DOORS.
- 8 WHITE STUCCO

ELEVATION NOTES

- A TILE BALCONY/PATIO PER OWNER. BALCONIES NEED TO HAVE POSITIVE DRAINAGE AND PROTECTIVE COATINGS.
- B ANTI-GRAFFITI SHALL BE PROVIDED WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- C VEHICULAR ACCESS DOORS SHALL COMPLY WITH CRC CHAPTER 10
- D LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (CRC 401.3)
- E EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5 SF AT GRADE LEVEL) AND 44" MAXIMUM TO SILL (CRC 310.1).
- F DOWNSPOUT CONNECTED TO PLANTER BOX. TEMPERED GLAZING.
- G

NOTE: PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FRIST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, PROSOCO, INC, RRM 25079-T.

PROJECT ADDRESS

652Robin Glen Dr,
Glendale , CA 91207

OWNER

Owner

STRUCTURAL

Approver

CIVIL ENGINEERING

Author

- 1 GRAY TILES ROOF/ PLANA - FLAT INTERLOCKING/ EBONY GRAY, ESR 1759.
- 2 WHITE LIMESTONE
- 3 BLACK ALUMINIUM WINDOWS & DOORS.
- 4 42" HIGH GUARDRAIL/ FRAMELESS WROUGHT IRON

DETAIL RAILING

4	06/11/2024	ADDRESSING DRB APPLICATION COMMENTS
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ISSUE RECORD

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DRAWING TITLE

Proposed Building
Elevations

SCALE
3/16" = 1'-0"

DATE
06/11/2024

DRAWING
NUMBER

X-1.05

PLAN CHECK SET

652 Robin Glen Dr,

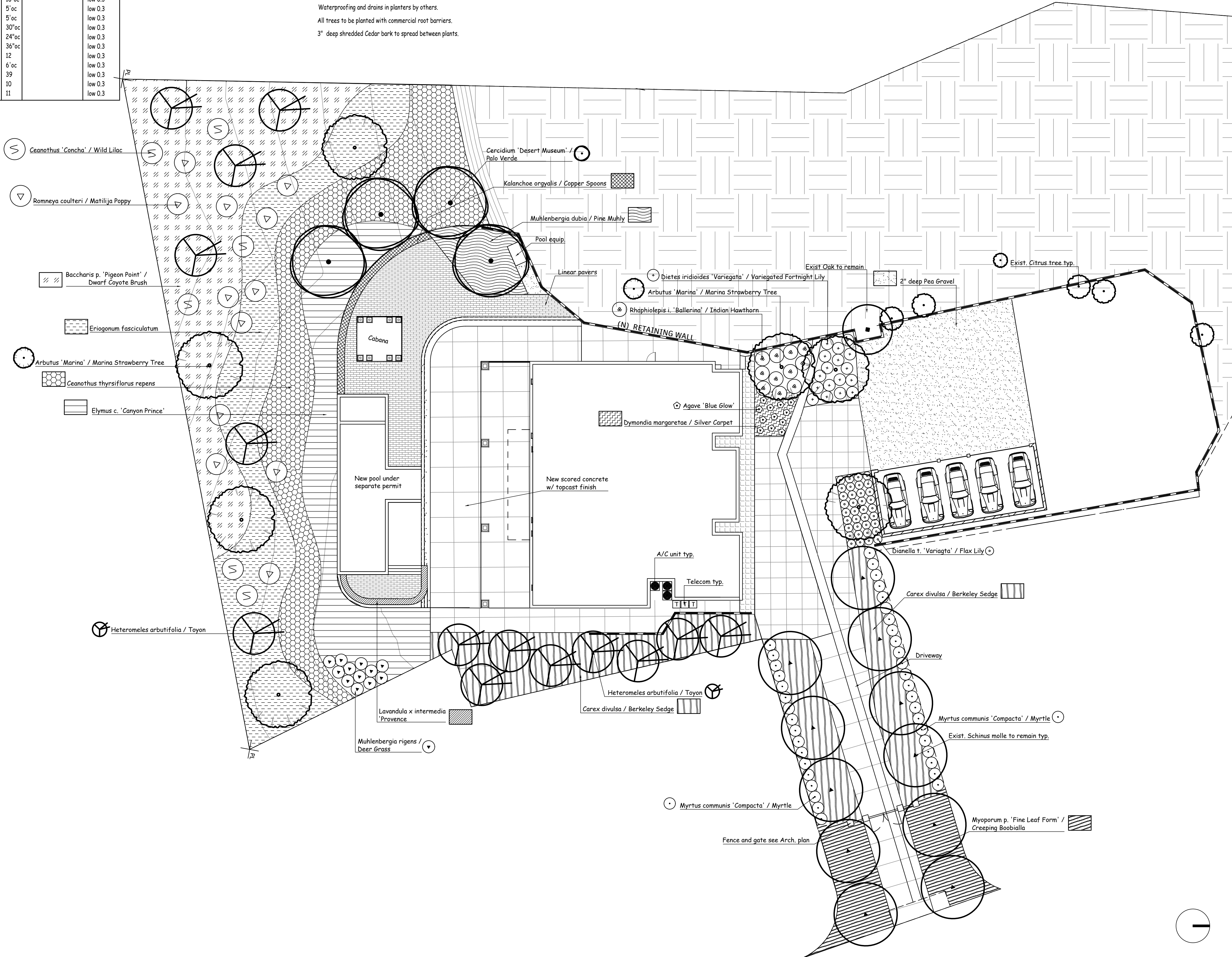
SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Agave 'Blue Glow'		5-gal	12		low 0.3
	Baccharis p. 'Pigeon Point'	Dwarf Coyote Brush	5-gal	48"oc		low 0.3
	Carex divisa	Berkeley Sedge	5-gal	30"oc		low 0.3
	Ceanothus 'Concha'	Wild Lilac	5-gal	6		low 0.3
	Ceanothus thyrsiflorus repens		5-gal	5'oc		low 0.3
	Dianella t. 'Variegata'	Flax Lily	5-gal	36		low 0.3
	Diets iridioides 'Variegata'	Variegated Fortnight Lily	5-gal	17		low 0.3
	Dymondia margaritae	Silver Carpet	flats	10"oc		low 0.3
	Elymus c. 'Canyon Prince'		5-gal	5'oc		low 0.3
	Eriogonum fasciculatum		5-gal	5'oc		low 0.3
	Kalanchoe oryialis	Copper Spoons	5-gal	30"oc		low 0.3
	Lavandula x intermedia 'Provence'		5-gal	24"oc		low 0.3
	Muhlenbergia dubia	Pine Muhly	5-gal	36"oc		low 0.3
	Muhlenbergia rigens	Deer Grass	5-gal	12		low 0.3
	Myoporum p. 'Fine Leaf Form'	Creeping Boobialla	5-gal	6'oc		low 0.3
	Myrtus communis 'Compacta'	Myrtle	5-gal	39		low 0.3
	Romneya coulteri	Matilija Poppy	5-gal	10		low 0.3
	Raphiolepis i. 'Ballerina'	Indian Hawthorn	5-gal	11		low 0.3

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Arbutus 'Marina'	Marina Strawberry Tree	24"box	7		low 0.3
	Heteromeles arbutifolia	Tayon	24"box	14		low 0.3
	Cercidium 'Desert Museum'	Palo Verde	24"box	4	low branching	low 0.3

NOTE:
All groundcover areas where plants are 3' oc or greater
to have geotextile fabric installed 3" below finished grade w/
3" shredded bark above to eliminate weed growth.
Waterproofing and drains in planters by others.
All trees to be planted with commercial root barriers.
3" deep shredded Cedar bark to spread between plants.



REVISIONS	DATE
1.	5.29.24
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	



ASLA
Yael Lir Landscape Architects
1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaellir.com

652 ROBIN GLEN DR.
GLENDALE, CA 91202

PLANTING PLAN



DATE: OCT. 24, 2022
SCALE: 1/16"=1'-0"
JOB NUMBER: 231422
DRAWN BY:



Arbutus 'Marina' / Marina Strawberry Tree



Heteromeles arbutifolia / Toyon



Cercidium 'Desert Museum' / Palo Verde

REVISIONS	DATE
1.	5.29.24
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	

Yael

Lir

ASLA
Yael Lir Landscape Architects
1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaellir.com



Agave 'Blue Glow'



Baccharis p. 'Pigeon Point' / Dwarf Coyote Brush



Carex divulsa / Berkeley Sedge



Ceanothus thyrsiflorus repens



Dianella t. 'Variagta' / Flax Lily



Elymus c. 'Canyon Prince'



Eriogonum fasciculatum



Ceanothus 'Concha' / Wild Lilac



Myoporum p. 'Fine Leaf Form' / Creeping Boobialla



Myrtus communis 'Compacta' / Myrtle



Romneya coulteri / Matilija Poppy



Muhlenbergia rigens / Deer Grass



Dymondia margaretae / Silver Carpet



Kalanchoe orgyalis / Copper Spoons



Lavandula x intermedia 'Provence'



Muhlenbergia rigens / Deer Grass



Rhampholepis i. 'Ballerina' / Indian Hawthorn

PLANT PHOTOS



DATE:	OCT. 24, 2022
SCALE:	1/16"=1'-0"
JOB NUMBER:	231422
DRAWN BY:	

GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY RESIDENCE
652 ROBIN GLEN DRIVE, GLENDALE, CA 91202
APN: 5630-009-017

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES GRADING ORDINANCE, THE CITY ENGINEER AND ANY SPECIAL REQUIREMENTS OF THE PERMIT.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE CITY ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF WORK. A PRE-GRADING MEETING SHALL BE SCHEDULED AT THE SITE BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, AND CITY ENGINEER OR HIS REPRESENTATIVE.
- PRIOR TO ANY CLEARING, BRUSHING, OR DEMOLITION, APPROVAL MUST BE OBTAINED FROM THE CITY BUILDING OFFICIAL.
- THE PERMITTEE OR HIS/HER AGENT SHALL NOTIFY THE CITY ENGINEER WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:
 - INITIAL INSPECTION. WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN 48 HOURS BEFORE GRADING OR BRUSHING IS STARTED.
 - TOE INSPECTION. AFTER THE NATURAL GROUND IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE FILL IS PLACED.
 - EXCAVATION INSPECTION. AFTER THE EXCAVATION IS STARTED, BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN FEET.
 - FILL INSPECTION. AFTER THE FILL PLACEMENT IS STARTED, BUT BEFORE THE VERTICAL HEIGHT OF THE FILL EXCEEDS TEN FEET.
 - DRAINAGE DEVICE INSPECTION. AFTER FORMING OF TERRACE DRAINS, DOWNDRAINS OR AFTER PLACEMENT OF PIPE IN SUBDRAINS, BUT BEFORE ANY CONCRETE OR FILTER MATERIAL IS PLACED.
 - ROUGH GRADING. WHEN ROUGH GRADING HAS BEEN COMPLETED. THIS INSPECTION MAY BE CALLED FOR AT THE COMPLETION OF ROUGH GRADING WITHOUT THE NECESSITY OF THE CITY ENGINEER HAVING PREVIOUSLY REVIEWED AND APPROVED THE REPORTS.
 - FINAL. WHEN ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURE AND OTHER PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE AS-GRADED PLAN, PROFESSIONAL CERTIFICATIONS AND THE REQUIRED REPORTS HAVE BEEN SUBMITTED.
- THE EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED, AND APPROVED BY THE CITY ENGINEER AND SOILS ENGINEER.
- THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO EXCAVATION.
- THE DESIGN CIVIL ENGINEER, AFTER ROUGH GRADE COMPLETION, SHALL CERTIFY THAT PAID ELEVATIONS ARE AS PER THE APPROVED GRADING PLAN OR APPROVED REVISED GRADING PLAN, IF CHANGES TO OBTAIN DIRT BALANCE ARE MADE DURING GRADING OPERATIONS.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SITE SOILS ENGINEER PER THE GRADING CODE.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OR ABSENCE OF SUB-SURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
- THE GEOTECHNICAL ENGINEER AND SOILS ENGINEER SHALL PROVIDE SUFFICIENT TESTS AND INSPECTION AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND CODE WITHIN THEIR PURVIEW.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF HIS WORK AND SHALL SUBMIT A STATEMENT OF COMPLIANCE WITH THE APPROVED PLANS PRIOR TO FINAL APPROVAL.
 - ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
 - ALL OPERATIONS SHALL COMPLY WITH THE LOS ANGELES COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
 - STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS WITHIN THE LIMITS OF GRADING PERMIT.
 - DUST SHALL BE CONTROLLED BY WATERING.
 - SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
 - THE LOCATION AND THE PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
 - APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
 - ALL CONCRETE AND QUINTE SHALL BE TREATED WITH A MOISTURE-LOSS RETARDANT FOR CURING.
 - ANY OIL WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY THE CITY BUILDING OFFICIAL.
 - ANY WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE LOS ANGELES COUNTY OIL CODE TO APPROVAL OF THE CITY BUILDING OFFICIAL.

NOTICE TO CONTRACTORS:

- SPECIFICATIONS:
- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY THE BOARD OF PUBLIC WORKS OF THE CITY OF SANTA MONICA.
 - PLAN REFERENCES: THIS IMPROVEMENT CONSISTS OF WORK SHOWN ON THIS PLAN ONLY.
 - STANDARD PLANS FOR THIS PROJECT:
 - NOTICE TO CONTRACTORS-COMPREHENSIVE S-610
 - JOINTS IN CONCRETE PAVEMENT S-430-1
 - ADVANCE CONSTRUCTION NOTICE SIGNS S-791-1
 - SYMBOLS FOR CONSTRUCTION NOTES S-627-0
 - INSPECTION: ALL WORK AND MATERIALS ARE SUBJECT TO INSPECTION PURSUANT TO SECTION 2-11 OF THE STANDARD SPECIFICATIONS. CALL BEFORE NOON OF THE WORKING DAY BEFORE THE INSPECTION IS REQUIRED.
 - NOTICE OF STREET REPAIR SIGNS:
THE CONTRACTOR SHALL POST "NOTICE OF STREET REPAIR" SIGNS AS SPECIFIED IN SECTION 7-10.3 OF STANDARD SPECIFICATION AS MODIFIED BY STD. PLAN S-610. SIGNS SHALL CONFORM TO STANDARD PLAN S-791-1.
 - REPAIR AND/OR REPLACE ANY EXIST. BROKEN OR OFF-GRADE PAVEMENT, CONCRETE CURB, GUTTER OR CONCRETE SIDEWALK, IMMEDIATELY ADJACENT TO OR WITHIN THE AREA OF THIS IMPROVEMENT TO THE SATISFACTION OF THE CITY ENGINEER.
 - CONSTRUCTION STAKES FOR CURB AND LONGITUDINAL GUTTER W/ GRADE LESS THAN 0.5% SHALL BE SET AT 12.50' ON CENTER.
 - IN ADDITION TO THE CONSTRUCTION OF PAVEMENT SHOWN HEREON, WORK REQUIRED UNDER THIS PLAN WILL ALSO INCLUDE THE CONSTRUCTION OF PERMANENT TRENCH RESURFACING IN ALL AREAS WHERE UTILITY LINES HAVE BEEN INSTALLED TO SERVE THIS DEVELOPMENT. CONDITIONS OF TRENCH BACKFILL AND RESURFACING WILL BE AS SPECIFIED ON THE EXCAVATION PERMIT.
 - PAVING OF ROADWAY AREAS SHALL BE WITHHELD UNTIL CONTEMPLATED UTILITY CHANGES OR INSTALLATIONS HAVE BEEN MADE UNDER CITY PERMIT.
 - ANY LOT DRAINING ONTO THE STREET SHALL DO SO AT A CONCRETE DRIVEWAY OR AN APPROVED OUTLET STRUCTURE.
 - SURVEY MONUMENT PRESERVATION IS REQUIRED AND SHALL INCLUDE SURVEY FIELD NOTES PER STANDARD PLAN NO. S-610 PART 1-28 SURVEYING.
 - THE CONTRACTOR, IN CONFORMANCE TO LOS ANGELES CITY ORDINANCE NO. 150, 478, SHALL POTHOLE EXISTING SUBSURFACE INSTALLATIONS BEFORE COMMENCING EXCAVATION. (NO POWER TOOLS PERMITTED, EXCEPT TO BREAK PAVEMENT.)
 - TRAFFIC LANE REQUIREMENTS:
ONE LANE OF TRAFFIC IN EACH DIRECTION FROM 9:00 AM TO 4:00 PM
NO INTERFERENCE WITH TRAFFIC AT ALL OTHER TIMES.

CONSTRUCTION AND GENERAL

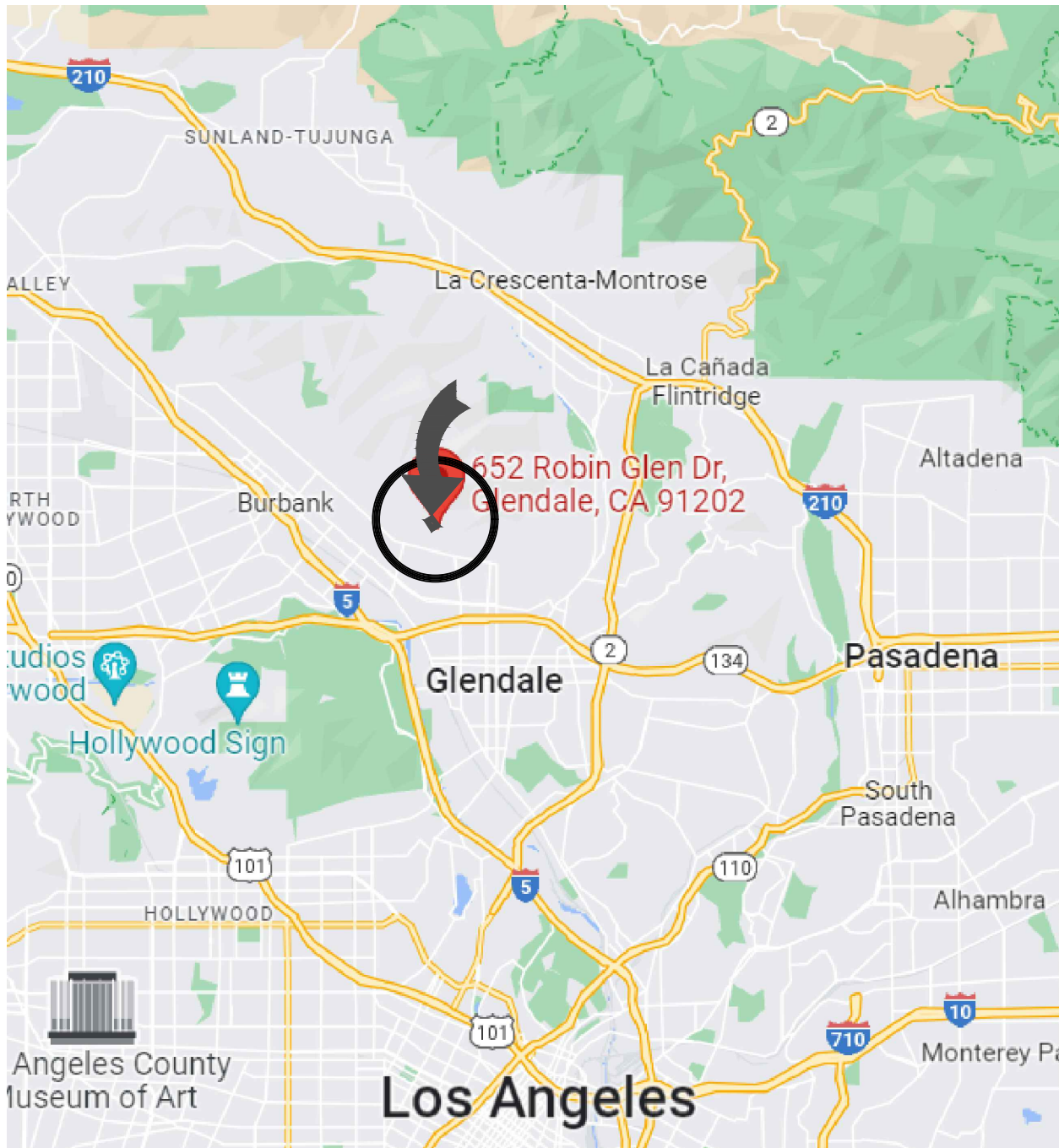
"THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER, LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY."

NOTE:

- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND AND FOUNDATION EARTHWORK WHERE (SITE EXCEEDS 60,000 S.F.)(CUT OR FILL SLOPES EXCEEDS 2:1)(CUTS EXCEEDS 40 FT. IN HEIGHT AND WITHIN 20 FT. OF A PROPERTY LINE)(FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE) (PROJECTS INVOLVE UNUSUAL HAZARDS)(SHORING WORK INCLUDING SLOT-CUTS)"(1704)
- CROSS LOT DRAINAGE IS NOT ALLOWED. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOCATION, AS SHOWN ON PLANS.
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NO LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED BY RESPONSIBLE ENGINEER.

GENERAL SPECIFICATIONS FOR ALL GRADING PLANS

- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED. SEC. 7012.1.
- STANDARD 12-INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. (SEC. 7013.3)
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE, AND 93% OF MAX. DRY DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. [≥200 CY](7007.1)



VICINITY MAP
NOT TO SCALE

EXISTING CONDITIONS:

EXISTING HOME WITH ATTACHED GARAGE TO BE DEMOLISHED.

PROPOSED PROJECT:

NEW PROPOSED TWO-STORY RESIDENCE WITH DETACHED GARAGE AND NEW POOL UNDER SEPARATE PERMIT.

SHEET INDEX:

SHEET	DESCRIPTION
C-1	TITLE SHEET
C-2	GRADING PLAN
C-3	DRAINAGE PLAN
C-4	SECTIONS & DETAILS PLAN
C-5	EROSION CONTROL PLAN
C-6	EROSION CONTROL DETAILS
C-7	PROPOSED RETAINING WALL SECTIONS
C-8	RETAINING WALL SECTIONS

BENCHMARK:

ASSUMED ELEVATION OF 100.00'
SEWER MANHOLE

LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL "A" OF PARCEL MAP-GLN. NO. 1087-A, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 29 PG 37 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

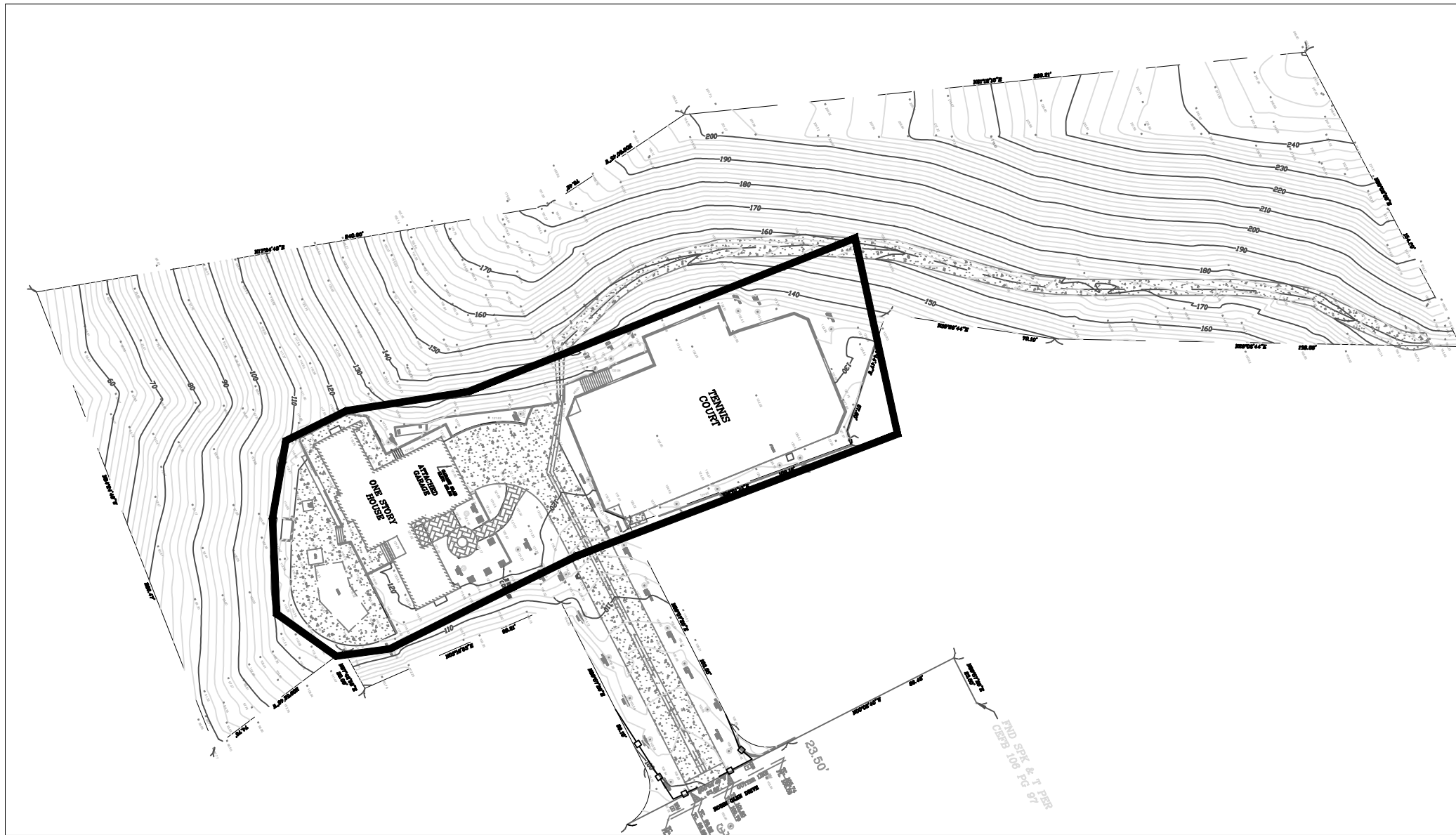
APN: 5630-009-017

SURVEYOR:

M&M & CO.
16145 Roscoe Boulevard
North Hills, CA 91343
TEL: (818) 891-9100

BASIS OF BEARING:

THE BEARING N00°02'40"W, ON THE CENTERLINE OF ARCEL "A" OF PARCEL MAP-GLN. NO. 1087-A, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 29 PG 37 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



PROJECT LIMITS
SCALE 1"=60'

OWNER:

THOMAS JAMES CAPITAL
28800 ALISO VIEJO PARKWAY, SUITE 100,
ALISO VIEJO, CA 92656
(949) 481-7026

CUT AND FILL QUANTITIES:

DESCRIPTION	VOLUME (CY)
CUT	2,950
R&R	N/A
FILL	25
IMPORT	0
EXPORT	2,925

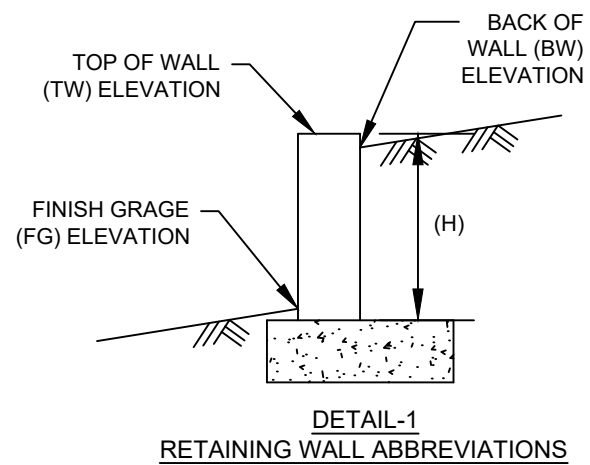
NOTE: THIS ESTIMATE IS FOR BONDING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO CALCULATE THE ACTUAL EARTHWORK QUANTITIES.

LEGEND:

- EXISTING CONTOUR LINE
- PROPERTY LINE
- SPLASH BLOCK - 2FT LONG
- GRADE SLOPE
- FINISH GRADE ELEVATION IN FEET
- FLOW DIRECTION
- GRADE BREAK
- LANDSCAPE AREA
- NEW CONCRETE SURFACE
- EXISTING TREE
- NDS 1200KIT DRAINAGE INLET
- PIPE WITH FLOW DIRECTION INDICATED
- SE-1 SILT FENCE
- EXISTING FENCE
- SC-8 SANDBAG BARRIER
- OVER HEAD CABLE
- SANITARY SEWER LINE
- WATER LINE

ABBREVIATIONS:

- APN - ASSESSOR'S PARCEL NUMBER
- A.C. - ASPHALT CONCRETE
- A.D. - AREA DRAIN
- BW - BACK OF WALL
- CO - CLEAN OUT
- CONC - CONCRETE
- DI - DRAINAGE INLET
- DS - DOWNSPOUT
- (E) - EXISTING
- ELEV - ELEVATION
- EST - ESTABLISH
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE ELEVATION
- EG - EXISTING GRADE ELEVATION
- EX - EXISTING
- FF - FINISH FLOOR ELEVATION
- FH - FIRE HYDRANT
- FL - FLOWLINE ELEVATION
- FS - FINISH SURFACE ELEVATION
- GB - GRADE BREAK
- H - HEIGHT IN FEET
- INV - INVERT
- MAX - MAXIMUM
- MB - MAP BOOK
- MIN - MINIMUM
- (N) - NEW
- OH - OVERHANG
- PL - PLANTER
- PLTR - PLANTER
- RT - RETAINING WALL
- RW - RAIN TANK
- RG - TOP OF GRADE ELEVATION
- TC - TOP OF CURB ELEVATION
- TR - TRACT MAP
- TW - TOP OF WALL ELEVATION
- TYP - TYPICAL



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TITLE SHEET

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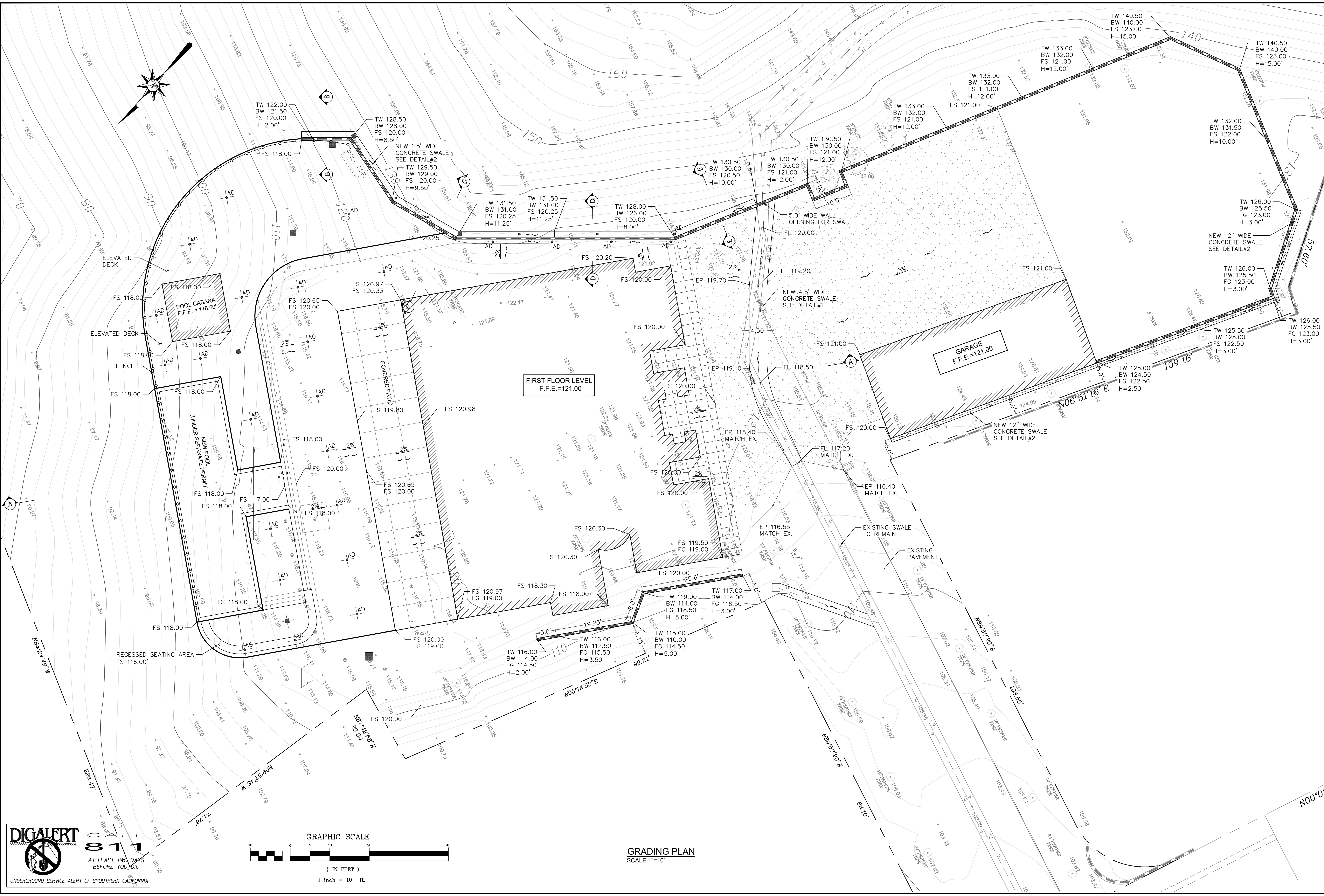
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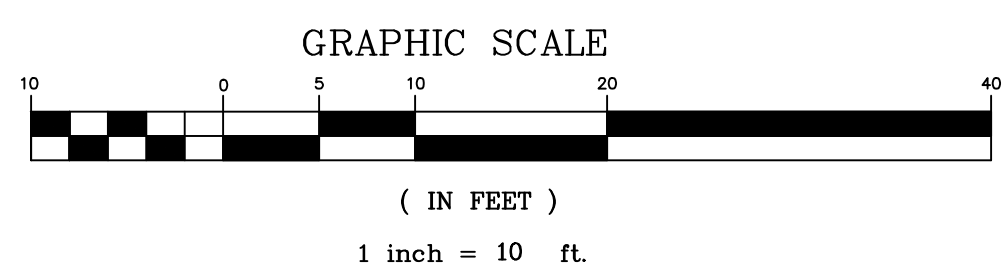
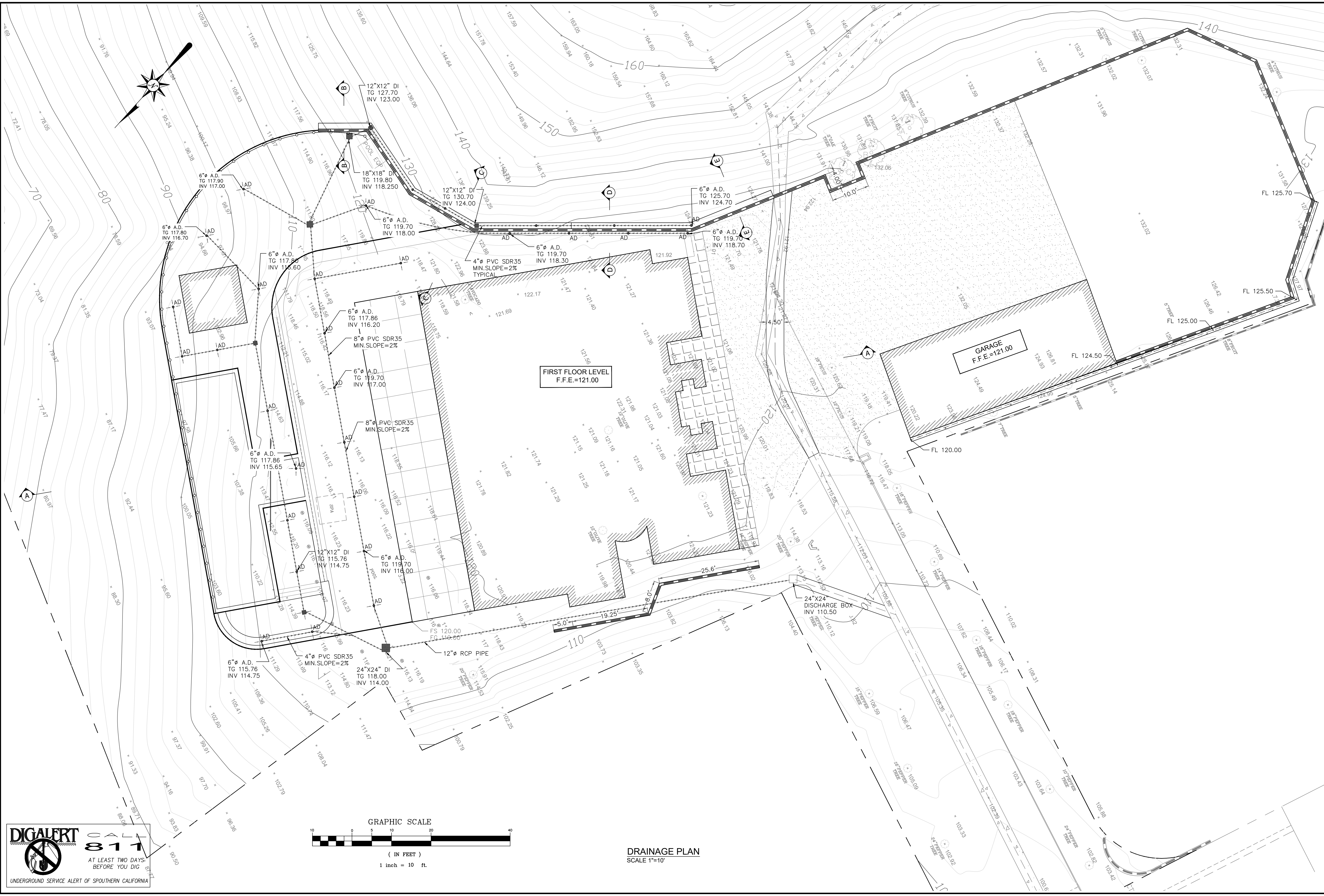
SCALE: AS NOTED

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JOB# 21-058

C-1





DRAINAGE PLAN
SCALE 1"=10'

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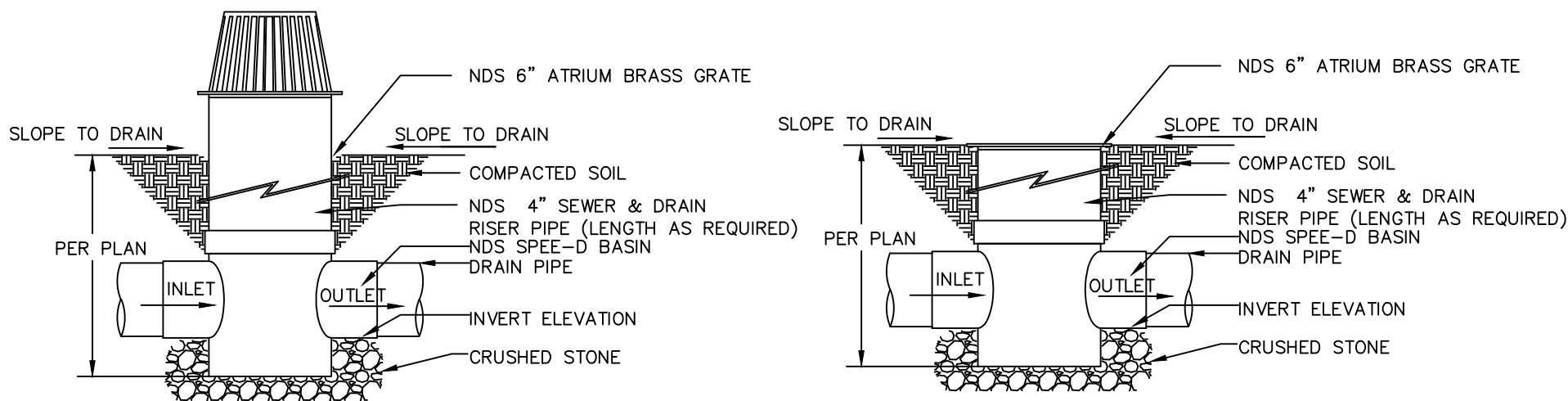
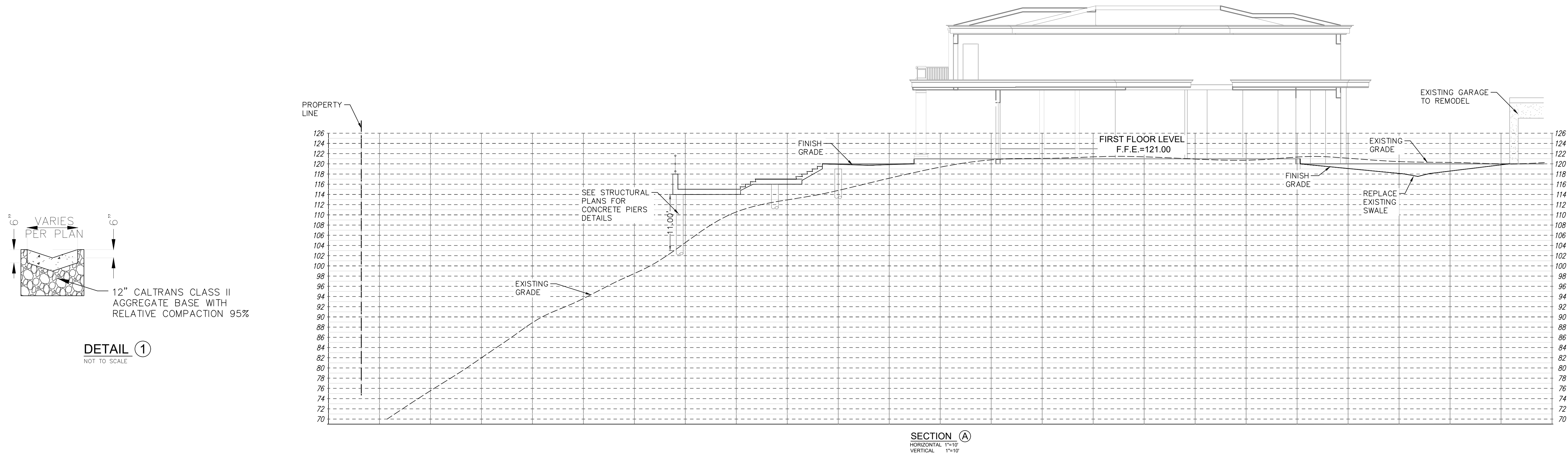
DRAINAGE PLAN

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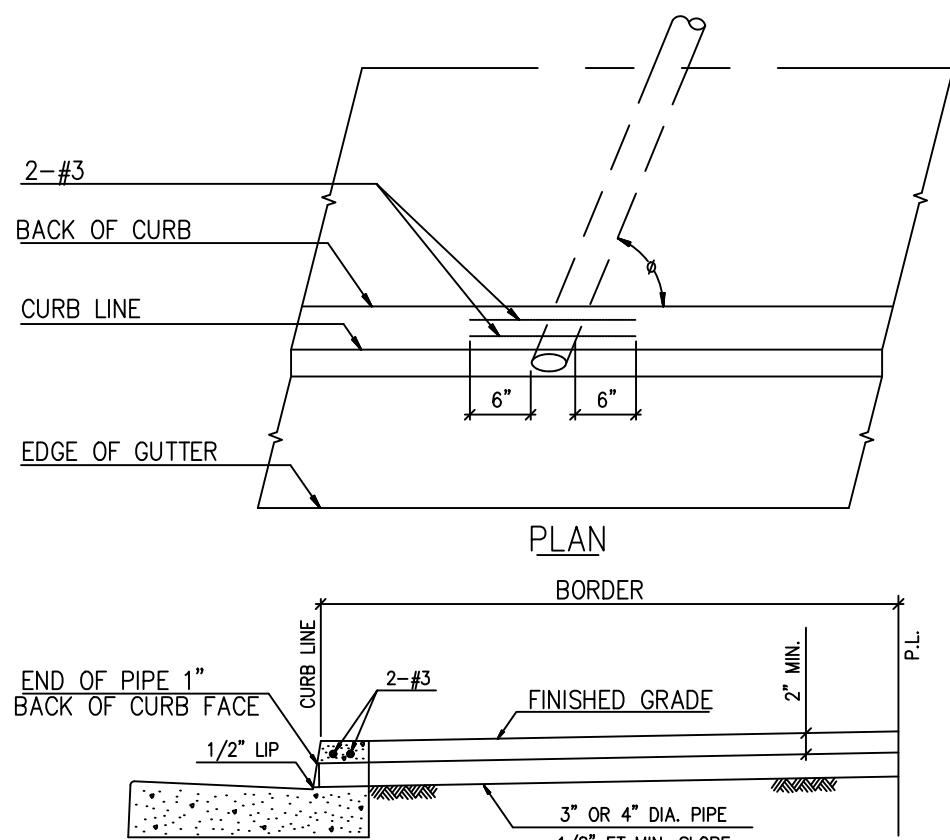


DATE: 2024-06-12
SCALE: AS SHOWN
DRAWN BY: HM
JOB#: 21-058

C-3



NDS ATRIUM GRATE WITH NDS SPEE-D BASIN
NOT TO SCALE



NOTES:

1. DRAINS SHALL BE 3" DIAMETER PIPE FOR 6" CURB FACE AND 4" DIAMETER PIPE FOR 8" CURB FACE OR GREATER UNLESS OTHER SHAPES ARE APPROVED BY THE ENGINEER.
2. ANGLE "θ" = 90°, UNLESS OTHERWISE SPECIFIED.
3. THE NUMBER OF PIPES AT ANY LOCATION SHALL NOT EXCEED 4.

CURB DRAIN DETAIL

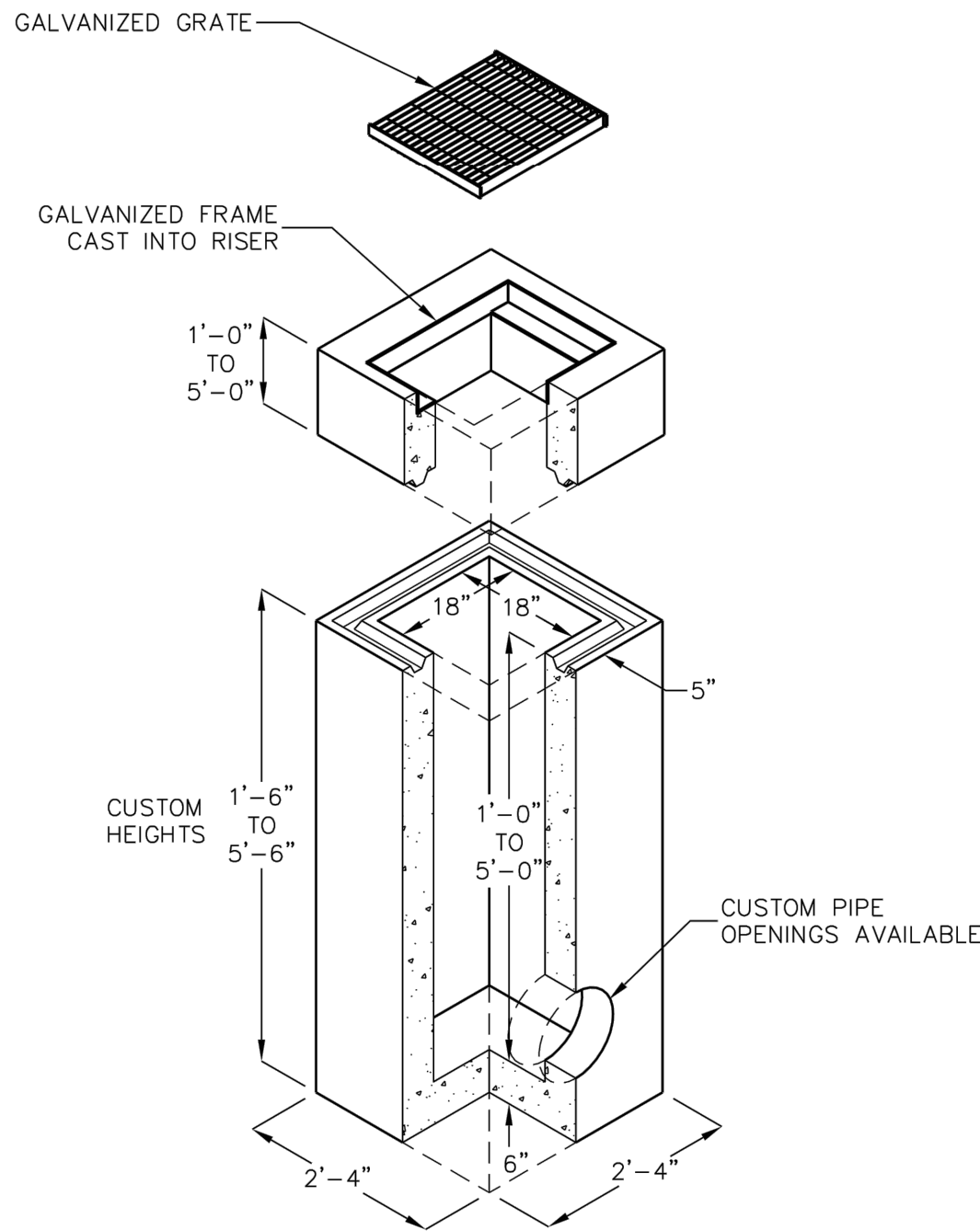
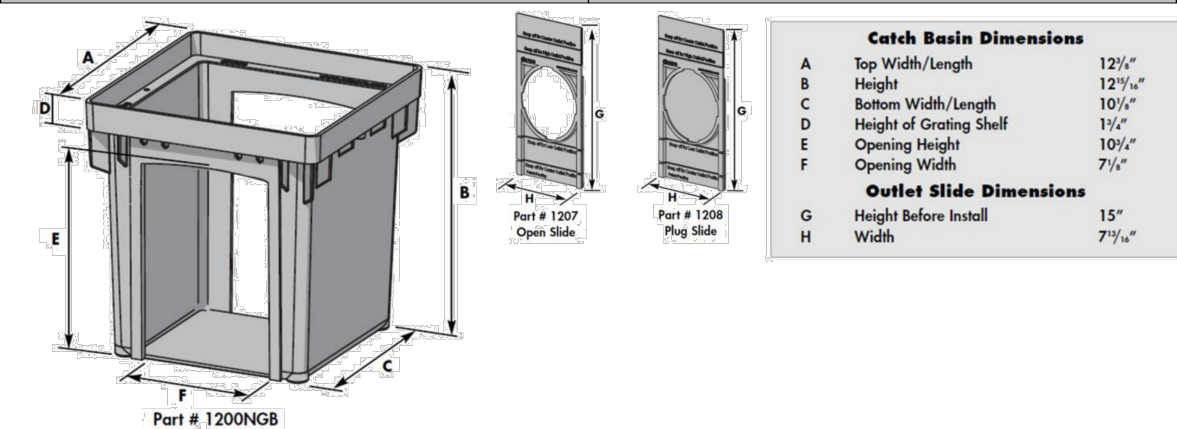


851 N. Harvard Avenue P.O. Box 339 Ukiah, CA 95527
555.462.2888 phone 800.999.0943 toll free www.ndsgro.com

12" NEXT GENERATION CATCH BASIN
Part #: 1200NGB

GRATE CAPACITIES		
Grate Number(s)	Description	Flow Rate with 1/2" Head
1210, 1211, 1212, 1212S	12" x 12" Square Grate	155.28 GPM
1211*	12" x 12" Square Grate	157.79 GPM
1213	12" x 12" Square Cast Iron Grate	113.80 GPM
1215	12" x 12" Square Galvanized Steel Grate	348.07 GPM
1280, 1290	12" x 12" Atrium Grate	154.79 GPM
1218, 1218S, 1218GR, 1218GY	12" Botanical Plastic	74.77 GPM
1218CI	12" Botanical Cast Iron	76.60 GPM
1224, 1224S, 1224GR, 1224GY	12" Wave Plastic	78.53 GPM
1224CI	12" Wave Cast Iron	78.31 GPM

OUTLET FLOW CAPACITIES	
Part #	Flow Rate per Outlet
1242, 1243, 1245, 1266	Top: 76.29 GPM Middle: 84.93 GPM Bottom: 97.42 GPM
1889	Top: N/A Middle: 403.52 GPM Bottom: 481.37 GPM

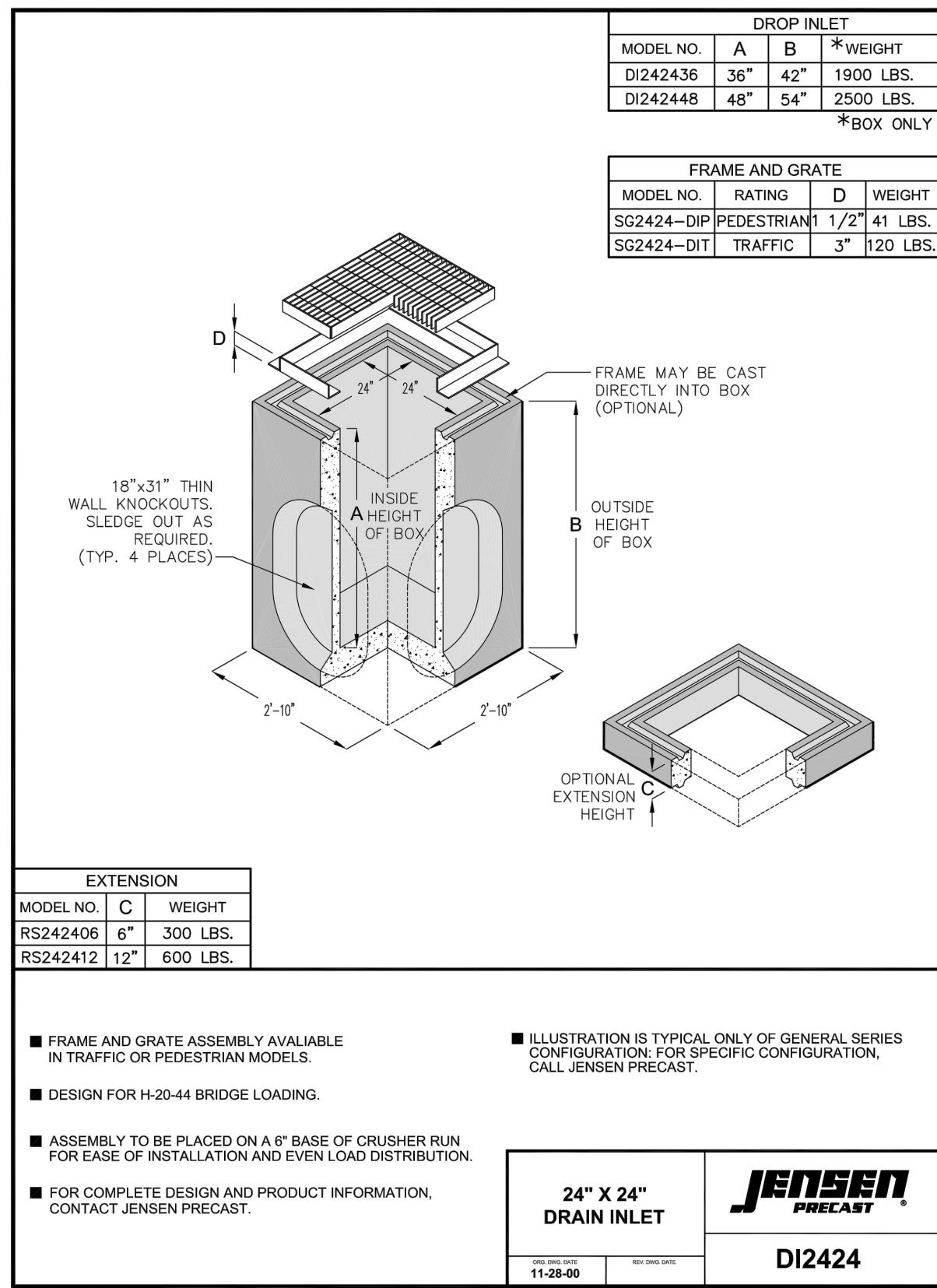


FOR COMPLETE DESIGN AND PRODUCT INFORMATION
CONTACT JENSEN PRECAST.

2/1/08
0181818_1818FG_FF_A.dwg
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8.01

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SECTIONS □ DETAILS
□ PLAN

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DATE: 2024-06-12

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C-4

STORMWATER POLLUTION PLAN NOTES:
(ATTACHMENTS A & B) TO BE ADDED TO ALL GRADING PLANS:

- IN CASE OF EMERGENCY, CALL
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APR 30). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAYBE REMOVED WHEN APPROVED BY THE GRADING INSPECTOR IF THE GRADING OPERATIONS HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERTY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2'. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM.
- EXCEPT AS OTHERWISE APPROVED BY THE GRADING INSPECTOR, ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEEKENDS WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- ALL LOOSE SOILS AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE GRADING INSPECTOR.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR, WITHOUT THE APPROVAL OF THE GRADING INSPECTOR.
- EROSION CONTROL DEVICES ARE TO BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES AND PLANS OF THESE CHANGES MUST BE SUBMITTED FOR APPROVAL AS REQUIRED.
- ADD THE FOLLOWING NOTES (OR SIMILAR) TO THE PLANS TO DEFINE THE CURRENT STATE OF CONSTRUCTION. CHANGES MUST BE SUBMITTED FOR APPROVAL AS REQUIRED.
 - STORM DRAINS AND CATCH BASINS ARE (NOT) CONSTRUCTED.
 - STREETS ARE (NOT) PAVED, EXCEPT AS NOTED ON THE EROSION CONTROL PLANS.
 - DRAINAGE DEVICES ARE (NOT) CONSTRUCTED, EXCEPT AS NOTED ON PLANS.

STORMWATER POLLUTION CONTROL REQUIREMENTS MUST BE INTEGRATED INTO THE EROSION CONTROL PLANS PER TITLE 62, SECTION 7010 OF THE COUNTY CODE FOR ANY CONSTRUCTION BETWEEN OCTOBER 1 & APRIL 15 THE FOLLOWING NOTES AND BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE

HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 1993, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAYBE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS):

ATTACHMENT A NOTES

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OF WATER
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE W/ THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER & DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN/OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS NOT CAUSE EROSION.

NOTES:

- EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
- FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
- SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP, AND DISPOSED OF PROPERLY.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY PROBABILITY FORECAST
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATED A HAZARDOUS CONDITION.
- THE UNDERSIGNED CIVIL ENGINEER SHALL INSPECT THE EROSION CONTROL WORK AND ENSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- AT LEAST 2-LAYERS OF SANDBAGS FILLED WITH SAND AND PEA GRAVEL SHALL BE LAID ALONG THE PERIMETER OF THE PROJECT AREA AS SHOWN DURING CONSTRUCTION.

ATTACHMENT B NOTES

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 2009, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT(ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS.)

EROSION CONTROL

- EC1 – SCHEDULING
- EC2 – PRESERVATION OF EXISTING VEGETATION
- EC3 – HYDRAULIC MULCH
- EC4 – HYDROSEEDING
- EC5 – SOIL BINDERS
- EC6 – STRAW MULCH
- EC7 – GEOTEXTILES AND MATS
- EC8 – WOOD MULCHING
- EC9 – EARTH DIKES AND DRAINAGE SWALES
- EC10 – VELOCITY DISSIPATION DEVICE
- EC11 – SLOPE DRAINS
- EC12 – STREAMBANK STABILIZATION
- EC13 – POLYACRYLAMIDE

TEMPORARY SEDIMENTS CONTROL

- SE1 – SILT FENCE
- SE2 – SEDIMENT BASIN
- SE3 – SEDIMENT TRAP
- SE4 – CHECK DAM
- SE5 – FIBER ROLLS
- SE6 – GRAVEL BAG BERM
- SE7 – STREET SWEEPING AND VACCUMING
- SE8 – GRAVEL BAG BARRIER
- SE9 – STORM DRAIN INLET PROTECTION

WIND EROSION CONTROL

- WE1 – WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

- TC1 – STABILIZED CONSTRUCTION ENTRANCE
- TC2 – STABILIZED CONSTRUCTION ROADWAY
- TC3 – ENTRANCE/OUTLET TIRE TRASH

NON-STORMWATER MANAGEMENT

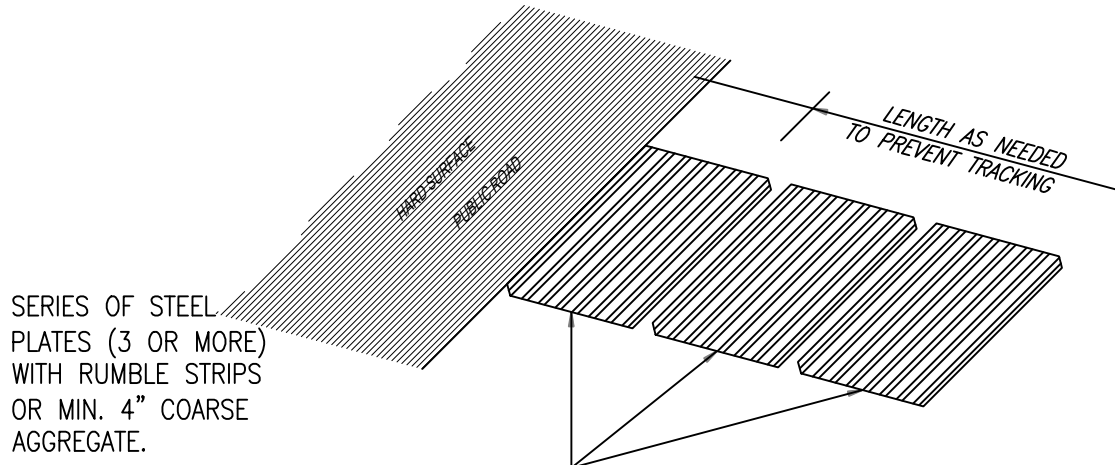
- NS1 – WATER CONSTRUCTION PRACTICE
- NS2 – DEWATERING OPERATIONS
- NS3 – PAVING AND GRINDING OPERATIONS
- NS4 – TEMPORARY STREAM CROSSING
- NS5 – CLEAR WATER DIVERSION
- NS6 – ILLICIT CONNECTION/DISCHARGE
- NS7 – POTABLE WATER/ IRRIGATION
- NS8 – VEHICLE AND EQUIPMENT CLEANING
- NS9 – VEHICLE AND EQUIPMENT FUELING
- NS10 – VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 – PILE DRIVING OPERATIONS
- NS12 – CONCRETE CURING
- NS13 – CONCRETE FINISHING
- NS14 – MATERIAL AND EQUIPMENT USE
- NS15 – DEMOLISION ADJACET TO WATER
- NS16 – TEMPORARY BATCH PLANTS

WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL

- WM1 – MATERIAL DELIVERY AND STORAGE
- WM2 – MATERIAL USE
- WM3 – STOCKPILE MANAGEMENT
- WM4 – SPILL PRESERVATION AND CONTROL
- WM5 – SOLID WASTE MANAGEMENT
- WM6 – HAZARDOUS WASTE MANAGEMENT
- WM7 – CONTAMINATION SOIL MANAGEMENT
- WM8 – CONCRETE WASTE MANAGEMENT
- WM9 – SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 – LIQUID WASTE MANAGEMENT

CONSTRUCTION NOTES:

- 41 – INSTALL STABILIZED CONSTRUCTION ENTRANCE PER CASQA BMP # TC-1.
- 42 – PROTECT STOCKPILED MATERIALS FROM EROSION PER CASQA BMP # WM-3.
- 43 – PROVIDE BERMED CONCRETE AND MORTAR WASHOUT CONTAINMENT AREA PER CASQA BMP # WM-8.
- 44 – PLACE GRAVELBAGS TWO ROWS HIGH PER CASQA BMP # SE-6.
- 45 – CONSTRUCT CONSTRUCTION FENCE WITH DUST SCREEN ALONG THE PERIMETER.

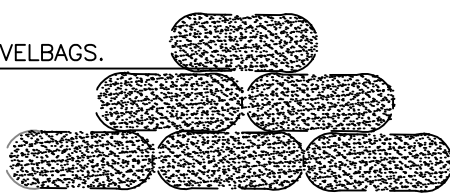


41 STABILIZED CONSTRUCTION ENTRANCE
BMP # TC-1

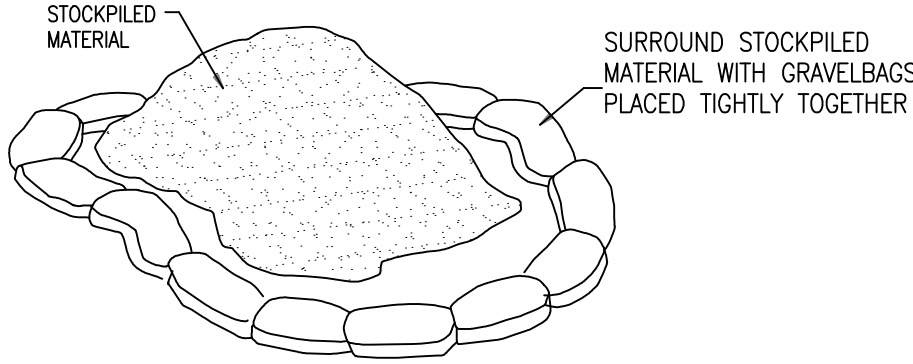
NOTES:

- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED ONTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM. STABILIZED CONSTRUCTION ENTRANCES SHALL BE:
 - LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 4" COARSE AGGREGATE WITH LENGTH, WIDTH, AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
 - ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
- ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL USE THE STABILIZED CONSTRUCTION ENTRANCE(S).
- THE FOLLOWING STREET MAINTENANCE MEASURES SHALL BE IMPLEMENTED:
 - REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
 - SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
 - PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

3-LAYERS OF GRAVELBAGS.



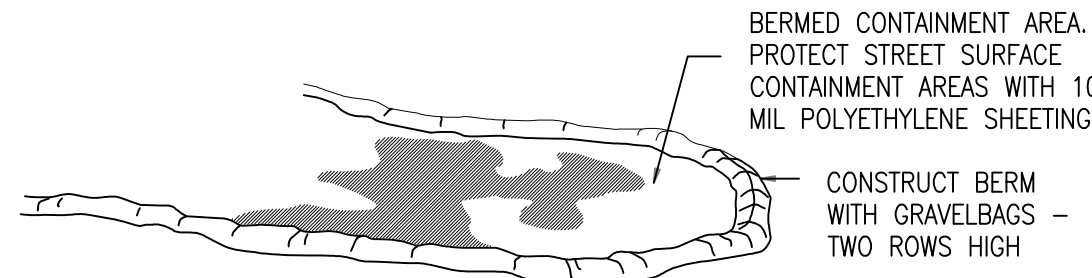
44 BMP # SE-6
NOT TO SCALE



42 MATERIAL STORAGE DETAIL
BMP # WM-3

NOTES:

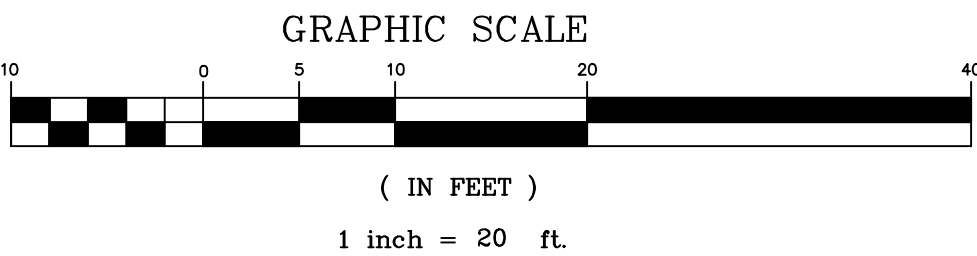
- DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH GRAVELBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
- ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.



43 CONCRETE WASTE MANAGEMENT DETAIL
(WATERPROOF) BMP # WM-8



EROSION CONTROL PLAN
SCALE 1"=20'



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EROSION CONTROL

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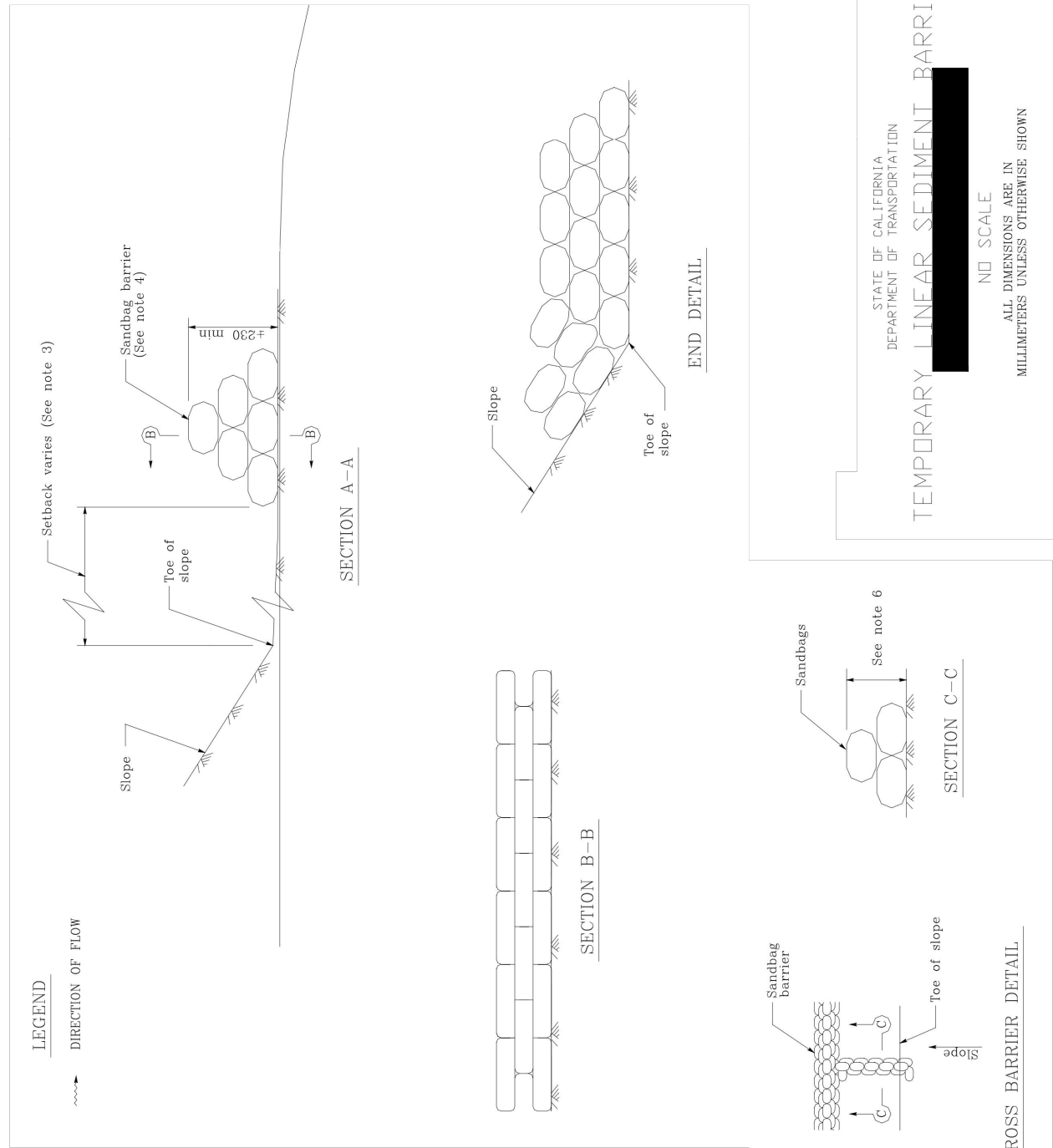
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C-5

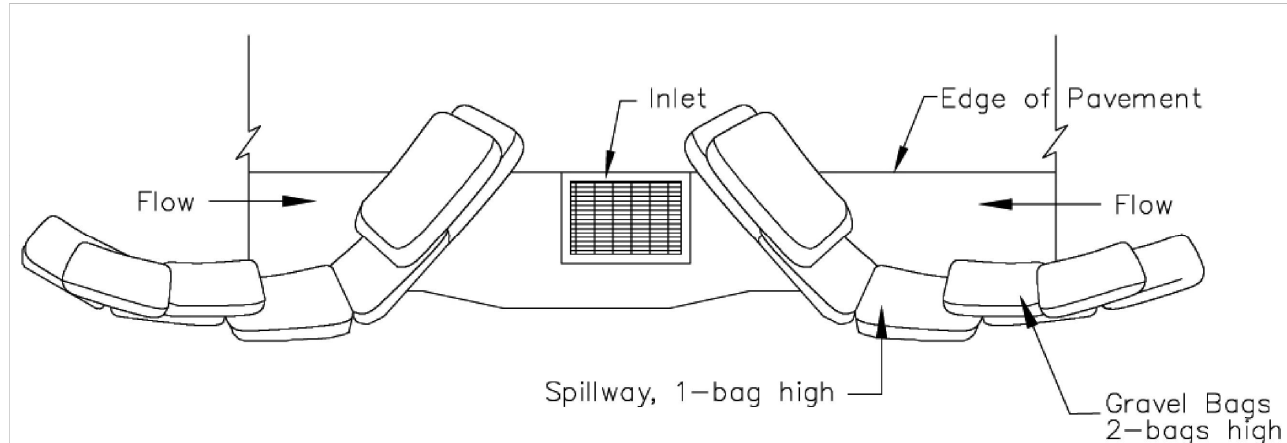
Gravel Barrier

SC-8

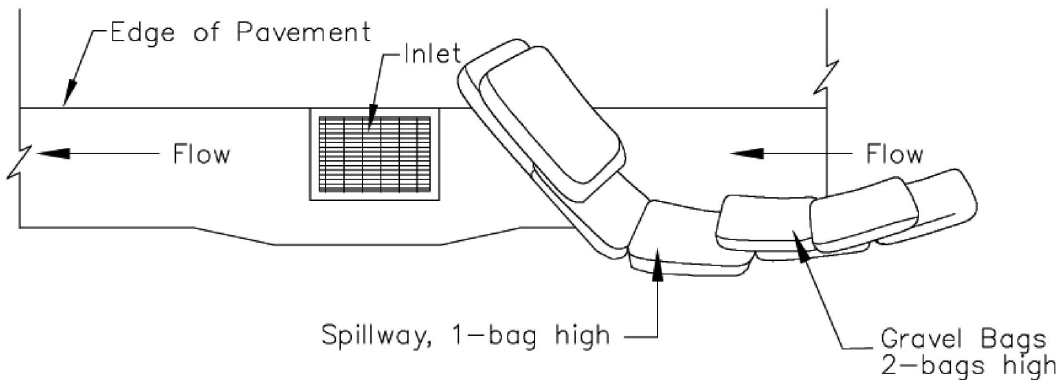


Storm Drain Inlet Protection

SC-10



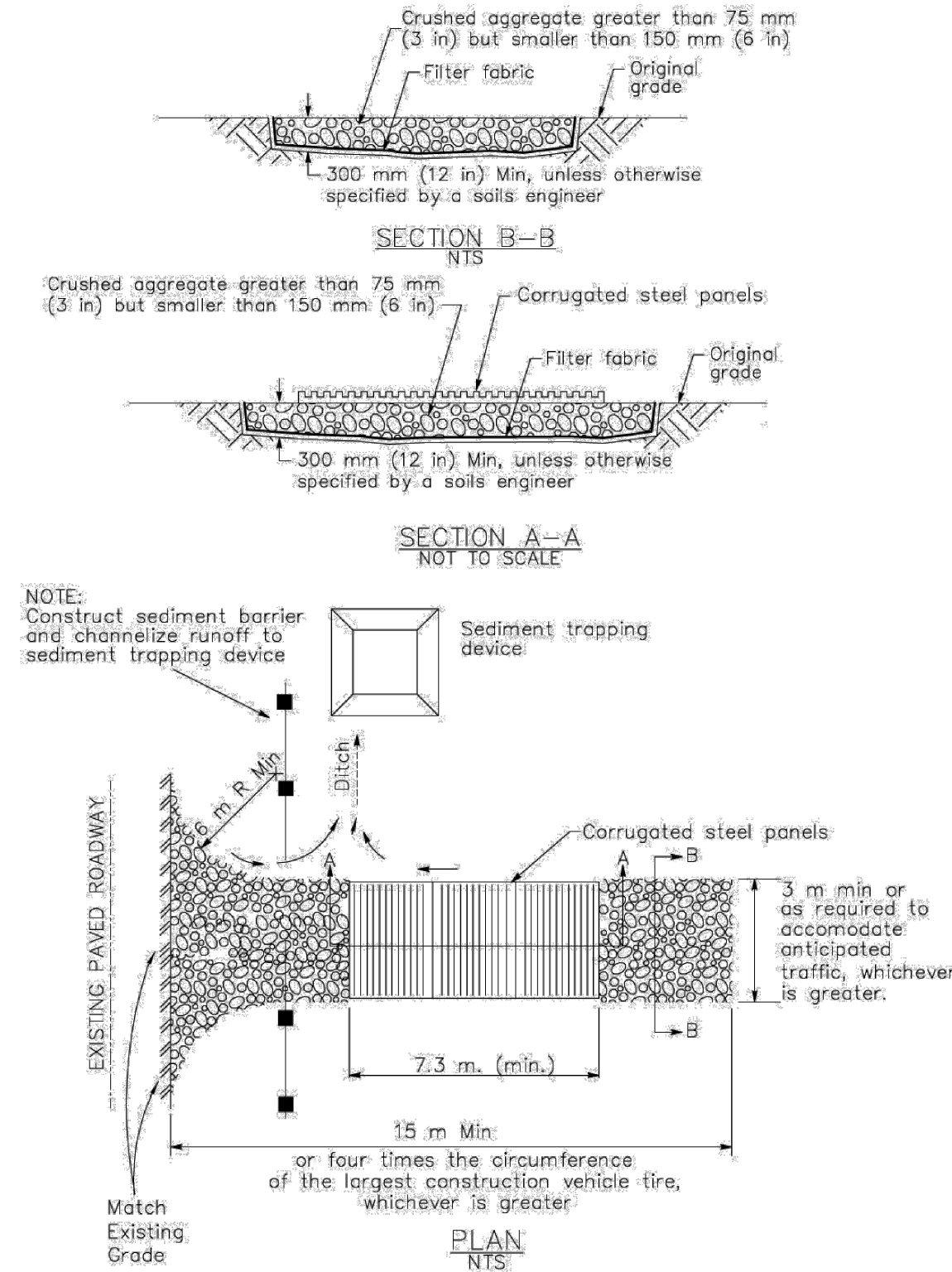
TYPICAL PROTECTION FOR INLET WITH OPPOSING FLOW DIRECTIONS



- NOTES:
1. Intended for short-term use.
 2. Use to inhibit non-storm water flow.
 3. Allow for proper maintenance and cleanup.
 4. Bags must be removed after adjacent operation is completed
 5. Not applicable in areas with high silts and clays without filter fabric.

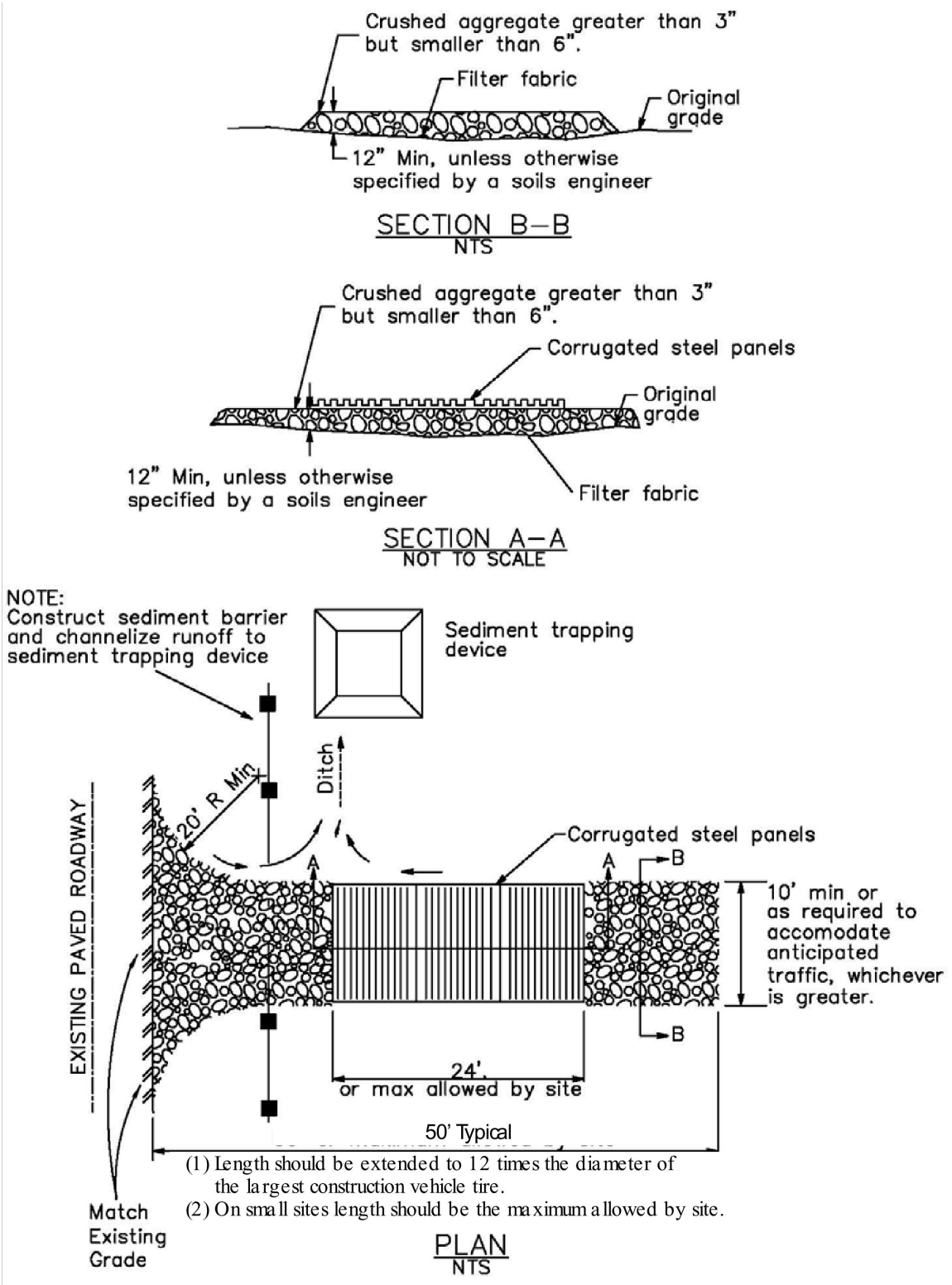
Stabilized Construction Entrance/Exit

TC-1



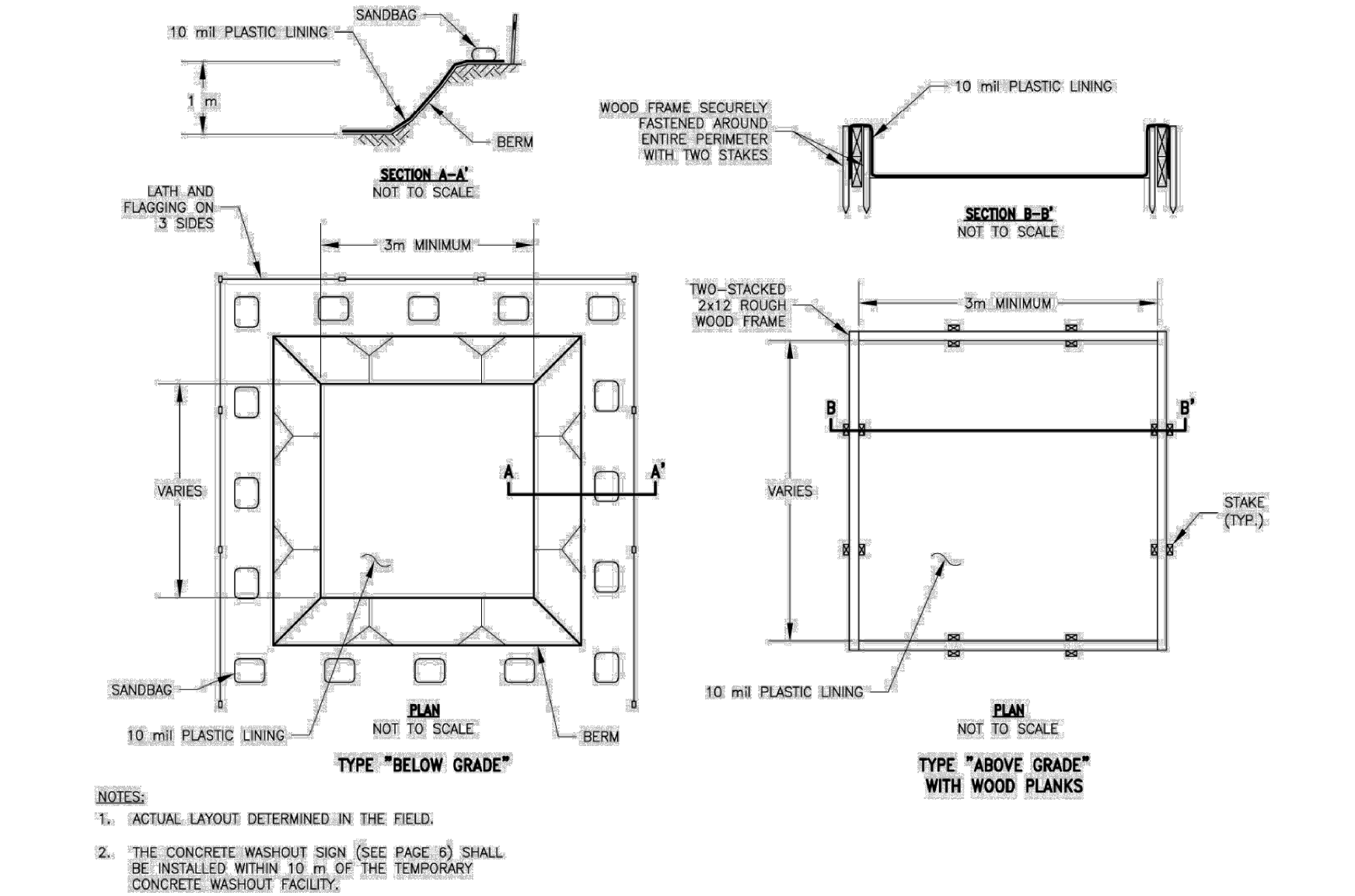
Stabilized Construction Entrance/Exit (Type 2)

Stabilized Construction Entrance/Exit TC-1



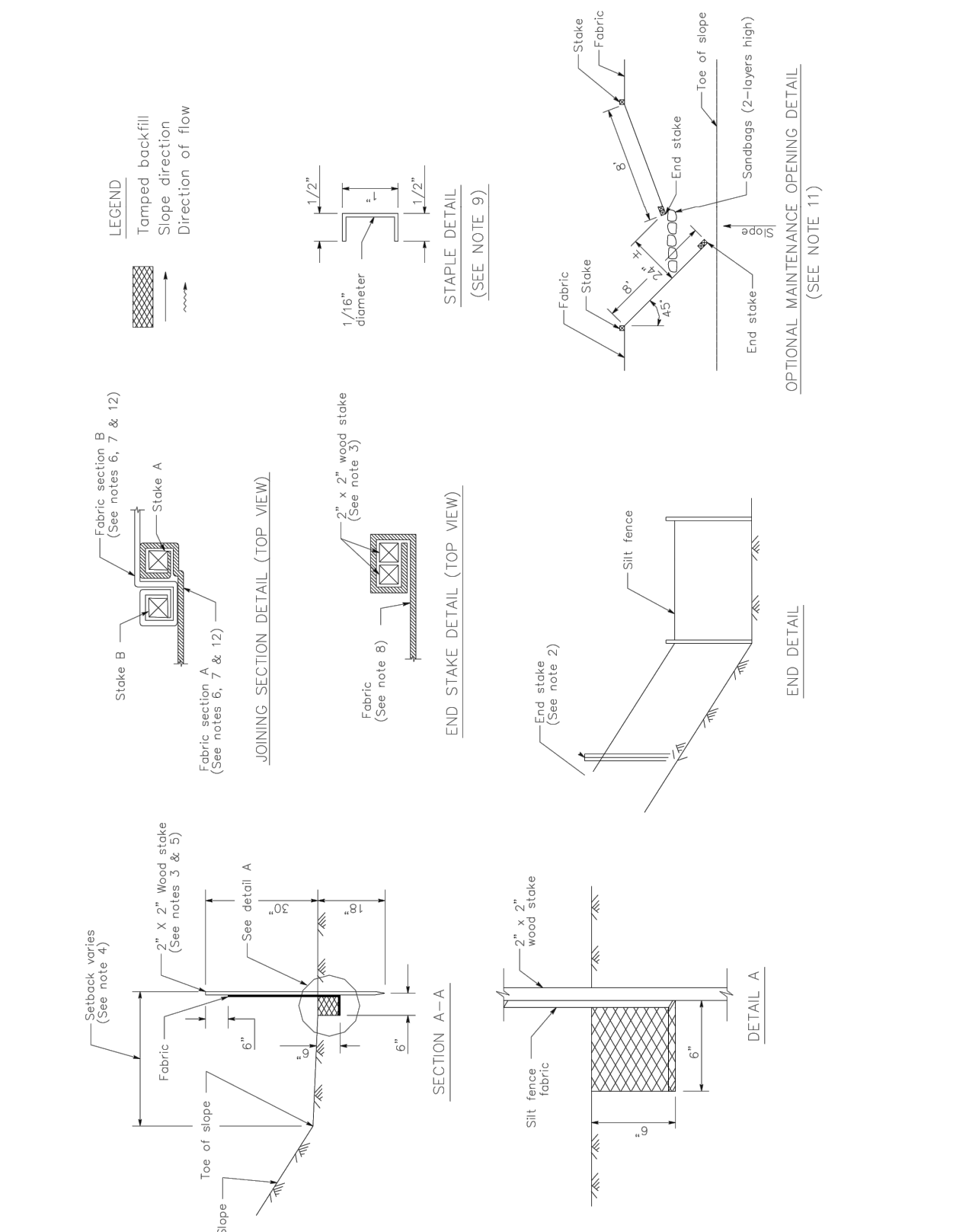
Concrete Waste Management

WM-8



Silt Fence

SE-1



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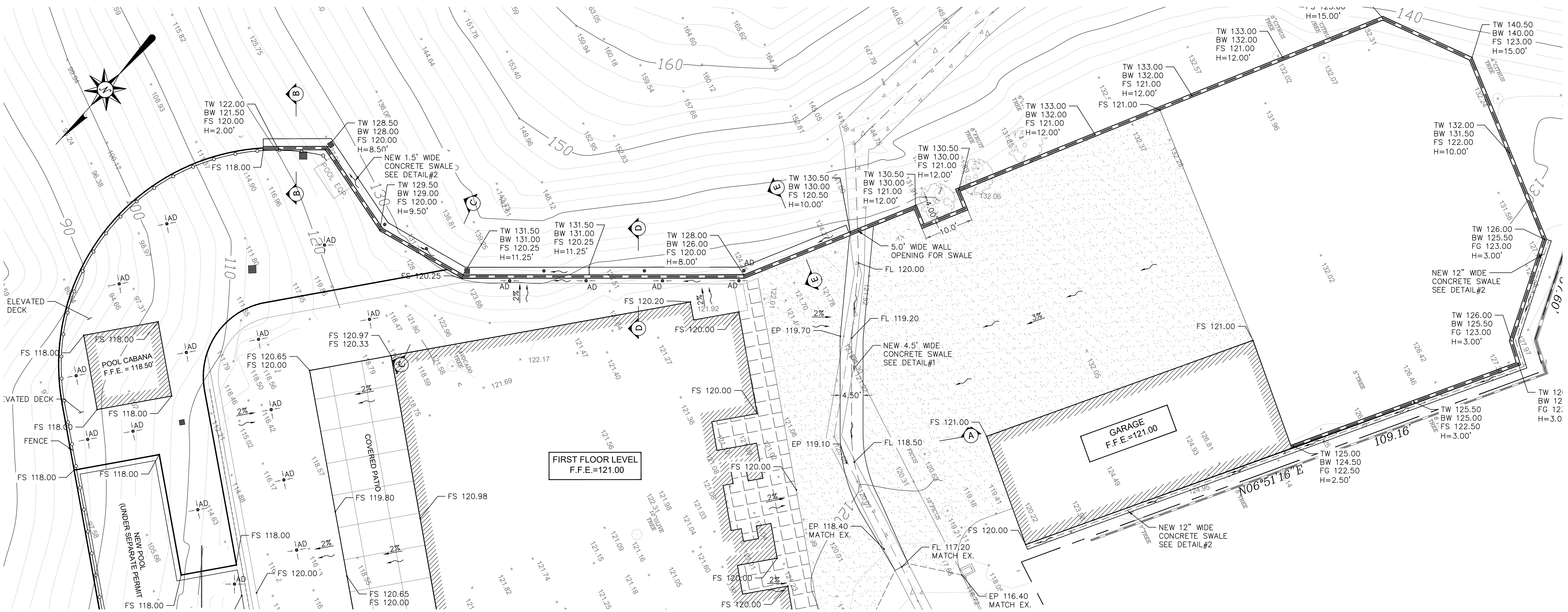
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DRAWN BY: HM

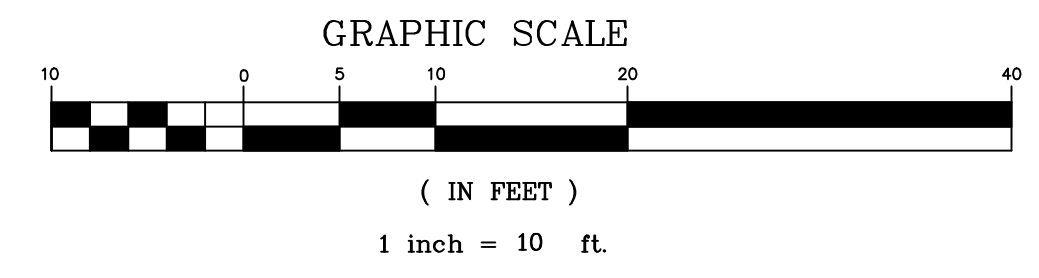
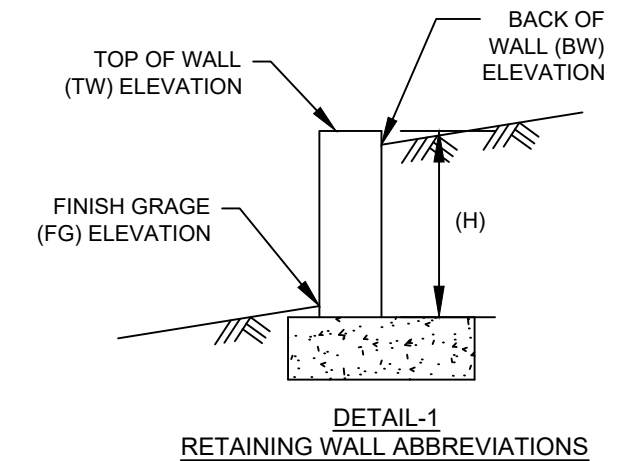
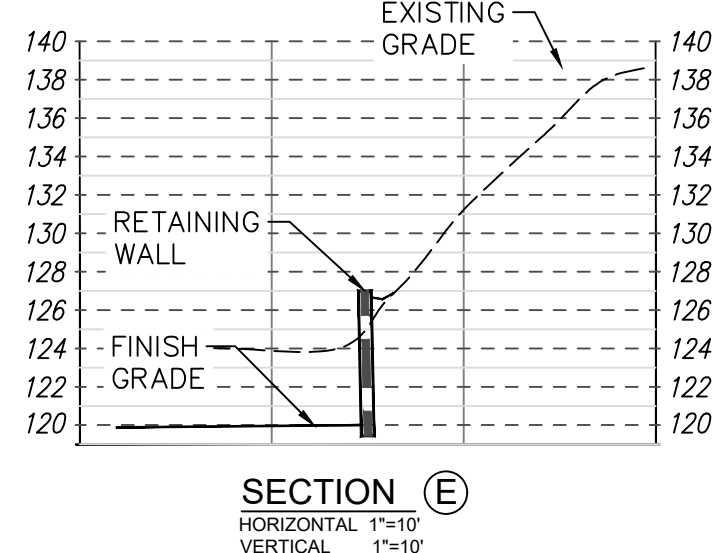
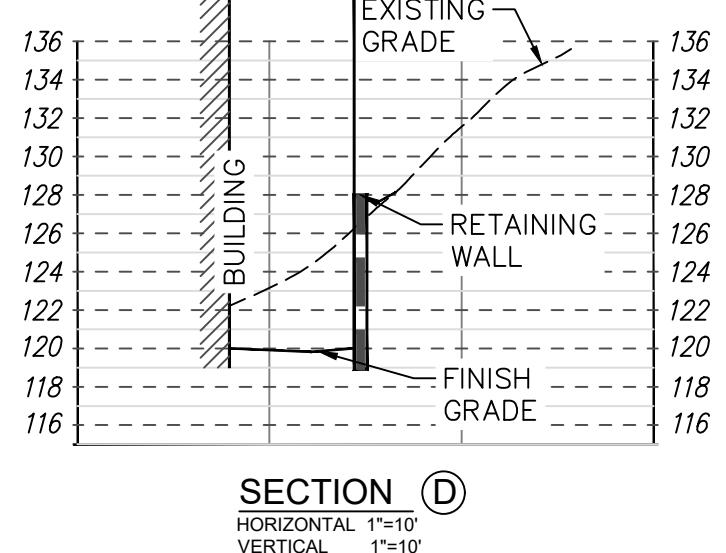
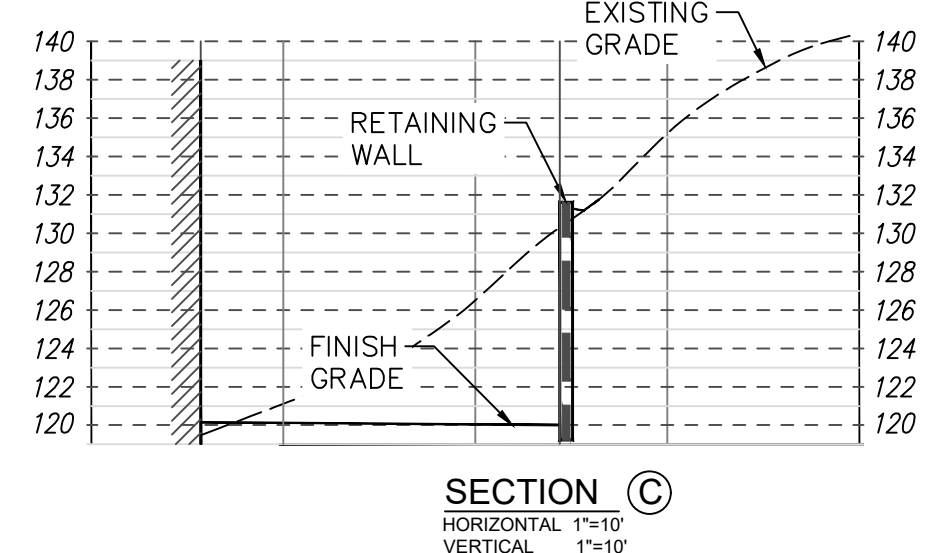
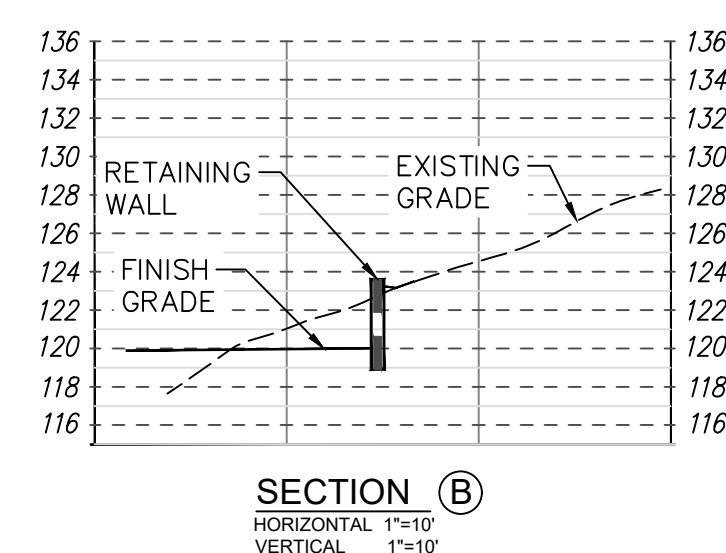
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C-6



NEW WALL PLAN
SCALE 1"=10'

GENERAL NOTES:
FOR RETAINING WALL DETAILS AND MATERIAL SEE STRUCTURAL AND ARCHITECTURAL PLAN.



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NEW SINGLE FAMILY RESIDENCE
652 ROBIN GLEN DRIVE
GLENDALE, CA 91202

CROSS SECTION
RETAINING WALL
SECTIONS

MESSIHA ENGINEERING SERVICES, INC.
9854 NATIONAL BLVD. SUITE 474
LOS ANGELES, CA. 90034
Tel. (310) 717-3020 - Hany@MessihaEng.com

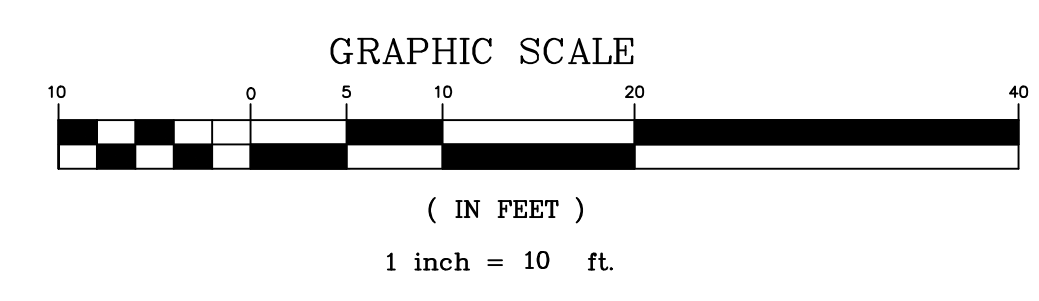


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C-7



EXISTING CONDITION PLAN
SCALE 1"=10'



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