



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – PRESENTATION ONLY

May 9, 2024

Hearing Date

Commercial Zones Citywide

Address

Design Review Board (DRB)

Review Authority

City of Glendale

Applicant

Text Amendment PZC-0009-2023

Case Number

Vilia Zemaitaitis and Teresa Santilena

Case Planners

Project Summary

Presentation of proposed amendments to GMC Chapter 30.12 Commercial Districts (C1, C2, C3, and CH) regarding multi-family development standards as well as new objective design standards (ODS) for multi-family residential and mixed-use projects (MU Project) for DRB's review and comment.

Environmental Review / CEQA Status:

The proposed zoning code amendments will be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15061(b)(3), which states the activity is covered by the general rule that CEQA applies only to projects [that] have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. The multi-family residential densities will not be changed, building heights will not be increased, and the objective design standard amendments will not result in any environmental impacts. Future development projects subject to the proposed ordinance would be reviewed for potential environmental impacts.

Background

Staff is presenting for DRB's review and comment a variety of new setback, massing & scale, and architectural element concepts for multi-family residential and residential mixed-use development in commercial zones (C1 Neighborhood Commercial, C2 Community Commercial, C3 Commercial Services, and CH Commercial Hillside). These concepts include proposed amendments to the existing development standards and new proposed objective design standards (ODS).

The new setback, massing, and building articulation concepts for the MU Project were presented to City Council on February 27, 2024, and certain applicable architectural detail standards were discussed as part of Council's review of multi-family standards in

residential zones on April 2, 2024; Council's feedback has been incorporated into the current iteration. Details pertaining new outdoor open space and building material standards are also included in this presentation to DRB. This report also provides another opportunity for public feedback. Based on DRB's comments, staff will continue to conduct public outreach, prepare code amendments to be brought before the Planning Commission, and finally return to City Council for introduction and eventual adoption.

The following summarizes the history of multi-family residential and residential mixed-use projects in commercial zones, and why zoning updates and objective design standards are being pursued:

For many years, the Glendale Zoning Code has required the application of the high-density residential (R-1250) development standards to residential mixed-use developments in the C1, C2, C3 and CH commercial zones throughout the City. These commercial zones tend to be located along major and secondary arterials, and signature streets, such as Colorado Street, Broadway, parts of Glenoaks Boulevard and Foothill Boulevard, where transit options are available and where proximity to nearby goods and services encourage walking, biking, and other active transportation trips (rather than vehicle trips). However, the R-1250 standards require residential "wedding cake" setbacks, lot coverage, massing, and FAR and are primarily intended for application in high density residential neighborhoods.

Applying these residential standards to commercial areas has had the unintended effect of discouraging residential and mixed-use projects along commercial corridors. Relatively few privately funded mixed-use developments have been built in commercial zones because of these existing development-limiting standards. Projects that have come forward have often requested multiple variances from the current zoning code, thus extending processing time and adding uncertainty in the outcome of the development process.

As part of the SB2 Grant Program, staff has been working with Crandall Arambula (consultant) in updating the commercial zoning standards to streamline residential and mixed-use development in commercial corridors and centers. This is in conjunction with a similar project, previously presented to the DRB, involving the update of multi-family development standards and new objective design standards for residential districts. These two projects were included in Glendale's adopted and certified 2021-2029 Housing Element as part of a suite of zoning amendments aimed to remove constraints to a variety of housing types and to ensure that City standards and permitting requirements are in compliance with State law.

The proposed zoning amendments would eliminate the application of the R-1250 standards in commercial zones. Additionally, objective design standards would be adopted to ensure high quality multi-family residential and residential mixed-use projects in these areas. The proposed code amendments and ODS will introduce standards that are appropriate and achievable for residential and mixed-use development in commercial zones.

Furthermore, updates to streamline residential development in commercial corridors and centers are in keeping with current best planning practices of mixed-use, sustainable development and the City's Housing Element policies and programs. For example, Housing Element Policy 2.1, seeks to encourage higher-density residential development in

proximity to public transportation, services, and activity centers, such as commercial corridors and centers. No density increases (dwelling units per acre) are proposed for residential development over that currently permitted by right. However, the fact that residential and mixed-use development would be streamlined and not hampered by outdated development standard is a significant improvement over current conditions, where housing units are lacking along the City's commercial corridors outside of the Downtown Specific Plan (DSP) and Tropico area. Additionally, Housing Element Program 3E calls for the review and modification of mixed-use development standards on existing commercial corridors to encourage multi-family residential and mixed-use development and reduce government constraints. Housing Element Program 9B(H) necessitates the replacement of the R-1250 standards in commercial zones and elimination of the any discretionary permit requirement for 100% residential projects in commercial zones, and Housing Element Program 9B(I) calls for the preparation of objective design standards for multi-family and mixed-use projects.

Modifying the development standards will increase the likelihood of increasing housing units, increasing certainty in the review process, and ensuring livability and design compatibility with surrounding neighborhoods. Lastly, this work is part of Community Development's efforts to create an improved entitlement and streamlined review process.

Staff Recommendation

No action is required by the Design Review Board. However, staff is requesting comments from DRB and will forward those comments to the Planning Commission and City Council for their consideration.

Summary of Zoning Amendments and New Objective Design Standards:

The project consists of two parts: code amendments to the commercial development standards and new ODS for multi-family residential and residential mixed-use development in commercial zones. The new development standards and objective design standards will be consolidated in a new subsection at the end of the Commercial Districts Chapter: GMC 30.12.060 Development and objective design standards for residential and mixed-use development in commercial districts (see Exhibit A).

PROPOSED RESIDENTIAL STANDARDS

One of the first necessary updates to the Commercial Districts Chapter will be the elimination of the R-1250 standards. The applicable R-1250 references in the general commercial Land Use Table 30.12-A regarding Residential Uses (excerpt below) will be replaced by the new subsection reference. The ground floor commercial Conditional Use Permit (C) requirement will also be eliminated to implement the Housing Element direction.

LAND USE (1)(2)	C1	C2	C3	CR	CPD	CH	CA
Residential Uses							
Residential congregate living, non-medical, subject to the provisions of the R-1250 zone Section 30.12.060 and provided that the ground floor level is occupied by permitted commercial uses	P	P	P			P	

Residential congregate living, non-medical, at the ground floor level subject to the provisions of the R-1250 zone Section 30.12.060	A	A	A			A	
LAND USE (1)(2)	C1	C2	C3	CR	CPD	CH	CA
Multiple residential dwellings with dwelling units at the ground floor level subject to provisions of the R-1250 zone	€	€	€			€	
One residential dwelling per lot subject to the provisions of the R-1250 zone	P	P	P	P	P	P	
Senior housing subject to the provisions of the R-1250 zone Section 30.12.060 and provided further that the ground floor level is occupied with permitted commercial uses	P	P	P	P		P	
Senior housing at the ground floor level subject to the provision of the R-1250 Zone	€	€	€	€		€	

The new GM 30.12.060 section will address most of the R-1250 development standards topics, but with updated limits to reflect the applicable conditions for residential and mixed-use projects along commercial corridors. The existing standards can be seen in the following table and proposed changes are expanded upon below

**Table 30.12-B
COMMERCIAL DISTRICTS GENERAL DEVELOPMENT STANDARDS**

Development Feature	Current R-1250 Zoning Standards	Proposed Amendments
Residential Density (Maximum)	1 dwelling unit for each 1,250 sq. ft. of lot area. On lots having a width of 90 feet or greater, there shall be not more than 1 dwelling unit for each 1,000 sq. ft. of lot area.	Same, no change.
Floor Area Ratio (Maximum)	1.2	Eliminated.
Lot Coverage (Maximum)	50%	Eliminated.
Setback, Street Front	20 ft. minimum & 23 ft. average for any garage or first residential floor; not less than 23 ft. & 26 ft. average for the second & third residential floors	Reduced to be in keeping with typical mixed-use buildings.
Setback, Street Side	5 ft. minimum & 8 ft. average for the first residential floor; not less than 8 feet & 11 ft. average for the second residential floor; not less than 11 ft. & 14 ft. average for the third residential floor	Reduced to be in keeping with typical mixed-use buildings.
Setback, Interior	5 ft. minimum & 8 ft. average for the first residential floor; not less than 8 feet & 11 ft. average for the second residential floor; not less than 11 ft & 14 feet average for the third residential floor	5 feet minimum only.
Interior when abutting the ROS, R1R or R1 zones	8 ft. minimum & 11 ft. average for the first residential floor; not less than 11 feet & 14 ft. average for the second residential floor; not less than 17 ft. & 20 ft. average for the third residential floor	New objective design standards require step-backs to ensure appropriate transitions.
Minimum Permanently Landscaped Open Space	25% of lot area	25% of required common area.

Height Limits	Maximum of 3 stories & a maximum of 36 feet. On lots having a lot width of 90 feet or less, a maximum of 2 stories & a maximum of 26 feet.	Applicable height limit for the corresponding “C” zone and height district.
Open Space	Minimum 40 SF of private open space and 200 SF of common open space per unit	140 SF per unit, either private, common or both

Residential Density:

No changes are proposed to the existing density (dwelling units per acre) limits.

Under the GMC density standards, the R-1250 (High Density Residential) standards allow for 1 unit per 1,250 SF of lot area. More units within a larger project are allowed on a wider, larger lot; therefore, lots greater than 90 feet in width allow an increase in density – up to 43 du/ac (or 1 unit for every 1,000 SF of lot area). Based on the Density Bonus provisions and State law, additional density up to 50% is also permitted depending on number of affordable units and levels of affordability.

Floor Area Ratio (FAR):

Currently, there is no FAR limit in the C1, C2, C3, and CH zones, however, the current FAR limit in the R-1250 zone is 1.2. Because of the various height limits in the commercial zones, density regulated by a single FAR number is problematic in terms of achieving development potential; also, this was always a requested variance for the few, newer mixed-use projects. Therefore, the R-1250’s 1.2 FAR maximum is to be eliminated as part of the residential streamlining amendments for commercial zones. Instead, the units per acre will be the prevailing density regulation, while objective design standards will result in less boxy, more undulated building forms within the maximum height limit.

Setbacks

The existing R-1250 setback standards, often criticized for resulting in “wedding cake” massing and not being consistent with typical mixed-use building typology, will be updated to not require different minimums and averages on each residential floor. The substantial R-1250 setback requirements are also more appropriate for multi-family residential neighborhoods with landscaped front yards. Instead, a uniform minimum standard for all floors is proposed for the interior, street front and side street elevations. Such uniform minimums will be layered with the objective design standards to ensure articulation across the elevations and varying depth in building massing. Additional setbacks and an increased setback for the upper floor will be required for projects abutting single and multi-family zones.

Minimum Landscaping

Currently, 25% of the total lot area in the R-1250 zone must be landscaped. This standard will be updated to specify that 25% percent of only the required common open space be landscaped.

Height

The current height standards limit residential development to two stories and 26 feet for lots less than 90 feet in width and three stories and 36 feet on lots greater than 90 feet in width, based on the R-1250 standards. The proposed amendments would

allow the commercial district height limit to dictate the maximum height of multi-family and residential mixed-use projects in commercial zones. Commercial height limits range from 25' in the C1 zone all the way up to 90' in the CA zone. This amendment would ensure that new multi-family and residential mixed-use projects are in scale with surrounding developments.

Open Space

The R-1250 standards require both private and common open space be provided. For each unit, 40 SF of private open space is required, and the amount of common open space required is based on the number of units in the project – as the number of units increases, the amount of common open space per unit decreases. Specifically, 200 SF of common open space must be provided for the first 25 dwelling units on a lot, 150 SF of common space must be provided for the second 25 units on a lot, and 100 SF of common open space must be provided for each unit above 50 units. Such standards will be revised to be consistent with the current open space standards for residential development in Mixed-Use Districts (IMU-R, SFMU and DSP): 140 square feet per unit. This open space requirement can be met through the provision of private space, common space, or a combination of the two.

OBJECTIVE DESIGN STANDARDS (ODS)

In conjunction with the proposed zoning code amendments, the second piece of this project is the creation of ODS. The ODS have similar formatting and contain similar regulations as those in the Tropic Transit Oriented Development (TOD) zoning and the Downtown Specific Plan (DSP). The standards also build upon the existing design guidelines for multi-family development (Comprehensive Design Guidelines: <https://www.glendaleca.gov/government/departments/community-development/planning/design-guidelines>), specifically Chapter 5 – Multi-Family and Mixed Use, which provided the basis for staff's and the Consultant's study. As per State law, only new objective standards (not guidelines) will be included in the proposed updates.

One of the main goals for this report is to solicit DRB's feedback on several new setback, outdoor open space, massing & scale, and architectural element concepts. These concepts are highlighted below and will be presented in detail during the PowerPoint presentation.

Setbacks

The ODS will implement a consistent, more pedestrian-oriented streetscape by requiring a minimum 12-foot setback from the curb face to the building façade. If the front property line is located within this 12-foot area, a public access easement will be recorded on the portion of the public realm that is located on private property to allow for pedestrian activity. If a front property line is located more than 12 feet from the curb face, the property line will prevail as the street front setback.

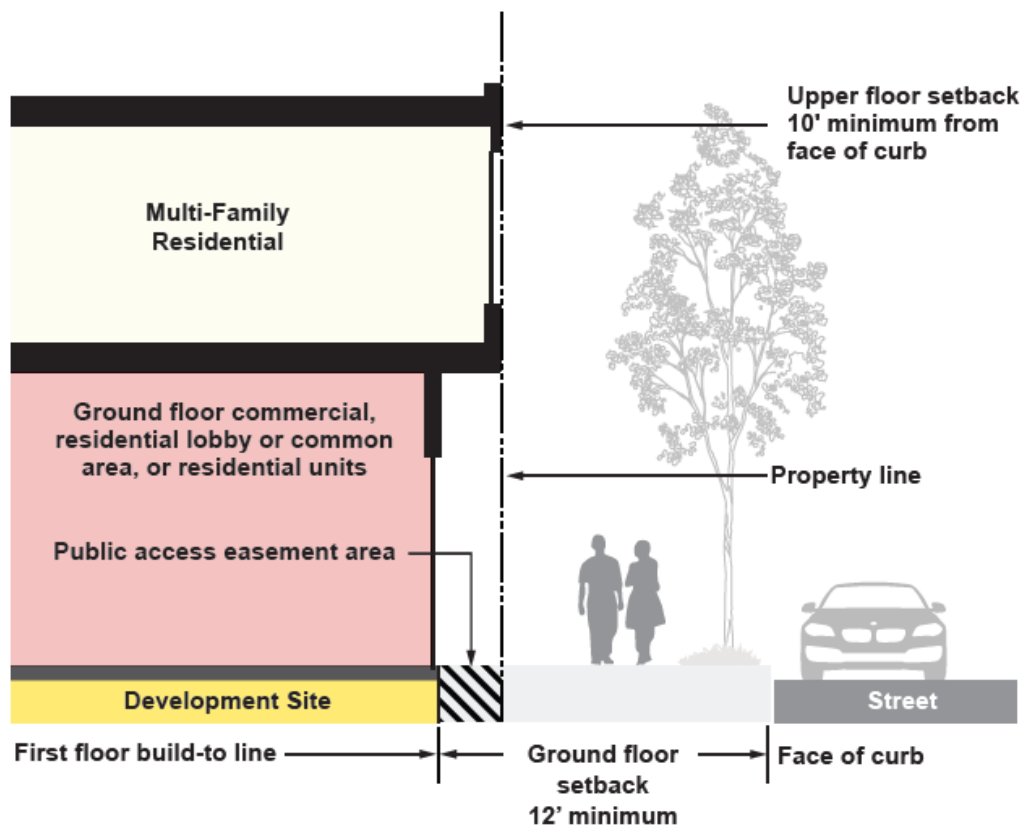
Above the ground floor, multi-family and residential mixed-use buildings will be required to be set back a minimum of 10 feet from the curb face to the building façade. If the front

property line is located more than 10 feet from the curb the property line will be the setback line. This standard will allow for certain projects to have residential floor area cantilevered over the building adjacent zone. Canopies and awnings, as well as frame projections (see Architectural Elements) will also be permitted to project over the pedestrian realm.

The ODS will include development standards for this 12-foot setback area, including paving and landscaping regulations. Certain structures will be prohibited within this area including permanent street furnishings; freestanding walls and fences; ground and façade mounted utilities; and steps, stoops, and terraces. Temporary tables and chairs will be permitted within the 12-foot setback area.

The graphics on the next page indicate how the new 12-foot pedestrian realm will be provided.

Setback Standards – Pedestrian Realm



Currently, the R-1250 zone requires interior setbacks that increase for each story. A five-foot minimum and eight-foot average is required for the first residential floor, an eight-foot minimum and 11-foot average is required for the second residential floor, and an 11-foot minimum and 14-foot average is required for the third residential floor. Interior setbacks are proposed to be reduced to a fixed five foot minimum for all floors up to 45 feet in

height, with an additional step back requirement for building stories at or above 45 feet (see Vertical Modulation Standards).

Outdoor Open Space

As stated above, the amount of required open space will be reduced to a minimum of 140 SF per unit, which can be provided in the form of private open space, common open space, or a combination of the two. At least 25% of the units will be required to have at least 50 SF of private open space. The ODS will include minimum location, size, and dimension requirements to ensure that open space areas are usable for residents of the building. Private open space will be required to have a minimum dimension of 5 feet in length or width and a minimum total size of 50 SF. Private open space areas must also be directly accessible from the unit they serve, such as a balcony, deck, or patio.

Common open spaces will be required to be designed as one to two contiguous spaces, rather than several small areas. They can be provided as courtyards, plazas, paseos, and rooftop decks and will have a mix of active and passive uses, including seating areas. For projects less than half an acre, common open spaces will be required to have a minimum dimension of 20 feet and minimum area of 500 SF. Projects that are half an acre or greater in size will have a minimum dimension of 25 feet and minimum area of 1,000 SF. Minimum landscape requirements will also apply: a minimum of 25 percent of the total required common open space will be permanently landscaped with live plant materials and a minimum of one 24-inch box, canopy shade tree of a two-inch caliper trunk diameter, measured six inches above the topmost root, 10 feet in height, will be required for every 500 square feet of residential common open space. Permanent landscaping will be required to consist of landscaped areas at the ground level or in planters with the soil area having a minimum length, width, diameter, and depth of 24 inches. Where a tree is planted, the area and depth of the planting area will be increased to a minimum of 36 inches by 36 inches by 36 inches. All landscaped areas will be required to contain a combination of low, medium, and tall plant materials.

Building Massing & Scale

The proposed massing and scale standards aim to ensure that new projects are compatible with existing commercial development in terms of scale and are sufficiently modulated to provide architectural interest. Standards for massing would regulate modulation of the building both horizontally, with recesses and/or projections across façade elevations, and vertically, in terms of height. Façade Articulation Options standards further help shape elevations and reduce the perceived building mass.

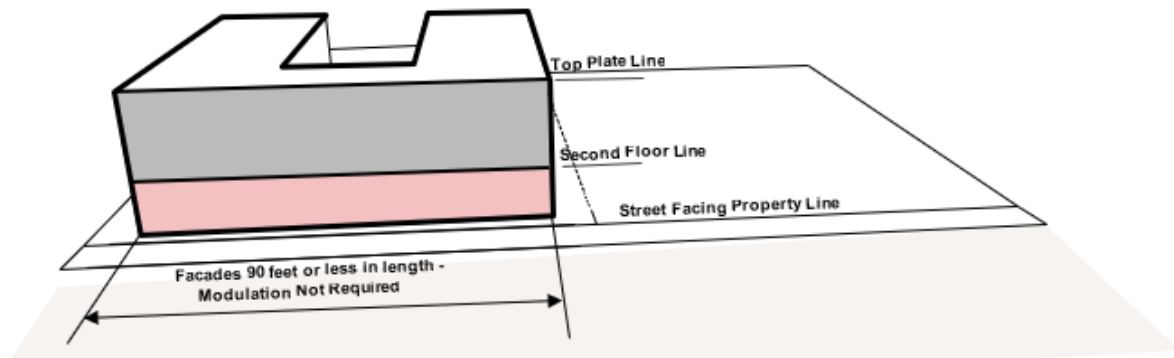
Horizontal Modulation

The horizontal modulation concepts would require that building facades be broken into segments to avoid buildings with long, blank walls. Therefore, any façade on any elevation that is 90 feet or greater in length would be required to contain a recessed modulation so that the façade would be composed of a minimum of three (3) segments.

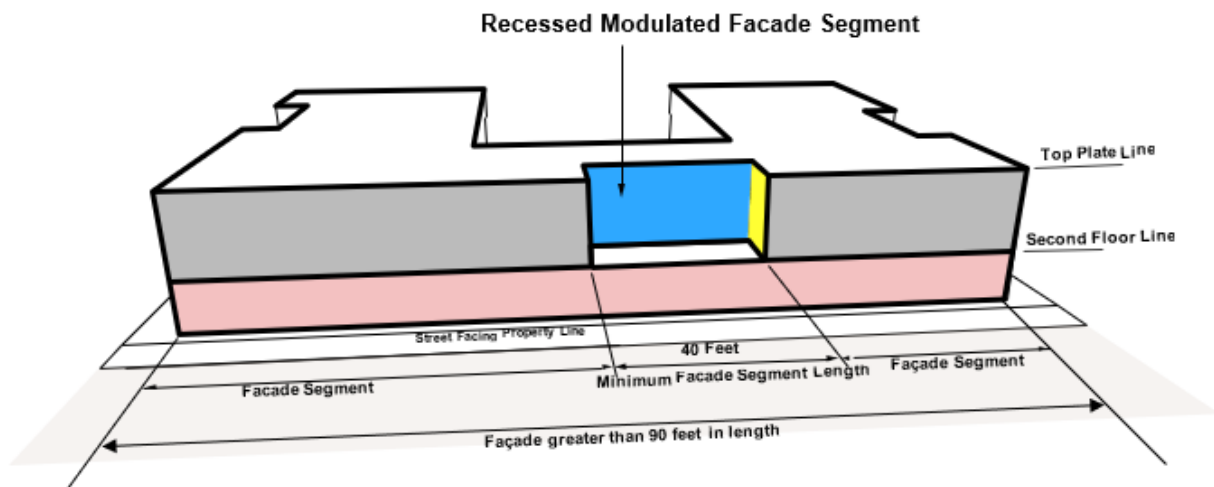
In cases where horizontal modulation is required, the recessed modulation would be required to be a minimum of 40 feet and a maximum of 60 feet wide and have a minimum of 10 feet deep. It would also be required to run from the second floor, no higher than 16 feet above the sidewalk grade, to the top of the roof eave or parapet. The recessed modulation would also be permitted, and encouraged, at the ground floor.

The graphics below demonstrate how horizontal modulation standards will break up building massing.

HORIZONTAL MODULATION STANDARDS FACADES LESS THAN 90 FEET IN LENGTH



HORIZONTAL MODULATION STANDARDS FACADES GREATER THAN 90 FEET IN LENGTH



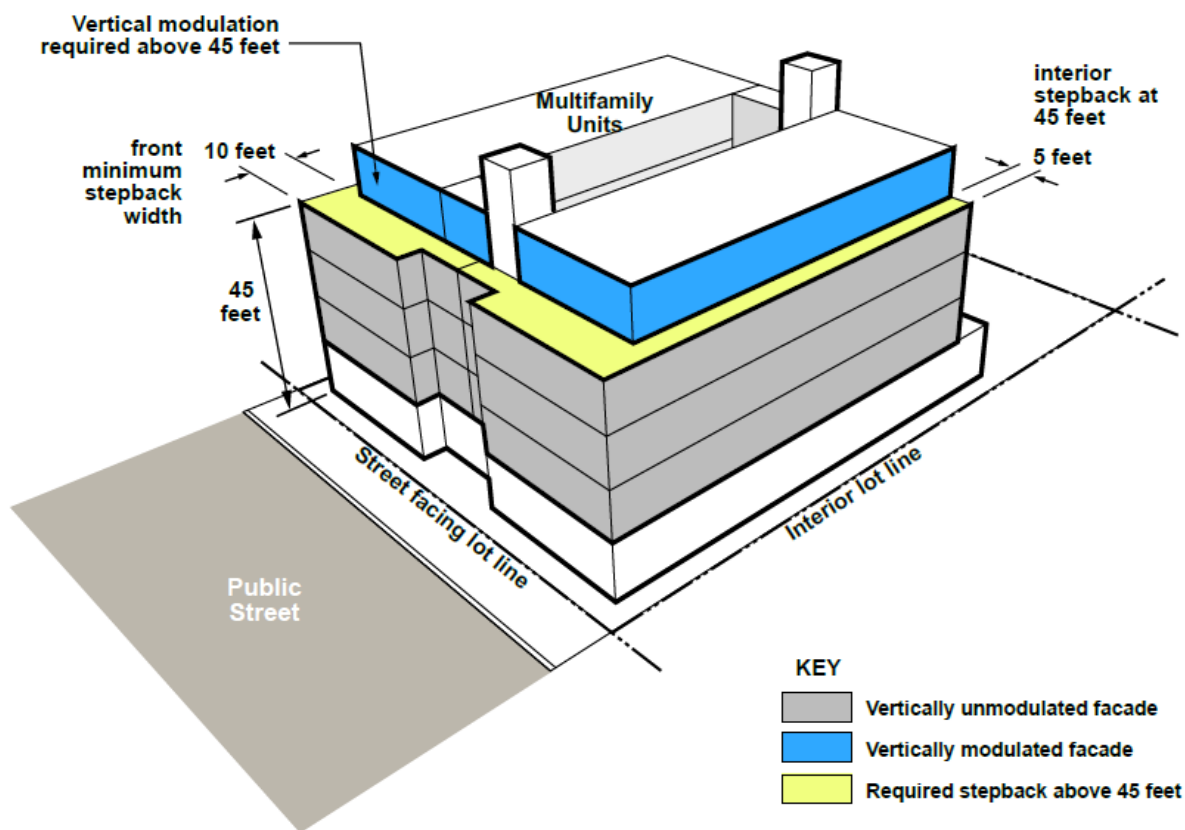
KEY

- Facade
- Modulated facade segment
- 10 feet minimum modulated facade depth
- Ground floor commercial or residential area

Vertical Modulation

The intent of the vertical modulation standards is to create visual interest, increase solar access to ground floor common areas, and reduce shadows cast on adjacent properties, public sidewalks, and open spaces through a change in height of the building. The vertical modulation requirements would apply to new multi-family and residential mixed-use buildings 45 feet and taller in height in commercial zones, except for projects located in C3 Height District III. In cases where vertical modulation is required, any residential floor located at or above 45 feet in height would be required to step back from the floor below a minimum of 10 feet for street facing elevations and a minimum of 5 feet for interior property lines.

VERTICAL MODULATION STANDARDS



Additional vertical modulation requirements apply for any project abutting a residential zone. If the commercial zone in which the project is located requires a fixed setback, the third residential floor and above will be required to step back 10 feet from the floor below for any façade that is adjacent to a residential zone. If the commercial zone in which the project is located utilizes minimum and average setbacks, the average setback will be increase an additional five feet for the third floor and above. Finally, any project on a site with an average current slope of 5% or greater that abuts a residential zone will have a

ground floor setback of 10 feet from the property line adjacent to the residential zone (15 feet for the CH zone), with an additional step back of 10 feet for the second floor and above.

Figure 30.12.060.X
Adjacent Residential Zone Transition Standard

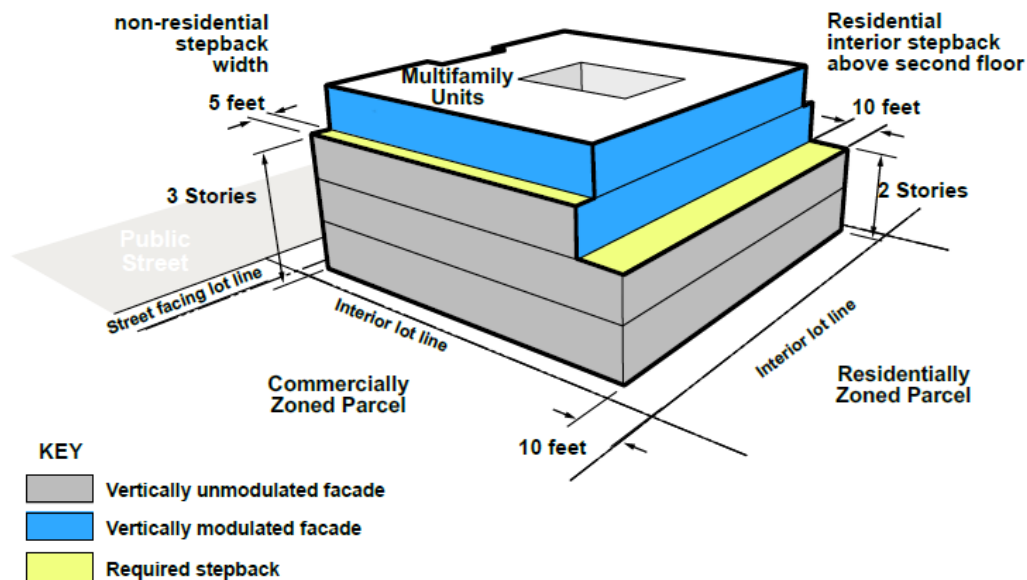
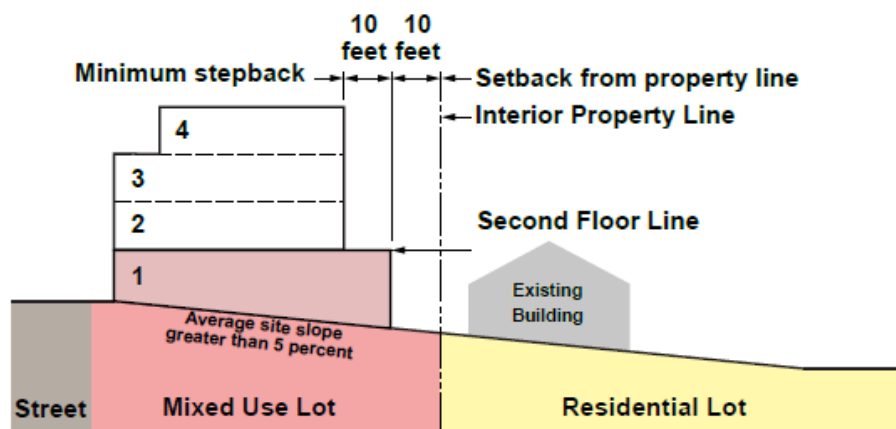


Figure 30.12.060.X
Sloping Site Transition Standard

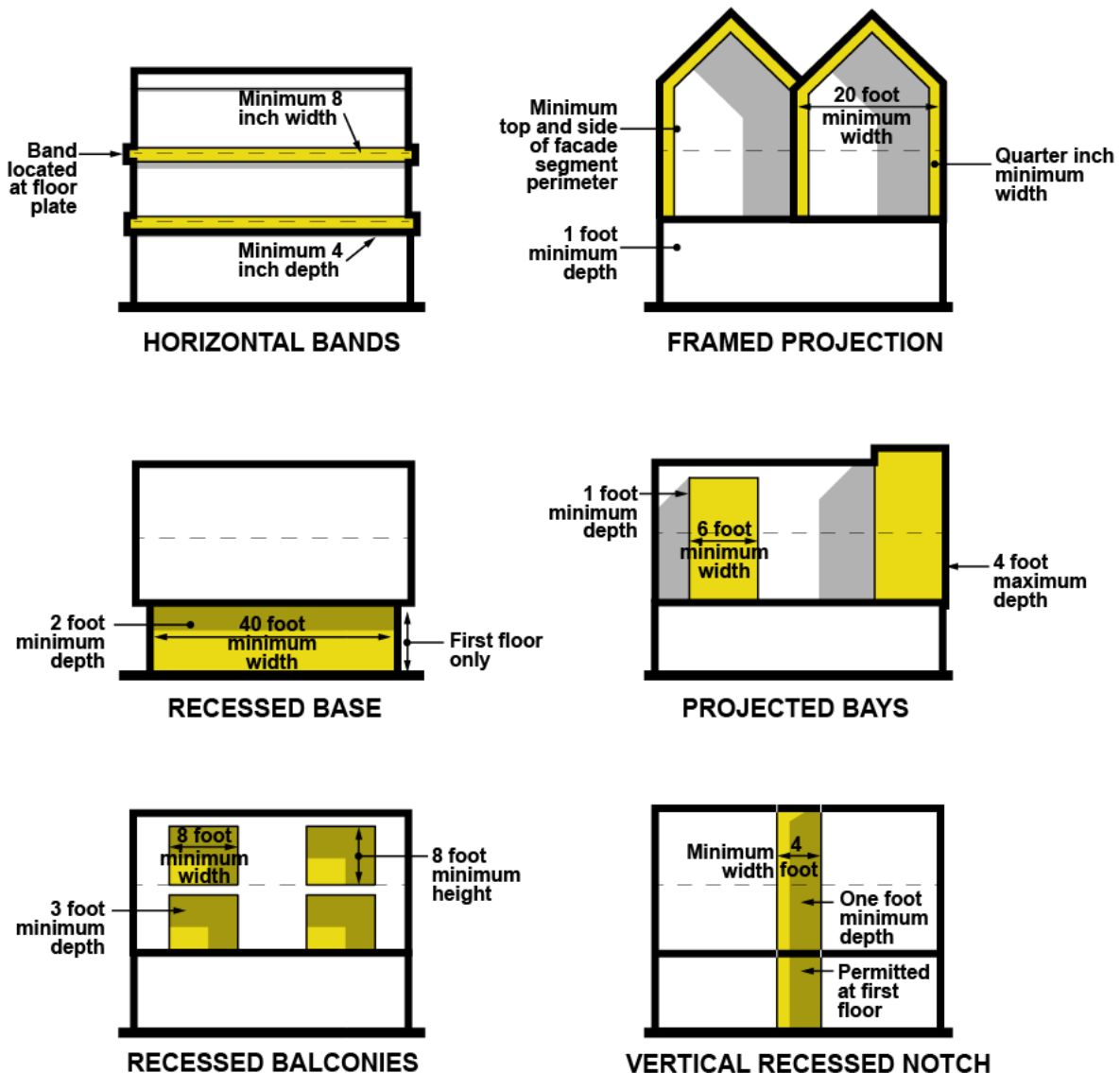


Façade Articulation Standards for Modulation

The ODS include new articulation standards that will apply to exterior building facades. The ODS will include a list of articulation options that will be applicable to each segment of a new building to create definition within façade segments and help reduce the perceived

massing of a building. The façade articulation options work in concert with several architectural elements as listed in the ODS, including façade materials, façade colors, roof forms, and fenestration options, to establish scale and provide sufficient variety to create visual interest in a coherent, consistent manner. Applicants shall select a minimum of one and a maximum of two façade articulation options to be applied to each facade segment. Each option includes specific minimum dimensions and exterior material enhancements. The graphics below indicate the façade articulation options that will be incorporated into the ODS. *Note:* The façade articulation options are very similar to the ones presented for the MF Project to the DRB; although DRB had comments regarding these options and which staff relayed to City Council at the April 2, 2024 meeting, Council directed staff to proceed with them for both the MU and MF Projects.

Façade Articulation Options



Architectural Elements

In addition to the Massing & Scale requirements described above, the objective design standards will require a variety of architectural elements to ensure quality building design. The standards will include requirements pertaining to façade materials; façade colors; roofs (forms, materials, colors); fenestration; balconies; awnings and canopies; and vents, gutters and downspouts. The standards allow for flexibility. To prevent future developments from becoming too similar in appearance, several options are available in each of the required architectural element categories. The Council reviewed these architectural elements at the meeting on April 2, 2024. Their comments have been reflected in the below standards.

Façade Materials

The standards will include a list building materials that will be prohibited for use on new multi-family projects and residential portions of mixed-use projects. They will also limit the number of materials that can be used, based on building height (a maximum of two cladding materials for buildings less than three stories, and a minimum of two, maximum of three cladding materials for buildings three stories or more) and regulate where Exterior Insulation Finishing System (EIFS) can be placed on the building and the amount of EIFS permitted, consistent with the Downtown Specific Plan regulations, as directed by Council. These façade materials standards will ensure higher quality finishes are used to create attractive projects that will endure over time.

Roof Forms

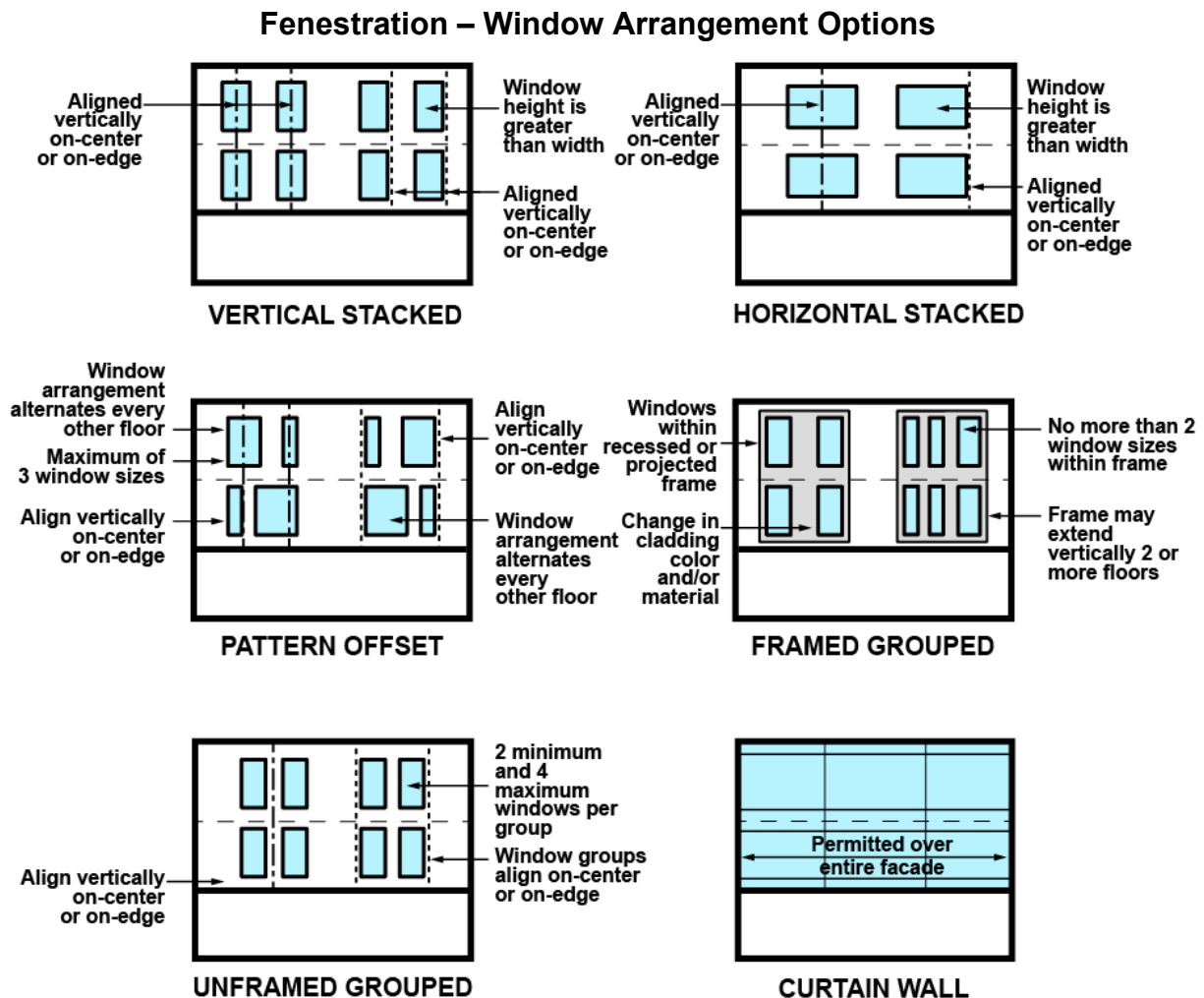
Based on Council's direction at the April 2, 2024 meeting, standards pertaining to rooflines will not include roof form options, as previously presented to the DRB for the MF project, but will allow any roof design and only limit the number of roof forms that can be used on each building (a maximum of three). The standards will also require vertical modulation of flat roofs for buildings that are greater than 90 linear feet in length. Finally, a list of permitted roofing materials will be included in the ODS to ensure attractive and high-quality construction.

Fenestration

Another element of the ODS that will ensure architectural detailing for new projects is the fenestration regulations. At least 20% of all façade area facing streets must include window and door openings. All window and door openings will be required to be recessed by two inches to provide depth and shadow lines on building facades. The ODS will also prohibit certain window design details, such as dual paned windows with internal grids, and synthetic stucco and foam trim window surrounds. Multiple fenestration patterns will be incorporated into the ODS to allow for window arrangements that will enhance the overall architectural design of new projects; such fenestration options were previously discussed with the DRB and City Council, and Council elected to proceed with the

fenestration menu options. It is important to note that any window shape will be permitted on building facades.

The following images provide several options for fenestration patterns.



Balconies

Balconies will be permitted on new buildings to provide for residential private open space and to enhance architectural design. All balconies will be required to be recessed from the adjacent building wall plane. Balconies that are not proposed as one of the required façade articulation options will be permitted to project beyond the building wall plane up to 50% of the total balcony depth or 30 inches, whichever is less. Balcony materials and colors will be required to match the overall architectural design.

Awnings and Canopies

Awning and canopies are permitted over windows and doors to provide weather protection. Any awnings and canopies that are not proposed as one of the required façade articulation options will have minimum material standards (i.e., fabric or metal), and will be

required to have frames and hardware systems that match the building's architectural design. Additionally, poles or ground mounted supports will be required to be located outside of walkways and common areas.

Vents Gutters and Downspouts

The ODS will also require that all vents, gutters, and downspouts be painted to match the color of the adjacent building surface. Additionally, all new buildings will be required to utilize internal leaders for roof drainage and architecturally integrate vents on all street-facing elevations. On street-facing or alley-facing elevations, all exterior vents will be integrated into soffits or ceilings of balconies, where such features exist.

Additional Regulations

Finally, the ODS include standards regarding the ground floor treatment of residential areas such as residential entries and façade transparency. These standards will ensure that residential lobby and common area spaces are appropriately delineated at the ground floor of a building and an active street frontage is maintained.

The ODS also include provisions related to freestanding walls, fences, and gates; utilities; outdoor lighting; and private storage space.

Next Steps

Following DRB's review of the draft multi-family and residential mixed-use zoning and Objective Design Standards, staff will incorporate DRB's feedback, where possible, and relay the Board's comments to the Planning Commission prior to returning to Council for approval of the proposed amendments. The project may also include a "Pattern Book" with aspirational examples for the specific design features for the next phase of the project, though the actual options will not change.

EXHIBITS

1. Draft Multi-Family and Residential Mixed-Use Zoning and Objective Design Standards - Amendments to GMC Chapter 30.12 Commercial Districts