

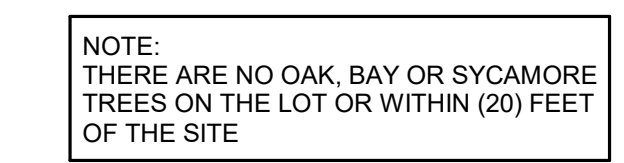
SYMBOLS		ABBREVIATIONS		PROJECT SCOPE		SHEET INDEX	
<div><div><div><div><div>X</div><div>XX</div></div><div>ELEVATION REFERENCE SYMBOL</div></div><div><div><div>X</div><div>XXXX</div></div><div>FULL BUILDING SECTION CUT</div></div><div><div><div>X</div><div>XXXX</div></div><div>WALL SECTION CUT</div></div><div><div><div>X</div><div>XXXX</div></div><div>SIM</div><div>SPECIFIC CALL-OUT OF AN OBJECT, WALL, OR LOCATION OF WHICH IS TO BECOME DETAILED</div></div><div><div><div>X</div><div>XXXX</div></div><div>SIM</div><div>REFERENCE TO ENLARGED PLANS, ELEVATIONS, PARTIAL SECTIONS AND DETAILS</div></div><div><div><div>X</div></div><div>WINDOW SYMBOL</div></div><div><div><div>(VARIES)</div><div>SLOPE</div></div><div>SLOPES PER PLAN</div></div><div><div><div>X</div></div><div>GRID SYMBOL AND LINE</div></div><div><div><div>PL</div></div><div>PROPERTY LINE</div></div><div><div><div>€</div></div><div>CENTER LINE</div></div><div><div><div><div>X</div></div></div><div>← REVISION DELTA</div></div><div><div><div><div></div></div></div><div>← REVISION CLOUD</div></div><div><div><div><div></div></div></div><div>← ROOM NAME</div></div><div><div><div><div>X</div><div>XX</div><div>XX</div></div></div><div>← VIEW CALLOUT</div></div><div><div><div><div>N</div></div></div><div>NORTH ARROW</div></div><div><div><div><div>8'-0"</div></div></div><div>RCP HEIGHT CALLOUT</div></div><div><div><div><div>401.3 FS</div></div></div><div>FINISH SURFACE HEIGHT CALLOUT</div></div><div><div><div><div>401.3 SS</div></div></div><div>SUB SLAB HEIGHT CALLOUT</div></div><div><div><div><div>2'-3"</div></div></div><div>FLOOR AND ROOF HEIGHT CALLOUT</div></div></div></div>		<div>A/C A.B. I. BM BLKG. BD BOT CAB CL CLG CLG. JST. CLR CEM. CHAM. CHAN. C.M.U. COL CONT. GR. CONT. CTR DEG DET DIA DIM DBL DBL. PL. DM DN DR D.S. DTL (E) E.A. ELEV. EQ EXIST EXT F.O.M. F.O.S. FIN. F.F. F.G. F.GL FLASH. F.D. FLT. JST. FTG. G.I. GRD. GYP. BD. GC HC HDW HDR. HT. HM HORIZ HR HT HVAC "</div> <div>AIR CONDITIONING ANCHOR BOLT ANGLE BEAM BLOCKING BOARD BOTTOM CABINET CENTER LINE CEILING CEILING JOIST CLEAR CEMENT CHAMFER CHANNEL CONCRETE MASONRY BLOCK COLUMN CONSTRUCTION GRADE CONTINUOUS CENTER DEGREE DETAIL DIAMETER DIMENSION DOUBLE DOUBLE PLATE DESIGN MANAGER DOWN DOOR DOWNSPOUT DETAIL EXISTING EACH ELEVATION EQUAL EXISTING EXTERIOR FACE OF MASONRY FACE OF STUD FINISH FINISH FLOOR FINISH GARDE FIXED GLASS FLASHING FLOOR DRAIN FLOOR JOIST FOOTING GALVANIZED IRON GRADE GYPSUM BOARD GENERAL CONTRACTOR HOLLOW CORE HARDWARE HEADER HEIGHT HOLLOW METAL HORIZONTAL HOUR HEIGHT HEATING, VENTILATING, AND AIR CONDITIONING* INSULATION INTERIOR JALOUSIE LAMINATED PLASTIC LOUVER LUMINOUS MANUFACTURER MATERIAL MAXIMUM MODEL MEP PLUMBING" MIN (N) N.G. NIC NL NTS</div> <div>OC OD O/ O.H. PR PL PLYW. P.L. RAD RAFT. REF REQ'D R/S REV RISER R.D. RO/S R.O. S/S SC S.C. SF SHT SIM SPEC SPL. SQ SS SST T. TEMP TR TYP UNO V.T.R. VIF W.P. WDW. W/ W/O WD</div> <div>ON CENTER OUTSIDE DIAMETER OVER OVERHEAD PAIR PLATE PLYWOOD PROPERTY LINE RADIUS RAFTER REFERENCE REQUIRED RESAWN REVISION RISER ROOF DRAIN ROUGH SAWN ROUGH OPENING SAWSIZED SOLID CORE SELF CLOSING SQUARE FEET SHEET SIMILAR SPECIFICATION SPLASH SQUARE SOLID SURFACE STAINLESS STEEL TEMPERED GLASS TEMPORARY TREAD TYPICAL UNLESS NOTED OTHERWISE VENT THRU ROOF VERIFY IN FIELD WATERPROOFING WINDOW WITH WITHOUT WOOD</div>		<div>NEW 2 STORY PRIMARY RESIDENCE WITH INFINITY POOL</div> <div>LEGAL DESCRIPTION</div> <div>TR=28765 POR OF 9 AND 90</div> <div>PROJECT DATA</div> <div>A.P.N.: 5616-021-036</div> <div>TRACT: ----</div> <div>ZONE: R-1R III</div> <div>SITE AREA: 9,778 S.F.</div> <div>LOT COVERAGE: 9,778 S.F. X 0.40 = 3,911 S.F. (MAX.)</div> <div>COVERAGE: 3,325 S.F.</div> <div>DECK (NOT INCLUDED) 473 S.F.</div> <div>POOL: 452 S.F.</div> <div>TOTAL: 3,777 S.F. (38.6%)</div> <div>OCCUPANCY: R-1/U</div> <div>CONSTRUCTION TYPE: TYPE V-B</div> <div>AVERAGE CURRENT SLOPE: 34.50%</div> <div>UNGRADED OPEN AREA: 3,960 S.F (40%)</div> <div>F.A.R. MAXIMUM: DISTRICT III 45% (9,778 S.F. X .45 = 4,400 S.F.)</div> <div>GARAGE 700 S.F. EXEMPT &gt;3,500 S.F.</div> <div>BUILDING AREAS:</div> <div>R-OCCUPANCY</div> <div>1ST FLOOR: 2,008 S.F.</div> <div>2ND FLOOR: 1,649 S.F.</div> <div>GARAGE: 697 S.F.</div> <div>TOTAL: 3,657 S.F.</div> <div>BUILDING HEIGHT: 24'- 10"</div> <div>SPRINKLERS: NO</div> <div>NUMBER OF STORIES: 2</div> <div>CLIMATE ZONE: 9</div> <div>HIGH FIRE HAZARD ZONE: YES</div> <div>FRONT SETBACK:</div> <div>REQUIRED FRONT SET BACK = 15'-0"</div> <div>PROVIDED FRONT SETBACK = 18'-0"</div> <div>BUILDING HEIGHT:</div> <div>ALLOWABLE MAX. BUILDING HEIGHT = 32'-0"</div> <div>PROPOSED MAX. BUILDING HEIGHT = 24'-10"</div> <div>NOTES:</div> <div>FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 2% FOR A MINIMUM DISTANCE OF 10 FEET</div> <div>ZONING NOTES:</div> <div>1 - THERE ARE NO OAK, BAY, OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY (20) FEET OF THE SITE.</div> <div>2 - NO NEW ROOFTOP EQUIPMENT IS ALLOWED</div> <div>3 - THE FOLLOWING ITEMS SHALL BE ON A SEPARATE PERMIT:</div> <div>• RETAINING WALLS / BOUNDARY WALLS</div> <div>• POOLS / SPAS / JACUZZIS</div> <div>• FENCES / TRELLIS / PATIO COVERS</div> <div>• GRADING / DRAINAGE / EROSION</div> <div>LANDSCAPE:</div> <div>REQUIRED PERMANENTLY LANDSCAPED OPEN SPACE AREA = 40% = 3,911 SF</div> <div>PROPOSED PERMANENTLY LANDSCAPED OPEN SPACE AREA = 3,940 SF = 41%</div> <div>OAKMONT VIEW DR. GLENDALE, CA</div> <div>(E) FIRE HYDRANT</div>		<div>C COVER SHEET</div> <div>A000 TOPO SURVEY</div> <div>A001 SITE PLAN</div> <div>A002 GROUND FLOOR WITH ADJACENT PROPERTIES</div> <div>A003 SECOND FLOOR WITH ADJACENT PROPERTIES</div> <div>A100 FIRST FLOOR PLAN</div> <div>A101 SECOND FLOOR PLAN</div> <div>A102 ROOF PLAN</div> <div>A200 EXTERIOR ELEVATIONS</div> <div>A201 EXTERIOR ELEVATIONS</div> <div>A202 COLORED ELEVATIONS</div> <div>A203 COLORED ELEVATIONS</div> <div>A204 RENDERED PERSPECTIVES</div> <div>A205 RENDERED PERSPECTIVES</div> <div>A206 RENDERED PERSPECTIVES</div> <div>A300 BUILDING SECTIONS</div> <div>A301 NORTH SOUTH SITE SECTION</div> <div>A302 EAST WEST SITE SECTION</div> <div>A500 DOOR AND WINDOW SCHEDULE</div> <div>L-1 PLANTING PLAN</div> <div>L-2 IRRIGATION PLAN</div> <div>L-3 LANDSCAPE DETAILS &amp; SPECIFICATION PLAN</div>	
				<div>APPLICABLE CODES</div> <div>2022 California Administrative Code</div> <div>2022 California Building Code Vol. 1 &amp; 2</div> <div>2022 California Residential Code</div> <div>2022 California Electrical Code</div> <div>2022 California Mechanical Code</div> <div>2022 California Plumbing Code</div> <div>2022 California Energy Code</div> <div>2022 California Historical Building Code</div> <div>2022 California Fire Code</div> <div>2022 California Existing Building Code</div> <div>2022 California Green Building Standards Code</div> <div>2022 California Referenced Standards Code</div>		<div>PROJECT TEAM</div> <div>OWNER: MR. AND MRS. HAIK ALEXANIAN 1600 WABASSO WAY GLENDALE, CA 91208</div> <div>AG STUDIO: CONTACT: ARTIN GRIGORI PHONE: 818.601.9850 EMAIL: artinrigori@gmail.com</div> <div>STRUCTURAL ENGINEER: ED ALEXANIAN 736 CORDOVA AVE. GLENDALE, CA 91206 PHONE: 818.913.4046 EMAIL: eddlexanians@yahoo.com</div>	
				<div>VICINITY MAP</div> <div></div>			



AC	ASPHALT
A-C	AIR CONDITIONER
BW	BACK OF WALK
CB	CATCH BASIN
CE	CHINESE ELM
CS	CRAWL SPACE
CONC	CONCRETE
DS	DOWN SPOUT
EG	EDGE GUTTER
EM	ELECTRIC METER
EP	EDGE PAVEMENT
EUC	EUCALYPTUS
FIN FLR	FINISH FLOOR
FL	FLOW LINE
GB	GRADE BREAK
GM	GAS METER
IP	IRON PIPE
L/TG	LEAD/TAG
LA	LIQUID AMBER
MAG	MAGNOLIA
PA	PLANTER AREA
P/L	PROPERTY LINE
PP	POWER POLE
SCO	SEWER CLEAN OUT
SMH	SEWER MANHOLE
SYC	SYCAMORE
TC	TOP OF CURB
TG	TOP OF GRATE
TL	TOP OF LANDING
TSTP	TOP OF STEP
TW	TOP OF WALL
WH	WATER HEATER
WM	WATER METER
WS	WINDOW SILL







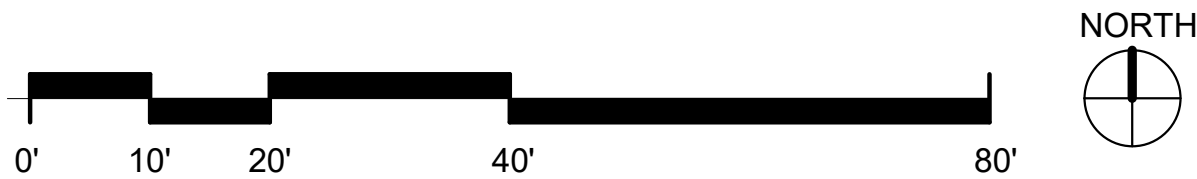
## AG-STUDIO



**ALEXANIANS RESIDENCE**  
OAKMONT VIEW DR.

A001





NEIGHBORING PLAN - FIRST FLOOR WINDOW LOCATION  
1/16" = 1'-0"

**ALEXANIANS RESIDENCE**  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number

FILE:

DATE: Issue Date

DRAWN BY: ARTIN GRIGOR

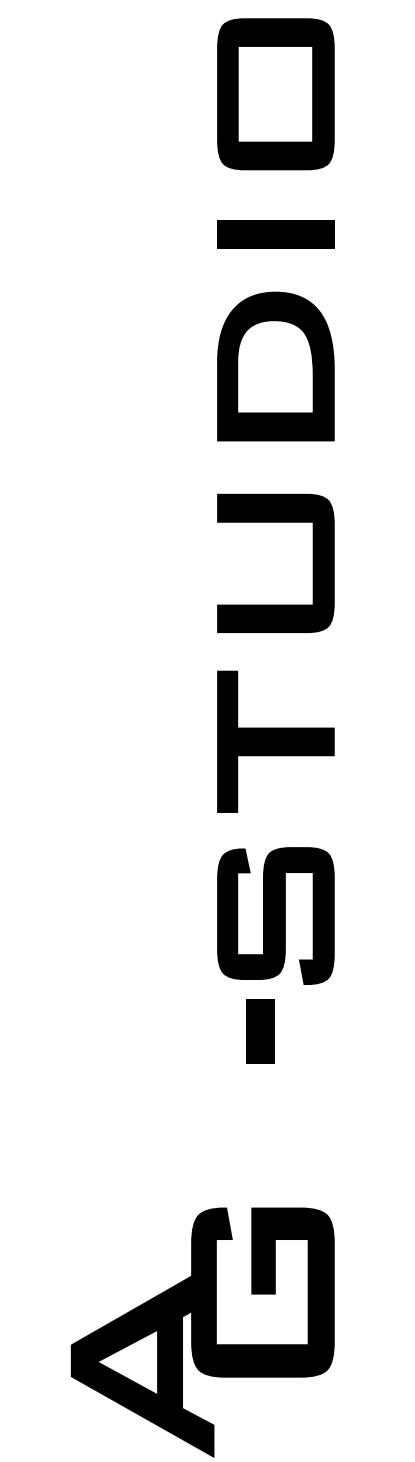
SCALE:  $1/16" = 1'-0"$

SHEET TITLE:

### GROUND FLOOR WITH ADJACENT PROPERTIES

# A002





## REVISIONS:

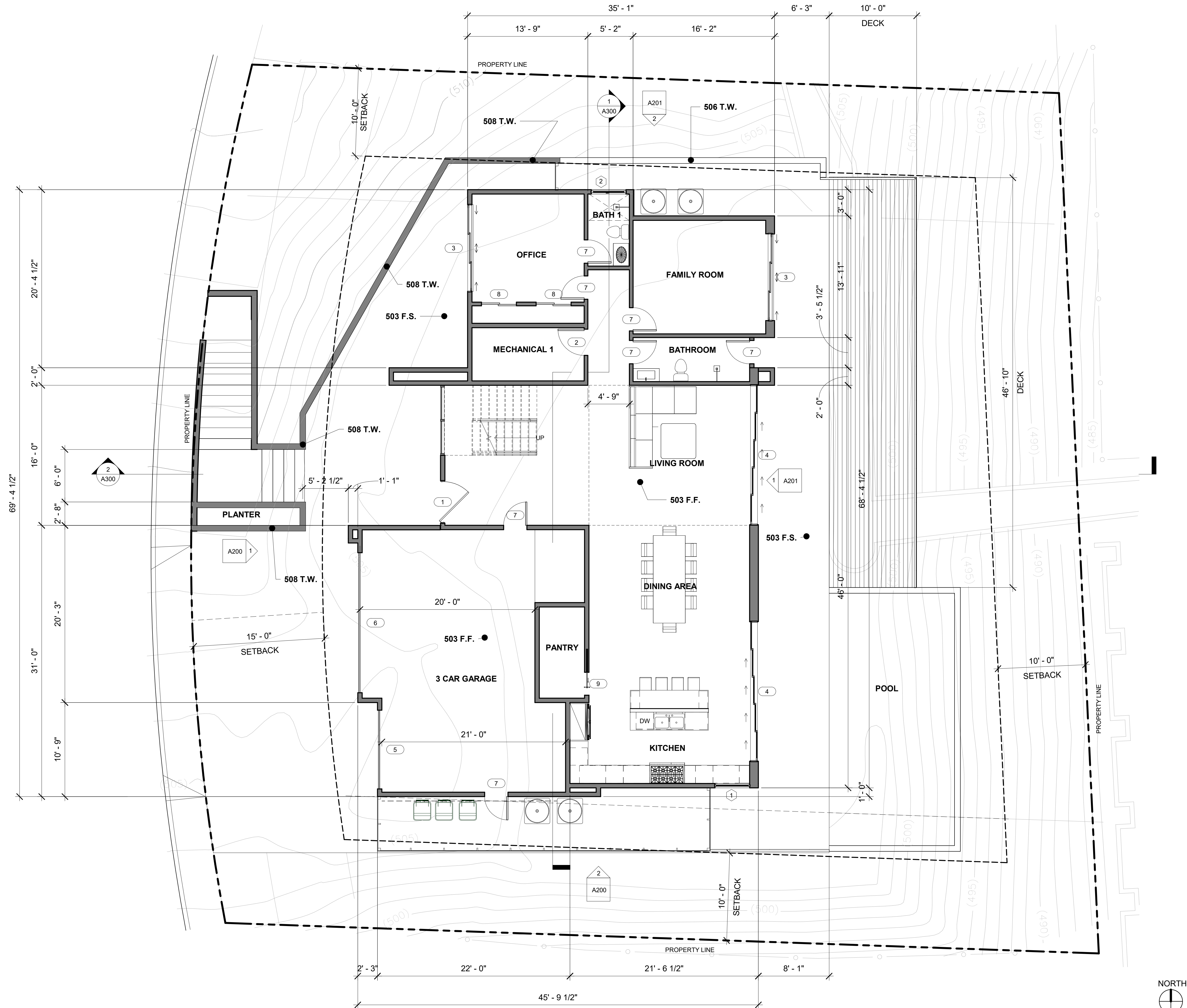
PROJECT:	Project Number
FILE:	
DATE:	Issue Date
DRAWN BY:	ARTIN GRIGORI
SCALE:	1/16" = 1'-0"

A003

0' 10' 20' 40' 80'

NORTH





1 FIRST FLOOR PLAN  
3/16" = 1'-0"

Alex Studio

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number

FILE:

DATE: Issue Date

DRAWN BY: ARTIN GRIGORI

SCALE: 3/16" = 1'-0"

SHEET TITLE:

FIRST FLOOR PLAN

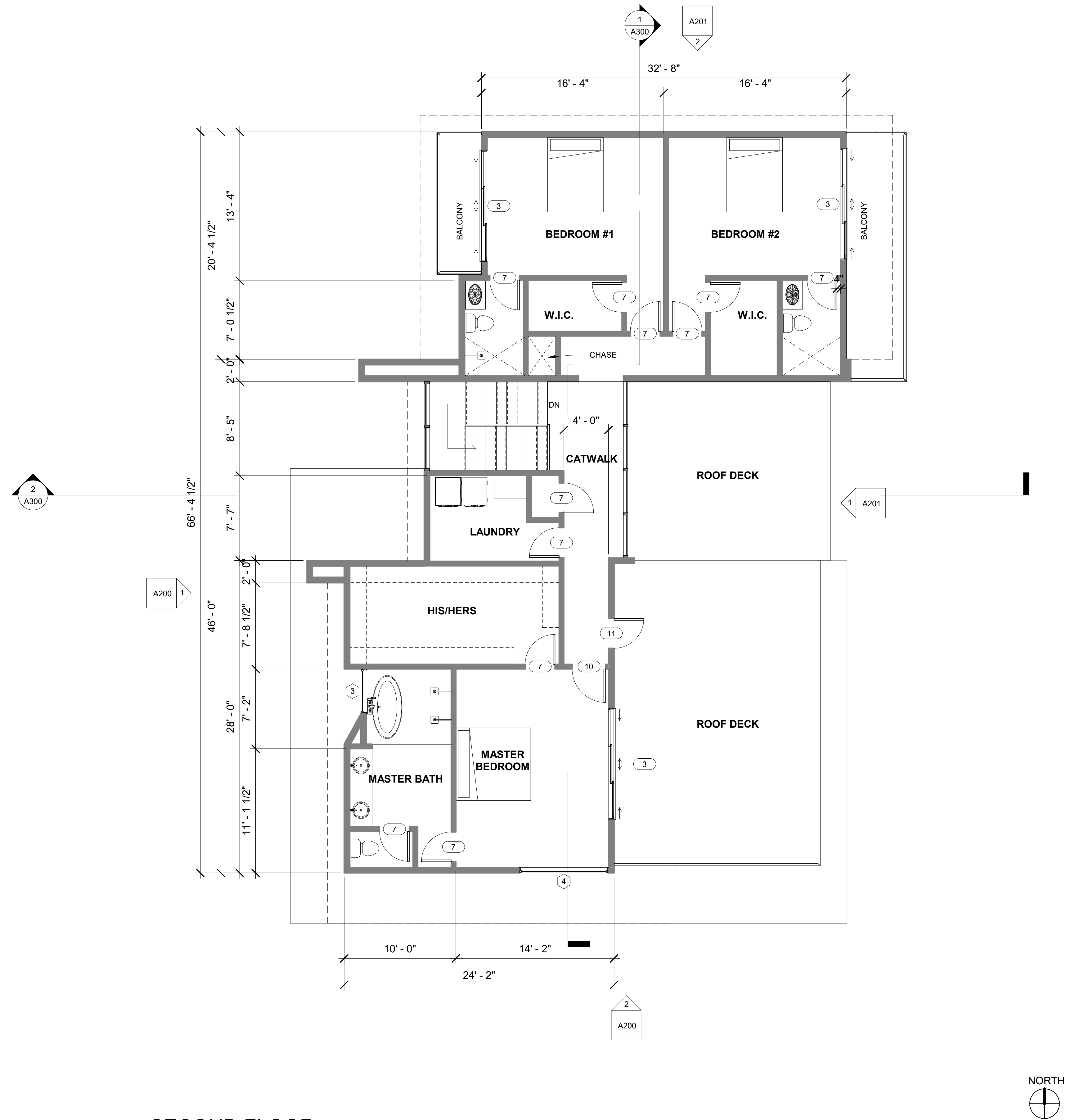
A100



REVISIONS:	

PROJECT:	Project Number
FILE:	
DATE:	Issue Date
DRAWN BY:	ARTIN GRIGORI
SCALE:	3/16" = 1'-0"

SHEET TITLE:  
SECOND FLOOR PLAN



1 SECOND FLOOR  
3/16" = 1'-0"



ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number

FILE:

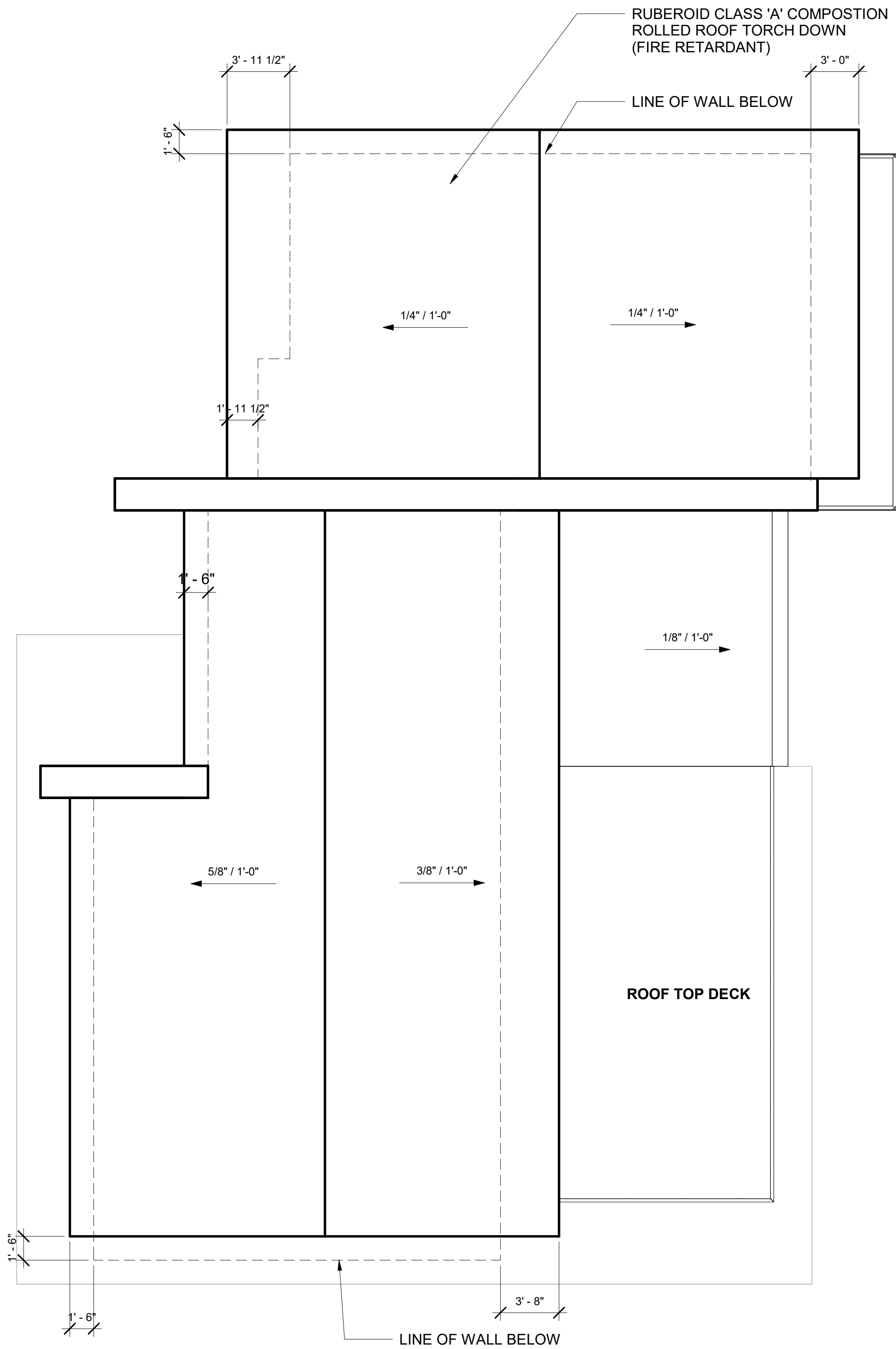
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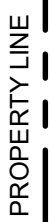
SCALE: 3/16" = 1'-0"

SHEET TITLE:

ROOF PLAN







AG STUDIOS



**LEXANIANS RESIDENCE**  
OAKMONT VIEW DR.

### EXTERIOR ELEVATIONS

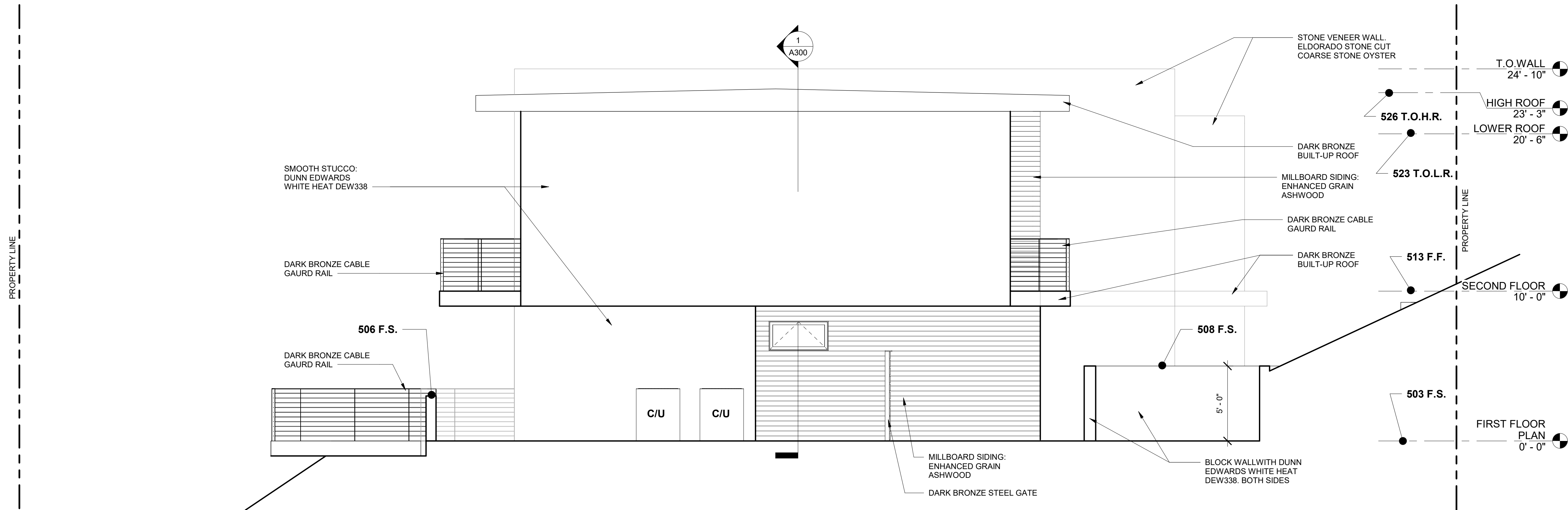
# A200



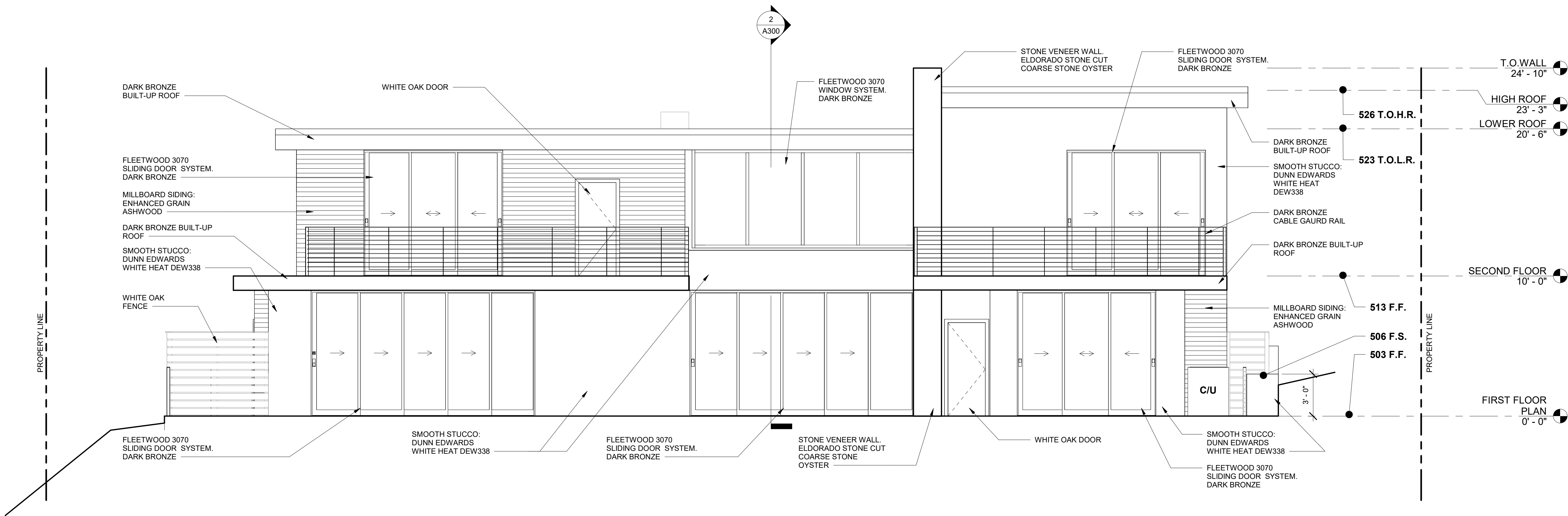
ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:	

PROJECT:	Project Number
FILE:	
DATE:	Issue Date
DRAWN BY:	ARTIN GRIGORI
SCALE:	1/4" = 1'-0"
SHEET TITLE:	
EXTERIOR ELEVATIONS	

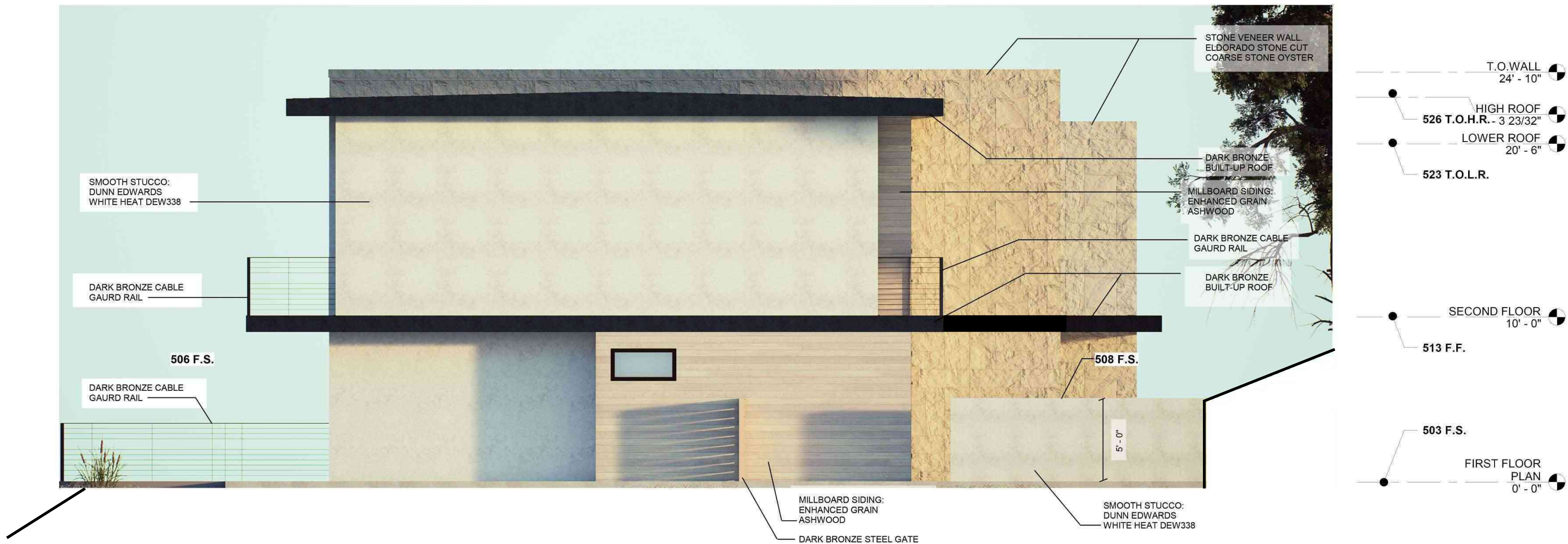


2 NORTH ELEVATION  
1/4" = 1'-0"

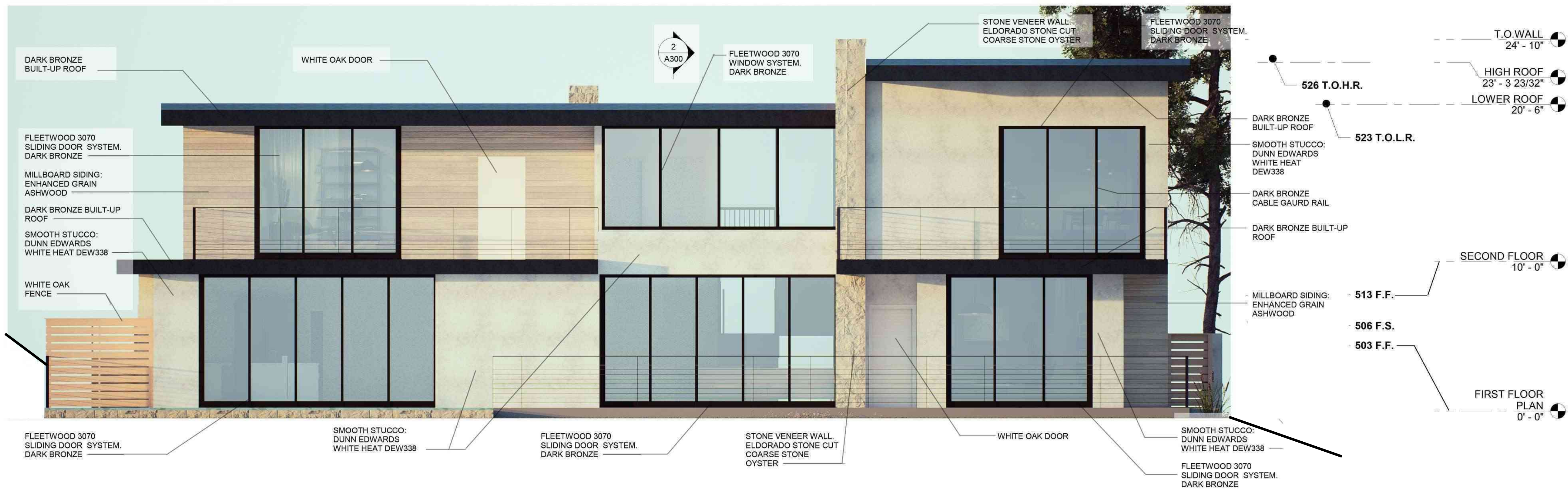


1 EAST ELEVATION  
1/4" = 1'-0"





2 NORTH ELEVATION  
1/4" = 1'-0"



1 EAST ELEVATION  
1/4" = 1'-0"

AG-STUDIO

ED ALEXANIANS  
STRUCTURAL  
ENGINEER

736 CORDOVA AVE.  
GLENDALE, CA. 91206

PHONE: 818 913-4046  
E-MAIL: edalexanians@yahoo.com

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number

FILE:

DATE: Issue Date

DRAWN BY: ARTIN GRIGORI

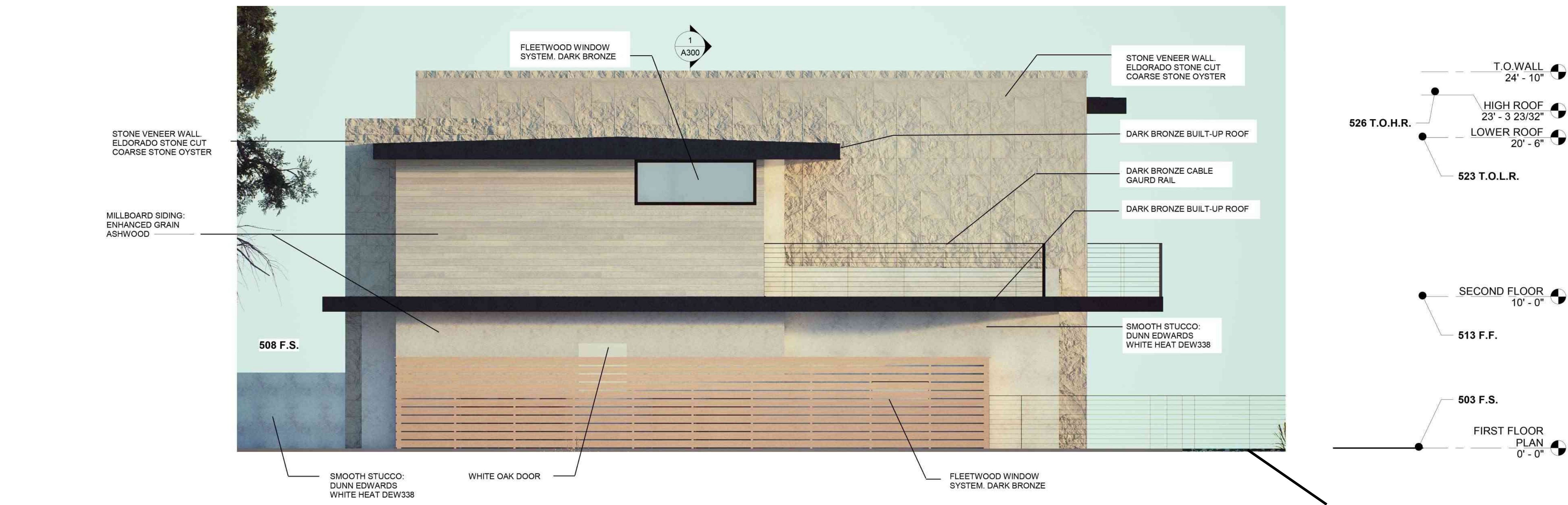
SCALE: 1/4" = 1'-0"

SHEET TITLE:

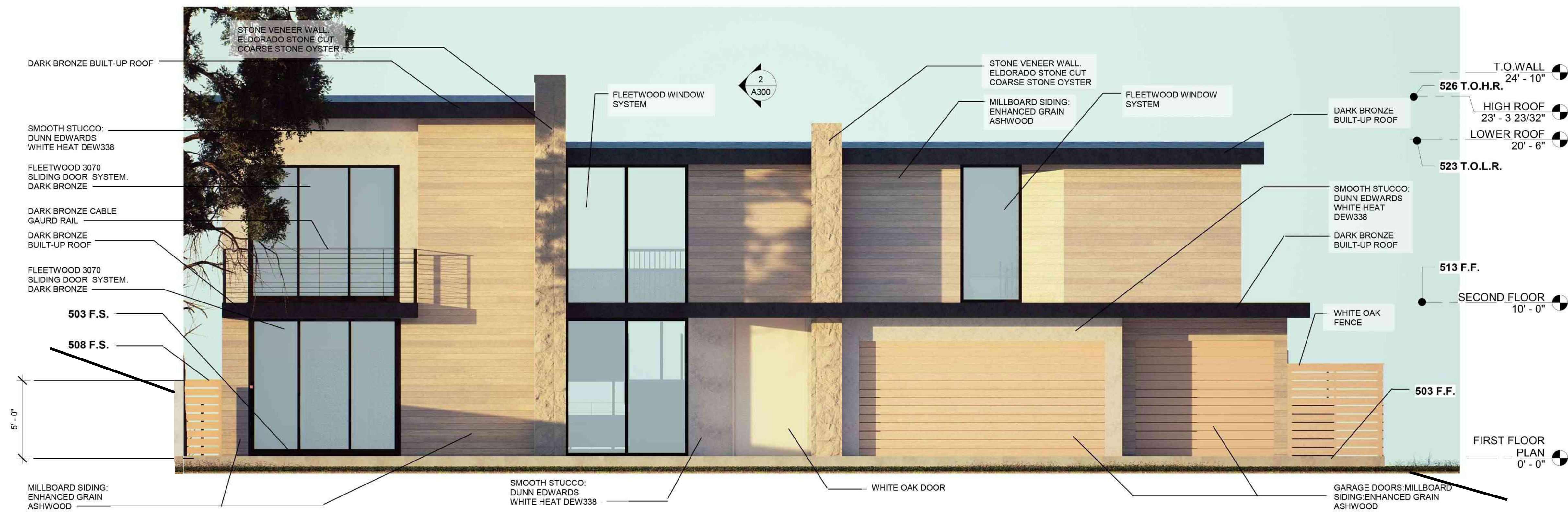
EXTERIOR ELEVATIONS

A202





2 SOUTH ELEVATION  
1/4" = 1'-0"



1 WEST ELEVATION  
1/4" = 1'-0"





PERPSECTIVE 3



PERPSECTIVE 2



PERPSECTIVE 1

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number

FILE:

DATE: Issue Date

DRAWN BY: ARTIN GRIGORI

SCALE: As indicated

SHEET TITLE:

RENDERED PERSPECTIVES





PERPSECTIVE 2



PERPSECTIVE 1

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number  
FILE:  
DATE: Issue Date  
DRAWN BY: ARTIN GRIGORI  
SCALE:

SHEET TITLE:  
RENDERED PERSPECTIVES





PERPSECTIVE 2



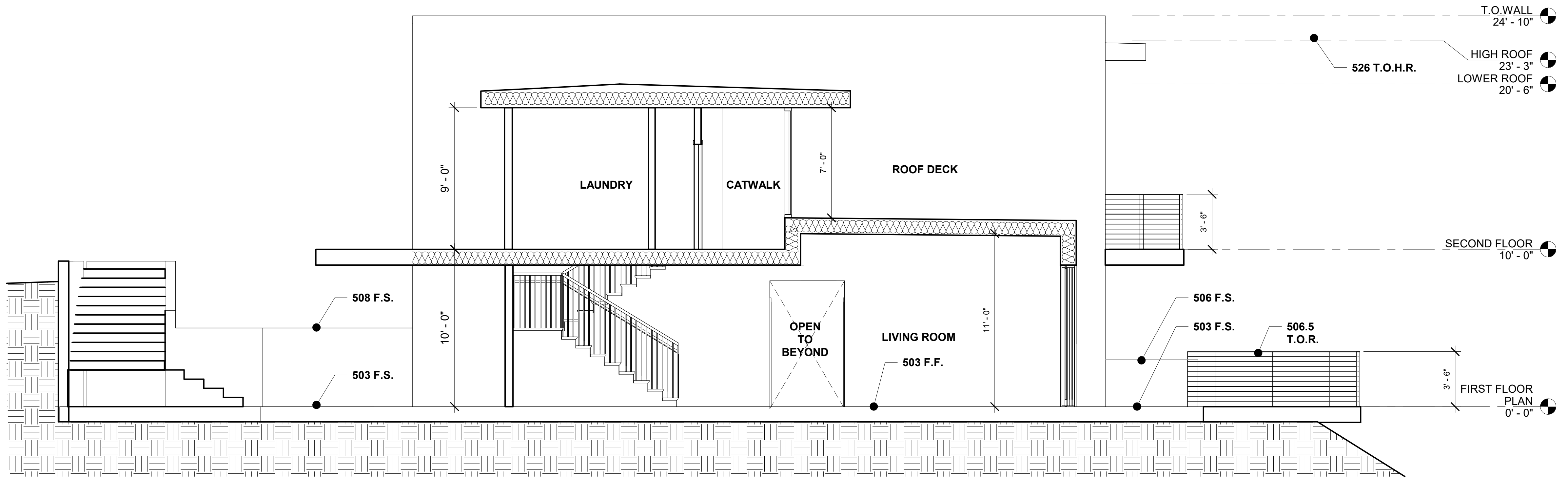
PERPSECTIVE 1

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

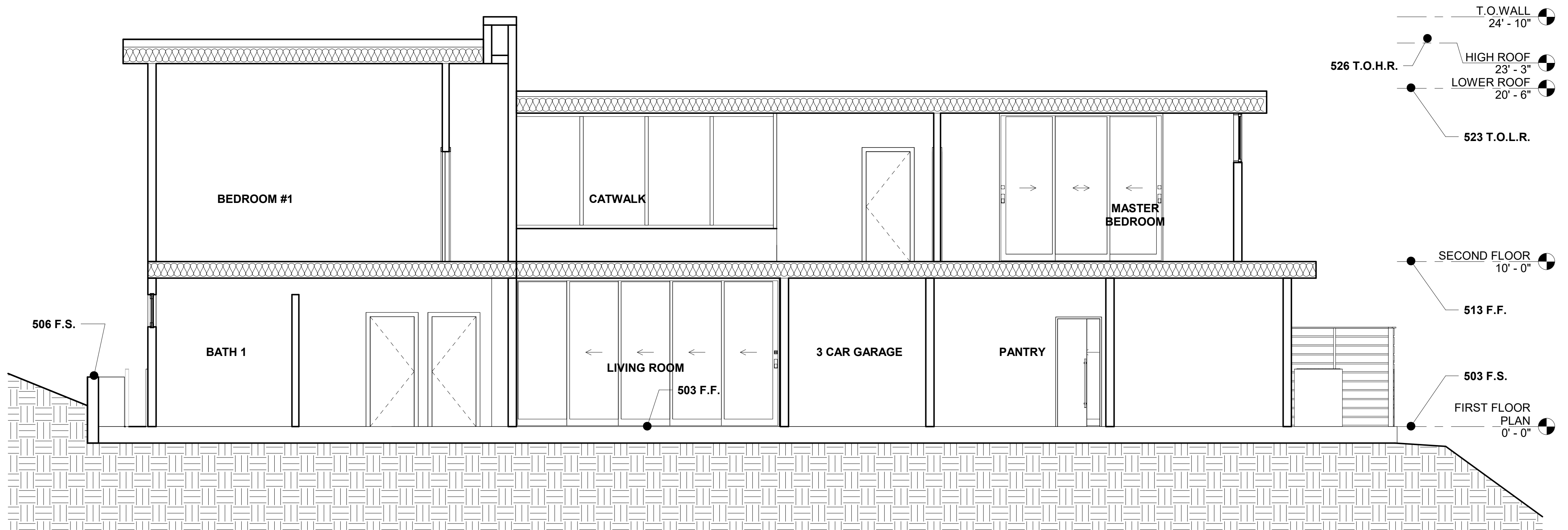
REVISIONS:

PROJECT: Project Number  
FILE:  
DATE: Issue Date  
DRAWN BY: ARTIN GRIGORI  
SCALE:

SHEET TITLE:  
RENDERED PERSPECTIVES



2 E/W SECTION  
1/4" = 1'-0"



1 N/S SECTION  
1/4" = 1'-0"

AG-STUDIO

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

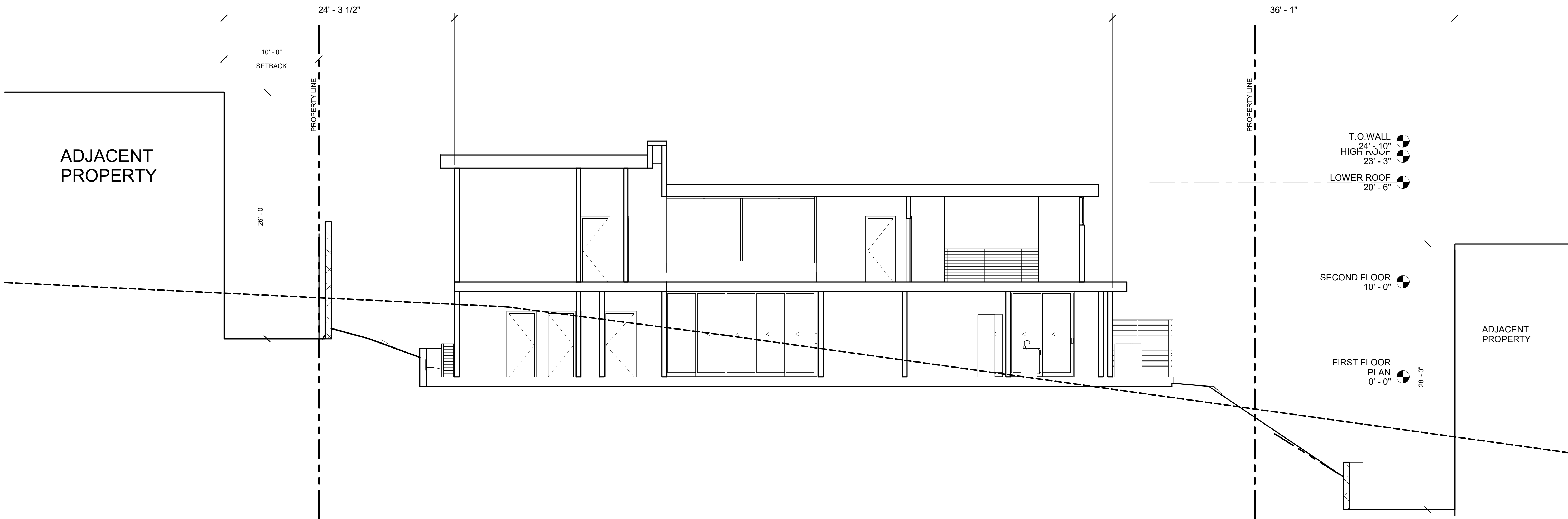
REVISIONS:

PROJECT: Project Number  
FILE:  
DATE: Issue Date  
DRAWN BY: ARTIN GRIGORI  
SCALE: 1/4" = 1'-0"

SHEET TITLE:  
BUILDING SECTIONS

A300





1 NORTH SOUTH SITE SECTION  
3/16" = 1'-0"

A301

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number

FILE:

DATE: Issue Date

DRAWN BY: ARTIN GRIGORI

SCALE: 3/16" = 1'-0"

SHEET TITLE:  
NORTH SOUTH SITE SECTION

A301

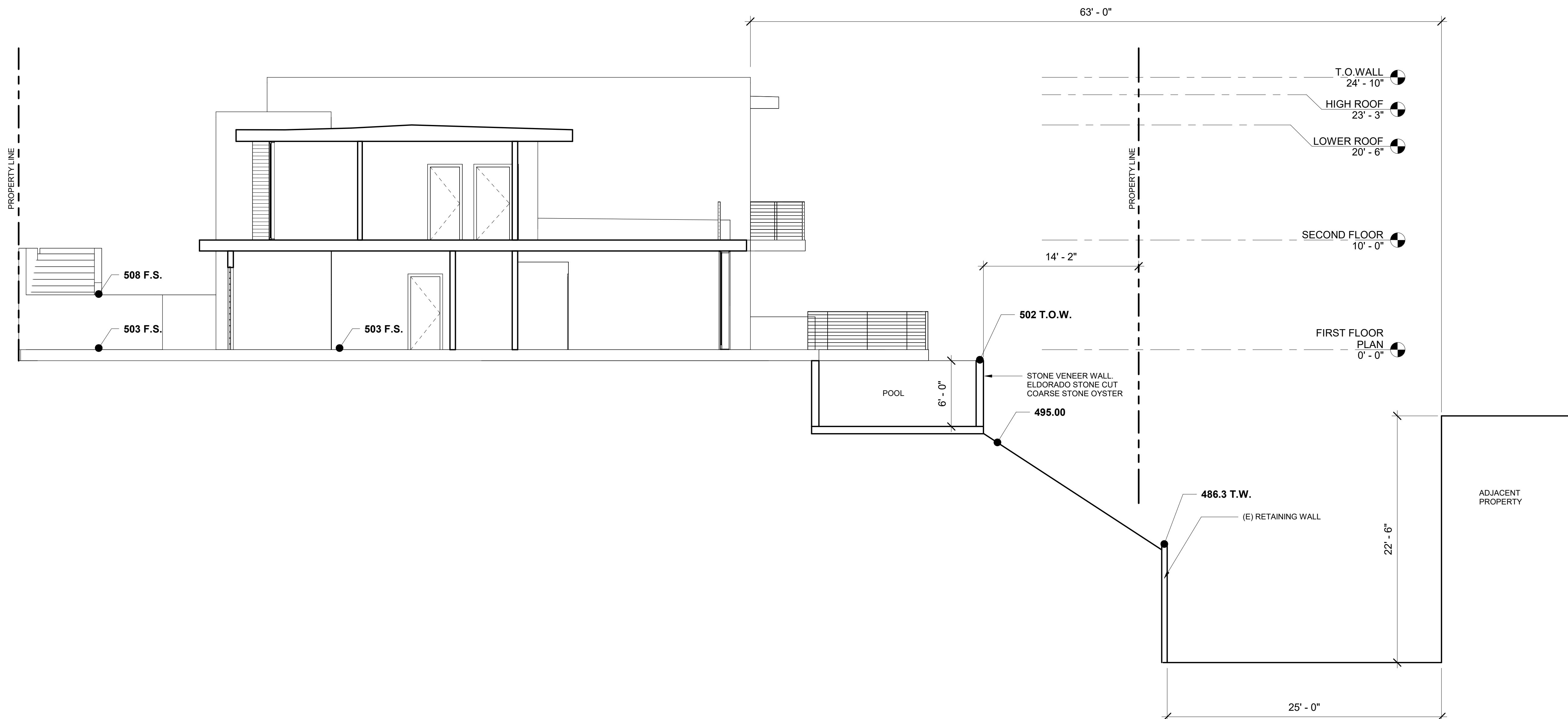
ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number  
FILE:  
DATE: Issue Date  
DRAWN BY: ARTIN GRIGORI  
SCALE: 3/16" = 1'-0"

SHEET TITLE:  
EAST WEST SITE SECTION

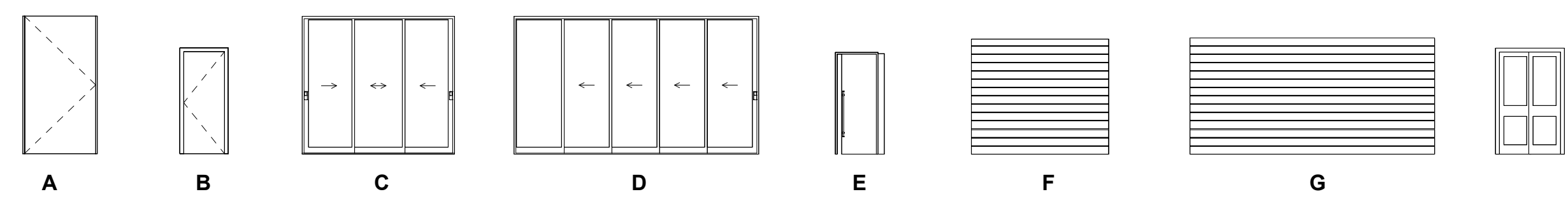
A302



1 EAST WEST SITE SECTION  
3/16" = 1'-0"

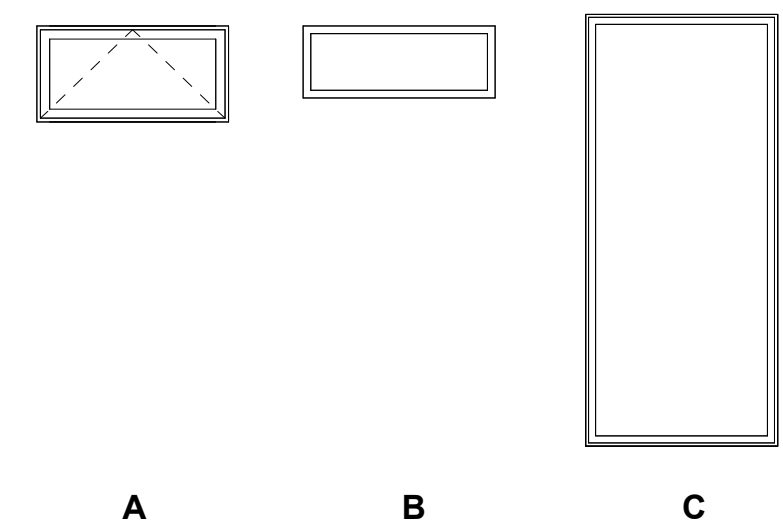


DOOR SCHEDULE										
DOOR NUMBER	DOOR TYPE	DOOR SIZE	MANUFACTURER	Model	FRAME TYPE	FIRE RATING	DETAILS			DESCRIPTION
							HEAD	JAMB	SILL	
1	A	5'-0"x9'-0"x1-3/4"	Fleetwood	3070 SERIES						PIVOT DOOR, SOLID CORE WOOD FINISH
2	B	36" x 80"								
3	C	Fleetwood Slider 3070	Fleetwood	3070						
4	D	Fleetwood Slider 3070	Fleetwood	3070						
5	F	Garage_Door_1								
6	6	Garage_Door_2								
7	G	32" x 80"								INTERIOR SOLID CORE WHITE OAK SLIDER DOORS
8	H	48" x 80"								
9	E	30" X 80"	Pocket Door							
10	B	36" x 80"								INTERIOR SOLID CORE WHITE OAK
11	B	32" x 80"								EXTERIOR SOLID CORE WHITE OAK



DOOR TYPES

WINDOW SCHEDULE						
WINDOW NUMBER	TYPE	WIDTH	HEIGHT	MANUFACTURER	DESCRIPTION	Type Comments
1	B	4' - 0"	1' - 6"	Fleetwood	FIXED PICTURE WINDOW, DUAL PANE, DARK BRONZE	N
2	A	4' - 0"	2' - 0"	Fleetwood	AWNING WINOW, DUAL PANE, DARK BRONZE	N
3	C	4' - 0"	9' - 0"	Fleetwood	FIXED PICTURE WINDOW, DUAL PANE, DARK BRONZE	N
4	B	8' - 0"	3' - 0"	Fleetwood	FIXED PICTURE WINDOW, DUAL PANE, DARK BRONZE	N



WINDOW TYPES

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number

FILE:

DATE: Issue Date

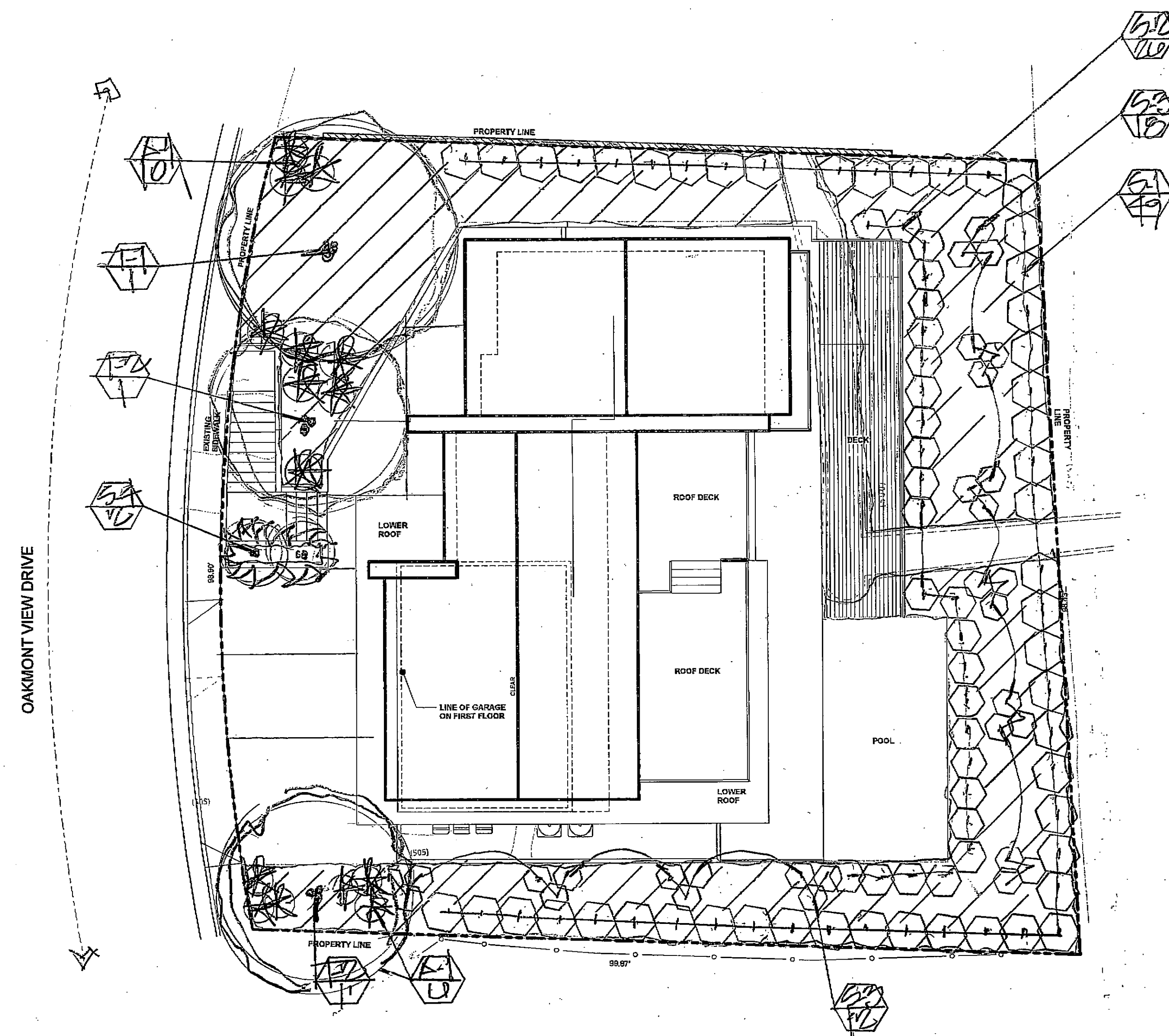
DRAWN BY: ARTIN GRIGORI

SCALE: As indicated

SHEET TITLE:

DOOR AND WINDOW SCHEDULE

A500



NORTH  
SCALE: 1"=10'-0"

WATER USAGE/VOLUMES

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
LW T-1	QUERCUS LAEVOFOLIA	COAST LIVEOAK	24" X 1	-	-
LW T-2	OLEA EUROPAE 'SMALL HILL'	FRUITLESS OLIVE	24" X 2	-	-
LW S-1	DOYALIS VISCOSA	HORSERADISH BUSH	56W 49	5100	-
LW S-2	ALOE VERA HUBBARDII	BLUE HIBISCUS	56W 20	1100	-
LW S-3	LAETUS N. 'COMPETIT'	MULTI-COLOR LAETUS	56W 20	2100	-
LW S-4	PERSEA VRACO	PRACON TREE	156W 2	-	-
LW S-5	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	56W 18	2100	-
LW GROUND COVER	BROCHIA 'TWIN-PERKS'	COYOTE BUSH	FLAT 18	2100	-

\* LW = LOW WATER USAGE / P.F. 3

\* INSTALL FIRE RETARDANT JUTE MESH

ON ALL SLOPE AREAS TO BE PLANTED.

\* LANDSCAPE AREA = 5,285 SQ. FT.

# LEGEND



PROPOSED TREE



PROPOSED SHRUB



PROPOSED ACCENT



PROPOSED GROUND COVER



PLANT SYMBOL  
QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT FOR TREE AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONDUCTED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

ALEXANIANS RESIDENCE  
OAKMONT VIEW DR.

REVISIONS:

PROJECT: Project Number

FILE:

DATE: 7-20-21

DRAWN BY: LAT

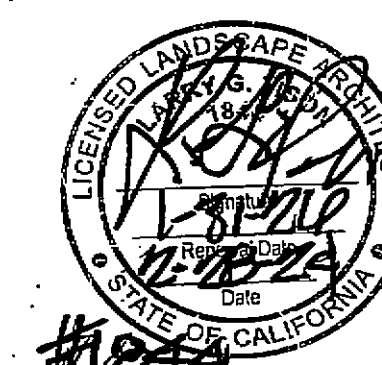
SCALE: 1/8"=10'-0"

SHEET TITLE:

PLANTING PLAN

WELLS COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES  
LANDSCAPE ARCHITECTURE  
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205  
818-241-9169

L-1







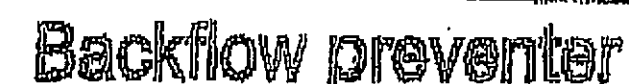


## Tree Root barriers

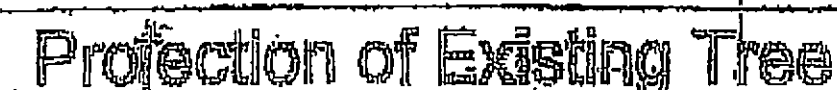
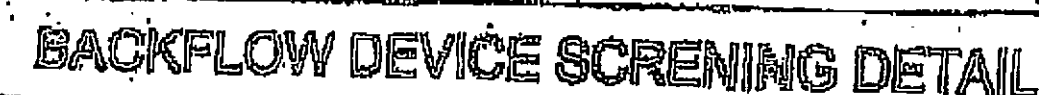


- ## Landscape Notes

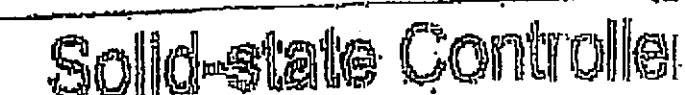
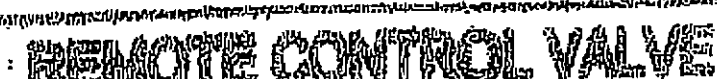
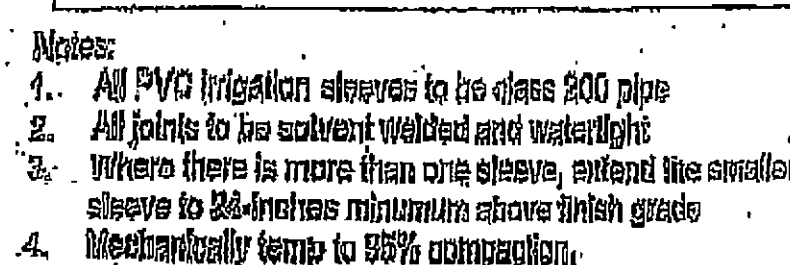
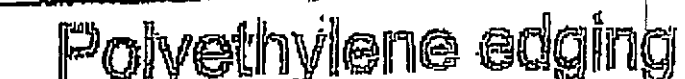
## Soil characteristics



- Note: All other requirements to be per city standards and specifications.



- # REMOTE CONTROL VALVE





# LANDSCAPE DETAIL & SPECIFICATION PLAN

WV: <b>GT</b>	CHECKED: <b>2</b>
NO.: <b>111</b>	
ET	



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