

**Density Bonus, Discretionary Bonus and
Inclusionary Housing Plan**

**413-419 Irving Avenue
Glendale, CA 91201**

February 8, 2024

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c/o ONYX Architects
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2540 East Colorado Boulevard
Pasadena, CA 91107

City of Glendale
Community Development Department
Housing Division
141 North Glendale Avenue, Room 202
Glendale, CA 91206

Number of Dwelling Units Proposed:

ONYX Architects ("Applicant") has proposed the development of a 46,322 square foot density bonus new construction, rental housing project totaling thirty-three (33) multi-family residential dwelling units (the "Project"). The Project will provide a total of eight (8) units ($(15\% \times 7) \times (371.4\% / 50\%) = 7.79$ rounded up to 8 affordable units) as rent-restricted to very low income households.

Maximum Number of Units Permitted per Glendale Municipal Code ("GMC"):

The Project is located in the R-3050 (Moderate Density Residential) zone. The Project site (APNs collectively, 5625-009-019 and 5625-009-020) has a lot area of 18,369 square feet. Sites zoned R-3050 are permitted one (1) unit per 3,050 square feet, which permits a maximum base density of seven (7) units ($18,369 / 3,050 = 6.02$ rounded up to 7).

Replacement Unit Obligation under the Density Bonus Requirement:

Per State Density Bonus Law (CA Govt Code § 65915, *et seq.*), an applicant is ineligible for a density bonus or any other incentives if a project is proposed on a parcel or parcels with rental dwelling units that have been vacated or demolished within a five (5)-year period preceding the project's development application or have been occupied by lower or very low income households, unless the proposed project replaces those units. Pursuant to CA Govt Code § 65915, if any dwelling units are occupied on the date of a project's development application, the proposed project is required to provide the same number of units of equivalent size (i.e., the same total number of bedrooms as the units being replaced) as affordable to the same or lower income households in occupancy. If the incomes are unknown to the applicant, there is an established rebuttable presumption per HUD's Comprehensive Housing Affordability Strategy database. Using the most recent data (2016-2020) for Extremely Low, Very Low, and Low Renter households (32,600 households) on <https://www.huduser.gov/portal/datasets/cp.html> and dividing the total households from those three categories by the total renters within the City of Glendale (49,350), this presumption amounts to 66.06% of renter households at or below 80% AMI. Per the Los Angeles County Assessor, there are currently five (5) residential dwelling units on the current parcels. **The Project is subject to the 66.06% presumption set forward by HUD.** By applying the rebuttable presumption of 66.06% to the five (5) existing residential dwelling units and seven (7) bedrooms, 4 (four) replacement units ($66.06\% \times 5 = 3.303$ rounded up to 4) at 5 (five) bedrooms total ($66.06\% \times 7 = 4.624$ rounded up to 5) are required under State Density Bonus Law. The Project is providing nine (9) bedrooms and eight (8) affordable units to very low income households. As such, Applicant has met the replacement obligation, and no additional units are required.

Number of Affordable Units Meeting Density and Discretionary Bonus Requirement:

Applicant will be required to designate eight (8) units as rent-restricted and affordable to very low income households per State Density Bonus Law and GMC Chapter 30.36. The affordable units were selected pursuant to the Density Bonus and Inclusionary Zoning Implementation Policies. The affordable units are detailed in Project floorplans attached hereto as Attachment 1, as well as immediately below:

Unit Number	Square Footage	Bedroom(s)	Bathroom(s)
101	1,013	1	1
103	978	1	1
202	912	1	1
203	761	1	1
207	762	1	1
304	642	1	1
305	702	1	1
401	1,073	2	2

Amount of Density and Discretionary Bonus Requested:

Applicant is entitled to a 50% density bonus by providing two (2) very low income units (15% of the base density of 7 = 1.05 rounded up to 2). Applicant is requesting a 371.4% total density bonus (of which 321.4% is discretionary) in exchange for the provision of a proportionate number of restricted units, calculated as eight (8) very low income units $((15\% \times 7) \times (371.4\% / 50\%)) = 7.79$ rounded up to 8). State Density Bonus Law (CA Govt Code § 65915, et seq.) allows up to an automatic fifty 50% density bonus and three (3) incentives in exchange for the provision of at least 15% of the base units restricted as rentals for very low income households. Applicant's request complies with State Density Bonus Law, as there is a positive correlation and proportionality between the requested density bonus and the number of very low income units to be provided, and State Density Bonus Law allows the City to grant a discretionary density bonus above 50% (CA Govt Code § 65915(n)). However, since Applicant's request for the grant of a density bonus is greater than 50%, pursuant to the GMC, it is subject to City Council approval following a public hearing. Per the GMC, the City Council is the reviewing and approving body for any density bonus request greater than the amount mandated by State Density Bonus Law.

Number and Description of Incentives/Concessions and Waivers Requested:

With a 15% affordability level, Applicant is entitled to three (3) concessions. Pursuant to GMC Section 30.36.070A, Applicant has requested three (3) concessions: (i) increase the maximum allowed floor area ratio (FAR); (ii) increase the maximum allowed building height and stories; and (iii) provide above-grade parking.

Applicant has also requested one (1) waiver: (i) increase the maximum allowed lot coverage.

Amount of Parking Concessions Requested:

Applicant has requested an automatic parking concession under CA Govt Code 65915(p)(1), which states that an applicant of a housing development meeting the minimum requirements to qualify for a density bonus may apply for a parking concession, inclusive of handicapped and guest parking, pursuant to the following ratios: one (1) on-site parking space per unit for zero (0) to one (1)-bedroom units and one and one-half (1.5) on-site parking spaces per unit for two (2) to three (3)-bedroom units. The Project proposes a unit mix of thirty (30) one (1)-bedroom and three (3) two (2)-bedroom units. Based on the number of units and bedrooms provided, the parking concession pursuant to CA Govt Code §65915(p)(1) requires a minimum of thirty-five

(35) residential parking spaces $((30 \text{ units} \times 1) + (3 \text{ units} \times 1.5) = 34.5 \text{ rounded up to } 35)$. The Project meets the minimum requirement per CA Govt Code § 65915(p)(1) and proposes to provide forty-nine (49) parking spaces total. Accordingly, the Project exceeds the parking requirements under CA Govt Code § 65915(p)(1).

Child Care Space:

Not applicable.

Inclusionary Housing Requirement:

GMC Chapter 30.35, the Inclusionary Zoning Ordinance (the “IZO”), requires a housing development (a rental development project of eight (8) or more dwelling units proposed to be constructed in the City) to provide 15% of the units as affordable to low-income households. The Project has a base density of seven (7) units. Therefore, the Project is not subject to the IZO.

Affordable Housing Commercial Development Impact Fee

On May 7, 2019, the City adopted a Citywide Affordable Housing Commercial Development Impact Fee, Ordinance No. 5929, codified in GMC Chapter 4.11 (collectively, the “Commercial DIF”). The Commercial DIF became effective after a 60-day period on July 7, 2019.

With the exception of hotels, auto dealerships, community land uses which serve the public, and the reconstruction of any building destroyed by fire, flood, earthquake or other act of nature (so long as the square footage does not exceed the square footage before the loss), the Commercial DIF imposes a \$4 per square foot fee (per the FY 2023 Citywide Fee Schedule) on all commercial development projects with a gross floor area exceeding 1,250 square feet. The Project is not subject to the Commercial DIF as it does not propose a permitted commercial component.

Note About Required Condition: The Project is conditioned on Applicant complying with CA Govt Code § 66300 (d)(2)(C) and (D).

Irving Glendale Apartments

413 | 417 Irving Avenue
Glendale, California

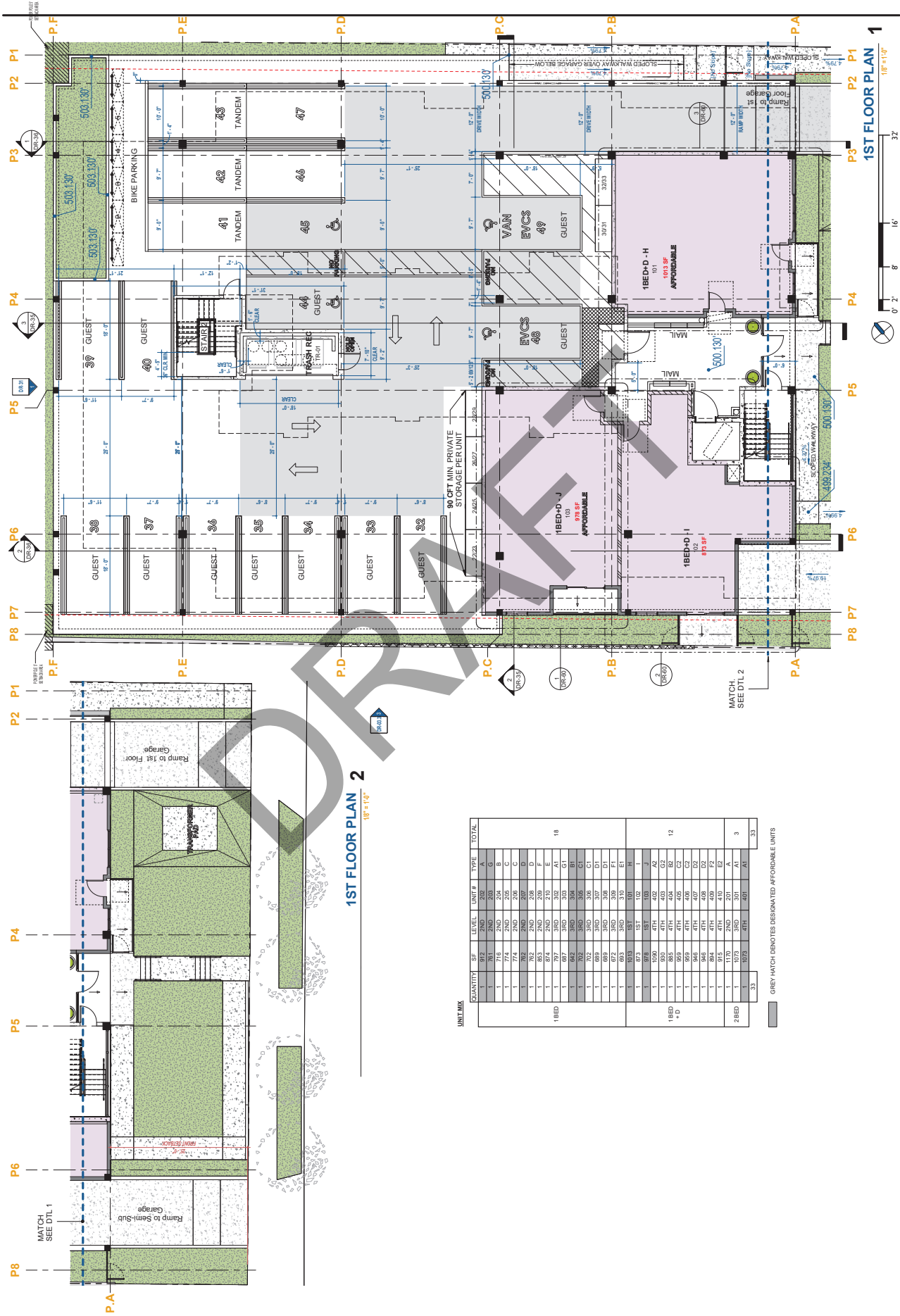
Attachment 1

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IRVING GLENDALE
MULTIFAMILY APTS
413/417 IRVING AVENUE
GLENDALE, CALIFORNIA 91201
25 JANUARY 2024
DESIGN DEVELOPMENT

OVERALL 1ST FLOOR PLAN
DR-21



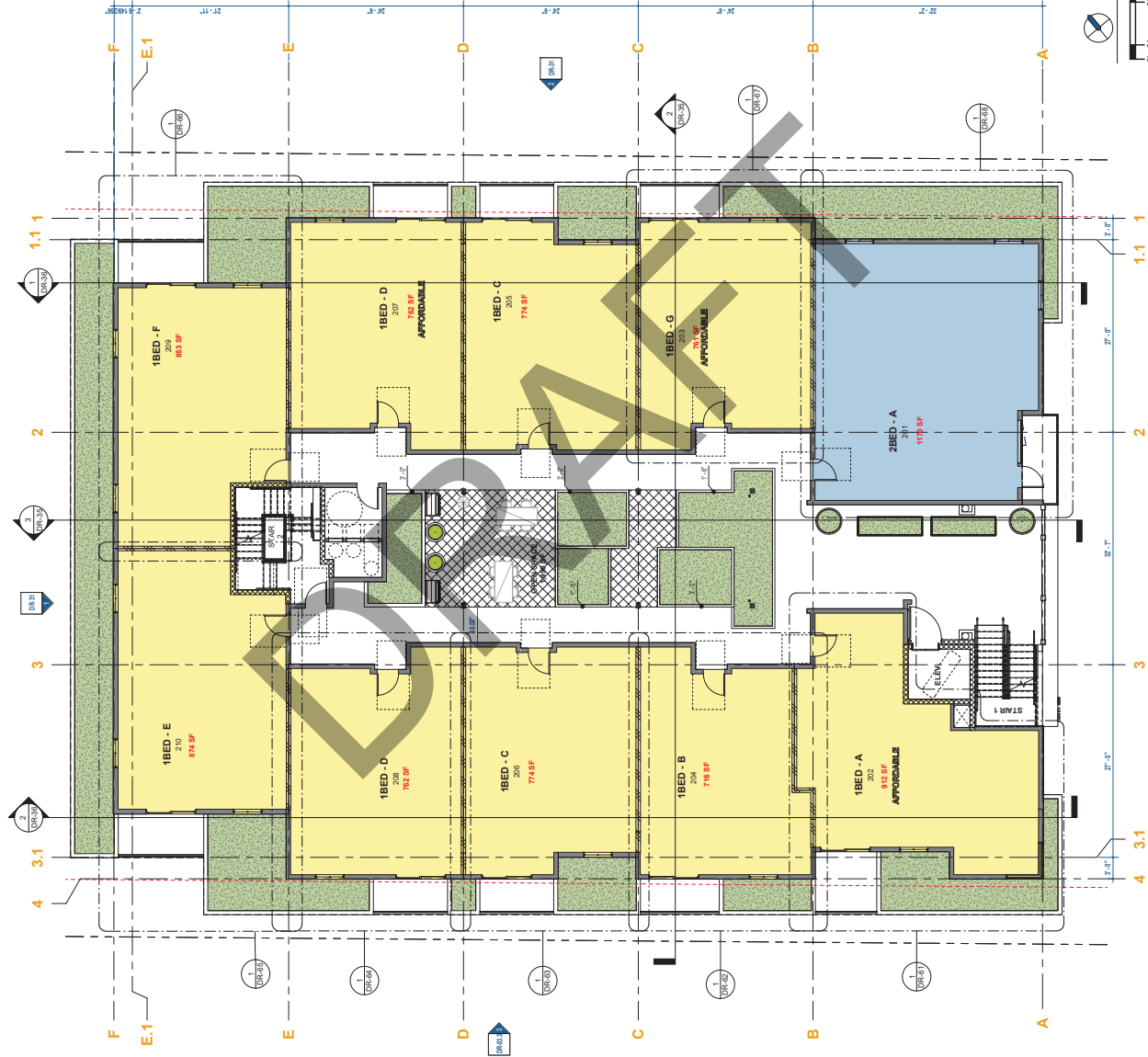
UNIT MIX					
QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL
1	912	2ND	202	A	18
1	761	2ND	203	G	
1	774	2ND	205	C	
1	774	2ND	206	C	
1	762	2ND	207	D	
1	853	2ND	209	F	
1	874	2ND	210	E	
1	497	3RD	303	G1	
1	642	3RD	304	H1	
1	702	3RD	305	C1	
1	689	3RD	307	D1	
1	689	3RD	308	F1	
1	673	3RD	310	E1	
1	673	3RD	311	H	
1	912	4TH	402	A	12
1	862	4TH	403	J	
1	850	4TH	404	B2	
1	950	4TH	405	C2	
1	950	4TH	406	C2	
1	940	4TH	408	D2	
1	894	4TH	409	F2	
1	1170	2ND	201	A	
1	1073	3RD	301	A1	
1	1075	4TH	401	A1	
33					33
18ED					
12ED					
28ED					



DATE NO. DESCRIPTION

UNIT MIX									
QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL				
1	791	2ND	203	G					
1	716	2ND	204	B					
1	774	2ND	205	C					
1	762	2ND	207	D					
1	762	2ND	208	D					
1	762	2ND	210	E					
1	874	3RD	302	A1	18				
1	787	3RD	303	E1					
1	762	3RD	305	C1					
1	762	3RD	306	C1					
1	688	3RD	308	D1					
1	672	3RD	309	F1					
1	688	3RD	310	E1					
1	873	1ST	102	J					
1	978	1ST	103	J					
1	930	1TH	403	C2					
1	895	4TH	604	B2	12				
1	909	4TH	605	C2					
1	946	4TH	607	C2					
1	946	4TH	608	C2					
1	894	4TH	609	E2					
1	1170	2ND	201	A	3				
1	1073	4TH	401	A1	3				
33					33				

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS



2ND FLOOR PLAN 1

15' = 1'-0"



ONYX WP1002

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V. 0214015.001

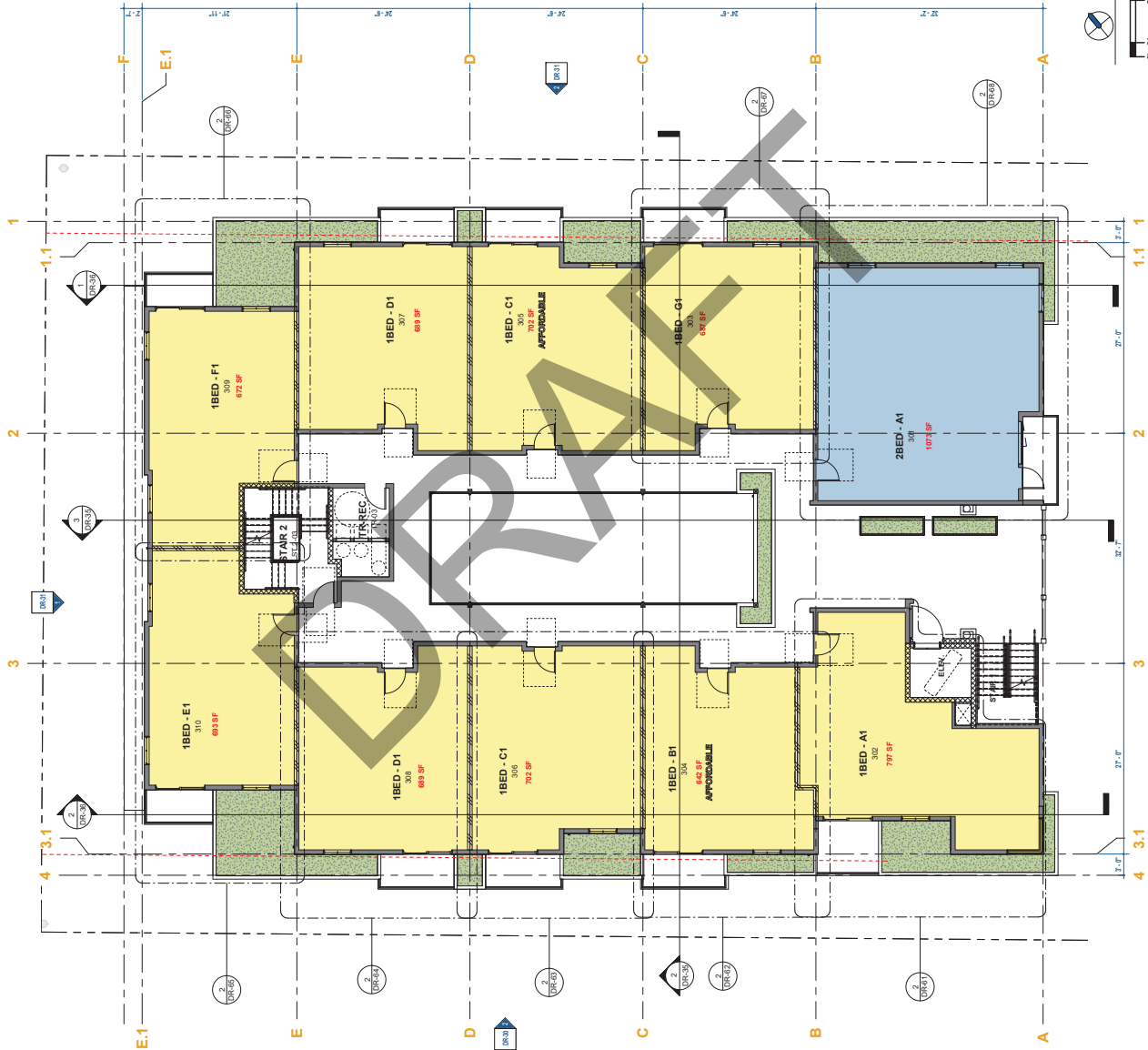
Pasadena, California 91107

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DATE NO. DESCRIPTION

UNIT MIX									
QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL				
1	791	2ND	203	G					
1	716	2ND	204	B					
1	774	2ND	205	C					
1	702	2ND	207	D					
1	702	2ND	208	D					
1	702	2ND	209	D					
1	874	2ND	210	E					
1	702	3RD	302	A1	18				
1	693	3RD	303	C1					
1	693	3RD	304	C1					
1	693	3RD	305	C1					
1	693	3RD	306	D1					
1	693	3RD	307	F1					
1	693	3RD	310	E1					
1	873	1ST	102	J					
1	978	1ST	103	J					
1	930	1TH	401	C2					
1	895	1TH	404	B2	12				
1	909	1TH	405	C2					
1	909	1TH	407	C2					
1	946	1TH	408	C2					
1	946	1TH	409	C2					
1	946	1TH	410	C2					
1	1170	2ND	201	A	3				
1	1073	3RD	301	A1					
33			401	A1					

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS



3RD FLOOR PLAN 1

15' = 1/4"



ONYX RP1302

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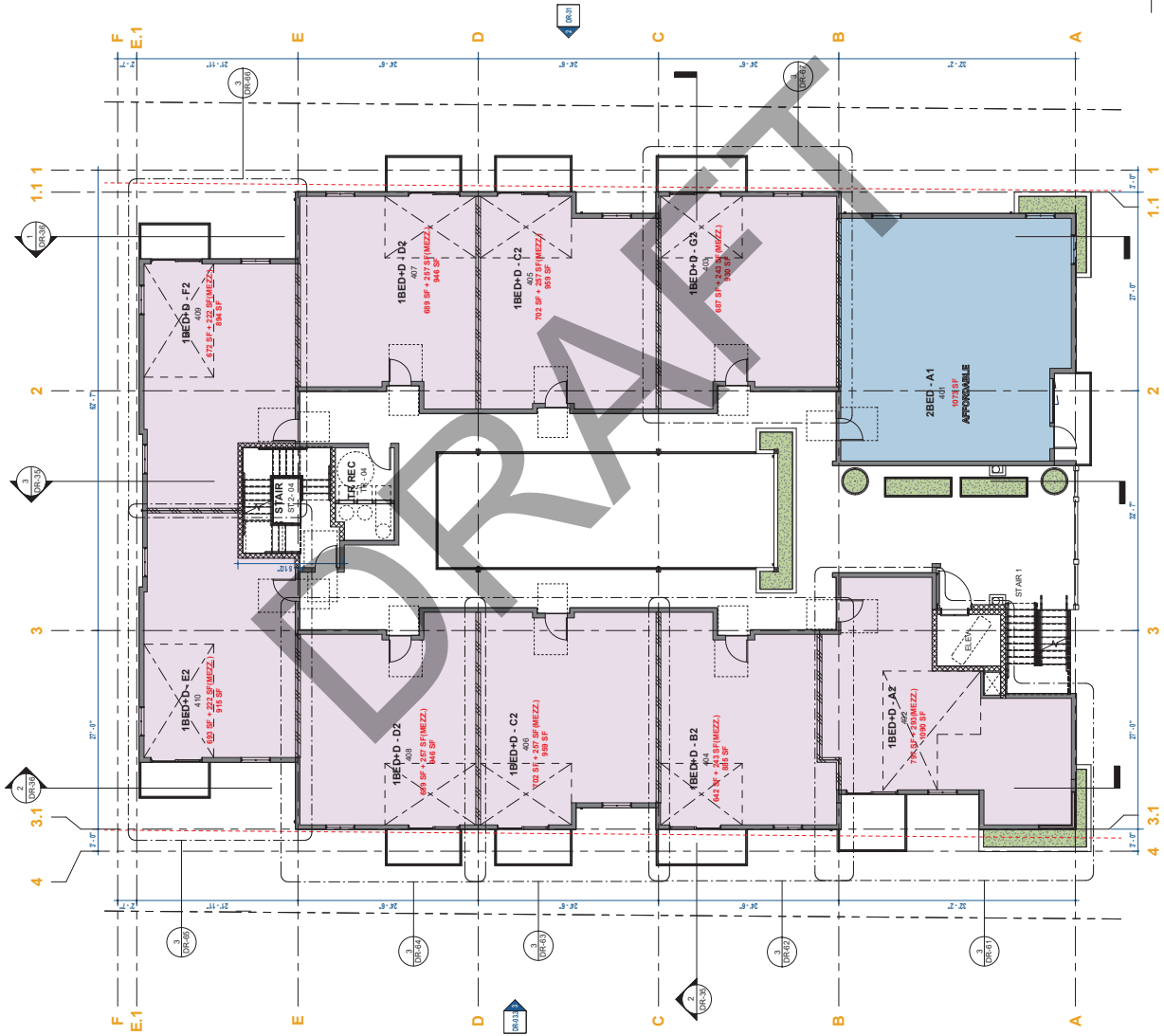
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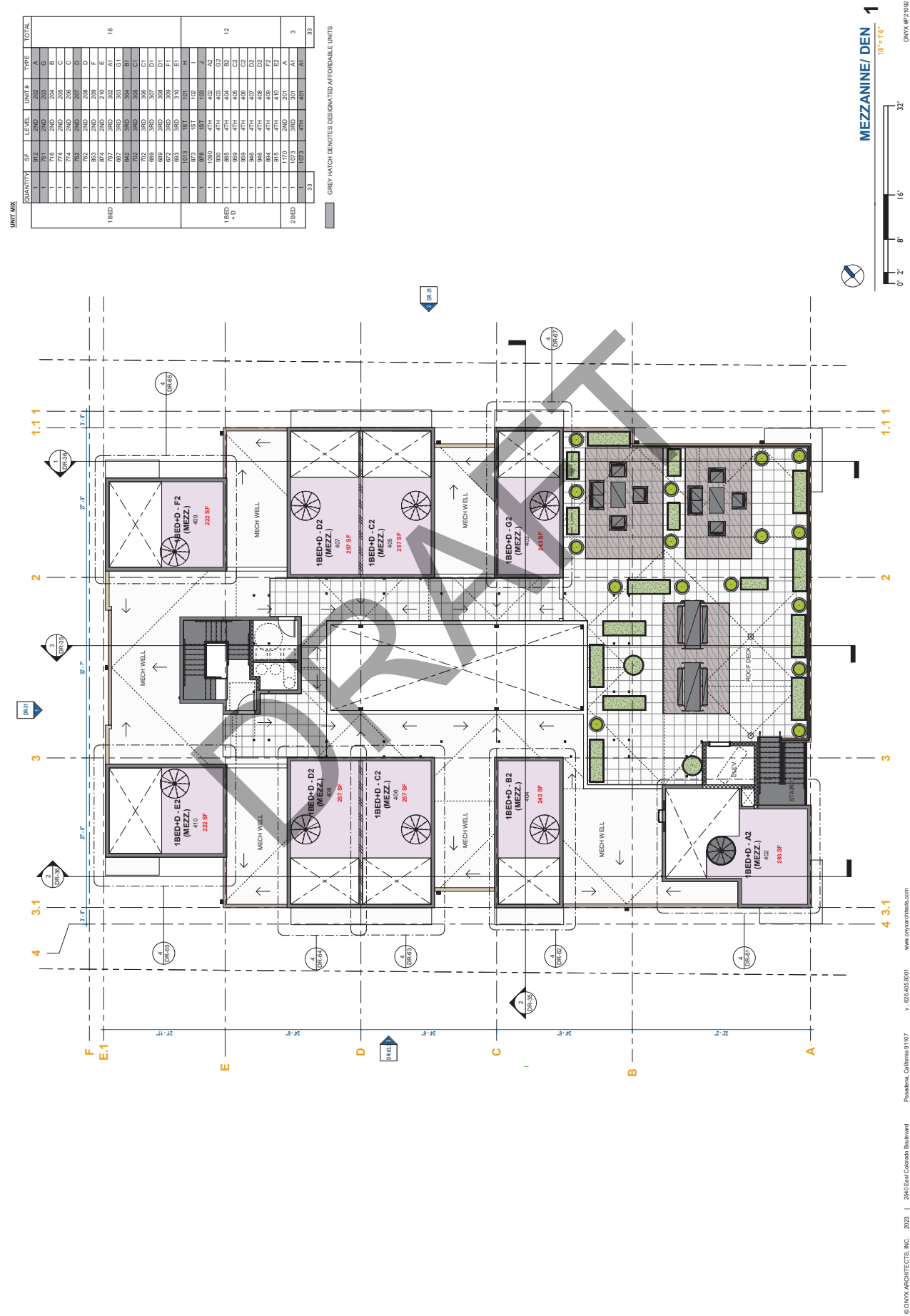
UNIT MIX	QUANTITY	SP	LEVEL	UNIT #	TYPE	TOTAL
1 BED	1	912	2ND	202	A	18
	1	761	2ND	202	G	
	1	774	2ND	205	A	
	1	774	2ND	205	C	
	1	774	2ND	205	G	
	1	774	2ND	206	C	
	1	762	2ND	207	D	
	1	762	2ND	207	D	
	1	850	2ND	209	F	
	1	874	2ND	210	E	
1 BED	1	687	3RD	301	G	12
	1	687	3RD	301	G	
	1	642	3RD	304	B1	
	1	642	3RD	304	B1	
	1	702	3RD	305	D	
	1	659	3RD	307	D1	
	1	689	3RD	308	E1	
	1	689	3RD	308	E1	
	1	693	3RD	310	E1	
	1	1073	1ST	901	H	
1 BED + D	1	978	1ST	903	J	33
	1	1090	4TH	402	A2	
	1	1090	4TH	402	A2	
	1	886	4TH	403	B2	
	1	959	4TH	405	C2	
	1	959	4TH	405	C2	
	1	980	4TH	406	D2	
	1	980	4TH	406	D2	
	1	946	4TH	402	D2	
	1	894	4TH	409	F2	
2 BED	1	1179	2ND	201	A	3
	1	1073	3RD	301	A1	
	33	47N	401	A1		

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS



4TH FLOOR
1/8" = 1'-0"

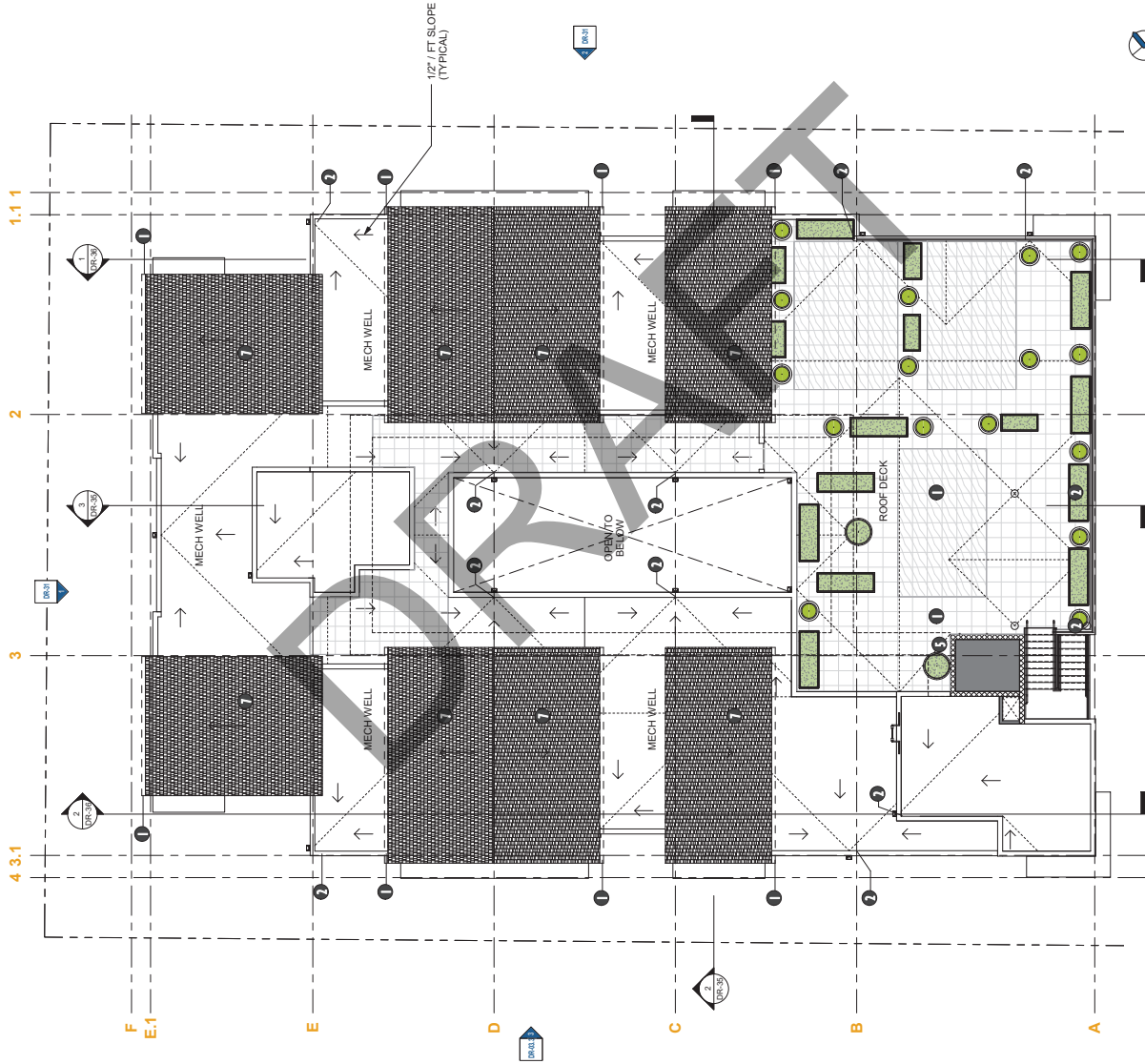




KEYNOTES

1. GUTTER (CONCEALED) @ FLAT ROOF (8" x 9" x 30")
SURFACE MOUNT GUTTER @ 3" x 2" (OAK/XXX)
2. SCUPPER / DOWNSPOUT
3. CRICKET - PROVIDE 1/2" / FT MIN. SLOPE
4. AREA DECK DRAIN
5. CAT WALK ABOVE FOR EMERGENCY FIRE DEPT. ACCESS ONLY
6. 1" WALKWAY - 1" WALKWAY - 1" WALKWAY - 1" WALKWAY
GAF SRI-110 Solar Reflective White Thermal Emittance = 87
7. ASPHALT / SHINGLE ROOFING @ 3:12 PITCH
GAF Timberline HDZ - Oakwood
SRI-XX Solar Reflectance = XX Thermal Emittance = XX

GENERAL ROOF NOTES:
1. Installation of roof system shall be in accordance with manufacturer's specification.
2. All materials shall be approved by the local authority having jurisdiction.
3. U.L. Class A fire rating and shall be roofing manufacturer's current listing.
4. Roof Penetration Flashing per Mechanical per Detail T-1 (19A-840)
5. See the roof drains and overflow drains according to Chapter T-1 of the code.
6. See civil plans for site drainage.



ROOF PLAN 1
1/8" = 1'-0"

