

**Density Bonus, Discretionary Bonus and
Inclusionary Housing Plan**

**413-419 Irving Avenue
Glendale, CA 91201**

February 8, 2024

RL Consulting Services, LLC
c/o ONYX Architects
Hrag DerHovagimian & Luisa Salazar
2540 East Colorado Boulevard
Pasadena, CA 91107

City of Glendale
Community Development Department
Housing Division
141 North Glendale Avenue, Room 202
Glendale, CA 91206

Number of Dwelling Units Proposed:

ONYX Architects (“Applicant”) has proposed the development of a 46,322 square foot density bonus new construction, rental housing project totaling thirty-three (33) multi-family residential dwelling units (the “Project”). The Project will provide a total of eight (8) units ((15% x 7) x (371.4% / 50%) = 7.79 rounded up to 8 affordable units) as rent-restricted to very low income households.

Maximum Number of Units Permitted per Glendale Municipal Code (“GMC”):

The Project is located in the R-3050 (Moderate Density Residential) zone. The Project site (APNs collectively, 5625-009-019 and 5625-009-020) has a lot area of 18,369 square feet. Sites zoned R-3050 are permitted one (1) unit per 3,050 square feet, which permits a maximum base density of seven (7) units (18,369 / 3,050 = 6.02 rounded up to 7).

Replacement Unit Obligation under the Density Bonus Requirement:

Per State Density Bonus Law (CA Govt Code § 65915, *et seq.*), an applicant is ineligible for a density bonus or any other incentives if a project is proposed on a parcel or parcels with rental dwelling units that have been vacated or demolished within a five (5)-year period preceding the project’s development application or have been occupied by lower or very low income households, unless the proposed project replaces those units. Pursuant to CA Govt Code § 65915, if any dwelling units are occupied on the date of a project’s development application, the proposed project is required to provide the same number of units of equivalent size (i.e., the same total number of bedrooms as the units being replaced) as affordable to the same or lower income households in occupancy. If the incomes are unknown to the applicant, there is an established rebuttable presumption per HUD’s Comprehensive Housing Affordability Strategy database. Using the most recent data (2016-2020) for Extremely Low, Very Low, and Low Renter households (32,600 households) on <https://www.huduser.gov/portal/datasets/cp.html> and dividing the total households from those three categories by the total renters within the City of Glendale (49,350), this presumption amounts to 66.06% of renter households at or below 80% AMI. Per the Los Angeles County Assessor, there are currently five (5) residential dwelling units on the current parcels. **The Project is subject to the 66.06% presumption set forward by HUD.** By applying the rebuttable presumption of 66.06% to the five (5) existing residential dwelling units and seven (7) bedrooms, 4 (four) replacement units (66.06% x 5= 3.303 rounded up to 4) at 5 (five) bedrooms total (66.06% x 7 = 4.624 rounded up to 5) are required under State Density Bonus Law. The Project is providing nine (9) bedrooms and eight (8) affordable units to very low income households. As such, Applicant has met the replacement obligation, and no additional units are required.

Number of Affordable Units Meeting Density and Discretionary Bonus Requirement:

Applicant will be required to designate eight (8) units as rent-restricted and affordable to very low income households per State Density Bonus Law and GMC Chapter 30.36. The affordable units were selected pursuant to the Density Bonus and Inclusionary Zoning Implementation Policies. The affordable units are detailed in Project floorplans attached hereto as Attachment 1, as well as immediately below:

Unit Number	Square Footage	Bedroom(s)	Bathroom(s)
101	1,013	1	1
103	978	1	1
202	912	1	1
203	761	1	1
207	762	1	1
304	642	1	1
305	702	1	1
401	1,073	2	2

Amount of Density and Discretionary Bonus Requested:

Applicant is entitled to a 50% density bonus by providing two (2) very low income units (15% of the base density of 7 = 1.05 rounded up to 2). Applicant is requesting a 371.4% total density bonus (of which 321.4% is discretionary) in exchange for the provision of a proportionate number of restricted units, calculated as eight (8) very low income units $((15\% \times 7) \times (371.4\% / 50\%)) = 7.79$ rounded up to 8). State Density Bonus Law (CA Govt Code § 65915, et seq.) allows up to an automatic fifty 50% density bonus and three (3) incentives in exchange for the provision of at least 15% of the base units restricted as rentals for very low income households. Applicant's request complies with State Density Bonus Law, as there is a positive correlation and proportionality between the requested density bonus and the number of very low income units to be provided, and State Density Bonus Law allows the City to grant a discretionary density bonus above 50% (CA Govt Code § 65915(n)). However, since Applicant's request for the grant of a density bonus is greater than 50%, pursuant to the GMC, it is subject to City Council approval following a public hearing. Per the GMC, the City Council is the reviewing and approving body for any density bonus request greater than the amount mandated by State Density Bonus Law.

Number and Description of Incentives/Concessions and Waivers Requested:

With a 15% affordability level, Applicant is entitled to three (3) concessions. Pursuant to GMC Section 30.36.070A, Applicant has requested three (3) concessions: (i) increase the maximum allowed floor area ratio (FAR); (ii) increase the maximum allowed building height and stories; and (iii) provide above-grade parking.

Applicant has also requested one (1) waiver: (i) increase the maximum allowed lot coverage.

Amount of Parking Concessions Requested:

Applicant has requested an automatic parking concession under CA Govt Code 65915(p)(1), which states that an applicant of a housing development meeting the minimum requirements to qualify for a density bonus may apply for a parking concession, inclusive of handicapped and guest parking, pursuant to the following ratios: one (1) on-site parking space per unit for zero (0) to one (1)-bedroom units and one and one-half (1.5) on-site parking spaces per unit for two (2) to three (3)-bedroom units. The Project proposes a unit mix of thirty (30) one (1)-bedroom and three (3) two (2)-bedroom units. Based on the number of units and bedrooms provided, the parking concession pursuant to CA Govt Code §65915(p)(1) requires a minimum of thirty-five

(35) residential parking spaces $((30 \text{ units} \times 1) + (3 \text{ units} \times 1.5) = 34.5 \text{ rounded up to } 35)$. The Project meets the minimum requirement per CA Govt Code § 65915(p)(1) and proposes to provide forty-nine (49) parking spaces total. Accordingly, the Project exceeds the parking requirements under CA Govt Code § 65915(p)(1).

Child Care Space:

Not applicable.

Inclusionary Housing Requirement:

GMC Chapter 30.35, the Inclusionary Zoning Ordinance (the “IZO”), requires a housing development (a rental development project of eight (8) or more dwelling units proposed to be constructed in the City) to provide 15% of the units as affordable to low-income households. The Project has a base density of seven (7) units. Therefore, the Project is not subject to the IZO.

Affordable Housing Commercial Development Impact Fee

On May 7, 2019, the City adopted a Citywide Affordable Housing Commercial Development Impact Fee, Ordinance No. 5929, codified in GMC Chapter 4.11 (collectively, the “Commercial DIF”). The Commercial DIF became effective after a 60-day period on July 7, 2019.

With the exception of hotels, auto dealerships, community land uses which serve the public, and the reconstruction of any building destroyed by fire, flood, earthquake or other act of nature (so long as the square footage does not exceed the square footage before the loss), the Commercial DIF imposes a \$4 per square foot fee (per the FY 2023 Citywide Fee Schedule) on all commercial development projects with a gross floor area exceeding 1,250 square feet. The Project is not subject to the Commercial DIF as it does not propose a permitted commercial component.

Note About Required Condition: The Project is conditioned on Applicant complying with CA Govt Code § 66300 (d)(2)(C) and (D).

Irving Glendale Apartments

413 | 417 Irving Avenue
Glendale, California

Attachment 1

PROJECT TEAM

OWNER/ARCHITECT: RL CONSULTING SERVICES
ARCHITECT: ONYX
 Rock Lermo, P. Resident
 Rony Shram, Owner Representative
 rony@rlconsultingservices.com
ARCHITECT: ONYX ARCHITECTS
 President, CA 91107
 1 | 818.619.9301
CONSTRUCTION MANAGER: GOTTBERG ASSOCIATES, INC.
 President, CA 92827
 1 | 714.779.3528

ARCHITECTURAL

- DR-00 COVER SHEET
- DR-01 EXISTING STRUCTURES
- DR-02 SURVEY, TREE REPORT
- DR-03 PRIVATE COMMON OPEN SPACE/LANDSCAPE
- DR-04 EXTERIOR LIGHTING PLAN
- DR-05 SE TRACKS EXHIBIT
- DR-06 HEIGHT OF WALLS AT TEDIUM LEVEL EXHIBIT
- DR-20 OVERALL GARAGE FLOOR PLAN
- DR-21 OVERALL 1ST FLOOR PLAN
- DR-22 OVERALL 2ND FLOOR PLAN
- DR-23 OVERALL 3RD FLOOR PLAN
- DR-24 OVERALL 4TH FLOOR PLAN
- DR-25 OVERALL 5TH FLOOR PLAN
- DR-26 OVERALL ROOF PLAN
- DR-27 EXTERIOR ELEVATIONS
- DR-28 EXTERIOR ELEVATIONS
- DR-29 BUILDING SECTIONS
- DR-30 ENLARGED SLOPE WALK + STAIRS FRONT YARD
- DR-31 ACCESSIBLE RAMP
- DR-32 ACCESSIBLE RAMP
- DR-33 ADVANCE TRAC 2D VIEWS
- DR-41 ENLARGED UNIT PLANS
- DR-42 ENLARGED UNIT PLANS
- DR-43 ENLARGED UNIT PLANS
- DR-44 ENLARGED UNIT PLANS
- DR-45 ENLARGED UNIT PLANS
- DR-46 ENLARGED UNIT PLANS
- DR-47 ENLARGED UNIT PLANS
- DR-48 DOOR & WINDOW SCHEDULES & TYPES

413/417 IRVING AVE, GLENDALE CA 91201

R 3099

MODERATE DENSITY RESIDENTIAL

Type 1 | Type V

505-006-019 LOT: 32

18,300 SF - 0.422 Acres

46,022 GSF

14,102 GSF

SEE SHEET DR-03.6

(BY PLANNING CODE)

181 PARKING

3,645 GSF

1,400 GSF

1,400 GSF

8,666 GSF

3,190 GSF

46,022 GSF

(EXCLUDING PARKING)

ALLOWABLE HEIGHT - 35 STOREYS MAX. FT. - 457' FOR ROOFS WITHIN 12'-4" FT.

PROPOSED HEIGHT - 43 STOREYS WITH MEZZANINE LEVEL - 622' FT.

(95'-11" TO ELEVATOR SHAFT APURTANCE)

ALLOWABLE LOT COVERAGE = 50% X 18,300 SF = 9,150 SF

PROPOSED LOT COVERAGE = 14,102 SF / 18,300 SF = 76.7% (23.7% ADDITIONAL)

MAXIMUM ALLOWABLE FAR = .65

ALLOWABLE FLOOR AREA = 65 (18,300) = 11,895 SF

PROPOSED FLOOR AREA = 46,022 SF

PER 30.11.030 (RESIDENTIAL DENSITY MAX. 1 DU PER 3,000 SQ. FT. OF LOT AREA)

PROPOSED 20 DU ABOVE THE BASE 28 750-33 DU (2076/37.4% INCREASE)

(18% X 7.1 X 37.4% / 100%) = 49.78 = 79.8 DU

PROPOSED 20 DU ABOVE THE BASE 28 750-33 DU (2076/37.4% INCREASE)

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PROPOSED 20 DU ABOVE THE BASE 28 750-33 DU (2076/37.4% INCREASE)

ONYX 8P1902

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IRVING GLENDALE
MULTIFAMILY APTS
413/417 IRVING AVENUE
GLENDALE CALIFORNIA 91201
25 JANUARY 2024
DESIGN DEVELOPMENT

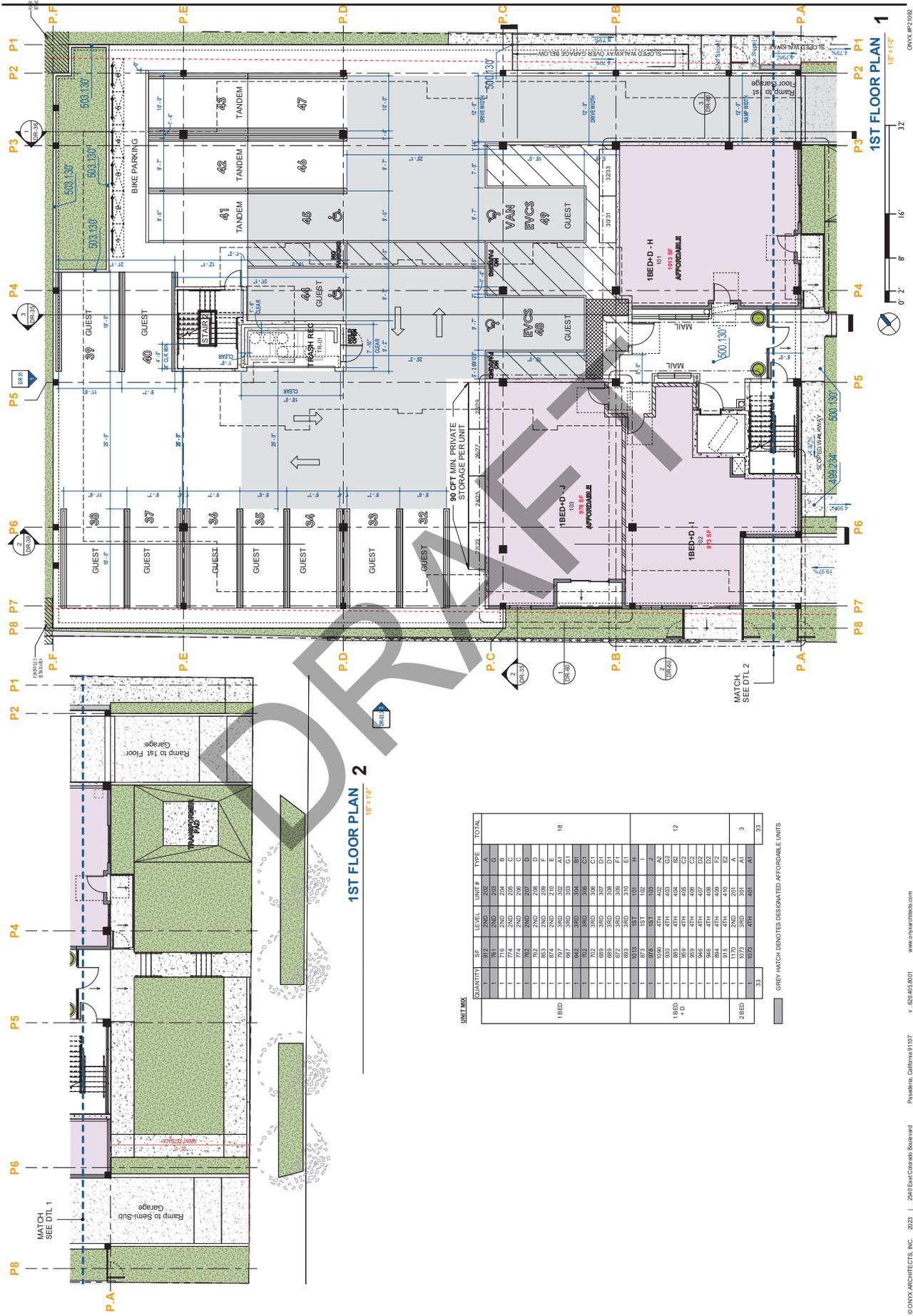
COVER SHEET
DR-00



NO. DESCRIPTION
DATE



NO. DESCRIPTION DATE



1ST FLOOR PLAN 2
18' x 110'

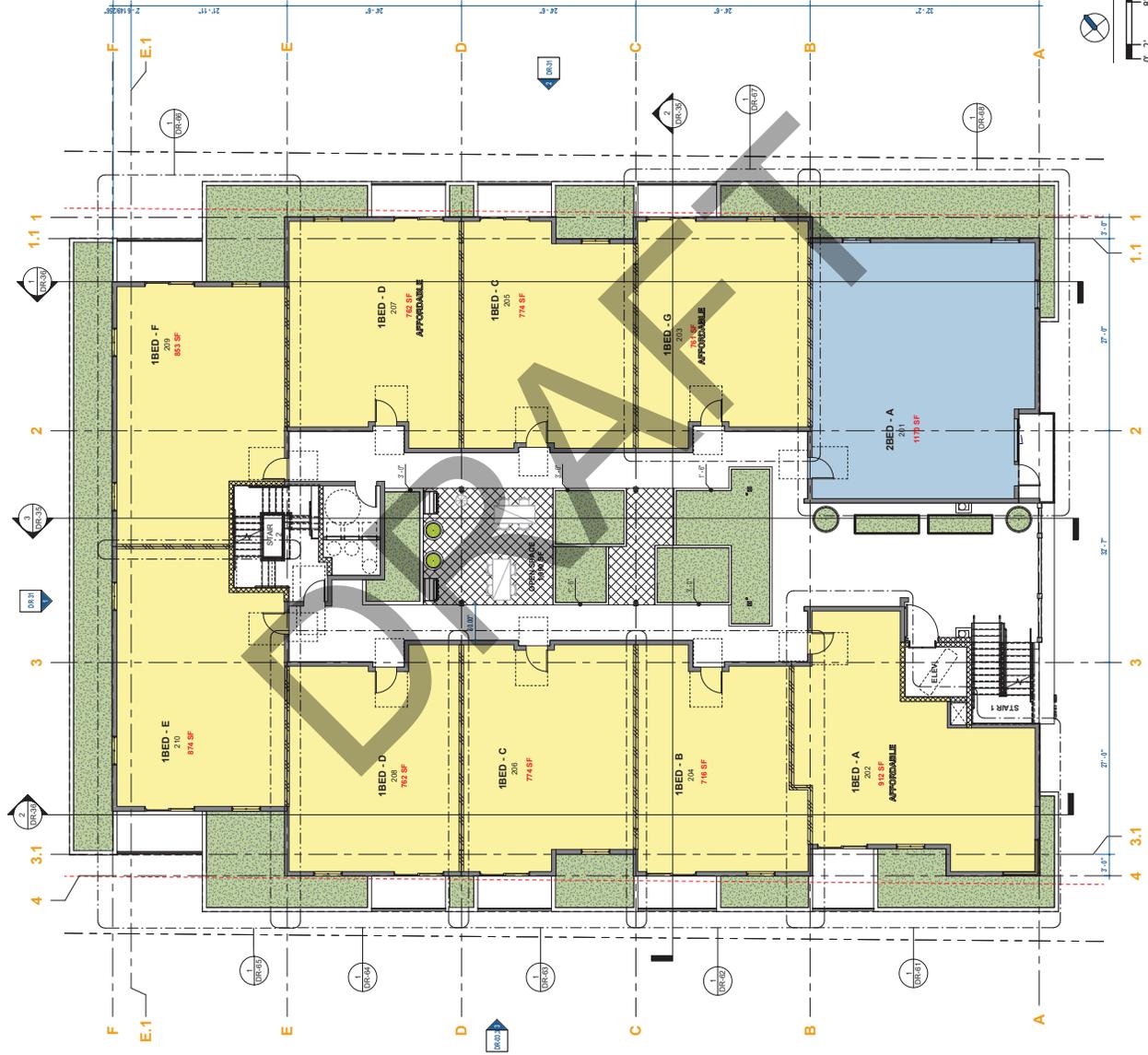
UNIT MIX	QUANTITY	SF	LEVEL	UNITS	TYPRE	TOTAL
1BED	1	791	2ND	203	G	
1BED	1	710	2ND	208	B	
1BED	1	774	2ND	208	C	
1BED	1	792	2ND	207	D	
1BED	1	852	2ND	208	F	
1BED	1	874	2ND	210	E	
1BED	1	797	3RD	202	A1	18
1BED	1	862	3RD	204	B1	
1BED	1	792	3RD	205	C1	
1BED	1	792	3RD	209	C1	
1BED	1	852	3RD	208	D1	
1BED	1	859	3RD	208	D1	
1BED	1	872	3RD	209	F1	
1BED	1	893	3RD	209	F1	
1BED	1	893	3RD	209	F1	
1BED	1	893	3RD	209	F1	
1BED	1	873	1ST	102	E1	
1BED	1	873	1ST	103	J	
1BED	1	900	4TH	403	G2	
1BED	1	885	4TH	404	B2	12
1BED	1	959	4TH	405	C2	
1BED	1	948	4TH	407	D2	
1BED	1	948	4TH	408	D2	
1BED	1	915	4TH	410	E2	
1BED	1	1170	2ND	201	A	3
2BED	1	1073	3RD	301	A1	
2BED	1	1095	4TH	401	A1	33

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS

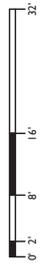
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UNIT MIX	QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL
	1	751	2ND	203	G	
	1	716	2ND	204	B	
	1	774	2ND	205	C	
	1	792	2ND	207	D	
	1	792	2ND	208	D	
	1	874	2ND	210	E	
1 BED	1	797	3RD	302	A1	18
	1	857	3RD	304	G1	
	1	693	3RD	310	E1	
	1	672	3RD	305	F1	
	1	873	1ST	102	I	
	1	978	1ST	103	J	
	1	930	1TH	403	C2	
	1	835	4TH	604	B2	12
1 BED + D	1	959	4TH	605	C2	
	1	946	4TH	607	C2	
	1	946	4TH	608	C2	
	1	834	4TH	609	E2	
	1	1170	2ND	201	A	3
2 BED	1	1073	4TH	401	A1	3
	33					33

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS



2ND FLOOR PLAN 1



ONYX SP19162

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v. 02/04/2021

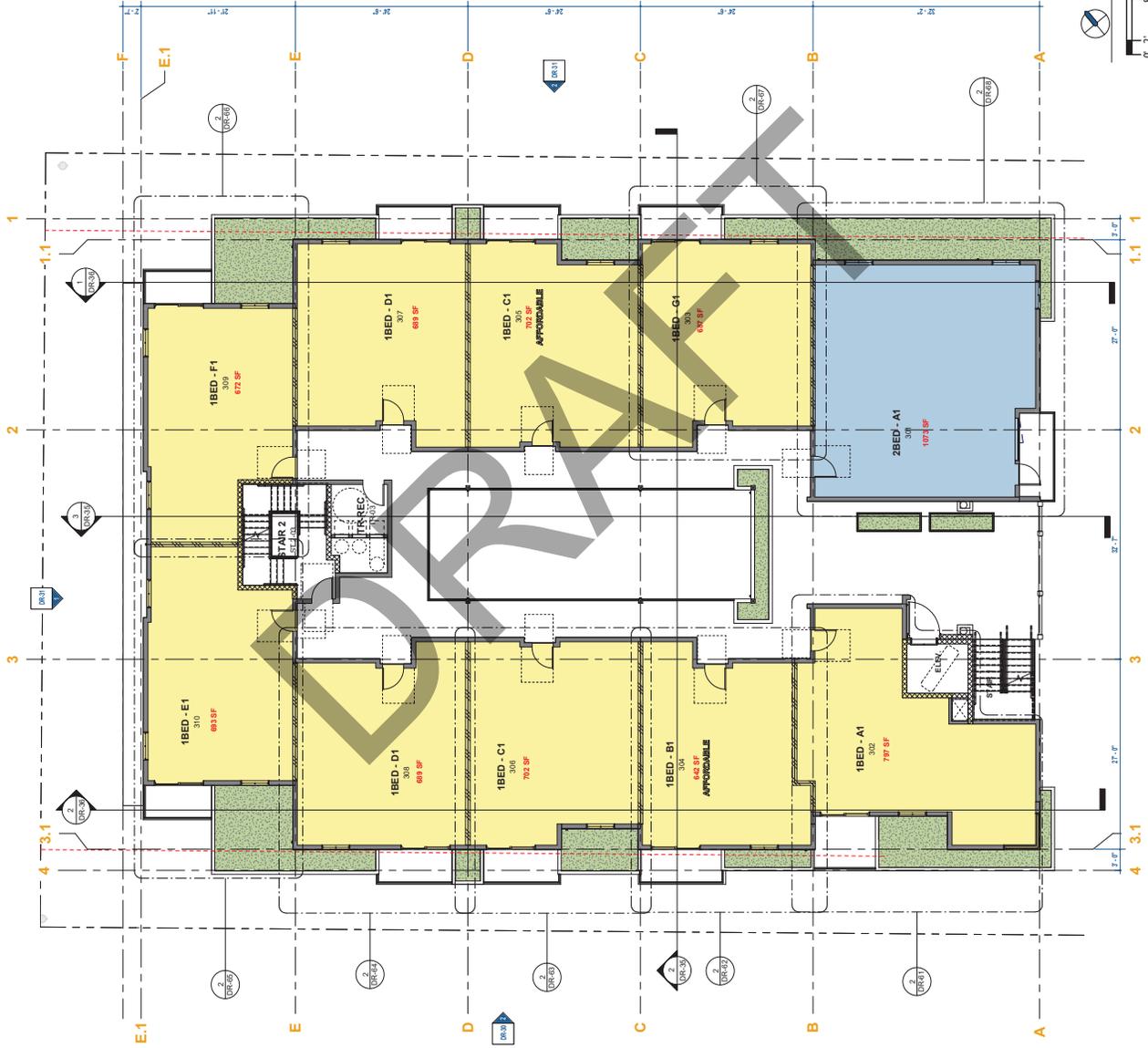
Pasadena, California 91107

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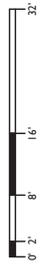
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UNIT MIX	QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL
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	1	716	2ND	204	B	
	1	774	2ND	205	C	
	1	792	2ND	207	D	
	1	792	2ND	208	D	
	1	874	2ND	210	E	18
	1	857	3RD	304	G1	
	1	792	3RD	305	C1	
	1	792	3RD	306	C1	
	1	899	3RD	308	D1	
	1	672	3RD	309	F1	
	1	693	3RD	310	E1	
	1	873	1ST	102	J	
	1	978	1ST	103	J	
	1	930	4TH	403	C2	
	1	930	4TH	404	C2	
	1	930	4TH	405	C2	12
	1	939	4TH	405	C2	
	1	946	4TH	407	C2	
	1	946	4TH	408	C2	
	1	946	4TH	409	C2	
	1	934	4TH	409	C2	
	1	1170	2ND	201	A	3
	1	1073	4TH	401	A1	
	33					33

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS



3RD FLOOR PLAN 1
18' x 19'



ONYX #P19162

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v. 02/04/20/01

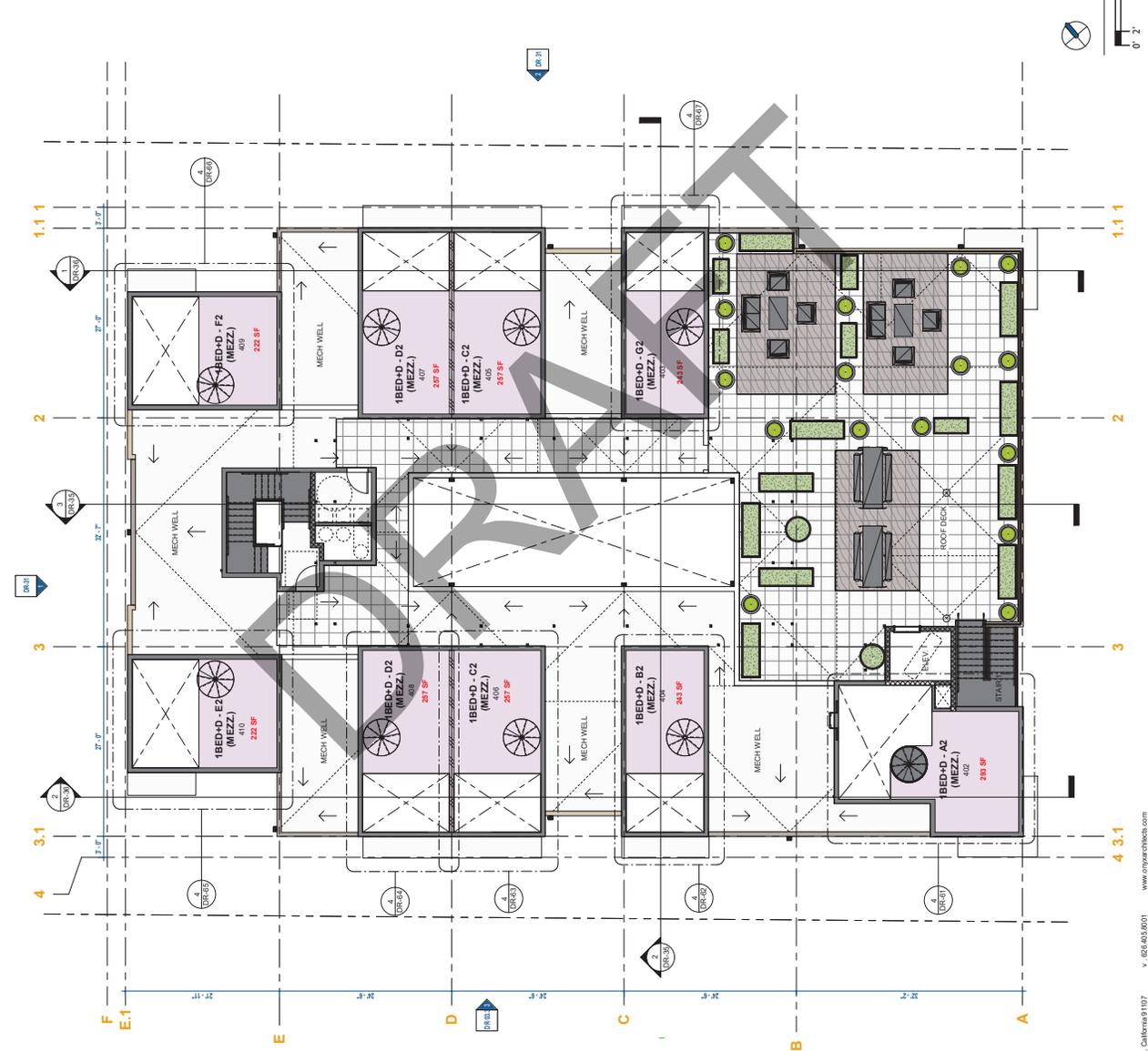
Pasadena, California 91107

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UNIT MIX

QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL
1	981	2ND	200	A	1
1	716	2ND	204	B	1
1	714	2ND	206	C	1
1	862	2ND	207	D	1
1	892	2ND	208	D	1
1	874	2ND	210	E	1
1	797	3RD	302	A1	18
1	702	3RD	305	C1	1
1	702	3RD	308	C1	1
1	689	3RD	309	D1	1
1	672	3RD	309	F1	1
1	693	3RD	310	E1	1
1	873	3RD	312	J	1
1	978	3RD	313	J	1
1	1000	3RD	314	K	1
1	1000	3RD	315	L	1
1	805	4TH	404	B2	12
1	809	4TH	405	C2	1
1	848	4TH	407	D2	1
1	848	4TH	408	D2	1
1	894	4TH	409	F2	1
1	894	4TH	410	F2	1
1	1170	2ND	201	A	3
1	1073	3RD	301	A1	3
1	1073	4TH	401	A1	3
33					33

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS



MEZZANINE/DEN 1
183'-1 1/2"
ONX 8P1902



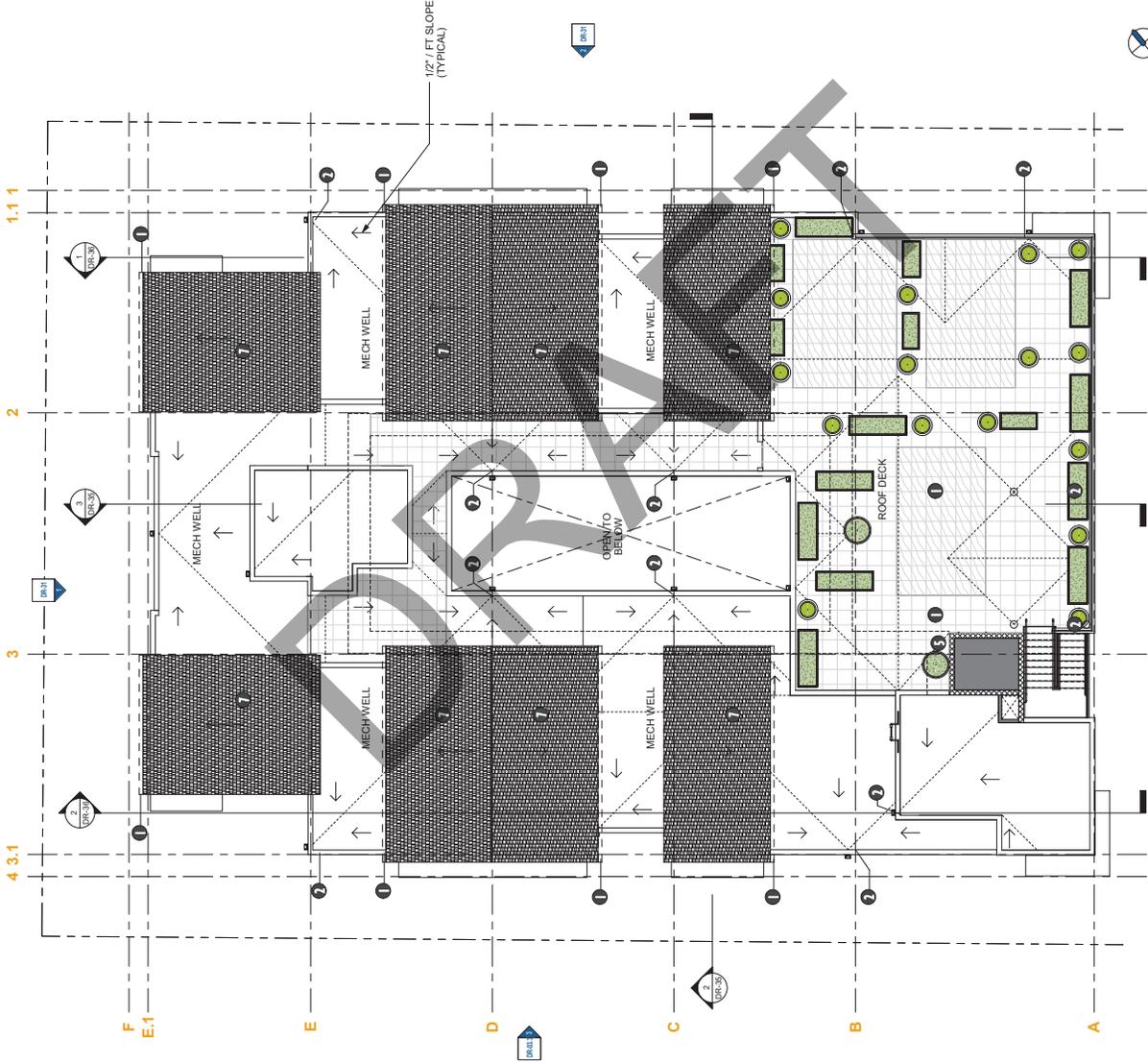
NO. DESCRIPTION DATE

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KEYNOTES

- 1 GUTTER (COMBINED @ FLAT ROOF @ 9/16"X30")
- 2 SURFACE MOUNT GUTTER @ 1 1/2"X20"X1/8"X30"
- 3 SCUPPER / DOWNSPOUT
- 4 CROCKET - PROVIDE 1/2" / FT MIN. SLOPE
- 5 AREA DECK DRAIN
- 6 CAT WALK ABOVE FOR EMERGENCY FREE DEPT. ACCESS ONLY
- 7 1/2" / FT MIN. SLOPE
- 8 1/2" / FT MIN. SLOPE
- 9 1/2" / FT MIN. SLOPE
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- 98 1/2" / FT MIN. SLOPE
- 99 1/2" / FT MIN. SLOPE
- 100 1/2" / FT MIN. SLOPE

GENERAL ROOF NOTES:
 1. Installation of roof shall be in accordance with manufacturer's specification.
 2. All materials shall be from one Manufacturer, shall have a UL Class A fire rating and shall be roofing manufacturer's current.
 3. Roof Penetration flashing per Mechanical per Detail 17-1 (9/16"X40")
 4. Size the roof drains and overflow drains according to Chapter 11 of
 5. Overflow scuppers shall be designed in accordance to Table 11-1
 6. See civil plans for site drainage.



ROOF PLAN 1

1/8" = 1'-0"



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