

Jackson Apartment Building

246 N Jackson St, UNIT 1-11,
Glendale, CA 91206

ARCHITECT
MALY ARCHITECTS INC.
7136 HASKELL AVE, # 320
LOS ANGELES, CA 91406
(310) 993 1220

NOTE: 100% PRIVATELY FUNDED
NO TAX CREDIT
NOT PUBLIC HOUSING

AB 2345 PROJECT

08/05/2022

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PROJECT INFORMATION - AB 2345

PARKING REQUIREMENTS CALCULATION TABLE:

			TOTAL
PROJECT IS WITHIN 0.5 MILE OF A MASS TRANSIT AREA (GMC 30.36.090(B)):	REQUIRED PARKING: 1-PARKING SPOT PER 0.5 UNIT	REQUIRED PARKING: 11 X 0.5 = 5.5	REQUIRED PARKING: 6
PROVIDED		14 > 6	PROVIDED PARKING: 14

AB 2345 DENSITY CALCULATION:

BASE DENSITY	DENSITY INCREASE	TOTAL ALLOWABLE	TOTAL PROVIDED
LOT AREA / 1250	46.25% FOR 14% VERY LOW INCOME CALCULATION		
7,512 / 1250 = 6.01 ROUND UP = 7	7 X 46.25% = 3.24 ROUND UP = 4	7 + 4 = 11 UNIT	11 UNIT

VERY LOW INCOME UNIT CALCULATIONS:
 BASE DENSITY ROUNDED-UP: 7.0
 PERCENT OF VERY LOW INCOME UNITS WITH 2-CONCESSIONS: 14.0%
 NUMBER OF VERY LOW INCOME UNIT CALCULATION: 7.0 X 14.0% = .98 UNITS
 NUMBER OF VERY LOW INCOME UNITS ROUNDED-UP: 0.98 UNITS TO 1.0 UNITS
 10 MARKET UNITS PLUS 1 VERY LOW INCOME UNIT TOTAL 11 UNITS

CONCESSIONS

2 CONCESSIONS REQUESTED :

CONCESSIONS -1 :

1. HEIGHT & STORIES

BASE BUILDING HEIGHT (HEIGHT LIMIT FOR LOT WIDTH LESS THAN 90')	HEIGHT INCREASE	AVERAGE GRADE	PROPOSED HEIGHT
MAX. 26 FEET PLUS 5 FEET FOR THE ROOF PITCH IF PITCH IS 3:12 OR GREATER 2-STORIES	1 ADDITIONAL STORY	GMC 30.70.080 - GRADE 1 MEANS THE AVERAGE OF THE HIGHEST (575.94) AND LOWEST (573.29) TOP OF CURB ELEVATIONS OF THE CURB ADJACENT TO THE PROPERTY. AVERAGE GRADE FOR PROJECT SHALL BE 574.62'	3-STORY PROJECT TOP OF THE ROOF: 31'-6" TOP OF ELEVATOR SHAFT: 37'-6" FROM LOWEST POINT 437.4' SEE ELEVATION SPOT ON PLOT PLAN SHEET A1.1 & SECTION #2 SHEET ON A3.3

CONCESSIONS -2 :

2. SETBACK ONLY THE LESS THAN MINIMUM REQUIRED SETBACKS ARE MENTIONED IN THIS CHART- SEE SHEET A1.4 FOR COMPLETE SETBACK DIAGRAM AND CALCULATION.

SETBACK REQUIRED	FRONT YARD (WEST)	INTERIOR YARD (SOUTH)	STREET SIDE (NORTH)	INTERIOR YARD (EAST)
	BASEMENT MIN 0' AVG 23'	BASEMENT MIN 0' AVG 0'	BASEMENT MIN 0' AVG 8'	BASEMENT MIN 0' AVG 0'
	1ST FLOOR MIN 0' AVG 23'	1ST FLOOR MIN 0' AVG 8'	1ST FLOOR MIN 0' AVG 8'	1ST FLOOR MIN 0' AVG 8'
	2ND FLOOR MIN 2' AVG 26'	2ND FLOOR MIN 11' AVG 11'	2ND FLOOR MIN 8' AVG 11'	2ND FLOOR MIN 8' AVG 11'
	3RD FLOOR MIN 2' AVG 26'	3RD FLOOR MIN 11' AVG 14'	3RD FLOOR MIN 11' AVG 14'	3RD FLOOR MIN 11' AVG 14'
SETBACK PROVIDED	FRONT YARD (WEST) MIN 4'-4" AVG 15-10'	INTERIOR YARD (SOUTH)	STREET SIDE (NORTH) MIN 4'-4" AVG 4'	INTERIOR YARD (EAST) MIN 4'-0" AVG 6-11'
	BASEMENT	BASEMENT	BASEMENT	BASEMENT
	1ST FLOOR	1ST FLOOR	1ST FLOOR	1ST FLOOR
	2ND FLOOR	2ND FLOOR	2ND FLOOR	2ND FLOOR
	3RD FLOOR	3RD FLOOR	3RD FLOOR	3RD FLOOR

BICYCLE PARKING

REQUIRED LONG TERM BICYCLE :
1 PER 4 UNITS = 3 LONG TERM BICYCLE PARKINGS

SHORT TERM BICYCLE :
1 SPACE PER 20 UNITS = 1 SHORT TERM BICYCLE PROVIDED

PROVIDED:
3 LONG TERM BICYCLE - SEE A2.1

1 SHORT TERM BICYCLE - SEE A2.1

PROJECT INFORMATION - SITE

LEGAL DESCRIPTION

ASSESSOR PARCEL (APN): 5642-018-039
 PROPERTY DESCRIPTION: LOT 2 IN BLOCK 6 OF TOWN OF GLENDALE, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE(S) 95 TO 96 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXISTING LAND USE: MULTI-FAMILY APARTMENT BUILDING, 11 UNITS
 PROPOSED LAND USE:

PROJECT TYPE: NEW AB 2345 PROJECT CONSISTING OF 10 MARKET RATE UNITS AND 1- VERY LOW INCOME UNIT.

USE: MULTIPLE - DWELLING UNITS OCCUPANCY

ZONING: R-1250

OCCUPANCY GROUP: R2

GROSS LOT / PARCEL AREA: 7,512 sq ft
 NET AFTER DEDICATION: 7,420 sqft(after public works engineering required ROW dedication)
 NUMBER OF STORIES: SUBTERRANEAN PARKING + 3 RESIDENTIAL STORIES

TYPE OF CONSTRUCTION: TYPE V-A (APARTMENTS) & TYPE 1-A (PARKING GARAGE)

SPRINKLERED: YES, FULLY SPRINKLERED THROUGHOUT NFPA13

FIRE ALARM: FIRE ALARM SHOULD BE PROVIDED THROUGHOUT THE BUILDING

TOTAL PROJECT UNITS: 11 UNITS [5X 1-BED + 6X 2-BED]

LOT COVERAGE - SHEET A1.3

LOT COVERAGE CALCULATION:
3,691 / 7,420 = 49.75% PROVIDED LOT COVERAGE < 50% MAXIMUM ALLOWABLE OF 3,710 S.F.

UNIT SUMMARY - SHEET A1.3

UNIT SCHEDULE		
UNIT NUMBER	# OF BEDROOMS	AREA
101	2 BED	847 S. F.
102	1 BED	574 S. F.
103	1 BED	574 S. F.
104	2 BED	823 S. F.
201	2 BED	818 S. F.
202	1 BED	574 S. F.
203	1 BED	574 S. F.
204	2 BED	768 S. F.
301	2 BED	818 S. F.
302	1 BED	574 S. F.
303	2 BED	768 S. F.
TOTAL: 17 BEDROOMS		TOTAL: 7,712 S. F.

APPLICANT REQUESTS A WAIVER FROM THE MINIMUM UNIT SIZE REQUIREMENTS IN GMC 30.11.050. UNITS 102, 103, 202, 203, 204, 302 AND 303 DO NOT MEET THE MINIMUM AND ARE SLIGHTLY SHY OF THE MINIMUM UNIT SIZE REQUIREMENTS.

BUILDING AREA			
	LIVABLE AREA W/ PERIMETER WALLS	ELEVATOR, STAIRS, SHAFTS	FLOOR FOOT PRINT W/ WALLS
FIRST FLOOR	2,818 S. F.	396 S. F.	429 S. F.
SECOND FLOOR	2,734 S. F.	396 S. F.	431 S. F.
THIRD FLOOR	2,160 S. F.	396 S. F.	431 S. F.
			TOTAL : 9,760 S. F.

TOTAL SUBTERRANEAN GARAGE : 6,620 SQFT

APPLICANT REQUESTS A WAIVER TO INCREASE THE FAR FROM 1.2 TO 1.32 (SEE SHEET A1.03 FOR CALCULATION DETAILS)

LANDSCAPED AREA - SHEET A1.7

REQUIRED LANDSCAPED AREA:
7,420 X 25% = 1,855 SQFT
 PROVIDED 1,862 SQFT-REQUIRED 1,855 SQFT
 SEE SHEET A1.7 FOR LANDSCAPE CALCULATIONS

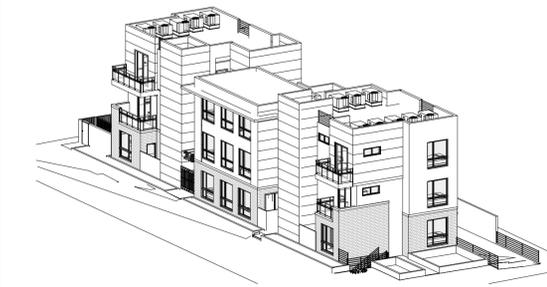
OPEN SPACE - SHEET A1.5

REQUIRED PRIVATE OPEN SPACE: 40 S. F. PER UNIT
 TOTAL REQUIRED PRIVATE OPEN SPACE: 40 X 11 = 440 S. F.
 TOTAL PROVIDED PRIVATE OPEN SPACE: PROVIDED 500 S. F. > REQUIRED 440 S. F.

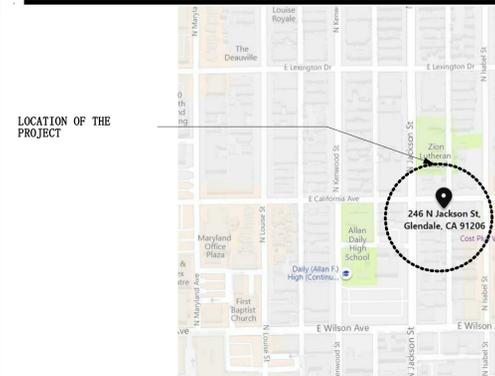
REQUIRED COMMON OPEN SPACE: 200 S. F. PER Unit

TOTAL REQUIRED COMMON OPEN SPACE: 200 X 11 = 2,200 S. F.
 TOTAL PROVIDED COMMON OPEN SPACE: PROVIDED 2,243 S. F. > REQUIRED 2,200 S. F.

JACKSON APARTMENT



VICINITY MAP



CODE INFORMATION

APPLICABLE BUILDING CODES:

BUILDING CODE: 2020 LOS ANGELES BUILDING CODE

ELECTRICAL CODE: 2020 CALIFORNIA ELECTRICAL CODE
 MECHANICAL CODE: 2020 CALIFORNIA MECHANICAL CODE
 PLUMBING CODE: 2020 CALIFORNIA PLUMBING CODE
 ENERGY CODE: 2020 CALIFORNIA ENERGY CODE
 SUSTAINABILITY CODE: 2020 CALIFORNIA GREEN BUILDING STANDARDS
 FIRE CODE: 2020 CALIFORNIA FIRE CODE

PER CBC TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) - TYPE VA

BUILDING ELEMENT	REQUIRED RATING
PRIMARY STRUCTURAL FRAME:	1 HRS
BEARING WALLS	
EXTERIOR	1 HRS
INTERIOR	1 HRS
NONBEARING WALLS & PARTITIONS	
EXTERIOR	1HR (PER CBC TABLE 602)
INTERIOR	0 HR
STAIR SHAFT	2 HRS
ELEVATOR, MECH AND CHUTE SHAFT	2 HRS
FLOOR AND ROOF	1 HRS

PER CBC TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) - TYPE IA

BUILDING ELEMENT	REQUIRED RATING
PRIMARY STRUCTURAL FRAME:	3 HRS
BEARING WALLS	
EXTERIOR	3 HRS
INTERIOR	3 HRS
NONBEARING WALLS & PARTITIONS	
EXTERIOR	3 HR (PER CBC TABLE 602)
INTERIOR	3 HR
STAIR SHAFT	3 HRS
ELEVATOR, MECH AND CHUTE SHAFT	3 HRS
FLOOR AND ROOF	3 HRS

PROJECT NAME/ LOGO

PROJECT ADDRESS:

246 N Jackson St, Glendale, CA 91206

CLIENT
Artshar LLC

ARCHITECT



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 Ph: 310-993 1220
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Date 1 Revision 1



Seal/Signature

Jackson Apartment Building

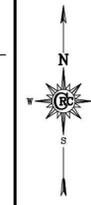
MF-20-006

PROJECT INFORMATION

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1/8" = 1'-0"

A0.1



VICINITY MAP
N.T.S.

ESTABLISHED BY TIES
PER CITY OF
GLENDALE TIE SHEET
BOOK 272 PAGE 105

FOUND PK NAIL WITH CITY OF
GLENDALE WASHER AND 4 TIES
PER CITY OF GLENDALE TIE
SHEET BOOK 365 PAGE 46

N. JACKSON STREET

CALIFORNIA AVENUE

ALLEY

TOC - 573.29
AVERAGE GRADE - 574.62

TOC - 575.94
AVERAGE GRADE - 574.62

APN: 5642-018-039
LOT SQUARE FOOTAGE:
GROSS=7512 SQ. FT.
NET=7491 SQ. FT.

EXISTING
TWO STORY
BUILDING
APN: 5642-018-041

DATE OF SURVEY
DECEMBER 18, 2020

SITE ADDRESS
246 N. JACKSON STREET
GLENDALE, CA

CURVE DATA table with columns for CURVE, RADIUS, and LENGTH.

LEGEND

- List of symbols and abbreviations for site features like AC, BOW, CB, CO, CONC, etc.

LEGAL DESCRIPTION

LOT 2, BLOCK 6, OF THE MAP OF THE TOWN OF GLENDALE, IN THE CITY OF GLENDALE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA...

BASIS OF BEARINGS

THE BEARING OF N00°00'16"E, BEING THE CENTERLINE OF JACKSON STREET AS SHOWN ON THE MAP OF TRACT NO. 35100, MAP BOOK 923 PAGES 82 AND 83, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCH MARK

CITY OF GLENDALE BM #2371
BRASS DISK IN WLY HEADWALL OF CATCH BASIN IN WLY CURB CALIFORNIA AVE N-ELY CORNER, STAMPED 'BM2371 SET 2008'

EL=575.08' NGVD29

PLANS PREPARED UNDER THE DIRECTION OF

Signature and name of Ron Koester, License No. 5930, dated DEC. 22, 2020.



AS BUILT SURVEY
OF PROPERTY BOUNDARY
SHEET 1 OF 1 SHEET

PREPARED FOR:
PALMS ETS, LLC.
P.O. BOX 4189
GLENDALE, CA 91222
ATTN: MR. ART SIMONIAN

CRC Enterprises
27600 Bouquet Canyon Road Suite 200 Santa Clarita Ca. 91350
Telephone (661) 297-2336 FAX (661) 297-2331

PROJECT NAME/ LOGO
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CLIENT
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ARCHITECT
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SITE SURVEY & BOUNDARY

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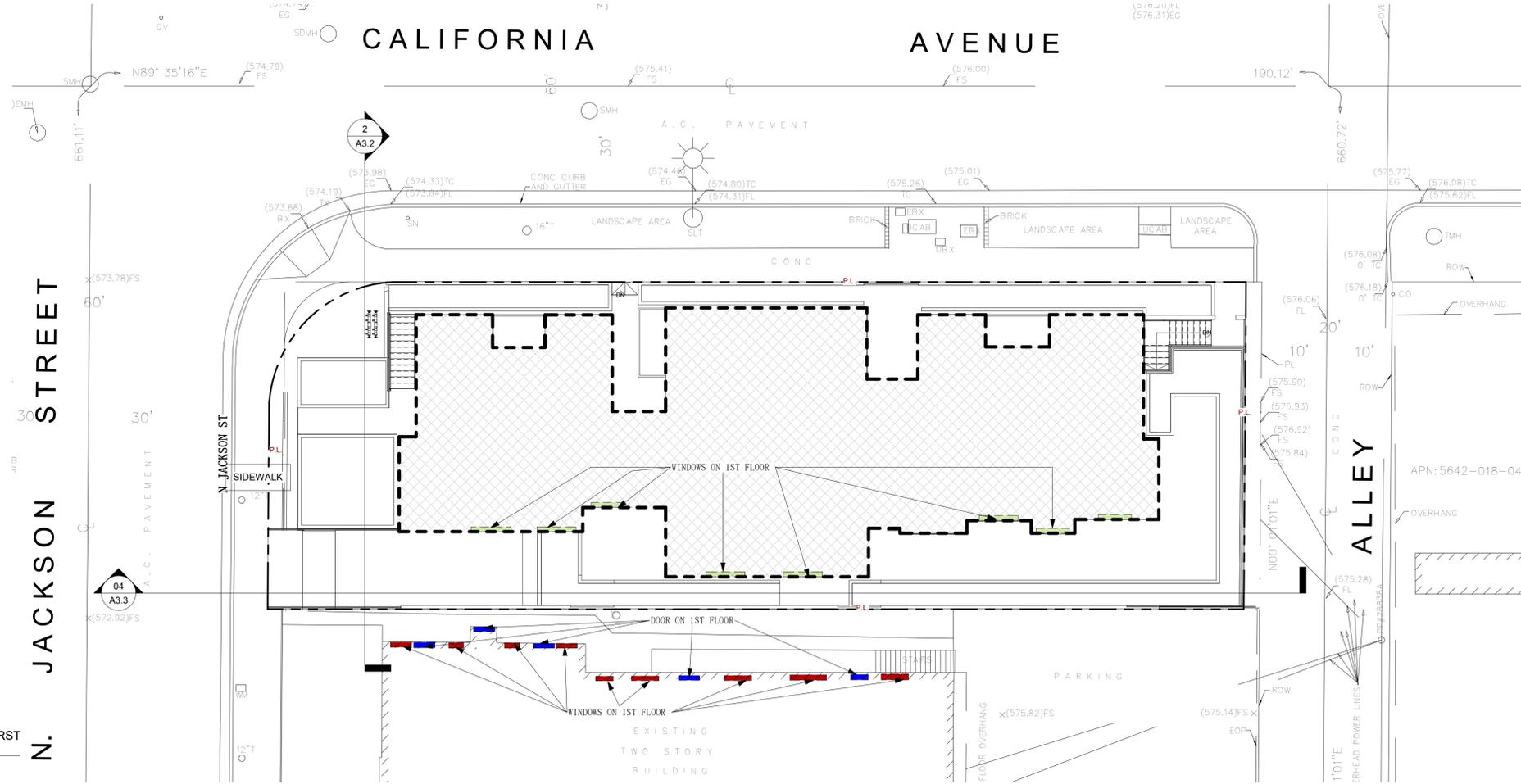
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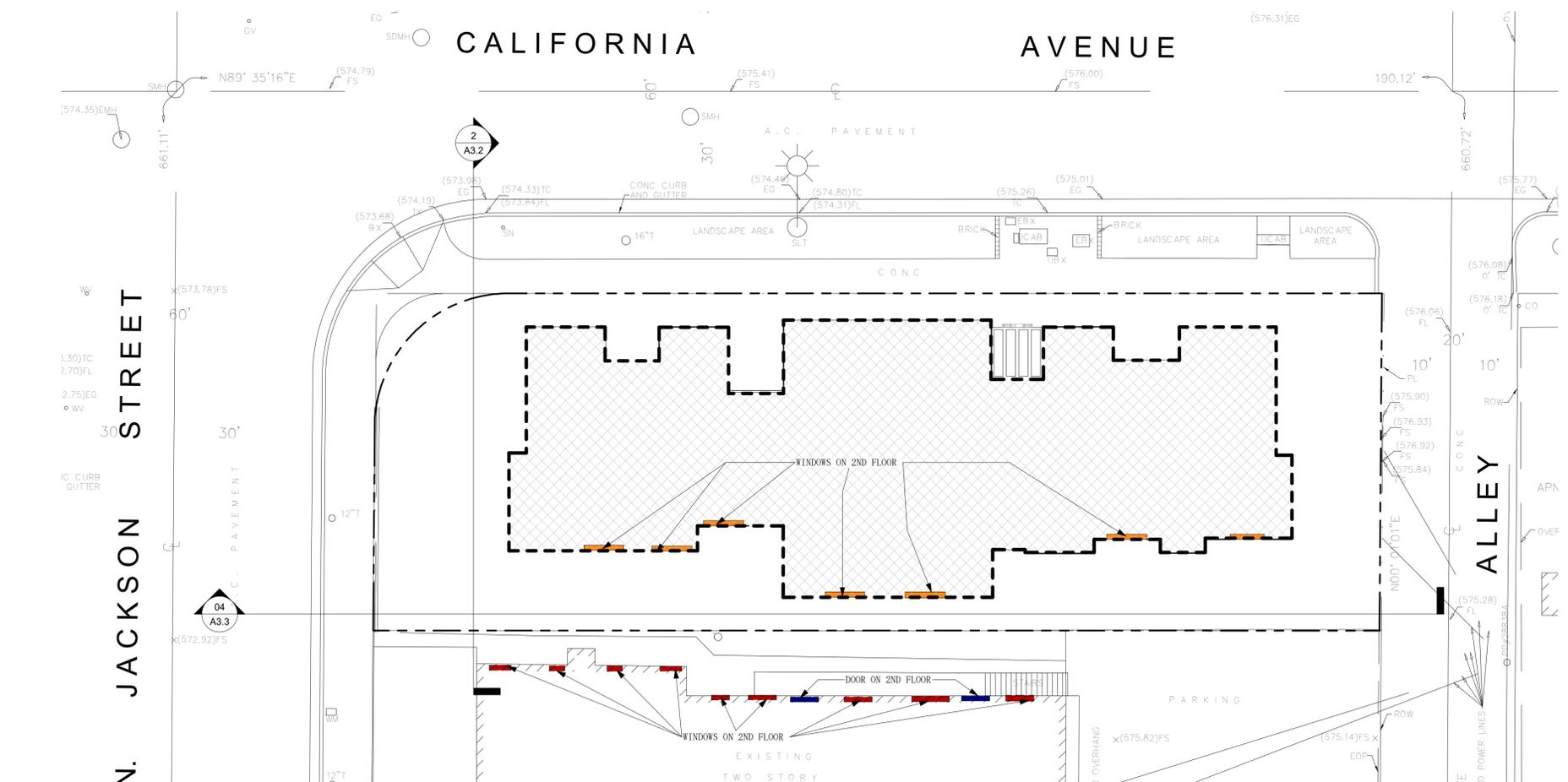
UTILITY NOTE

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A1.0



NEIGHBOR WINDOWS PRIVACY FIRST FLOOR
3/32" = 1'-0"



NEIGHBOR WINDOWS PRIVACY 2ND FLOOR
3/32" = 1'-0"

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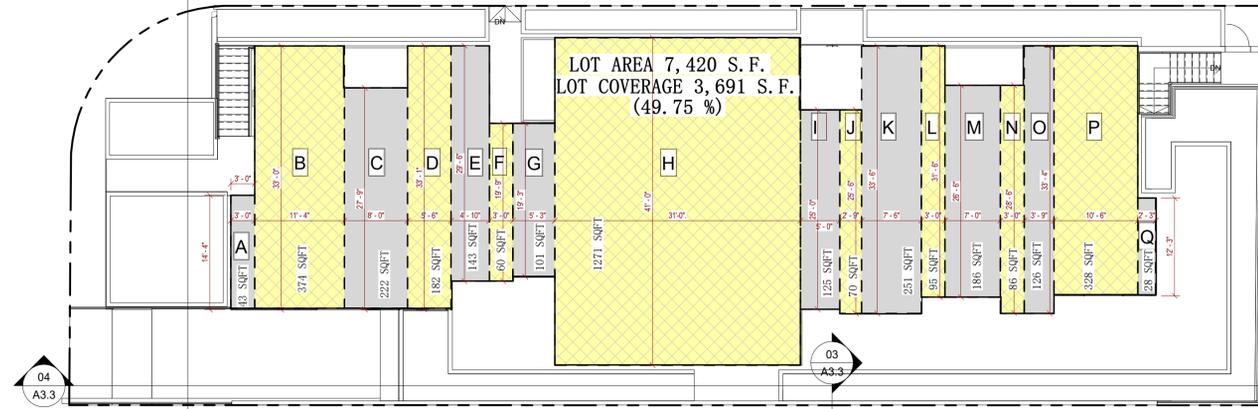
NEIGHBOR WINDOWS PRIVACY DIAGRAM

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3/32" = 1'-0"

A1.2

4/2/2022 3:49:35 PM



LOT COVERAGE

LOT COVERAGE CALCULATION:
 $3,691 / 7,420 = 49.75\%$ PROVIDED LOT COVERAGE < 50% MAXIMUM ALLOWABLE OF 3,710 S.F.

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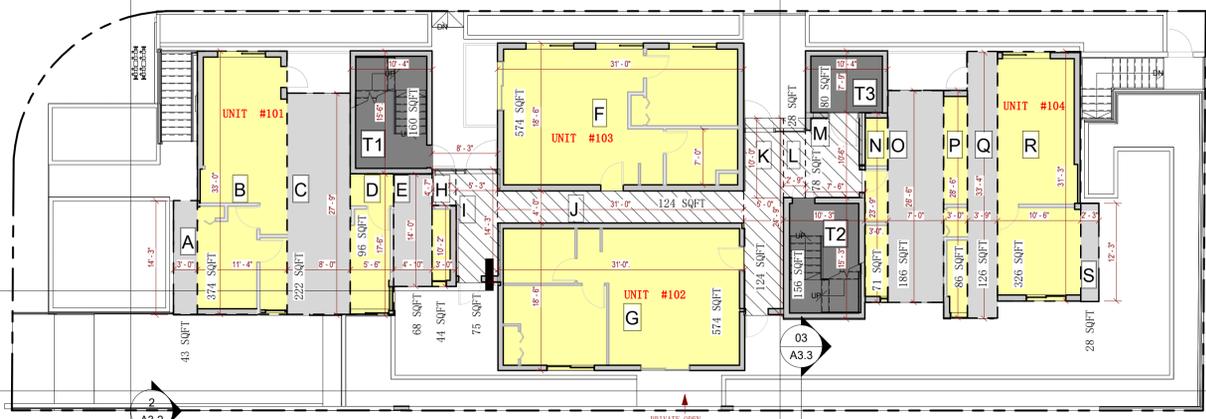
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ARCHITECT



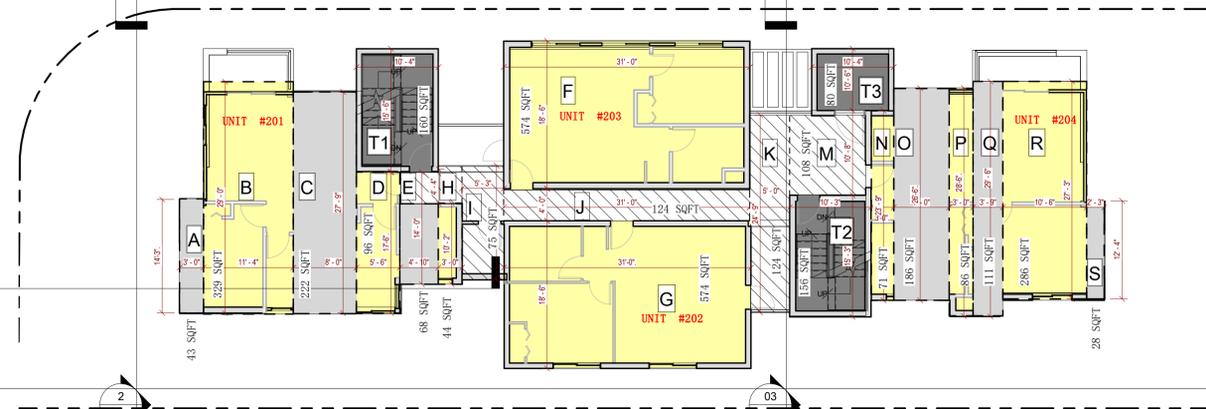
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 7136 Haskell Ave., #320
 Van Nuys, CA 91406
 Ph: 310-993 1220
 Email: farzin.maly@gmail.com

④ LOT COVERAGE Copy 1
 3/32" = 1'-0"



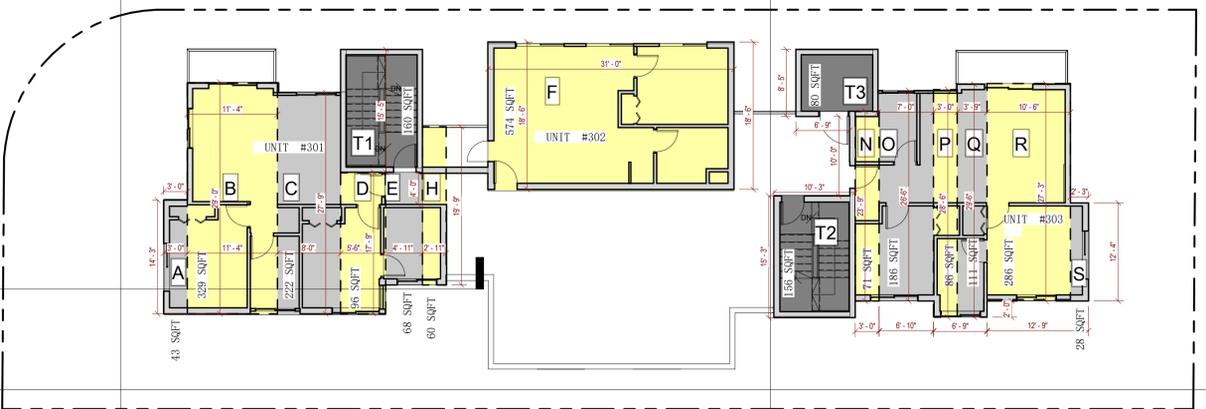
1ST FLOOR - FAR		
	UNIT NUMBER	AREA
	CORRIDOR	429 S.F.
	LIVABLE AREA WITH WALLS	2,818 S.F.
	ELEVATOR + STAIR	396 S.F.
	TOTAL	3,643 S.F.

① 1ST FLOOR - FAR
 3/32" = 1'-0"



2ND FLOOR - FAR		
	UNIT NUMBER	AREA
	CORRIDOR	431 S.F.
	LIVABLE AREA WITH WALLS	2,734 S.F.
	ELEVATOR + STAIR	396 S.F.
	TOTAL	3,561 S.F.

② 2ND FLOOR - FAR
 3/32" = 1'-0"



2ND FLOOR - FAR		
	UNIT NUMBER	AREA
	LIVABLE AREA WITH WALLS	2,160 S.F.
	ELEVATOR + STAIR	396 S.F.
	TOTAL	2,556 S.F.

③ 3RD FLOOR - FAR
 3/32" = 1'-0"

TOTAL F.A.R: 3,643 + 3,561 + 2,556 = 9,760 S.F.
FAR

MAX. ALLOWABLE FAR	PROPOSED FAR
1.2:1	
7,420 X 1.2 = 8,904 S.F.	9,760 : 7,420 = 1.32

PROVIDED FAR IS 856 S.F.
 MORE THAN THE REQUIRED FAR.



Seal/Signature

Jackson Apartment Building

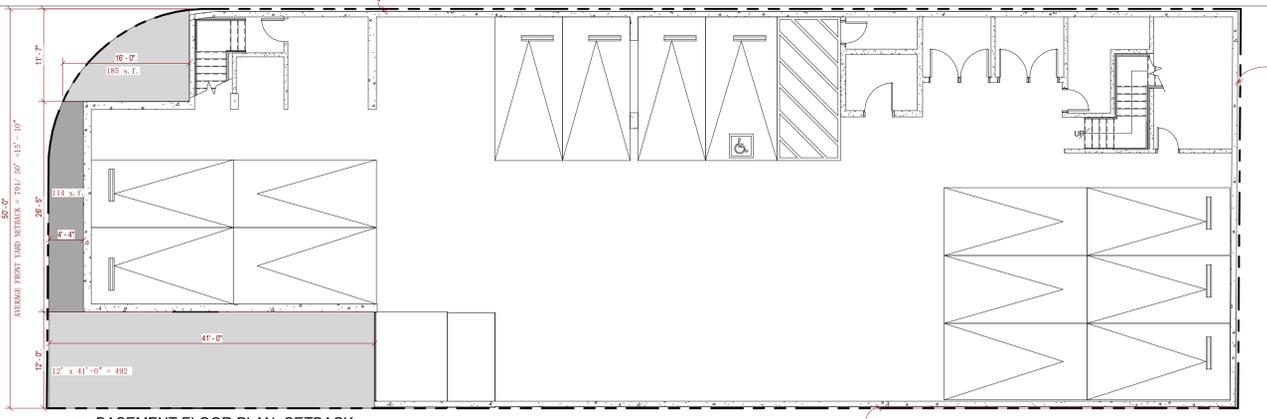
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FAR + LOT COVERAGE DIAGRAM

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3/32" = 1'-0"

A1.3



2 BASEMENT FLOOR PLAN- SETBACK
3/32" = 1'-0"

BASEMENT		
	REQUIRED	PROPOSED
FRONT SETBACK (WEST)	MIN: 20'	MIN: 4' - 4"
	AVG: 23'	AVG: 15' - 10"
STREET SIDE SETBACK (NORTH)	MIN: 5'	MIN: 0' - 4"
	AVG: 8'	AVG: 0' - 4"
INTERIOR SETBACK (SOUTH)	MIN: 0	MIN: 0' - 4"
REAR INTERIOR SETBACK (EAST)	MIN: 0	MIN: 0' - 4"
	AVG: 0	AVG: 0' - 4"

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ARCHITECT

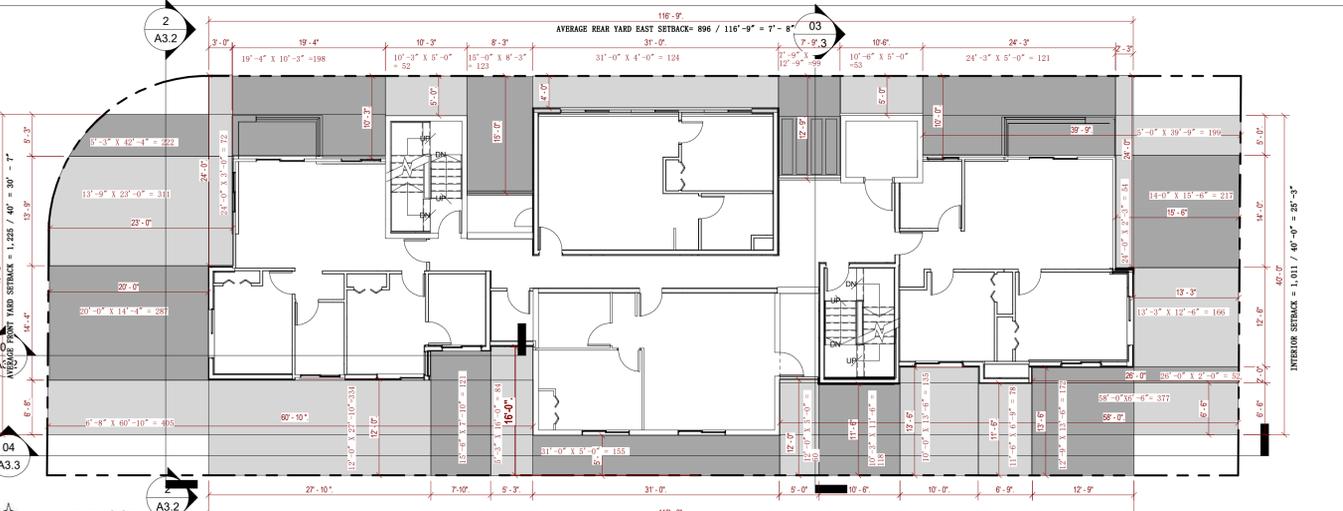


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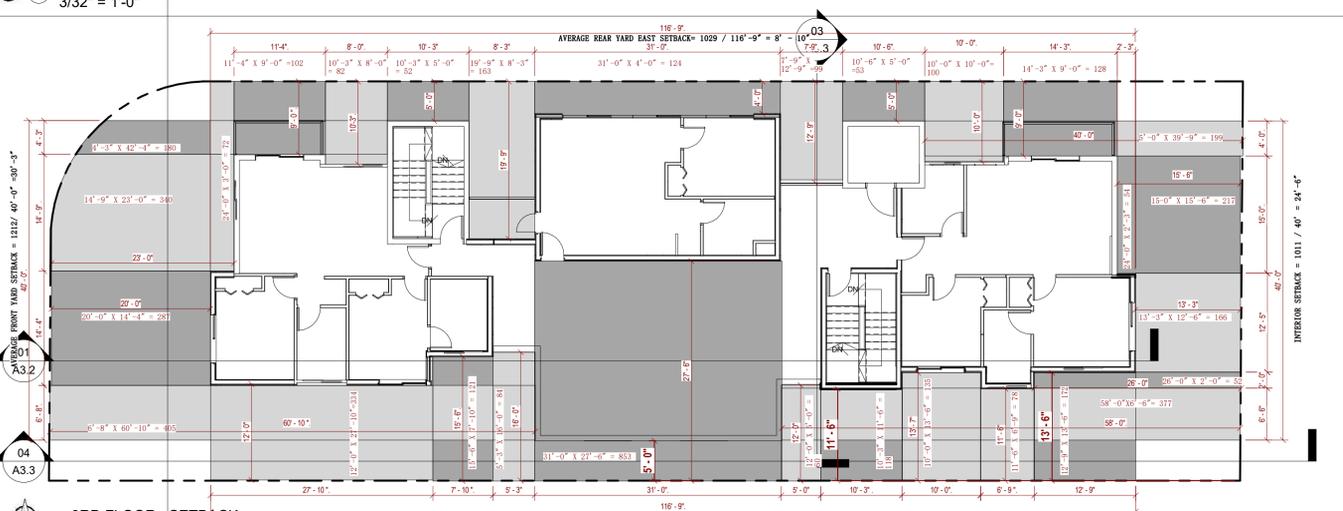
1 1ST FLOOR - SETBACK
3/32" = 1'-0"

1ST FLOOR		
	REQUIRED	PROPOSED
FRONT SETBACK (WEST)	MIN: 20'	MIN: 20'
	AVG: 23'	AVG: 28' - 3"
STREET SIDE SETBACK (NORTH)	MIN: 5'	MIN: 4'
	AVG: 8'	AVG: 8' - 1"
INTERIOR SETBACK (SOUTH)	MIN: 5'	MIN: 5'
REAR INTERIOR SETBACK (EAST)	MIN: 5'	MIN: 13' - 3"
	AVG: 8'	AVG: 22' - 3"



2 2ND FLOOR - SETBACK
3/32" = 1'-0"

2ND FLOOR		
	REQUIRED	PROPOSED
FRONT SETBACK (WEST)	MIN: 23'	MIN: 20'
	AVG: 28'	AVG: 30' - 7"
STREET SIDE SETBACK (NORTH)	MIN: 8'	MIN: 4' - 0"
	AVG: 11'	AVG: 7' - 8"
INTERIOR SETBACK (SOUTH)	MIN: 8'	MIN: 5'
REAR INTERIOR SETBACK (EAST)	MIN: 8'	MIN: 13' - 3"
	AVG: 11'	AVG: 25' - 3"



3 3RD FLOOR - SETBACK
3/32" = 1'-0"

3RD FLOOR		
	REQUIRED	PROPOSED
FRONT SETBACK (WEST)	MIN: 23'	MIN: 20'
	AVG: 26'	AVG: 30' - 3"
STREET SIDE SETBACK (NORTH)	MIN: 11'	MIN: 4' - 0"
	AVG: 14'	AVG: 8' - 10"
INTERIOR SETBACK (SOUTH)	MIN: 11'	MIN: 11' - 6"
REAR INTERIOR SETBACK (EAST)	MIN: 11'	MIN: 13' - 3"
	AVG: 14'	AVG: 24' - 6"



Seal/Signature

Jackson Apartment Building

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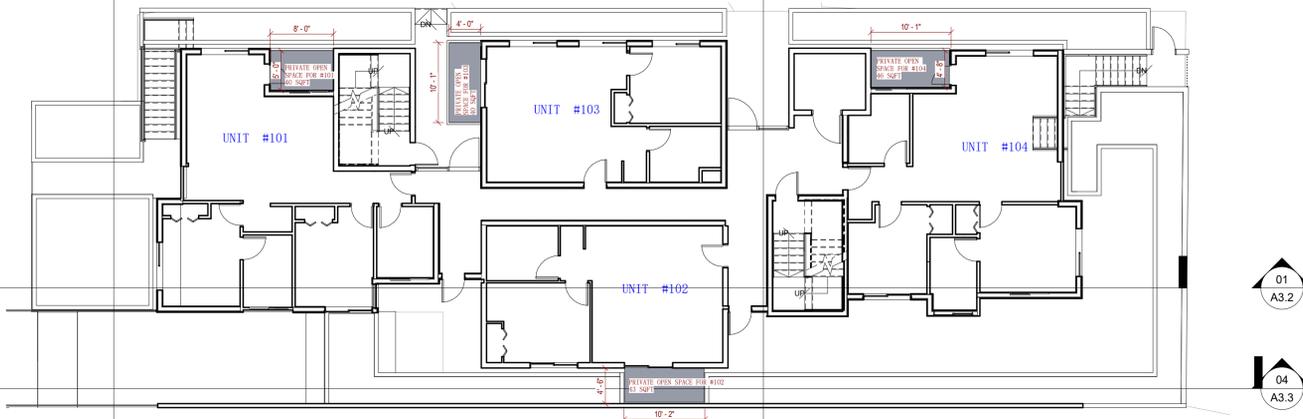
AVERAGE SETBACK CALCULATION DIAGRAM

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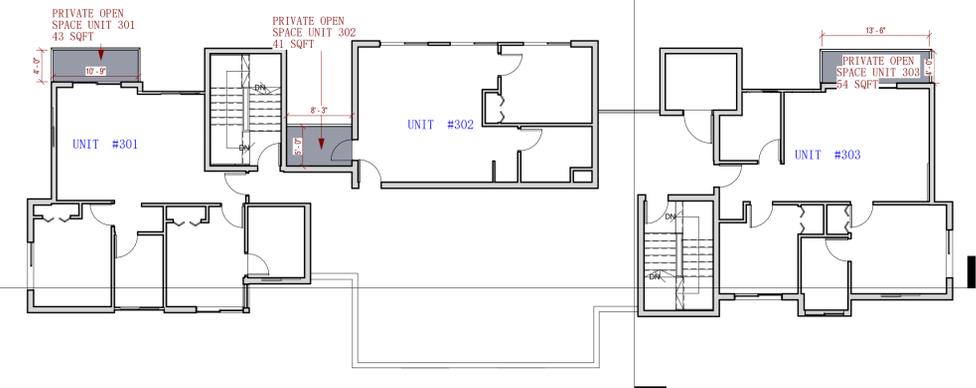
3/32" = 1'-0"

A1.4

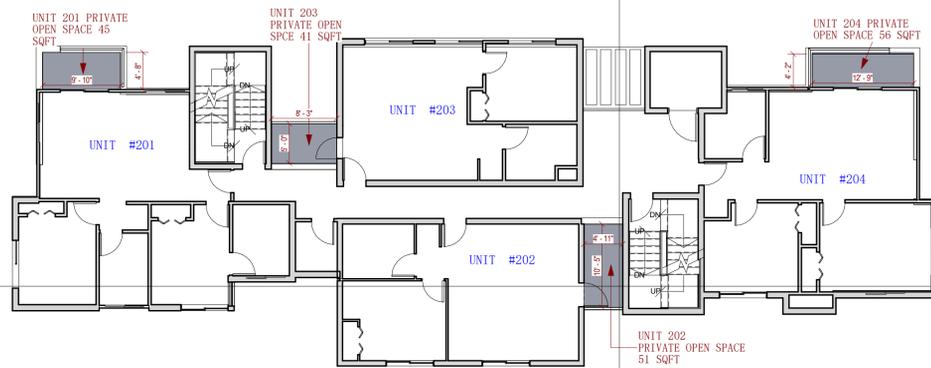
PRIVATE OPEN SPACE



1 1ST FLOOR PRIVATE OPEN SPACE
SCALE: 3/32" = 1'-0"



3 3RD FLOOR PRIVATE OPEN SPACE
SCALE: 3/32" = 1'-0"

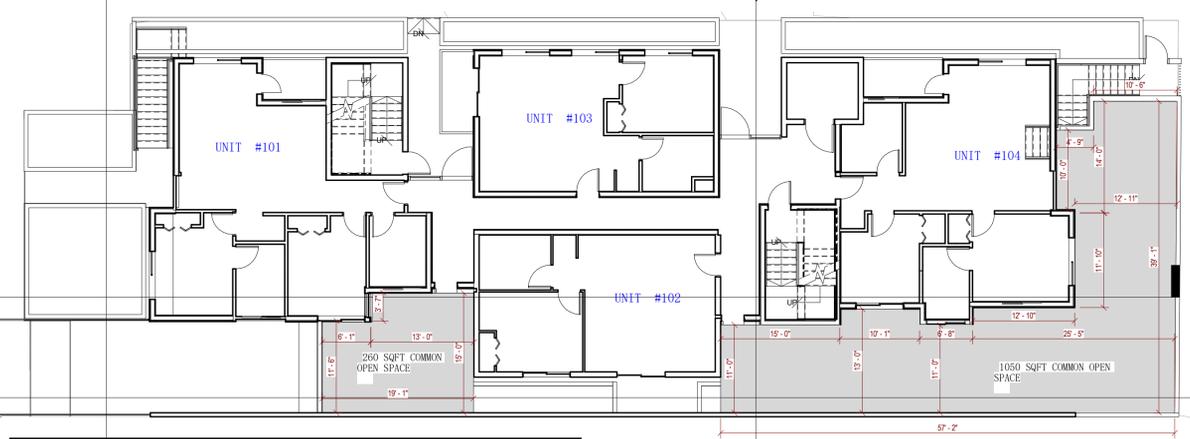


2 2ND FLOOR PRIVATE OPEN SPACE
SCALE: 3/32" = 1'-0"

PROVIDED PRIVATE OPEN SPACE	
UNIT #	PRIVAE OPEN SPACE S.F.
101	40
102	43
103	40
104	46
TOTAL IN 1ST FLOOR : 169 S.F.	
201	45
202	51
203	41
204	56
TOTAL IN 1ST FLOOR : 193 S.F.	
301	43
302	41
303	54
TOTAL IN 1ST FLOOR : 138 S.F.	
500 S.F. > 440 S.F.	

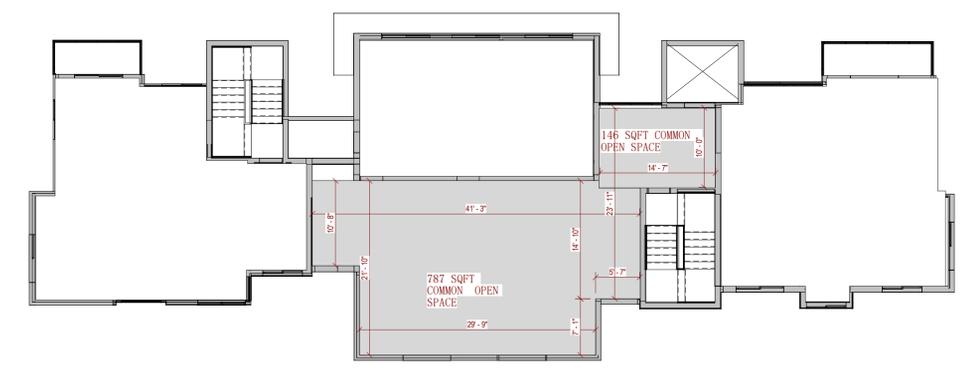
REQUIRED PRIVATE OPEN SPACE: 40 S.F. PER UNIT
 TOTOAL REQUIRED PRIVATE OPEN SPACE: 40 x 11 = 440 S.F.
 TOTOAL PROVIDED PRIVATE OPEN SPACE: 500 S.F. > 440 S.F.

COMMON OPEN SPACE



4 1ST FLOOR COMMON OPEN SPACE
SCALE: 3/32" = 1'-0"

REQUIRED COMMON OPEN SPACE: 200 S.F. PER Unit
 TOTAL REQUIRED COMMON OPEN SPACE: 200 x 11 = 2,200 S.F.
 TOTAL PROVIDED COMMON OPEN SPACE: 260+ 1050 + 787 + 146 = 2,243 S.F. > 2,200 S.F.



5 3RD FLOOR OPEN SPACE
SCALE: 3/32" = 1'-0"

PROJECT NAME/ LOGO

PROJECT ADDRESS:

246 N Jackson St, Glendale, CA 91206

CLIENT:
Artshar LLC

ARCHITECT



FARZIN MALY
 7136 Haskell Ave., #320
 Van Nuys, CA 91406
 Ph: 310-993 1220
 Email: farzin.maly@gmail.com



Seal/Signature

Jackson Apartment Building

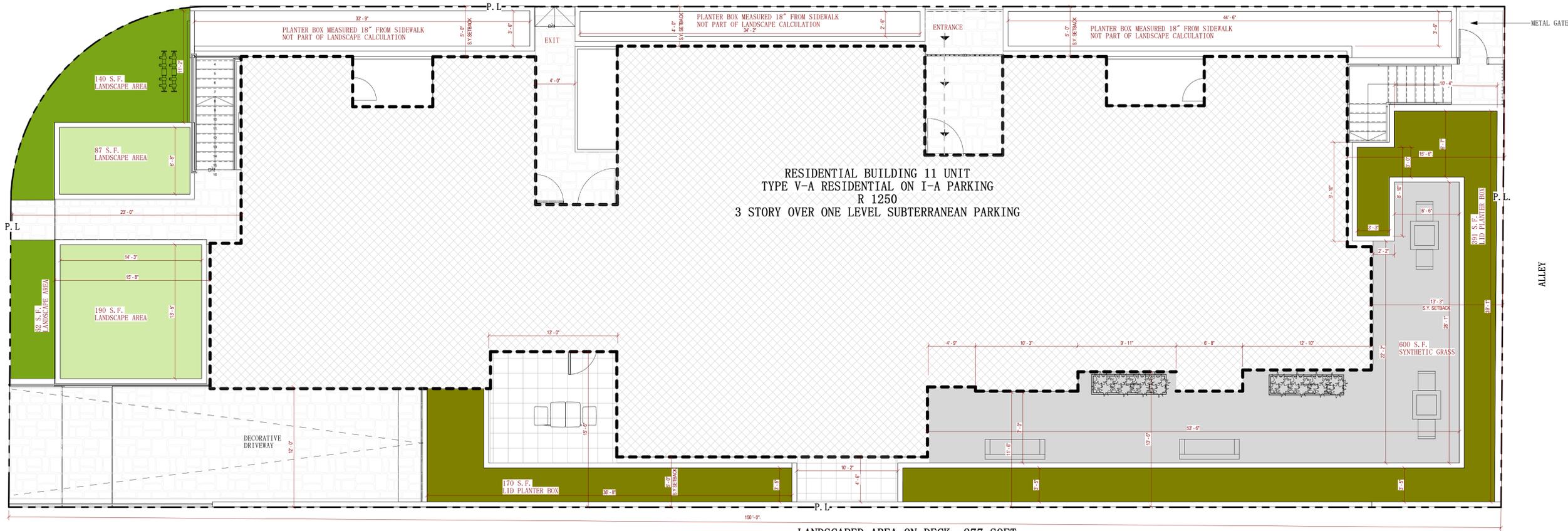
MF-20-006

PRIVATE + COMMON OPEN SPACE
CALCULATION DIAGRAM

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As indicated

A1.5



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246 N Jackson St, Glendale, CA 91206

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Artshar LLC

ARCHITECT



FARZIN MALY
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Ph: 310-993 1220
Email: farzin.maly@gmail.com

① 1ST FLOOR LANDSCAPED AREA
3/16" = 1'-0"

REQUIRED LANDSCAPED AREA:
7,420 X 25%=1,855 SQFT

277 SQFT LANDSCAPE AREA ON DECK+561 SQFT LID PLANTER BOXES+192 SQFT ON-GRADE LANDSCAPING+832 SQFT SYNTHETIC GRASS
= PROVIDED 1,862 SQFT > REQUIRED 1,855 SQFT

- LANDSCAPED AREA ON DECK =277 SQFT
PLANTERS TO MEET CITY OF GLENDALE CODES
(MIN 24" DEEP)
- LID PLANTER BOXES ON DECK =561 SQFT
(MIN 30" DEEP)
- LANDSCAPED AREA ON GRADE=192 SQFT
- SYNTHETIC GRASS=832 SQFT
- ENHANCED PAVING SEE L-1 FOR SPECIFICATION
- NATURAL COLOR CONCRETE WALK

SEE LANDSCAPE PACKAGE SHEET L-2 WALL LEGEND FOR PLANTER HEIGHT AND DETAILS
SEE LANDSCAPE PACKAGE FOR THE COMMON OPEN SPACE AMENITIES



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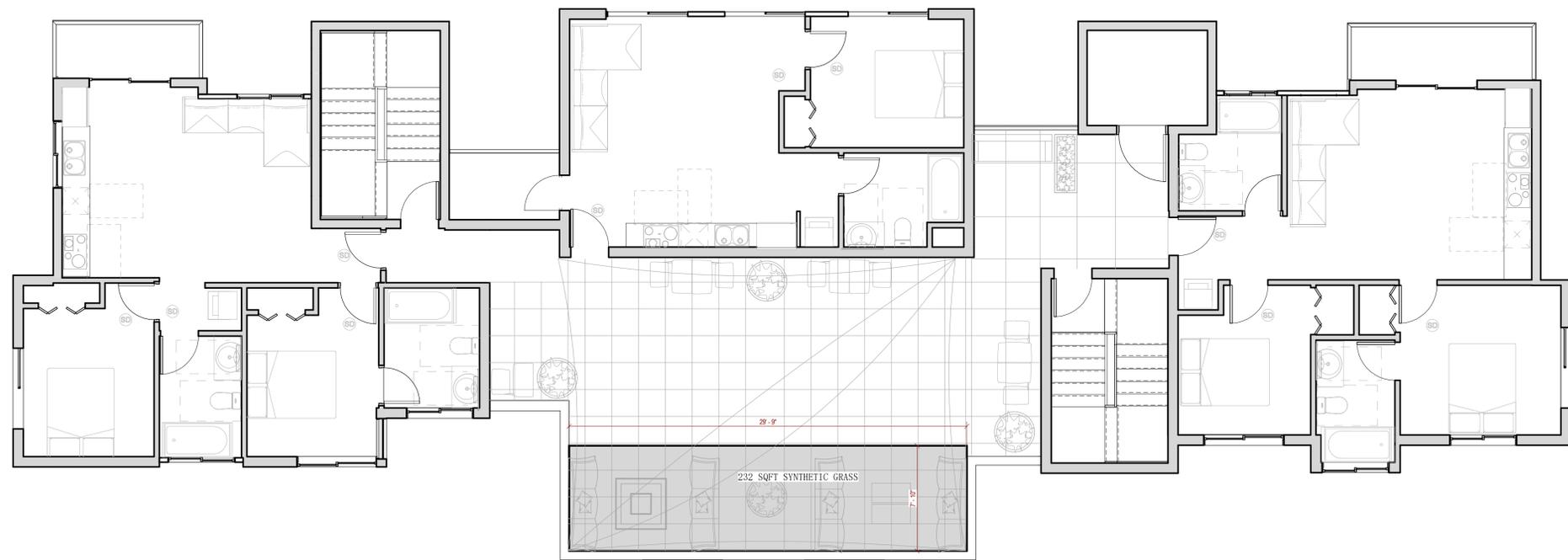
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LANDSCAPE AREA CALCULATION

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3/16" = 1'-0"

② 2ND FLOOR PLAN LANDSCAPED AREA
3/16" = 1'-0"

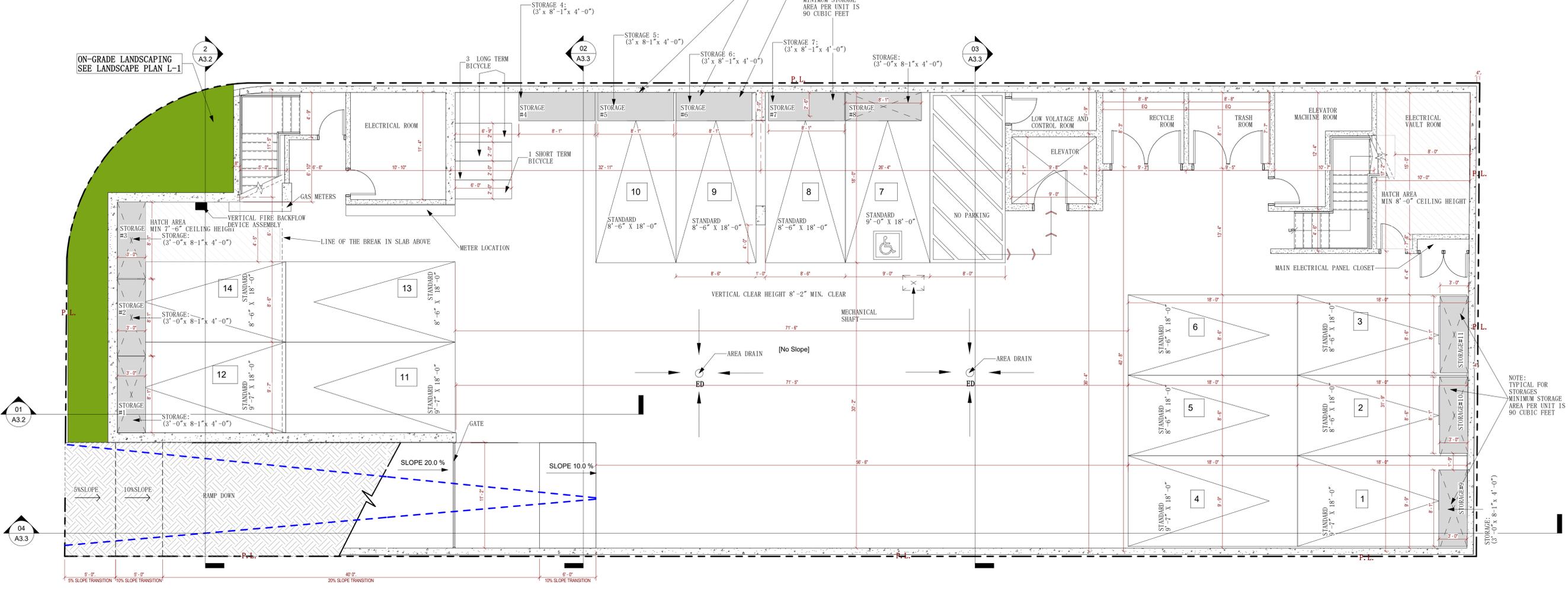


A1.7

**TYPE IA
CONSTRUCTION BASEMENT LEVEL**

EVC A MINIMUM 1" (INSIDE DIAMETER) LISTED RASE WAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT.

NOTE: TYPICAL FOR STORAGES MINIMUM STORAGE AREA PER UNIT IS 90 CUBIC FEET



0 BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

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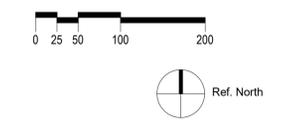


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BASEMENT FLOOR

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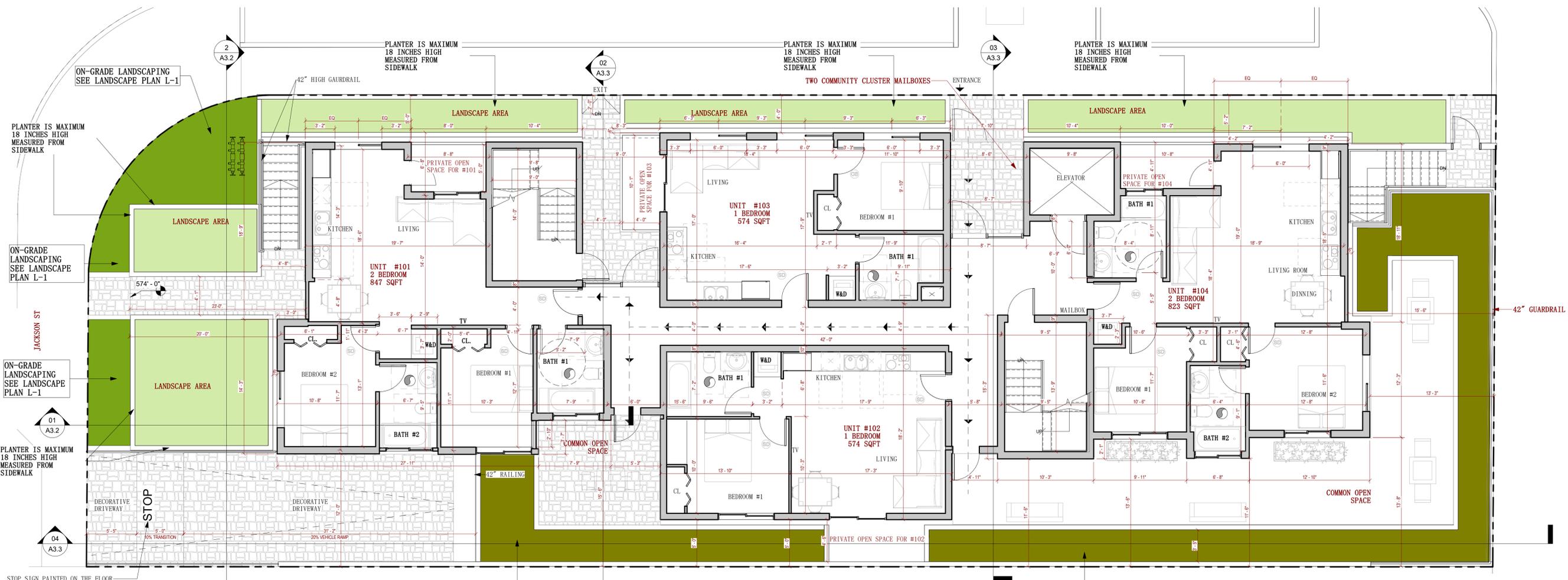
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- INTERIOR ENVIRONMENT**
- PROVIDE STAIRWAY ILLUMINATION. MIN. 1 FOOT-CANDLE AT TREAD RUNS. (1205.4)
- INDICATE ON PLANS THAT INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803.
- SPECIFY THE CLASSIFICATIONS PER TABLE 803.11 AND SECTION 803.1.
- CLEARLY INDICATE ON THE PLANS
- ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A PC/STR/CORR. LST. 18 (REV. 11/02/17) WWW.LADBS.ORG PAGE 15 OF 19
- MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 SQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 72 INCHES ABOVE THE SHOWER DRAIN INLET. (1210.2.3, LAPC 411.7)
- TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW WITH AN AREA NOT LESS THAN 3 SQUARE FEET OR A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 SQUARE INCHES ADDITIONAL OF AREA FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEM SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1178, C1288 OR C1325 SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.
- WATER-RESISTANCE GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS: SECTION 2509.2
- A. OVER A VAPOR RETARDER.
- B. IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWER ROOMS
- C. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES O.C. FOR 1/2 INCH THICK AND MORE THAN 16 INCHES O.C. FOR 5/8 INCH THICK.
1. WALL LIGHT FIXTURE (SELECTED BY OWNER)
 2. FACIAL MIRROR
 3. LAVATORY & FAUCET
 4. COUNTERTOP SPLASH & RETURN) GRANIT FIN. - TO BE SELECTED)
 5. REMOVABLE UNDER COUNTER BASE CABINET & TOE BASE (TYP. TO ALL ADAPTABLE BATHROOMS AND UNIT KITCHEN (2'-6" MIN. WHEN CABINET DOORS ARE 90° OPEN)
 6. MDP
 7. BACKING AS REQUIRED (TYPICAL)
 8. BATHTUB / SHOWER (ONE PICE FIBERGLASS)
 9. LASCO BATHWARE - 2603 - SMT6 (INCLUDES SHOWER FIXTURES, GRAB BARS, CURTAIN, ROD & ASSEMBLIES, SHOWER SEAT)
 9. 5/8" GYPSUM WALLBOARD
 10. SEMI GLASS PAINT

LEGEND:

- ACCESSIBLE PATH OF TRAVEL
- 2x STUD WALL @ 16" O.C., REFER TO STRUCTURAL
- 8" "CMU" WALL, REFER TO STRUCTURAL
- 2-HOUR FIRE RATED WALL
- 1-HOUR FIRE RATED WALL
- CONCRETE COLUMN / WALL. SEE STRUCTURAL.
- 2x6 @ 16" O.C. PLUMBING WALL (NO SHEAR VALUE) REINFORCED TO SUIT GRAB BAR
- EXIT** ILLUMINATED EXIT SIGN WITH DIRECTION ARROW EXIT SIGN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- CLASS ONE STAND PIPE
- WATER CURTAIN
- THERMOSTAT
- EXHAUST FAN
FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. IF FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.



PROJECT NAME/ LOGO

PROJECT ADDRESS:
246 N Jackson St, Glendale, CA 91206

CLIENT
Artshar LLC

ARCHITECT



FARZIN MALY
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Van Nuys, CA 91406
Ph: 310-993 1220
Email: farzin.maly@gmail.com



Seal/Signature

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MF-20-006

FIRST FLOOR PLAN

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3/16" = 1'-0"

A2.2

8/5/2022 4:17:51 PM

1 1ST FLOOR PLAN

SCALE: 3/16" = 1'-0"

- INTERIOR ENVIRONMENT**
- PROVIDE STAIRWAY ILLUMINATION. MIN. 1 FOOT-CANDLE AT TREAD RUNS. 4(1205.4)
- INDICATE ON PLANS THAT INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.11 AND SECTION 803.1. CLEARLY INDICATE ON THE PLANS
- ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A PC/STR/CORR. LST. 18 (REV. 11/02/17) WWW.LADBS.ORG PAGE 15 OF 115 OF 19 MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 SQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 72 INCHES ABOVE THE SHOWER DRAIN INLET. (1210.2(1210.2.3, LAPC 411.7)
- TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW WITH AN AREA NOT LESS THAN 3 SQUARE FEET OR A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 SQUARE INCHES ADDITIONAL AREA FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEM SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- CEMENT, CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1178, C1288 OR C1325 SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. WATER-RESISTANT GYPSUM BOARD SHALL BE USED AS A BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH CA-216 OR ASTM C840. REGULAR GYPSUM BOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH CA-216 OR ASTM C840. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS: SECTION 2509.2
- A. OVER A VAPOR RETARDER.
B. IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWER ROOMS
C. ON CEILING WHERE FRAME SPACING EXCEEDS 12 INCHES O.C. FOR 1/2 INCH THICK AND MORE THAN 16 INCHES O.C. FOR 5/8 INCH THICK.
1. WALL LIGHT FIXTURE (SELECTED BY OWNER)
 2. WALL FACIAL MIRROR (SELECTED BY OWNER)
 3. LAVATORY & FAUCET
 4. COUNTERTOP SPLASH & RETURN GRANIT FIN. - TO BE SELECTED
 5. LAV. REMOVABLE UNDER COUNTER BASE CABINET & TOE BASE (TYP. TO ALL ADAPTABLE BATHROOMS AND UNIT KITCHEN (2'-6"
 6. COMMON CABINET DOORS ARE 90° OPEN) FIN. - TO BE SELECTED
 7. REMOVABLE UNDER COUNTER BASE CABINET & TOE BASE (TYP. TO ALL ADAPTABLE BATHROOMS AND UNIT KITCHEN (2'-6" AND UNIT KITCHEN (2'-6" NET DOORS ARE 90° OPEN)
 8. BATH TUB / SHOWER (ONE PIECE FIBERGLASS) NET DOORS ARE 90° OPEN
 9. MASCOT BATHWARE - 2603 - SMTE
 10. BATHWARE (INCLUDES SHOWER FIXTURES, GRAB BARS, CURTAIN, ROD & ASSEMBLIES, SHOWER SEAT)
 11. 5/8" GYPSUM WALLBOARD
 12. SEMI GLASS PAINT
 13. MASCOT BATHWARE - 2603 - SMTE
 14. BATHWARE (INCLUDES SHOWER FIXTURES, GRAB BARS, CURTAIN, ROD & ASSEMBLIES, SHOWER SEAT)
 15. 5/8" GYPSUM WALLBOARD
 16. SEMI GLASS PAINT

LEGEND:

- ACCESSIBLE PATH OF TRAVEL
- 2x STUD WALL @ 16" O.C., REFER TO STRUCTURAL
- 8" CMU WALL, REFER TO STRUCTURAL
- 2-HOUR FIRE RATED WALL
- 1-HOUR FIRE RATED WALL
- CONCRETE COLUMN / WALL. SEE STRUCTURAL.
- 2x6 @ 16" O.C. PLUMBING WALL (NO SHEAR VALUE) REINFORCED TO SUIT GRAB BAR
- EXIT: ILLUMINATED EXIT SIGN WITH DIRECTION ARROW EXIT SIGN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- CLASS ONE STAND PIPE
- WATER CURTAIN
- THERMOSTAT
- EXHAUST FAN: FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. IF FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

PROJECT NAME/ LOGO

PROJECT ADDRESS:

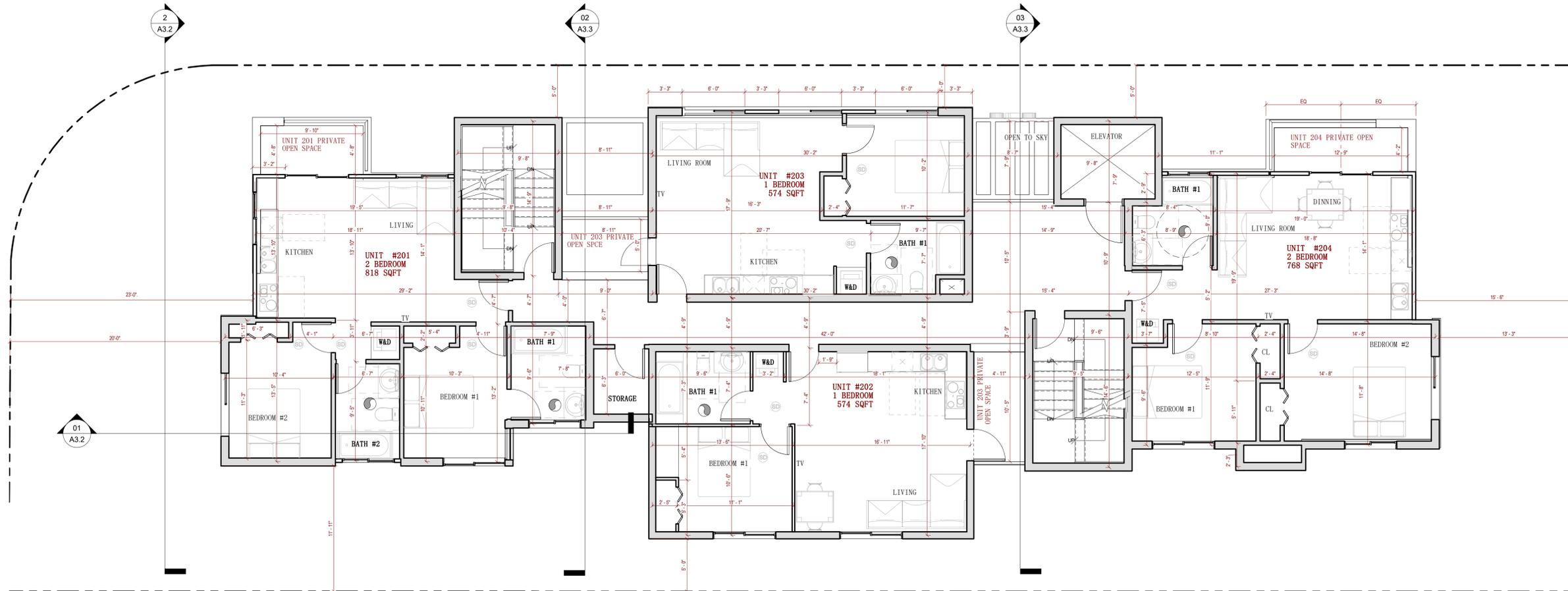
246 N Jackson St, Glendale, CA 91206

CLIENT
Artshar LLC

ARCHITECT

MALY ARCHITECTS INC.

FARZIN MALY
7136 Haskell Ave., #320
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Ph: 310-993 1220
Email: farzin.maly@gmail.com



2 2ND FLOOR PLAN
SCALE: 3/16" = 1'-0"



Seal/Signature

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MF-20-006

SECOND FLOOR PLAN

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3/16" = 1'-0"



A2.3

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INTERIOR ENVIRONMENT

PROVIDE STAIRWAY ILLUMINATION. MIN. 1 FOOT-CANDLE AT TREAD RUNS. (1205.4)

INDICATE ON PLANS THAT INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.11 AND SECTION 803.1. CLEARLY INDICATE ON THE PLANS

ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A PC/STR/CORR.LST.18 (REV. 11/02/17) WWW.LADBS.ORG PAGE 15 OF 19 MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 SQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 72 INCHES ABOVE THE SHOWER DRAIN INLET. (1210.2.3, LAPC 411.7)

TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW WITH AN AREA NOT LESS THAN 3 SQUARE FEET OR A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 SQUARE INCHES ADDITIONAL OF AREA FOR EACH ADDITIONAL WATER CLOSET. OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEM SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.

CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1178, C1288 OR C1325 SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.

WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS: SECTION 2609.2

A. OVER A VAPOR RETARDER.
B. IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWER ROOMS

C. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES O.C. FOR 1/2 INCH THICK AND MORE THAN 16 INCHES O.C. FOR 5/8 INCH THICK.

1. WALL LIGHT FIXTURE (SELECTED BY OWNER)
2. FACIAL MIRROR
3. LAVATORY & FAUCET
4. COUNTERTOP SPLASH & RETURN) GRANIT FIN. - TO BE SELECTED)
5. REMOABLE UNDER COUNTER BASE CABINET & TOE BASE (TYP. TO ALL ADAPTABLE BATHROOMS AND UNIT KITCHEN (2'-6" MIN. WHEN CABINET DOORS ARE 90' OPEN)
6. MDF
7. BATHING AS REQUIRED (TYPICAL)
8. BATHTUB / SHOWER (ONE PICE FIBERGLASS)
LASCO BATHWARE - 2603 - SMTE)
(INCLUDES SHOWER FIXTURES, GRAB BARS, CURTAIN, ROD & ASSEMBLIES, SHOWER SEAT)
9. 5/8" GYPSUM WALLBOARD
10. SEMI GLASS PAINT

LEGEND:



ACCESSIBLE PATH OF TRAVEL

2x STUD WALL @ 16" O.C., REFER TO STRUCTURAL



8" "CMU" WALL, REFER TO STRUCTURAL

2-HOUR FIRE RATED WALL

1-HOUR FIRE RATED WALL

CONCRETE COLUMN / WALL. SEE STRUCTURAL.

2x6 @ 16" O.C. PLUMBING WALL (NO SHEAR VALUE)
REINFORCED TO SUIT GRAB BAR



ILLUMINATED EXIT SIGN WITH DIRECTION ARROW EXIT SIGN



SMOKE DETECTOR



CARBON MONOXIDE DETECTOR



CLASS ONE STAND PIPE



WATER CURTAIN



THERMOSTAT



EXHAUST FAN

FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. II. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

PROJECT NAME/ LOGO

PROJECT ADDRESS:

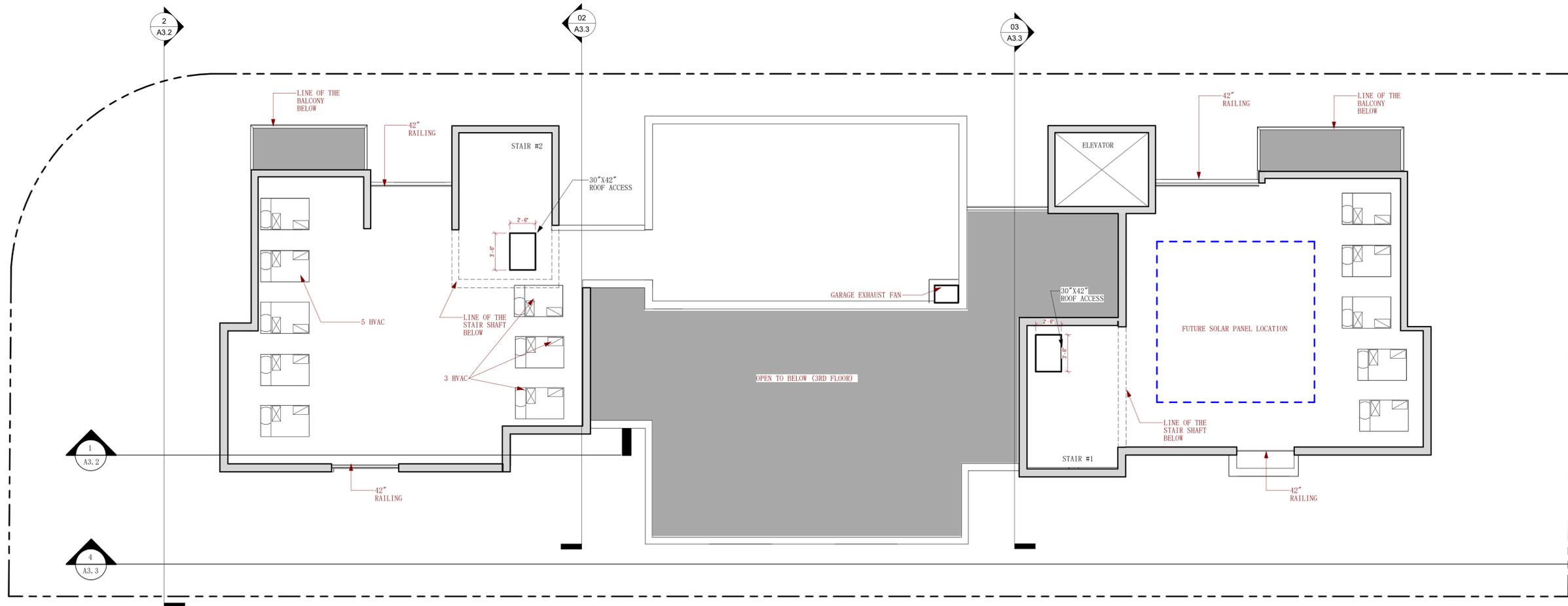
246 N Jackson St, Glendale, CA 91206

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4 ROOF PLAN.
SCALE: 3/16" = 1'-0"



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MF-20-006

ROOF PLAN

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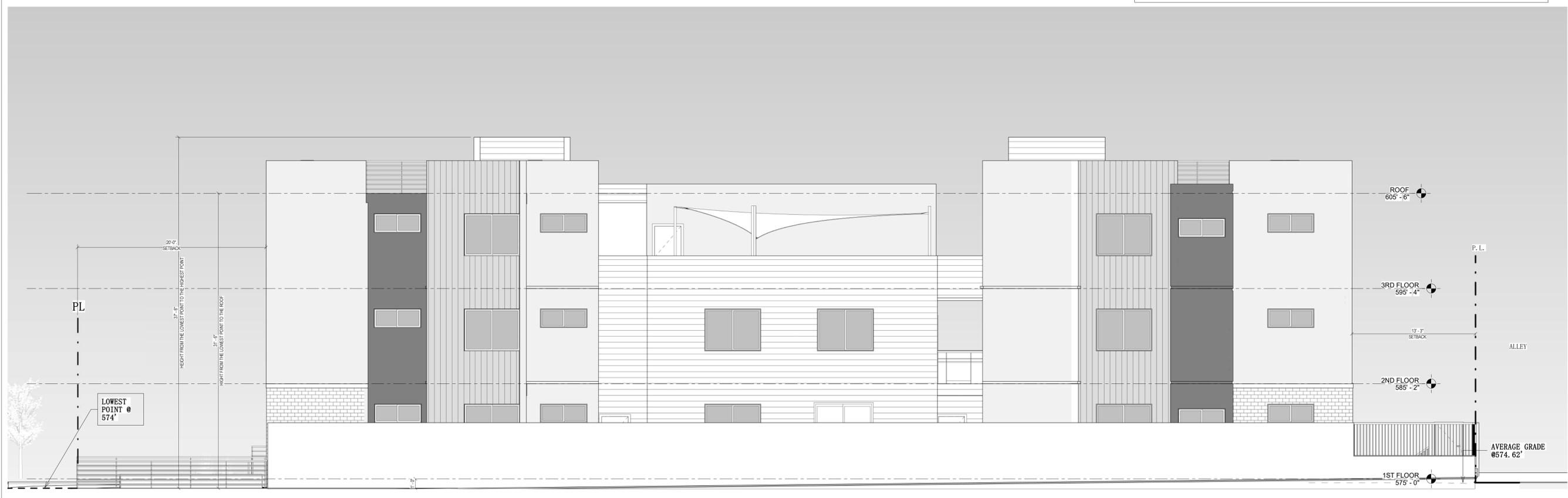
3/16" = 1'-0"

A2.5



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

NOTE:
ACTUAL COLORS VARY FROM MATERIAL BOARD
PLEASE SEE MATERIAL BOARD FOR EXACT MATERIALS AND COLORS
PLEASE SEE LANDSCAPE PLANS FOR LANDSCAPE AND PLANTER DETAILS



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NAME/ LOGO

PROJECT ADDRESS:
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ARCHITECT



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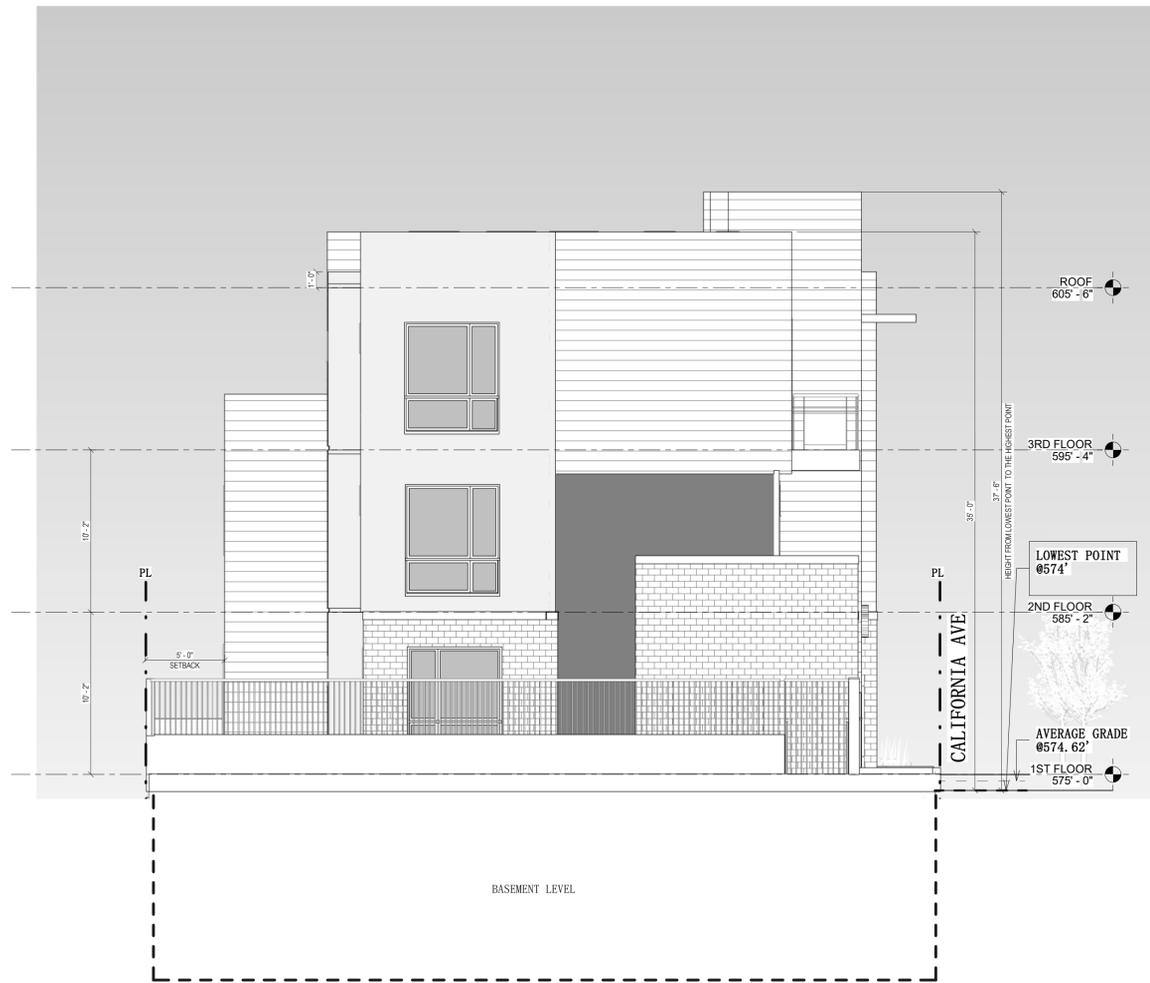
ELEVATIONS

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3/16" = 1'-0"

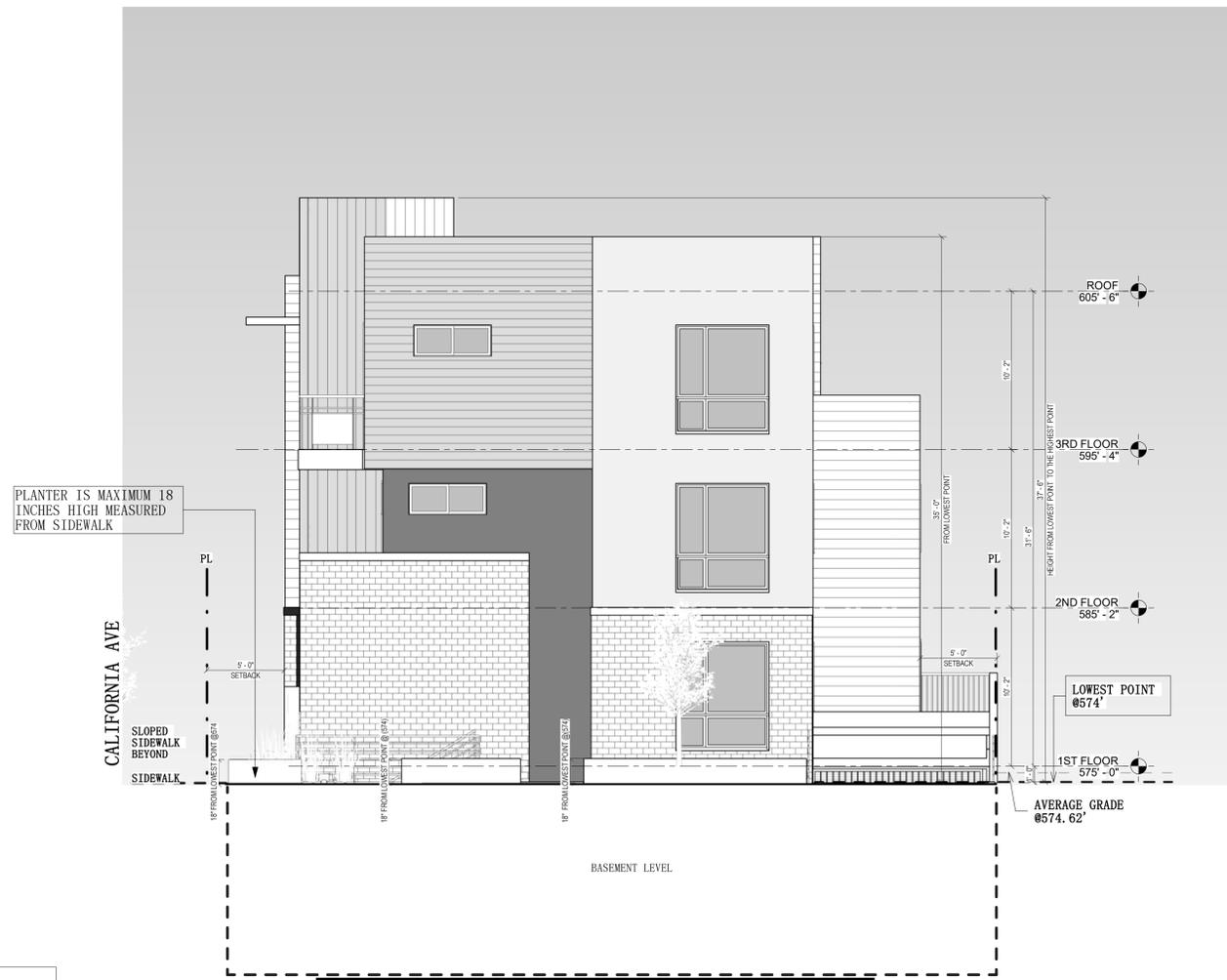
A3.1

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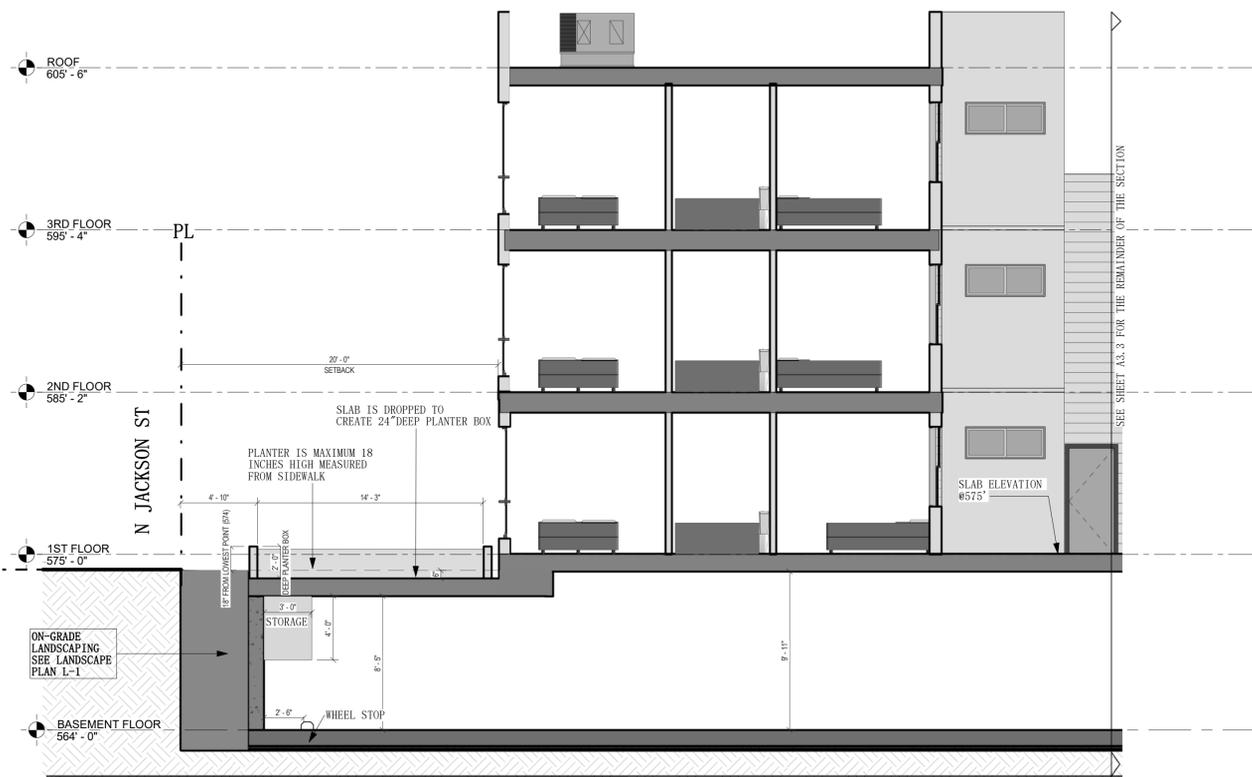


3 East Elevation
SCALE: 3/16" = 1'-0"

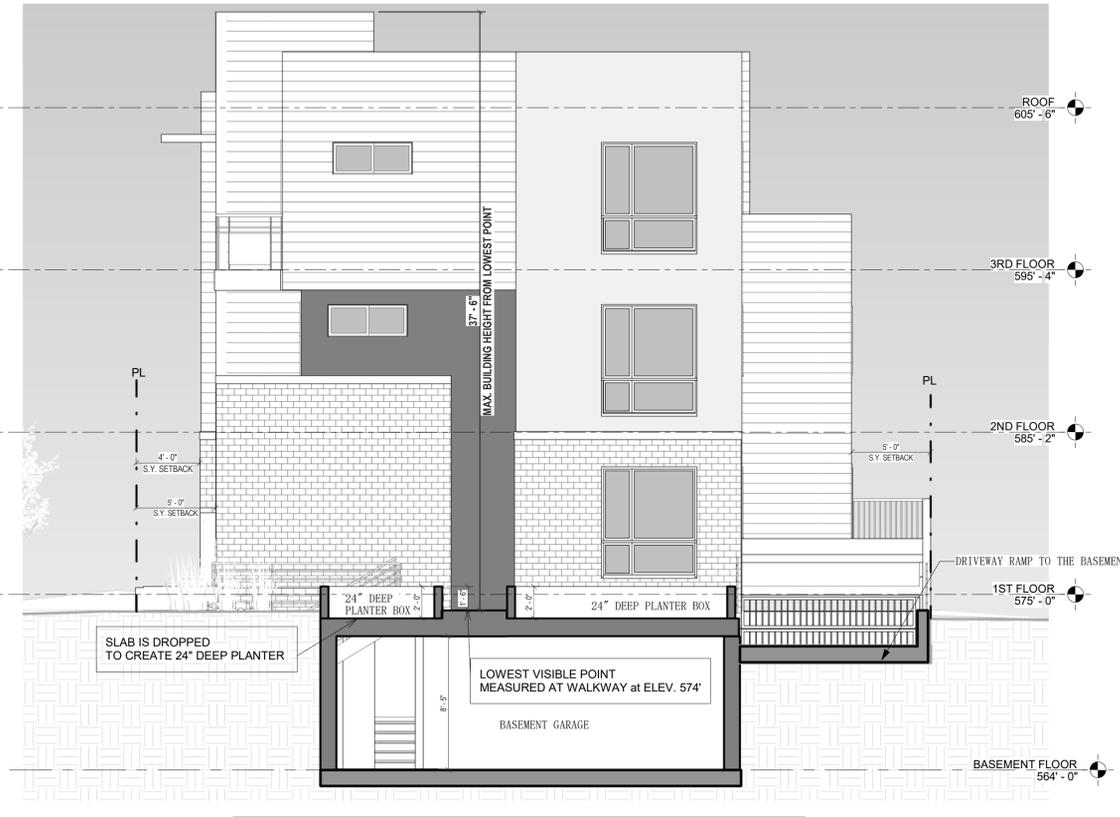
NOTE:
ACTUAL COLORS VARY FROM MATERIAL BOARD
PLEASE SEE MATERIAL BOARD FOR EXACT MATERIALS AND COLORS
PLEASE SEE LANDSCAPE PLANS FOR LANDSCAPE AND PLANTER DETAILS



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



01 Section 01
SCALE: 3/16" = 1'-0"



2 Section 1
SCALE: 3/16" = 1'-0"

PROJECT NAME/ LOGO

PROJECT ADDRESS:

246 N Jackson St, Glendale, CA 91206

CLIENT
Artshar LLC

ARCHITECT



FARZIN MALY
7136 Haskell Ave., #320
Van Nuys, CA 91406
Ph: 310-993 1220
Email: farzin.maly@gmail.com



Seal/Signature

Jackson Apartment Building

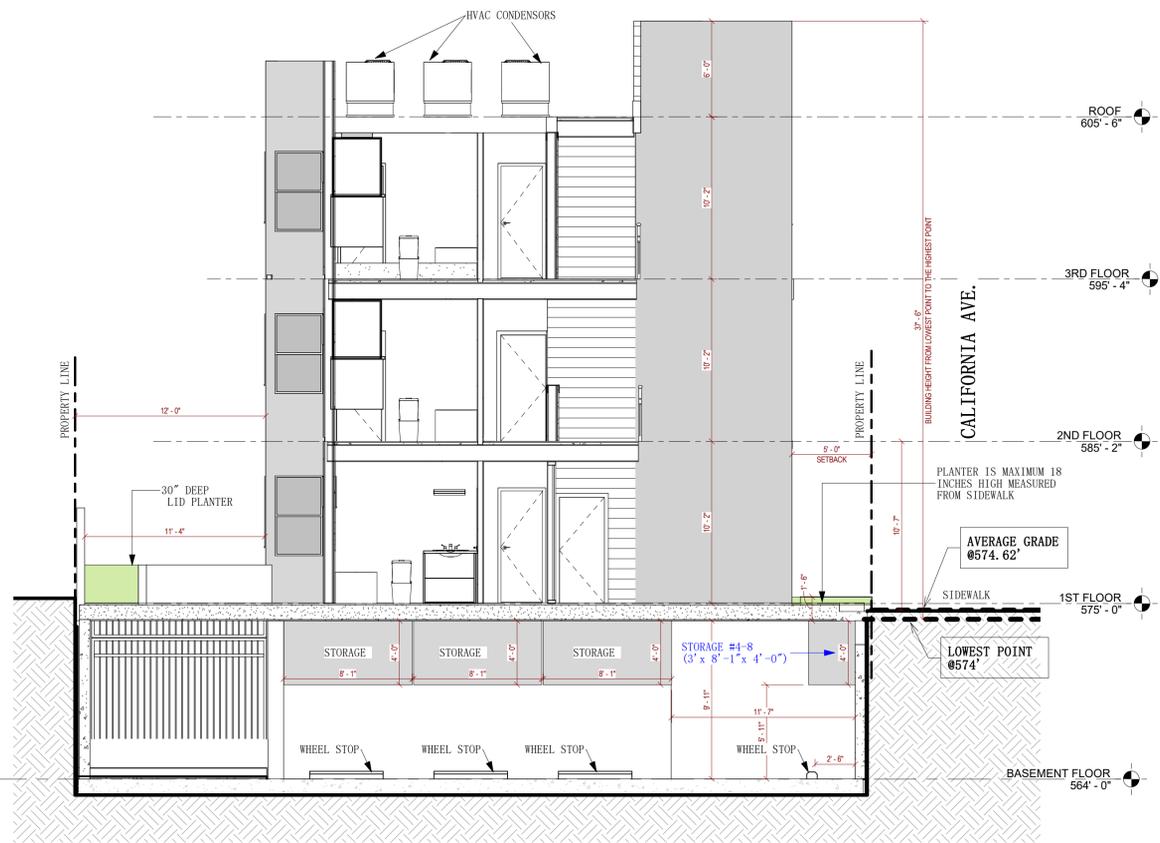
MF-20-006

ELEVATIONS & SECTION

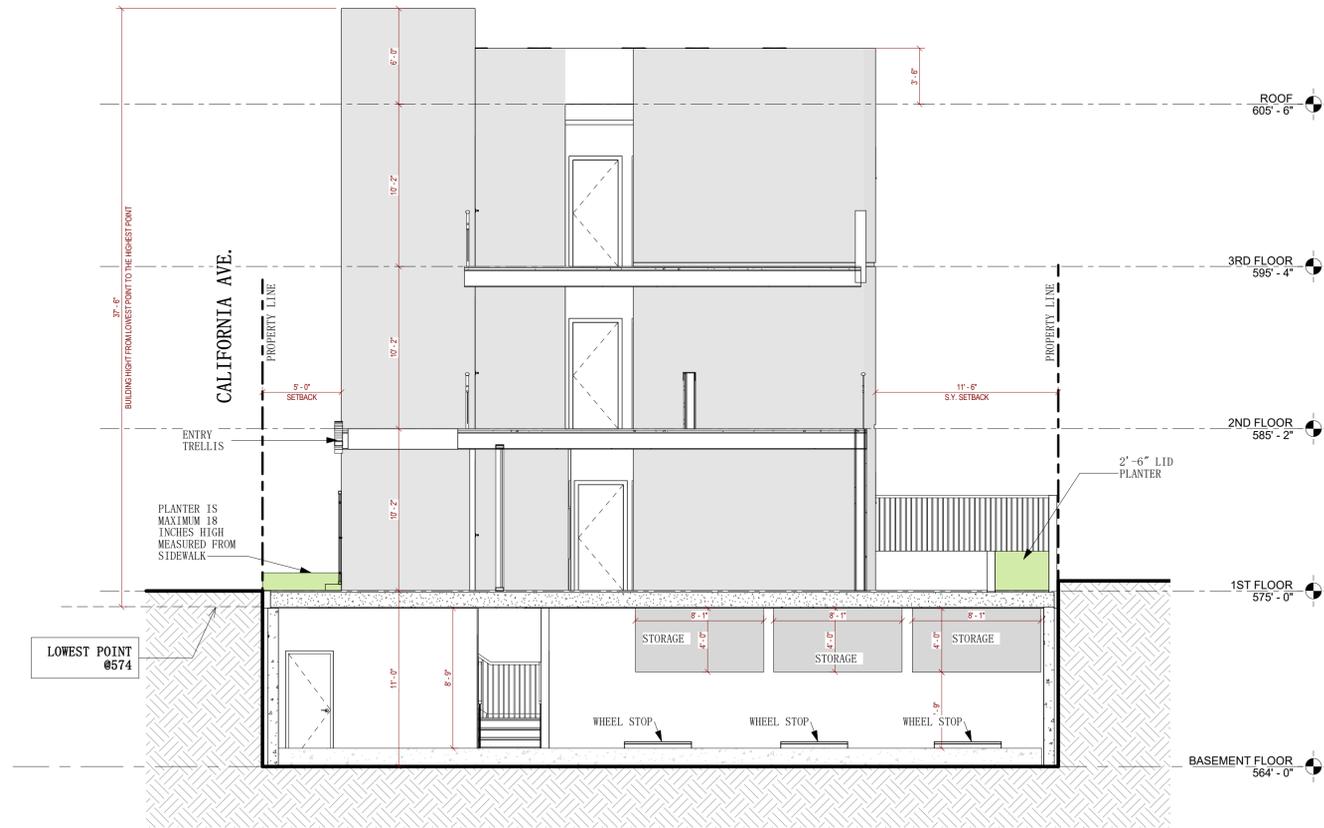
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3/16" = 1'-0"

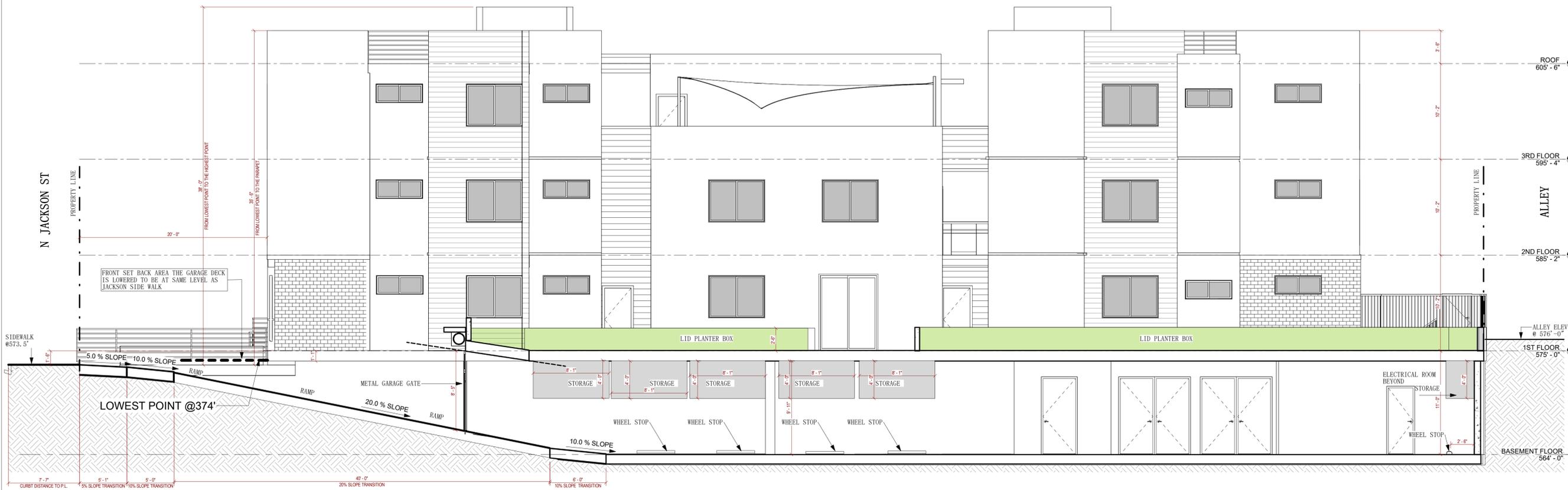
A3.2



02 Section 02
SCALE: 3/16" = 1'-0"



03 Section 03
SCALE: 3/16" = 1'-0"



04 Section 04
SCALE: 3/16" = 1'-0"

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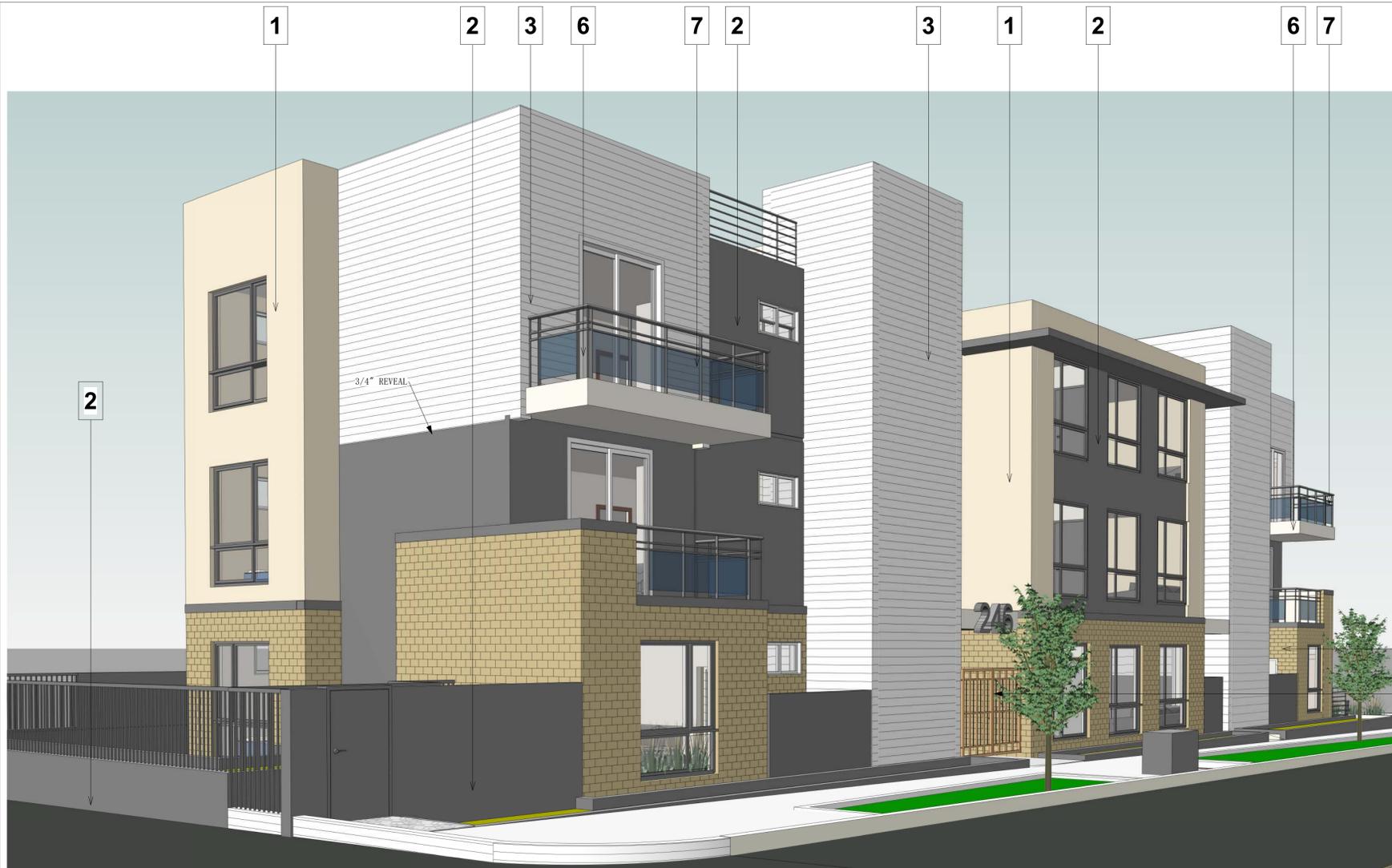
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SECTION

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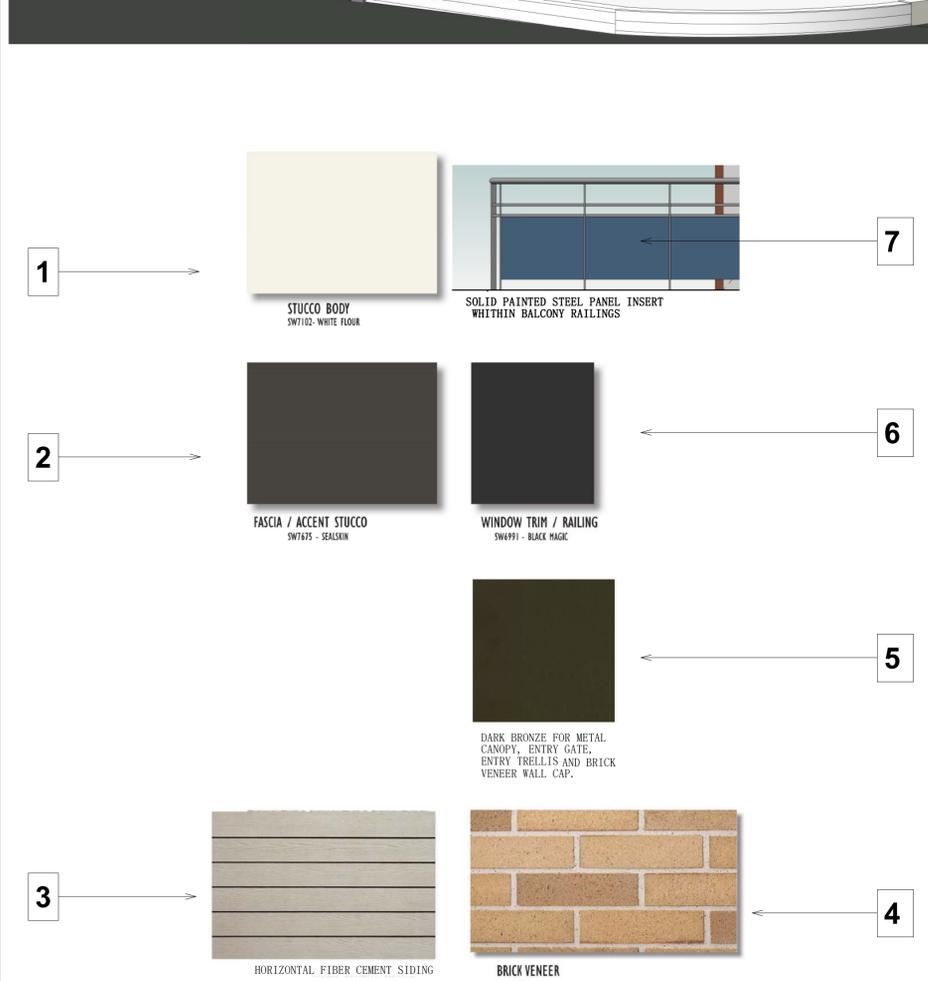
3/16" = 1'-0"

A3.3



NOTE:
 MODEL FOR MASSING PURPOSES ONLY
 ACTUAL COLORS VARY FORM MATERIAL BOARD
 PLEASE SEE MATERIAL BOARD FOR EXACT MATERIALS AND COLORS
 PLEASE SEE LANDSCAPE PLANS FOR LANDSCAPE AND PLANTER DETAILS

4
 FOR GATE MODEL PLEASE SEE L-2 LANDSCAPE PLAN



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PROJECT ADDRESS:
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Seal/Signature

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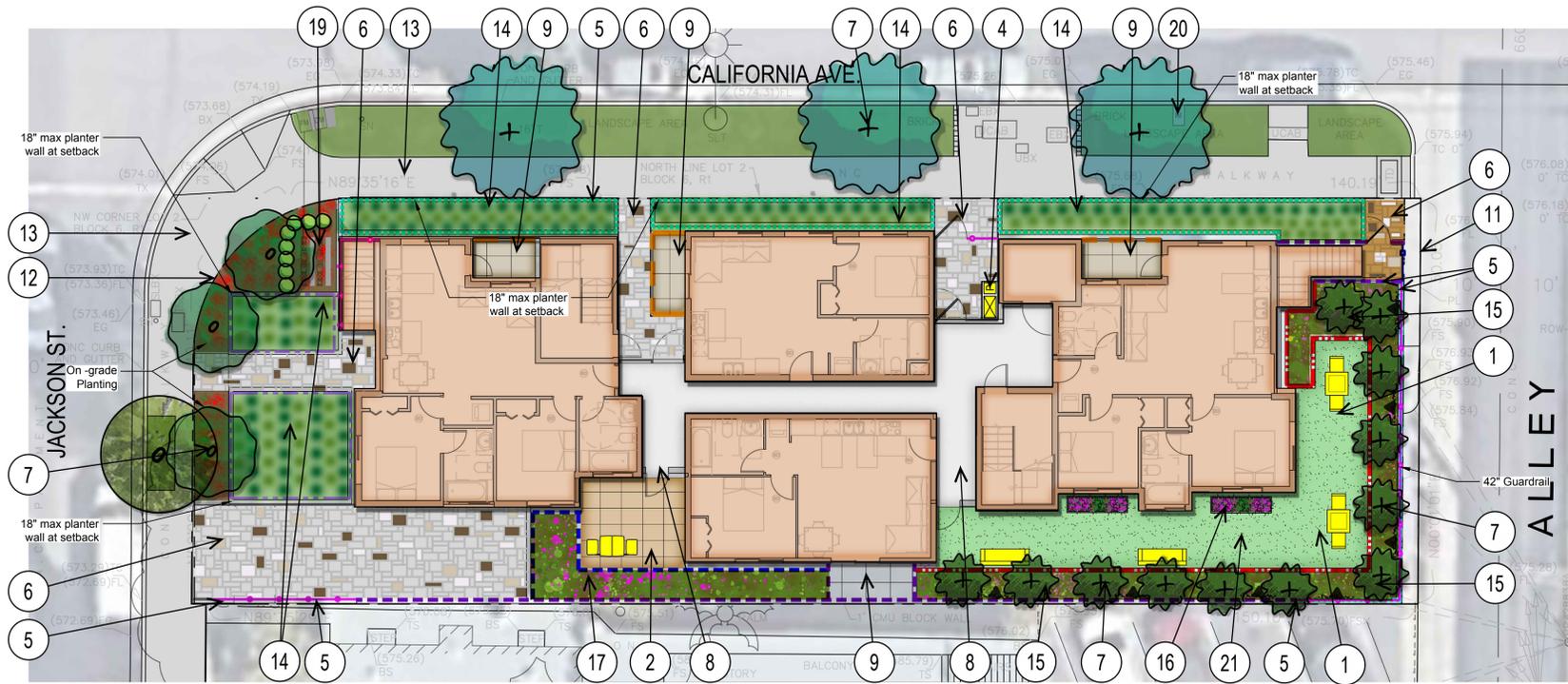
FACADE MATERIAL BOARD

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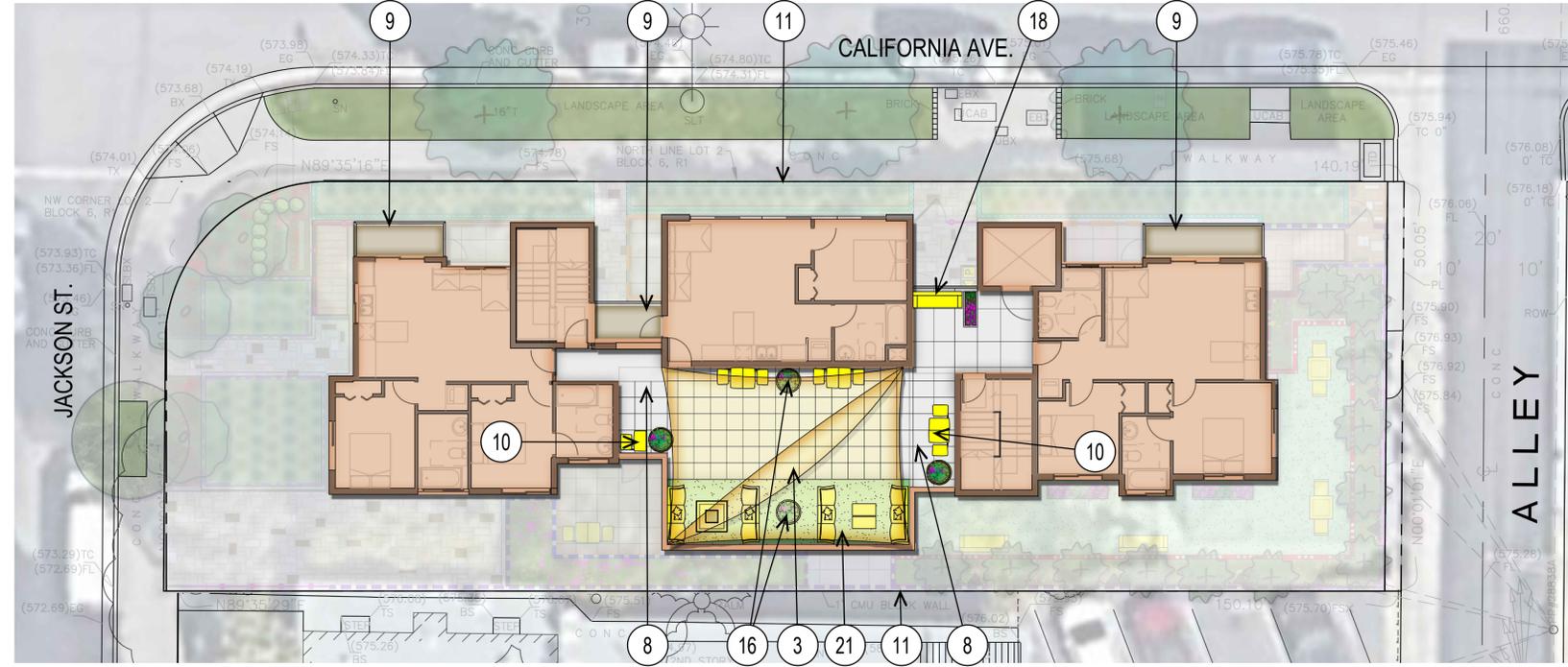
3/8" = 1'-0"

A3.5

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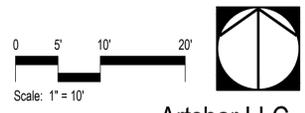
Plan View - Ground Floor
Scale: 1" = 10'



Plan View - Third Floor
Scale: 1" = 10'

LEGEND

1. Central community open space area with tables and chairs, and artificial lawn for small social events and group gatherings.
2. Proposed quiet outdoor work area with planters and work desk.
3. Roof-top community open space with Sail Shade Structure, lounge area with fire-pit and lounge furniture for small gatherings.
4. Two community cluster mailboxes, per USPS review and approval.
5. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
6. Stamped and colored concrete at main project entries.
7. Proposed tree, per Planting Plan.
8. Natural colored concrete walk, with light top-cast finish and saw-cut joints.
9. Private patio / yard area, homeowner maintained.
10. Proposed Roof-top quiet outdoor work area with pots and work desk.
11. Property line.
12. Public street R.O.W.
13. Proposed public street sidewalk, per Civil plans.
14. Proposed 18" planter wall.
15. Proposed 36" LID planter (if LID system not necessary then reg. planter wall).
16. Proposed planters
17. Proposed 30" LID planter (if LID system not necessary then reg. planter wall).
18. Proposed bench.
19. Proposed Utilities
20. Existing Utilities
21. Proposed Artificial Turf.

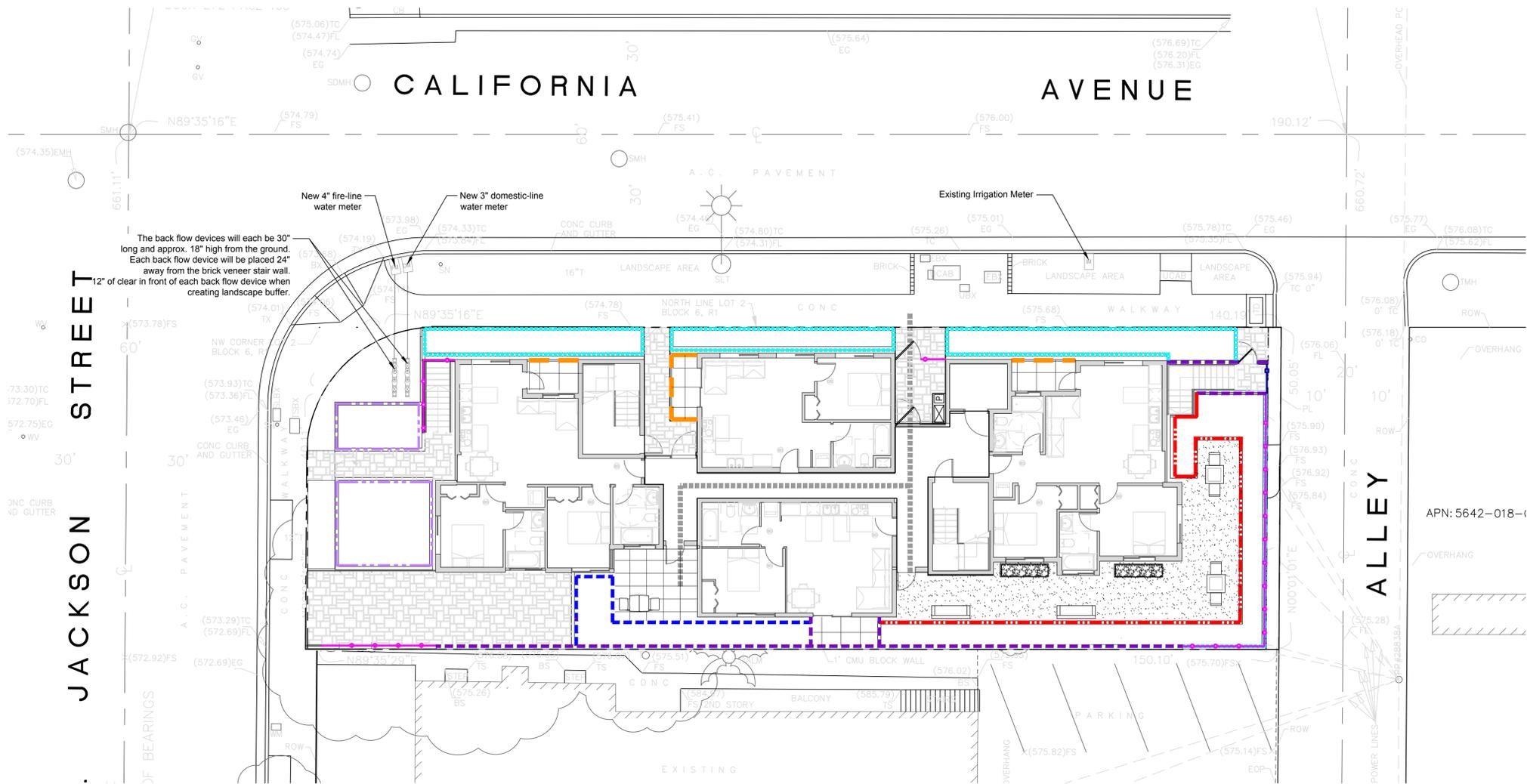


Schematic Landscape Plan

Glendale-Jackson Apartment PAD

6th City Submittal | Project No.: MI02 | Date: Apr. 04, 2022 | L-1

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PAD
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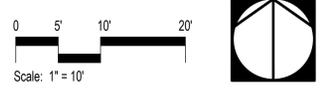
WALL LEGEND

- 1 6'-0" High gray blended precision wall, with light gray flat precision cap.
- 2 3'-6" High stucco over CMU patio wall, with flat stucco cap.
- 3 3'-6" High precision LID planter wall (if LID system N/A then reg. planter wall). Min. 24" deep x 24" wide soil.
- 4 2'-0" High precision planter wall. (24" deep but only 18" high measured from sidewalk). 1'-6" max. High precision planter wall.
- 5 2'-6" High precision LID planter wall (if LID system N/A then reg. planter wall). Min. 24" deep x 24" wide soil.
- 6 6'-0" High metal fence/guardrail.
- 7 3'-6" High metal fence/guardrail. (on 3'-6" high precision planter wall)
- 8 6'-0" High pedestrian gate.
- 9 ADA Path of Travel



*Conceptual images (provided herein are conceptual and subject to change)

Schematic Walls & Fence Plan



Artshar LLC.

6th City Submittal | Project No.: MI02 | L-2
Date: Apr. 04, 2022

Glendale-Jackson Apartment



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