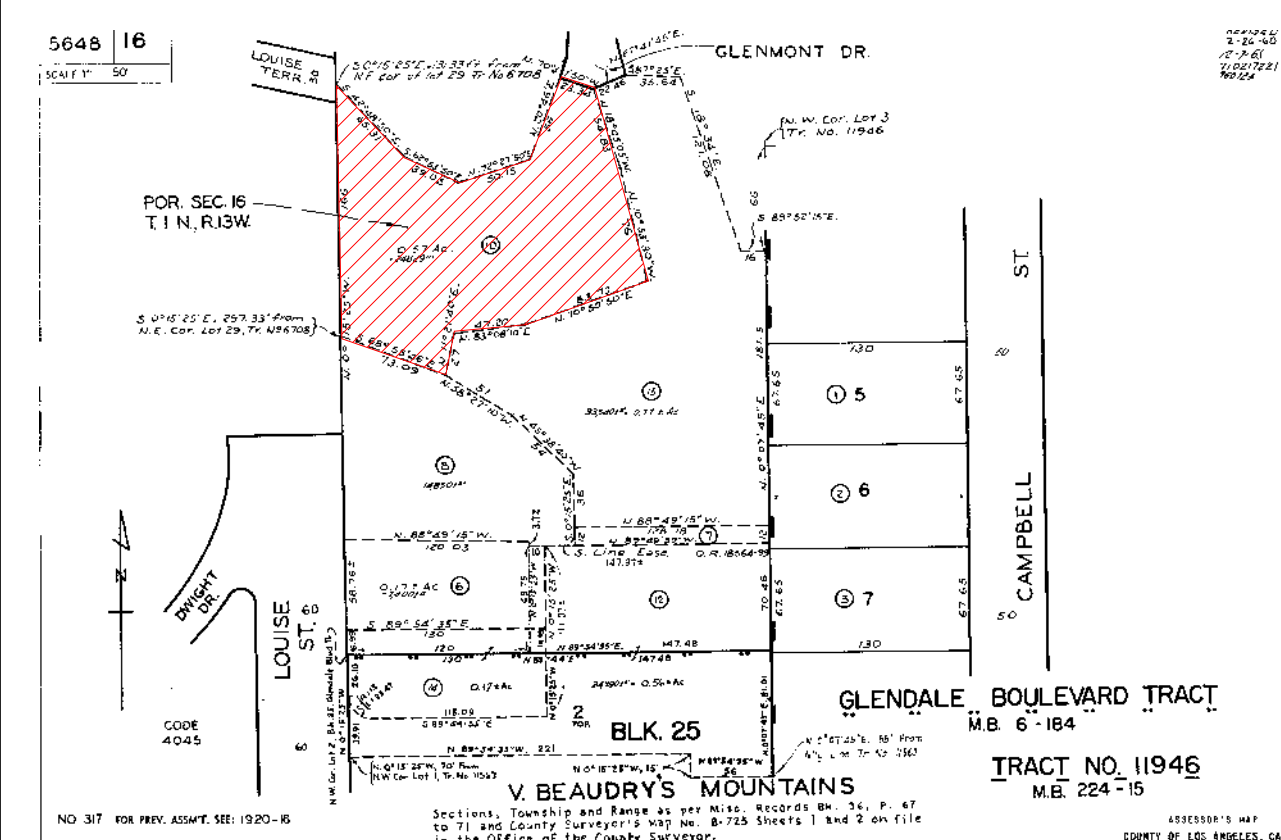


VICINITY MAP



ASSESSOR MAP

SHEET INDEX - ARCHITECTURAL	
LAYOUT ID	LAYOUT NAME
A-01	NOTES VICINITY & ASSESSORS MAP /EXISTING SITE PLAN
A-02	EXISTING SITE PLAN
SA-1	TOPOGRAPHY SURVEY AND AVERAGE SLOPE GRADE
A-03	PROPOSED SITE PLAN, DOOR/WINDOW SCHEDULES
A-04	EXISTING SITE PLAN WITH PROPOSED BUILDING OUTLINED
A-05	PROPOSED FIRST FLOOR PLAN
A-06	PROPOSED SECOND FLOOR PLAN
A-07	PROPOSED ROOF PLAN
A-08	PROPOSED NORTH AND EAST ELEVATIONS
A-09	PROPOSED SOUTH AND WEST ELEVATIONS
A-10	SECTIONS S-01, S-02
A-11	SECTIONS S-03, S-04
A-12	NEIGHBORING PROPERTIES PLAN
A-13	SITE SECTION S-05
A-14	NEIGHBORING PROPERTIES PHOTO SURVEY
A-15	PROPOSED NORTH AND EAST ELEVATIONS
A-16	PROPOSED SOUTH AND WEST ELEVATIONS
A-17	RENDERS
A-18	PHOTO SURVEY
A-19	MATERIAL BOARD
A-20	WINDOW DETAILS
A-21	DOOR DETAILS
A-22	ARCHITECTURAL DETAILS
A-23	TEMPORARY FRAME SITE PLAN
A-24	TEMPORARY FRAME 3D VIEW
A-25	TEMPORARY FRAME SITE PLAN
A-26	TEMPORARY FRAME NORTH AND EAST ELEVATIONS

1519 GLENMONT DR, GLENDALE, CA 91207

PROJECT DATA

ADDRESS: 1519 GLENMONT DR, GLENDALE, CA 91207
OWNER: TIGRAN GEVORGYAN

SCOPE OF WORK

- FULL DEMOLITION OF (E)2,240SQFT ONE STORY BUILDING
- NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,907 SQFT FIRST FLOOR AND 2,314 SQFT SECOND FLOOR)
- (N) 564 SQFT POOL WITH 124 SQFT SPA
- (N) 3,385 SQFT COVERED PATIO
- (N) BBQ AREA

AREA SUMMARY

-LOT AREA	24,829 SQFT
-(E) SFD AREA	2,240 SQFT
- FLOOR AREA RATIO	5482.9 SQFT
FIRST 10.00%-40% = 4,000 SQFT + 14,829 SQFT-10% = 1,482.9 SQFT	
- MIN LANDSCAPE AREA	40% - 9,931 SQFT
- AVERAGE PROPERTY SLOPE	22.75% (SEE SA-1)
- UNGRADED OPEN SPACE	13,058 SQFT (52.5%)
- (E) LANDSCAPE AREA	18,403 SQFT
- (N) LANDSCAPE AREA	14,154 SQFT > 9,931 SQFT
- (N) FIRST FLOOR AREA (707 SQFT GARAGE EXCLUDED)	2,886 SQFT
- (N) SECOND FLOOR AREA	2,314 SQFT
- (N) COVERED PATIO	834 SQFT +362 SQFT=1,196 sqft

- (E) PARKING	2SP
- (N) PARKING	3SP - 707 SQFT (700 EXEMPT)

-TOTAL HOUSE FLOOR AREA RATIO	5,207 SQFT < 5,482.9 SQFT
-TOTAL LOT COVERAGE	6,839 SQFT - 27%

GRADING ON SITE - 50 CUBIC YARD
IMPORT - 0
EXPORT - 0

LEGAL DESCRIPTION

ASSESSOR PARCEL NUMBER	5648-016-010
TRACT NMB	# 6708
LOT	29
BLOCK NMB	36
ZONING	R1R II
STORIES	1

ARCHITECTURAL DESIGN ARTDESIGN CO.

CONTACT: ARA AMYAN
ADDRESS: 1370 EAST COLORADO STR
GLENDALE CA 91205
TEL NO: (818) 221-5301
EMAIL: ARTDESIGNUSA1@GMAIL.COM

TITLE 24

MLB ENGINEERING

CONTACT: MOVSES HAMBARDZUMYAN
ADDRESS: 7918 FOOTHILL BLVD,
SUNLAND, CA 91040
TEL NO: (747) 272-7346
EMAIL: MOVSESHAMBARDZUMYAN@GMAIL.COM

LICENSED STRUCTURAL ENGINEER

MLB CONSULTING AND ENGINEERING

CONTACT: GEGAM BURNAZYAN
ADDRESS: 7918 FOOTHILL BLVD,
SUNLAND, CA 91040
TEL NO: (818) 521-6342
EMAIL: GEGAM@MLBENGINEERING.ORG

OWNER

CONTACT: TIGRAN GEVORGYAN
ADDRESS: 1519 GLENMONT DR, GLENDALE, CA 91207
TEL NO: (818) 983-5454
EMAIL: TIGRAN818@GMAIL.COM

BUILDING CODE DATA LEGEND

OCCUPANCY GROUP	----- (R)
DESCRIPTION OF USE	----- (SFD)
TYPE OF CONSTRUCTION	----- (VB)
(N)NUMBER OF STORIES	----- (2)
(N)HEIGHT	----- (25'-8")
SPRINKLERS	----- (YES)
YEAR SFD BUILT	----- (1942)
HIGH FIRE ZONE:	NO

DRAINAGE:
- LOT DRAINAGE SHALL BE CONDUCTED TO THE STREET OR AS SHOWN ON THE PLANS. SHOW EXISTING AND PROPOSED DRAINAGE RELATIVE TO BUILDING; DRAIN AWAY FROM BUILDING; SHOW SWALE WITH FLOW LINE ELEVATIONS.
- DO NO BLOCK NATURAL DRAINAGE COURSES FROM ADJACENT PROPERTIES, GRADING:
1. NO EARTHWORK (GRADING) OTHER THAN SHOWN AND APPROVED BY CITY ENGINEER>
STREET IMPROVEMENTS:
- REPLACE ALL BROKEN, CRACKED OR UPHEAVED CURB, CURB AND GUTTER, SIDEWALK AND DRIVEWAY APRONS AS MAY BE REQUIRED BY THE CITY ENGINEER. OTHER REQUIREMENTS:
1. A SEPARATE PERMIT IS REQUIRED TO PERFORM ALL WORK WITHIN THE STREET RIGHT-OF-WAY.

SETBACK CERTIFICATION REQUIREMENT:

A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE OB FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1-110.3.1.1)

LANDSCAPE GUIDELINES NOTES

- ALL LANDSCAPING MUST COMPLY WITH THE HILLSIDE DEVELOPMENT LANDSCAPE GUIDELINES.
- ALL LANDSCAPING MUST BE INSTALLED AND INSPECTED PRIOR TO THE FINAL FIRE PREVENTION BUREAU (FPB) INSPECTION.
- ALL HAZARDOUS VEGETATION ON THE PROPERTY MUST BE ABATED FROM WITHIN 100 FEET OF EXISTING AND PROPOSED STRUCTURES BEFORE DELIVERY OF COMBUSTIBLE BUILDING MATERIALS.
- INSTALL PERMANENT MARKERS AT ALL COMMON PROPERTY CORNERS (3 FEET TALL, 1- INCH DIAMETER PVC PIPE OVER REBAR).
- INSTALL JUTE MATTING ON ALL SLOPES GREATER THAN 30%.

IMPORTANT NOTE:

THE PLANS INDICATE THAT THE TOTAL DEMOLITION OF OUTSIDE WALL AND ROOF AREA COMBINED 19% SHOULD DEMOLITION EXCEED 50% OF THE TOTAL OUTSIDE WALL AND ROOF AREA DURING CONSTRUCTION, PER GMC 30.60.040.B.2.. THE BUILDING LOSES ITS NONCONFORMING STATUS AND MUST BE BROUGHT INTO COMPLIANCE WITH THE CURRENT ZONING CODE. THIS WILL INCLUDE, BUT IS NOT LIMITED TO REQUIRED SETBACKS, LANDSCAPING, DRIVEWAY STANDARDS, AND DESIGN REVIEW BOARD APPROVAL FOR NEW CONSTRUCTION

DEVELOPMENT/PLANNING.

MINIMUM PROJECT REQUIREMENTS

IN ORDER TO ACHIEVE THE GOAL OF REDUCING THE LEVEL OF POLLUTANTS IN STORM WATER RUNOFF, THESE MINIMUM BMPs APPLY TO ALL PROJECTS:

- ALL YARD DRAINS AND CATCH BASINS DRAINING TO THE STREET OR STORM DRAIN SYSTEM MUST BE STENCILED OR LABELED WITH THE "NO DUMPING - DRAINS TO OCEAN" LOGO OR EQUIVALENT.
- ROOF DOWNSPOUTS MUST NOT BE DIRECTED TO TRASH ENCLOSURES OR MATERIAL STORAGE AREAS. DOWNSPOUTS SHOULD DISCHARGE TO GRAVEL, HEAVILY VEGETATED AREAS WHENEVER POSSIBLE.
- TRASH BINS MUST BE EQUIPPED WITH LIDS OR SCREENED, ROOFED OR WALLED. RUNOFF WATER SHOULD BE DIVERTED AROUND TRASH AREAS TO AVOID FLOW-THROUGH. TRASH ENCLOSURE DRAINAGE SHOULD BE DIRECTED TO BEGETATED AREAS WHERE FEASIBLE.
- NO HOSES, HOSE BIBS OR FAUCETS SHOULD BE LOCATED OUTSIDE EXCEPT IN LANDSCAPED AREAS OR AS NEEDED FOR FIRE PROTECTION.
- ANY WASTE WATER FROM WASHING VEHICLES OR EQUIPMENT MUST BE DISCHARGED TO THE SANITARY SEWER SYSTEM THROUGH PROPER PRETREATMENT FACILITIES (SEPARATE PERMITS MAY BE REQUIRED).
- ALL OUTDOOR STORAGE AREAS MUST BE EQUIPPED WITH ADEQUATE SECONDARY CONTAINMENT OR OTHER EQUIVALENT MEASURES TO REDUCE CONTAMINATION OF RUNOFF. THIS APPLIES TO THE STORAGE OF BOTH HAZARDOUS AND NON-HAZARDOUS MATERIALS (SOLIDS AND LIQUIDS).

NOTE:

MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL. (4.504.6)

ENVIRONMENTAL QUALITY

PLANS SHALL STATE THAT THE FIREPLACE IS DIRECT-VENT, SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. INCORPORATE MANUFACTURER'S SPECIFICATIONS ONTO PLANS. (4.503.1)

BUILDING CODE

- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA ELECTRICAL CODE (CRC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN)
- 2022 GBSC



THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN, ARE THE PROPERTY OF ARTDESIGN COMPANY AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF ARTDESIGN COMPANY. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN BY THE THESE DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING WITH THE CONSTRUCTION.

PROJECT	1519 GLENMONT DR, GLENDALE, CA 91207	TIGRAN GEVORGYAN
JOB ADDRESS	1519 GLENMONT DR, GLENDALE, CA 91207	TIGRAN GEVORGYAN
CLIENT/OWNER	TIGRAN GEVORGYAN	TIGRAN GEVORGYAN

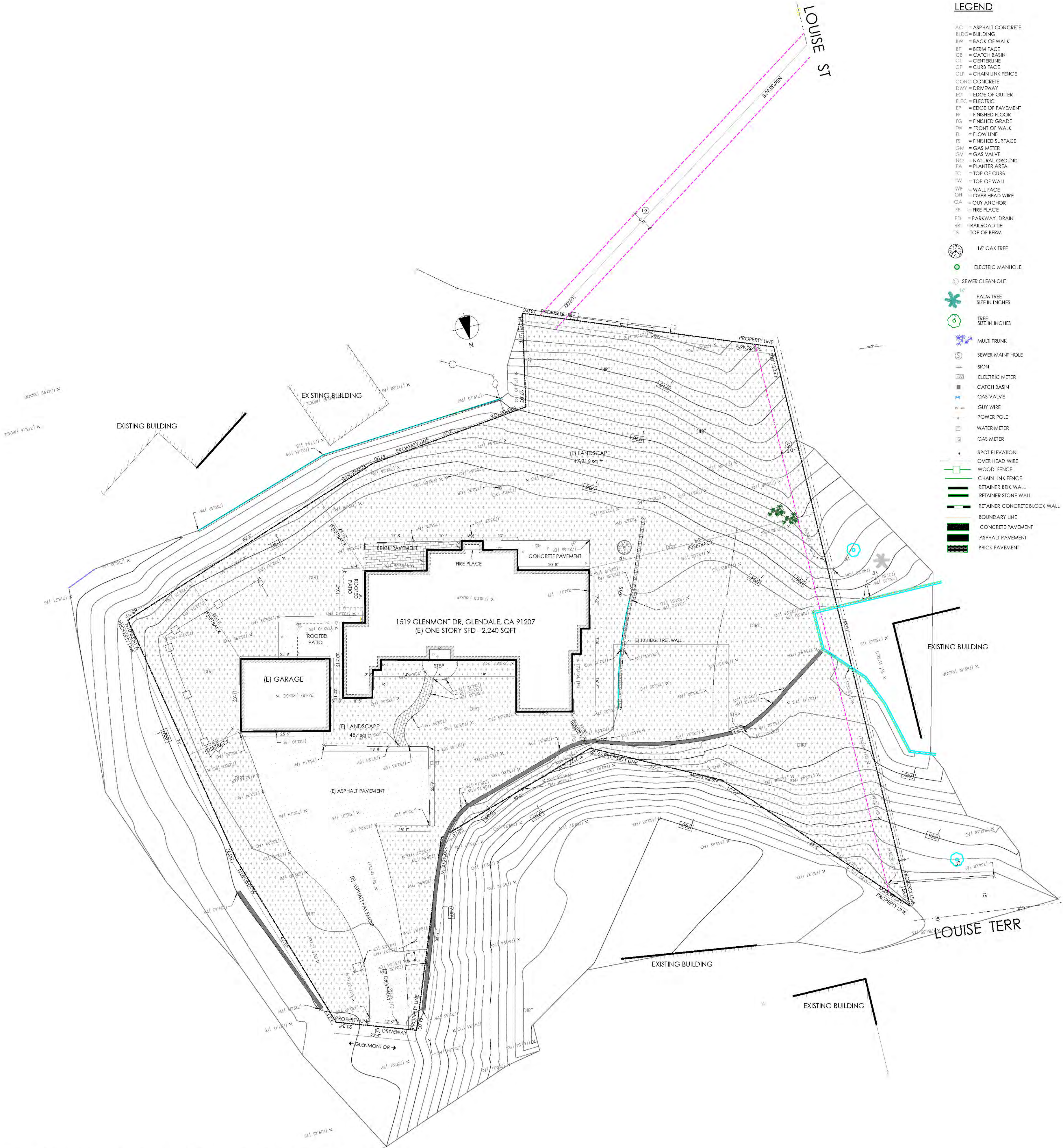
A-01

SHEET NUMBER
1

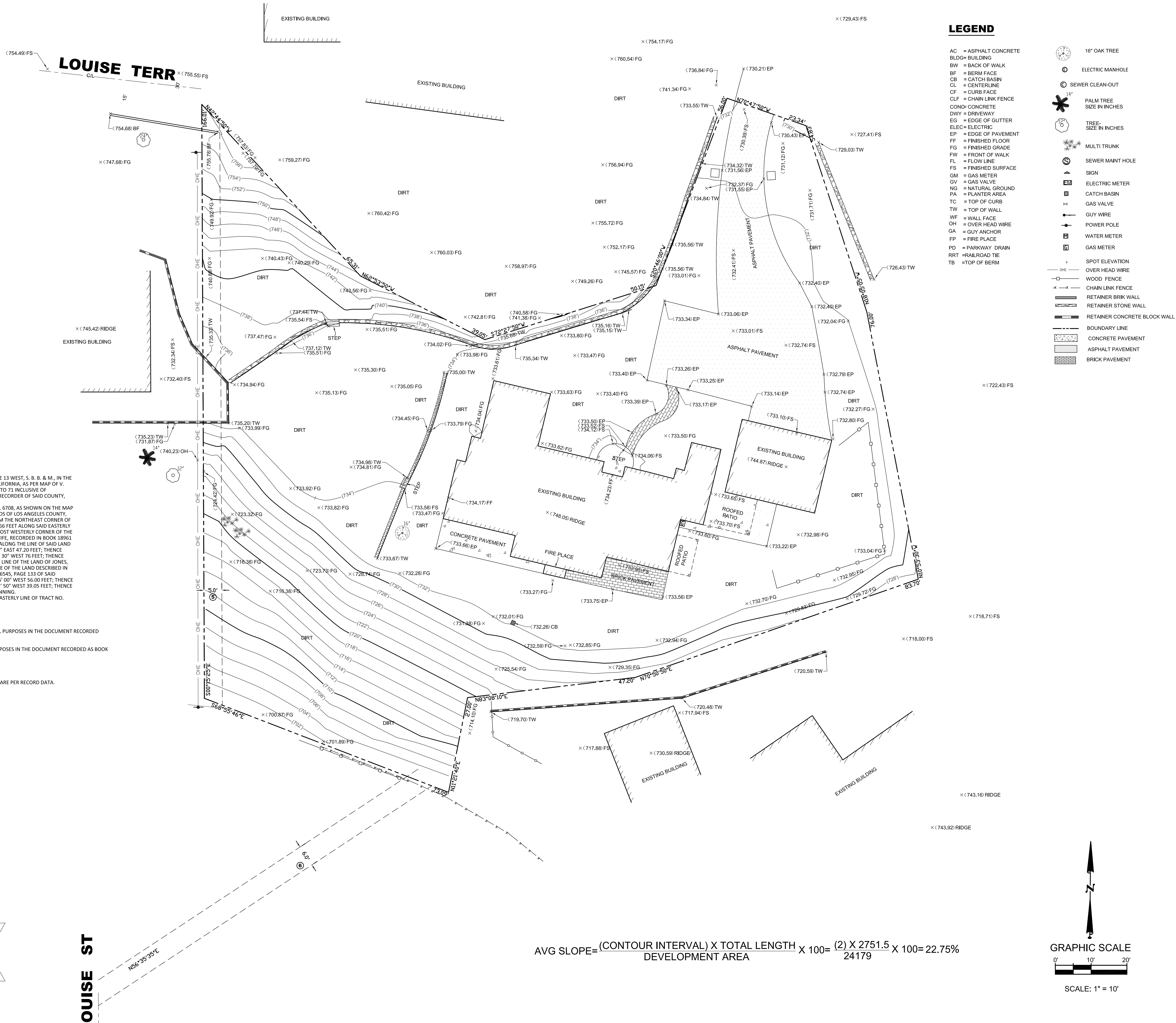
THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN 20 FEET OF THE SITE

EXISTING SITE PLAN

1/16" = 1'-0"



DATE:06/30/2023 JOB NO: AD22-038		ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COM	
DESIGNED BY: MM CHECKED BY: AA		BY	
DESCRIPTION		DATE	
REV		DATE	
1		2	
2		3	
3		4	
4		5	
5		THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS DESIGNED AND ARRANGED BY THE ARCHITECT OR HIS FIRM AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR IN ANY MANNER USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS RESTRICTED TO THE PROJECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR IN ANY MANNER USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS SHALL PREVAIL OVER ANY OTHER DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS FOR REVIEW BEFORE PROCEEDING WITH THE CONSTRUCTION.	
PROJECT		FULL DEMOLITION OF 1519 GLENMONT DR. ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,907 SQFT FIRST FLOOR AND 2,376 SQFT SECOND FLOOR, IN) 564 SQFT POOL WITH 124 SQFT SPA, IN) 3,985 SQFT COVERED PATIO, IN) BBQ AREA	
JOB ADDRESS		1519 GLENMONT DR. GLENDALE, CA 91207	
CLIENT/OWNER		TIGRAN GEVORGYAN	
SHEET NUMBER		A-02	
2			



LEGEND

- AC = ASPHALT CONCRETE
- BLDG = BUILDING
- BW = BACK OF WALK
- BF = BERM FACE
- CB = CATCH BASIN
- CL = CENTERLINE
- CF = CURB FACE
- CLF = CHAIN LINK FENCE
- CONC = CONCRETE
- DWY = DRIVEWAY
- EG = EDGE OF GUTTER
- ELEC = ELECTRIC
- EP = EDGE OF PAVEMENT
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FW = FRONT OF WALK
- FL = FLOW LINE
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- GM = GAS METER
- GV = GAS VALVE
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- TC = TOP OF CURB
- TW = TOP OF WALL
- WF = WALL FACE
- OH = OVER HEAD WIRE
- GA = GUY ANCHOR
- PD = PARKWAY DRAIN
- RRT = RAILROAD TIE
- TB = TOP OF BERM

- 16" OAK TREE
- ELECTRIC MANHOLE
- SEWER CLEAN-OUT
- 14" PALM TREE
- TREE - SIZE IN INCHES
- MULTI TRUNK
- SEWER MAINT HOLE
- SIGN
- ELECTRIC METER
- CATCH BASIN
- GAS VALVE
- GUY WIRE
- POWER POLE
- WATER METER
- GAS METER

- SPOT ELEVATION
- OVER HEAD WIRE
- WOOD FENCE
- CHAIN LINK FENCE
- RETAINER BRK WALL
- RETAINER STONE WALL
- RETAINER CONCRETE BLOCK WALL
- BOUNDARY LINE
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- BRICK PAVEMENT

LEGAL DESCRIPTION:

THAT PORTION OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 13 WEST, S. B. B. & M., IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP OF V. BEAUDRY'S MOUNTAINS, RECORDED IN BOOK 36, PAGES 67 TO 71 INCLUSIVE OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE EASTERLY LINE OF TRACT NO. 6708, AS SHOWN ON THE MAP RECORDED IN BOOK 85, PAGES 93 AND 94 OF MAPS, RECORDS OF LOS ANGELES COUNTY, DISTANT THEREON SOUTH 0° 15' 25" EAST 131.33 FEET FROM THE NORTHEAST CORNER OF SAID TRACT; THENCE CONTINUING SOUTH 0° 15' 25" EAST 166 FEET ALONG SAID EASTERLY LINE; THENCE SOUTH 68° 55' 46" EAST 73.09 FEET TO THE MOST WESTERLY CORNER OF THE LAND DESCRIBED IN THE DEED TO STANLEY H. JONES AND WIFE, RECORDED IN BOOK 18963 PAGE 145 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE LINE OF SAID LAND NORTH 11° 21' 40" EAST 27 FEET; THENCE NORTH 83° 08' 10" EAST 47.20 FEET; THENCE NORTH 70° 50' 50" EAST 83.70 FEET; THENCE NORTH 10° 53' 30" WEST 76 FEET; THENCE NORTH 18° 05' 05" WEST 54.83 FEET; THENCE LEAVING SAID LINE OF THE LAND OF JONES, NORTH 70° 47' 50" WEST 23.34 FEET TO THE BOUNDARY LINE OF THE LAND DESCRIBED IN THE DEED TO ISAAC CLINE AND WIFE, RECORDED IN BOOK 16545, PAGE 133 OF SAID OFFICIAL RECORDS; THENCE ALONG SAID LINE SOUTH 20° 46' 00" WEST 56.00 FEET; THENCE SOUTH 72° 27' 50" WEST 50.15 FEET; THENCE NORTH 62° 53' 50" WEST 39.05 FEET; THENCE NORTH 42° 44' 50" WEST 65.31 FEET TO THE POINT OF BEGINNING.
THE BASE OF BEARINGS USED IN THIS DESCRIPTION IS THE EASTERLY LINE OF TRACT NO. 6708, SOUTH 0° 15' 25" EAST.
APN: 5648-016-010

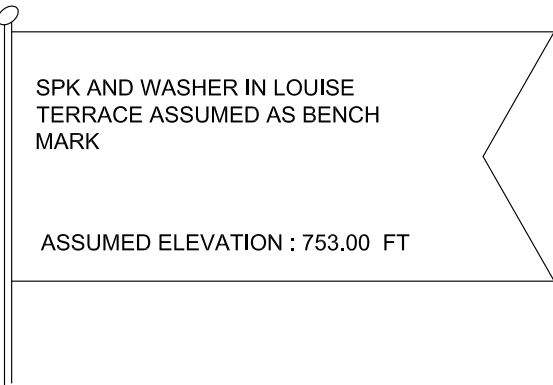
EASEMENT:

- AN EASEMENT FOR POLE LINES, CONDUITS AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS BOOK 18564, PAGE 99 OF OFFICIAL RECORDS.
- AN EASEMENT FOR SANITARY SEWER AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS BOOK 18931, PAGE 214 OF OFFICIAL RECORDS.

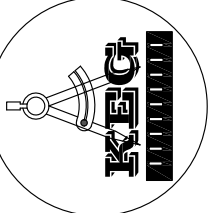
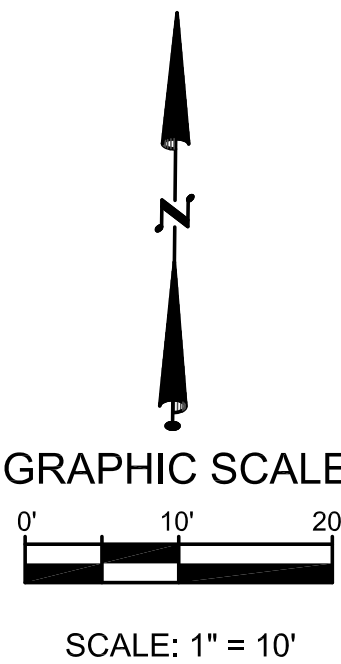
NOTES:

- THE LEGAL DESCRIPTION, BOUNDARIES SHOWN HEREON ARE PER RECORD DATA. TOTAL PROPERTY AREA: 24179 SQ. FT.

BENCHMARK



AVG SLOPE= (CONTOUR INTERVAL) X TOTAL LENGTH / DEVELOPMENT AREA X 100= (2) X 2751.5 / 24179 X 100= 22.75%



KEG GROUP INC.
(818) 919-8133
12838 KLING STREET STUDIO CITY, CA 91604


PREPARED FOR
TIGRAN GEVORGYAN

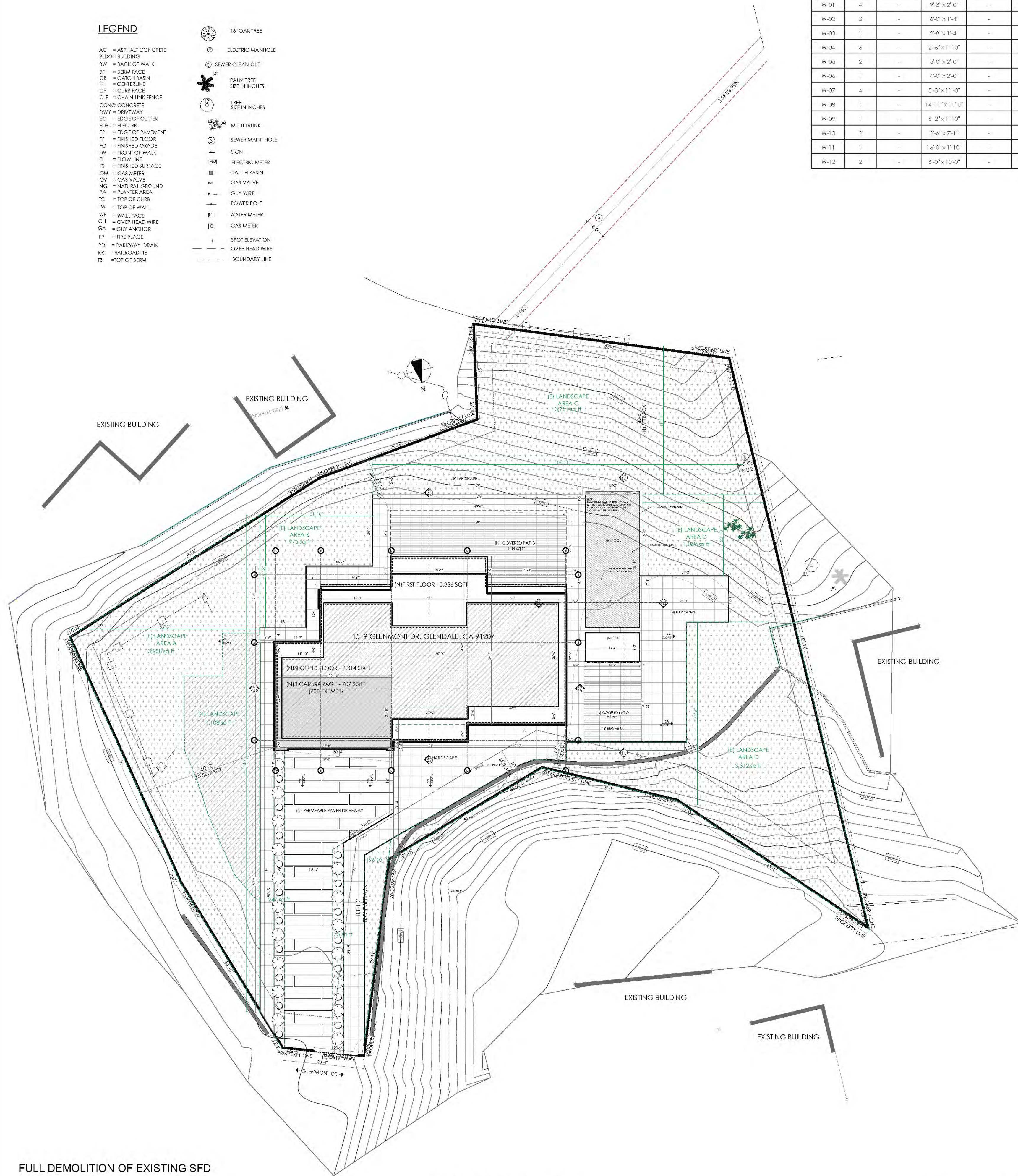
TOPOGRAPHIC SURVEY AND AVERAGE SLOPE GRADE
1519 GLENMONT DR GLENDALE, CA 91207

DATE: 10/02/2022
SCALE: 1" = 10'
SHEET NO.




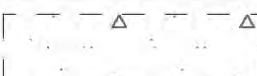




SA-1
SHEET 1 OF 1

AC = ASPHALT CONCRETE
BDG = BUILDING
BW = BACK OF WALK
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PD = PARKWAY DRAIN
RTB = RAILROAD TIE
TPT = TOP OF BERM

	16" OAK TREE
	ELECTRIC MANHOLE
	SEWER CLEAN-OUT
	1" PALM TREE SITE IN INCHES
	TREE SITE IN INCHES
	MULTI TRUNK
	SEWER MAIN HOLE
	SIGN
	ELECTRIC METER
	CATCH BASIN
	GAS VALVE
	GUY WIRE
	POWER POLE
	WATER METER
	GAS METER
	SPOT ELEVATION
	OVER HEAD WIRE
	BOUNDARY LINE



PROPOSED SITE PLAN

LEGEND	
	FIRST FLOOR
	SECOND FLOOR
	3 CAR GARAGE
	PAVER DRIVEWAY
	COVERED PATIO
	POOL
	LANDSCAPE
	HARDSCAPE



6' METAL FENCE

WINDOW NUM	QUANTITY	EXISTING WIDTH & HEIGHT	NEW WIDTH & HEIGHT	EXISTING SILL HEIGHT	NEW SILL HEIGHT	EXISTING MATERIAL	NEW MATERIAL	NEW COLOR	VISIBLE FROM THE STREET Y/N	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXISTING EDGE DETAIL	NEW EDGE DETAIL	BEDROOM Y/N	ENERGY EFFICIENT Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE Y/N	WINDOWN WITHIN 18" OF FLOOR OR 4" OF DOOR
W-01	4	-	9'-3"x 2'-0"	-	10'-0"	-	ALUMINUM	BLACK	N	-	FIXED	NAIL-ON FIN	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	N
W-02	3	-	6'-0"x 1'-4"	-	3'-7"	-	ALUMINUM	BLACK	N	-	SLIDE	-	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	N
W-03	1	-	2'-8"x 1'-4"	-	3'-7"	-	ALUMINUM	BLACK	N	-	FIXED	-	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	N
W-04	6	-	2'-6"x 11'-0"	-	0'-0"	-	ALUMINUM	BLACK	N	-	CASEMENT	-	-	N	Y	-	RECESSED NAIL-IN	Y	Y	Y	N	Y
W-05	2	-	5'-0"x 2'-0"	-	9'-0"	-	ALUMINUM	BLACK	N	-	SLIDE	NAIL-ON FIN	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	N
W-06	1	-	4'-0"x 2'-0"	-	9'-0"	-	ALUMINUM	BLACK	N	-	SLIDE	NAIL-ON FIN	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	N
W-07	4	-	5'-3"x 11'-0"	-	0'-0"	-	ALUMINUM	BLACK	N	-	FIXED	NAIL-ON FIN	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	Y
W-08	1	-	14'-11"x 11'-0"	-	0'-0"	-	ALUMINUM	BLACK	N	-	FIXED	-	-	N	Y	-	RECESSED NAIL-IN	Y	Y	Y	N	Y
W-09	1	-	6'-2"x 11'-0"	-	0'-0"	-	ALUMINUM	BLACK	N	-	CASEMENT	-	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	Y
W-10	2	-	2'-6"x 7'-11"	-	0'-3"	-	ALUMINUM	BLACK	N	-	FIXED	NAIL-ON FIN	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	Y
W-11	1	-	16'-0"x 11'-10"	-	9'-2"	-	ALUMINUM	BLACK	N	-	FIXED	NAIL-ON FIN	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	N
W-12	2	-	6'-0"x 10'-0"	-	9'-2"	-	ALUMINUM	BLACK	N	-	FIXED	NAIL-ON FIN	-	N	Y	-	RECESSED NAIL-IN	N	Y	Y	N	N

DOCK NAME	QUANTITY	EXISTING WIDTH & HEIGHT	NEW WIDTH & HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM THE STREET Y/N	NEW COLOR	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXISTING EDGE DETAIL	NEW EDGE DETAIL	ENTRY/REWORK	ELECTRIC EFFICIENT Y/N	TEMPERED GLASS Y/N	FREE BOARD ZONE Y/N	
D01	1	-	5'0"x11'0"	N	ALUMINUM	N	BLACK	-	HINGED	-	BLOCK	-	N	Y	-	RECESSED NAH-IN	EXTERIOR	Y	N	N
D02	1	-	27'10"x6'0"	N	ALUMINUM	N	BLACK	-	-	-	-	-	N	Y	-	N/A	EXTERIOR	Y	N/A	N
D03	1	-	3'0"x7'0"	-	WOOD	N	BLACK	-	HINGED	-	-	-	N	Y	-	N/A	INTERIOR	Y	N	N
D04	5	-	3'0"x7'0"	-	WOOD	N	BLACK	-	HINGED	-	-	-	N	Y	-	N/A	INTERIOR	Y	N	N
D05	12	-	2'0"x7'0"	-	WOOD	N	BLACK	-	HINGED	-	-	-	N	Y	-	N/A	INTERIOR	Y	N	N
D06	3	-	9'0"x11'0"	-	ALUMINUM	N	BLACK	-	HINGED	BLOCK	-	-	N	Y	-	RECESSED NAH-IN	EXTERIOR	Y	Y	N
D07	1	-	24'0"x11'0"	-	ALUMINUM	N	BLACK	-	SLIDE	BLOCK	-	-	N	Y	-	RECESSED NAH-IN	EXTERIOR	Y	Y	N
D08	1	-	22'0"x11'0"	-	ALUMINUM	N	BLACK	-	SLIDE	-	-	-	N	Y	-	RECESSED NAH-IN	EXTERIOR	Y	Y	N
D09	1	-	22'0"x11'0"	-	ALUMINUM	N	BLACK	-	SLIDE	BLOCK	-	-	N	Y	-	RECESSED NAH-IN	EXTERIOR	Y	Y	N
D10	1	-	19'0"x11'0"	-	ALUMINUM	N	BLACK	-	SLIDE	BLOCK	-	-	N	Y	-	RECESSED NAH-IN	EXTERIOR	Y	Y	N
D11	1	-	3'0"x7'0"	-	ALUMINUM	N	BLACK	-	HINGED	BLOCK	-	-	-	Y	-	N/A	INTERIOR	Y	N	N
D12	1	-	2'0"x7'0"	-	GLASS	N	BLACK	-	HINGED	BLOCK	-	-	N	Y	-	N/A	INTERIOR	Y	Y	N

DATE:06/30/2023
JOB NO: AD22-038



ARTDESIGN
design solutions

ARTDESIGN COMPANY
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DESIGNED BY: MM
CHECKED BY: AA

BY

DESCRIPTION

DATE _____

RE

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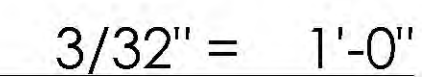
FULL DEMOLITION OF (E) 2,403 SQFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,907 SQFT FIRST FLOOR AND 2,314 SQFT SECOND FLOOR, (N) 564 SQFT POOL WITH 124 SQFT SPA, (N) 3,385 SQFT COVERED PATIO, (N) BBQ AREA.

ER

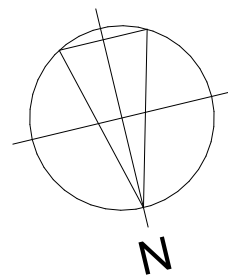
A-03

SHEET NUMBER

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SHEET NUMBER
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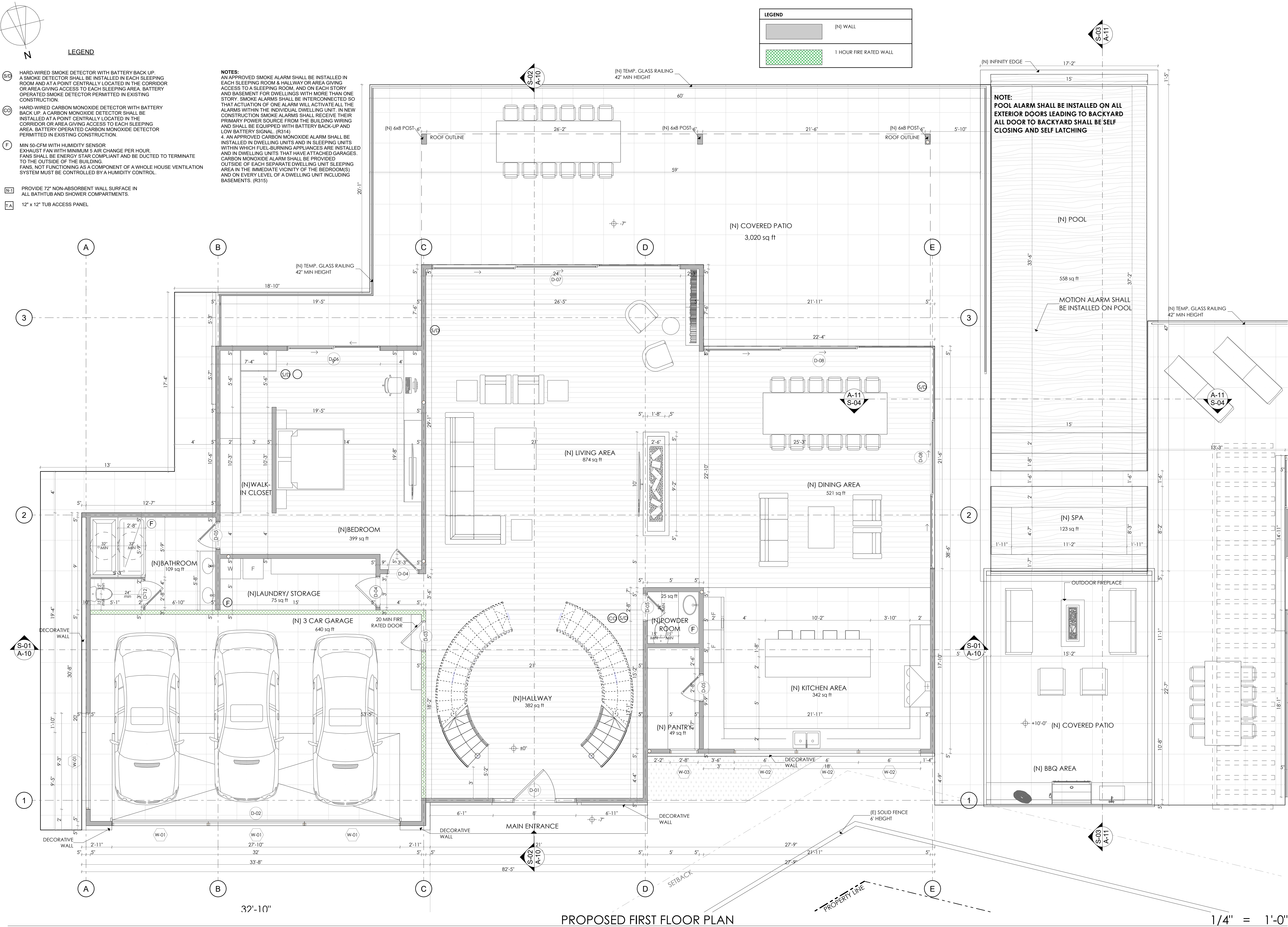


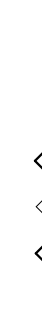
LEGEND

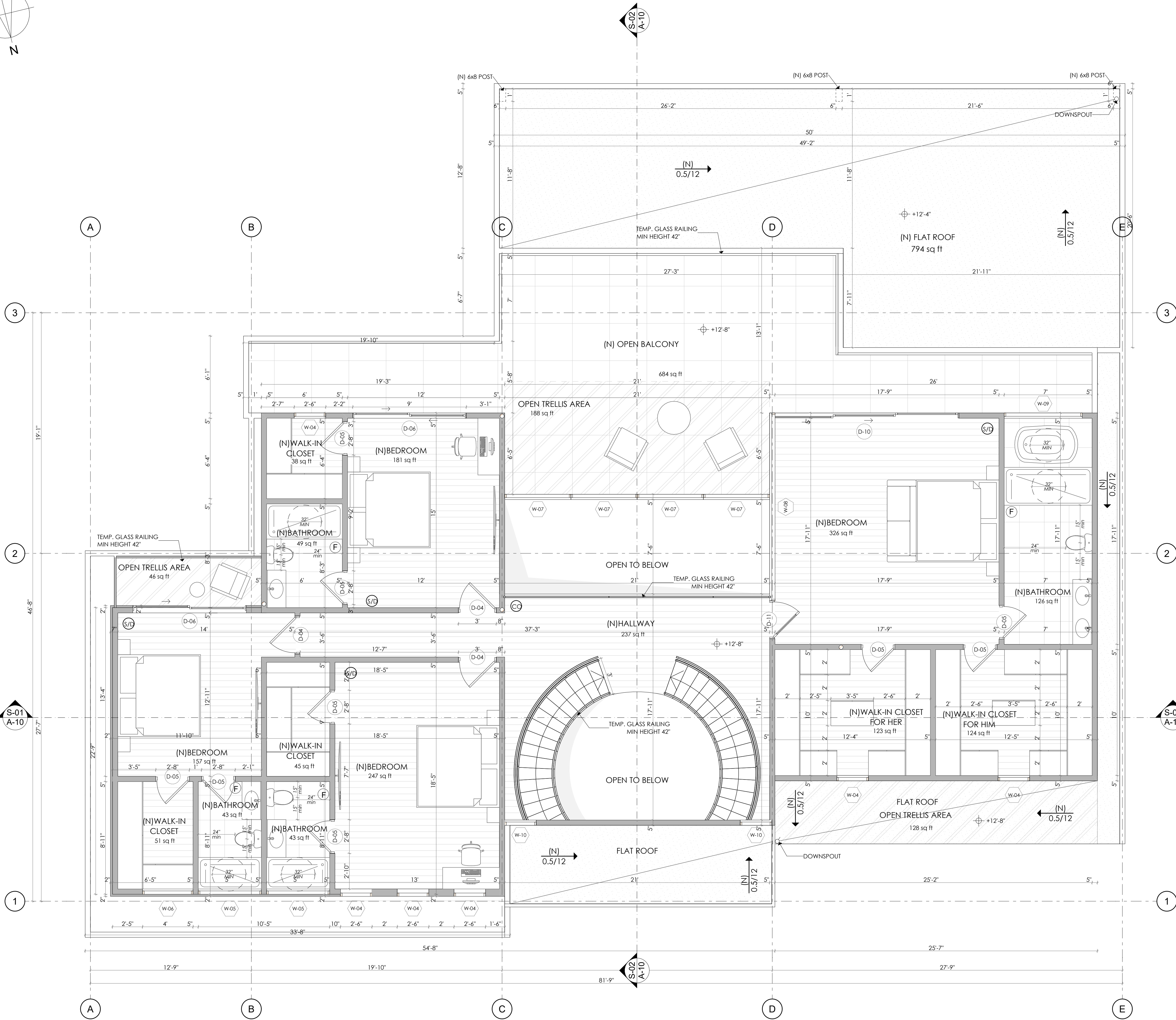
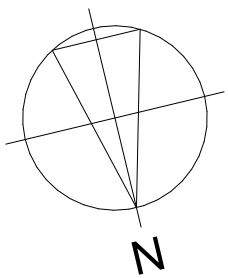
- (S-1)** HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTOR PERMITTED IN EXISTING CONSTRUCTION.
- (CO)** HARD-WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK UP. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED CARBON MONOXIDE DETECTOR PERMITTED IN EXISTING CONSTRUCTION.
- (F)** MIN 50-CFM WITH HUMIDITY SENSOR EXHAUST FAN WITH MINIMUM 5 AIR CHANGE PER HOUR. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- (N-1)** PROVIDE 72" NON-ABSORBENT WALL SURFACE IN ALL BATHTUB AND SHOWER COMPARTMENTS.
- (T-A)** 12" x 12" TUB ACCESS PANEL

NOTES:
AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
4. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

LEGEND	
	(N) WALL
	1 HOUR FIRE RATED WALL



SHEET NUMBER		A-05	
PROJECT		FULL DEMOLITION OF 12,240 SQ FT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQ FT 2 STORY SFD (2,907 SQ FT FIRST FLOOR AND 2,376 SQ FT SECOND FLOOR). (N) 544 SQ FT POOL WITH 124 SQ FT SPA, (N) 3,385 SQ FT COVERED PATIO, (N) BBQ AREA	
JOB ADDRESS		1519 GLENMONT DR, GLENDALE, CA 91207	
CLIENT/OWNER		TIGRAN GEVORGYAN	
REV		DATE	
DESCRIPTION		BY	
1			
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		DATE: 06/30/2023 JOB NO: AD22-038	

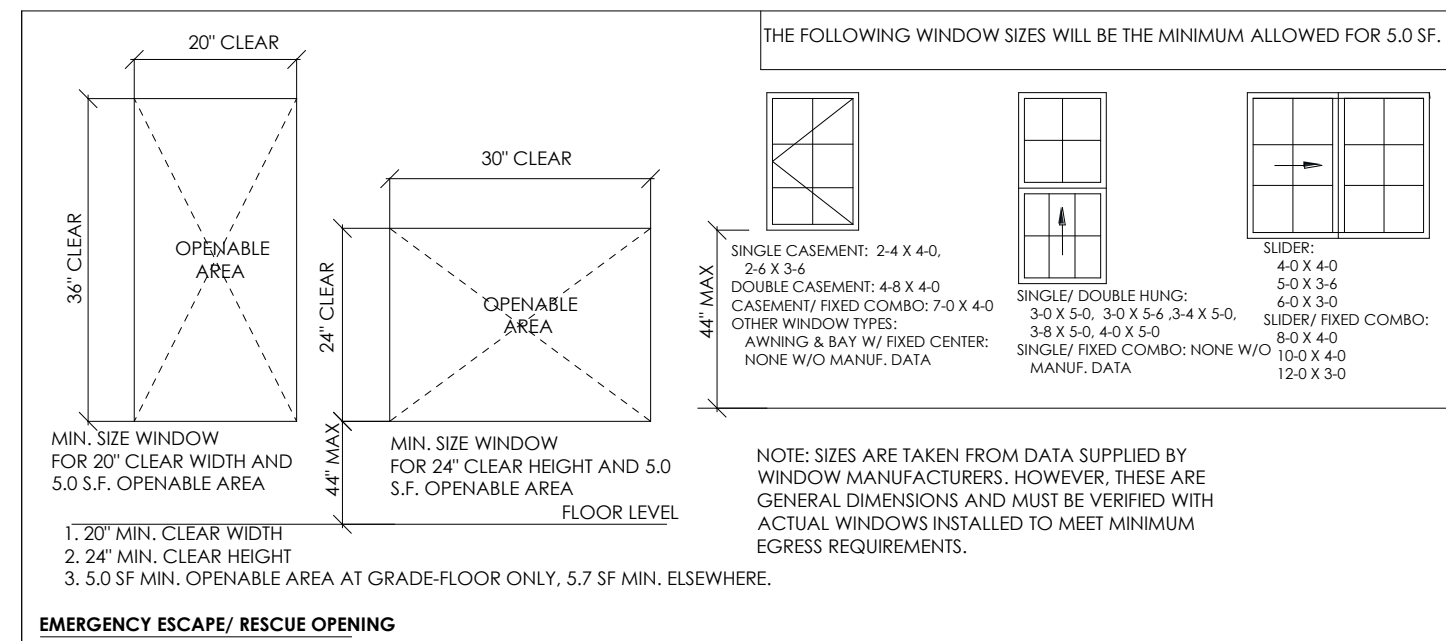


PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

- (S-1) HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTOR PERMITTED IN EXISTING CONSTRUCTION.
- (C-1) HARD-WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK UP. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED CARBON MONOXIDE DETECTOR PERMITTED IN EXISTING CONSTRUCTION.
- (F-1) MIN 50-CFM WITH HUMIDITY SENSOR EXHAUST FAN WITH MINIMUM 5 AIR CHANGE PER HOUR. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

- (N-1) PROVIDE 72" NON-ABSORBENT WALL SURFACE IN ALL BATHTUB AND SHOWER COMPARTMENTS.
- (T-1) 12" x 12" TUB ACCESS PANEL



NOTE: BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 SF WHEN ABOVE THE GRADE FLOOR AND 5.5 SF ON THE GRADE FLOOR. A MINIMUM NET HEIGHT OF 24", A MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR. MANUFACTURER'S DATA SHOWING COMPLIANCE WITH EGRESS REQUIREMENTS MUST BE REPRODUCED ON THE DRAWINGS FOR ANY WINDOWS DEVIATING FROM THE APPROVED WINDOW SIZES SHOWN ON LADB3 CONVENTIONAL CONSTRUCTION SHEET.(CRC R310.1)

- ELECTRICAL NOTES:**
A. INSTALL ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) IN ACCORDANCE WITH CEC 210.12 IN ALL NEW CONSTRUCTION (INCLUDING ADDITIONS) AND WHERE INSTALLING NEW CIRCUITS WITHIN EXISTING RESIDENCES.
B. INSTALL GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION (GFCI) IN ACCORDANCE WITH CEC 210.8 IN ALL NEW CONSTRUCTION (INCLUDING ADDITIONS) AND WHERE RENOVATING WITHIN EXISTING RESIDENCES.
C. PROVIDE TAMPER RESISTANT RECEPTACLES IN ACCORDANCE WITH CEC 406.1.1 IN ALL CONSTRUCTION (INCLUDING ADDITIONS) AND WHERE RENOVATING WITHIN EXISTING RESIDENCES.

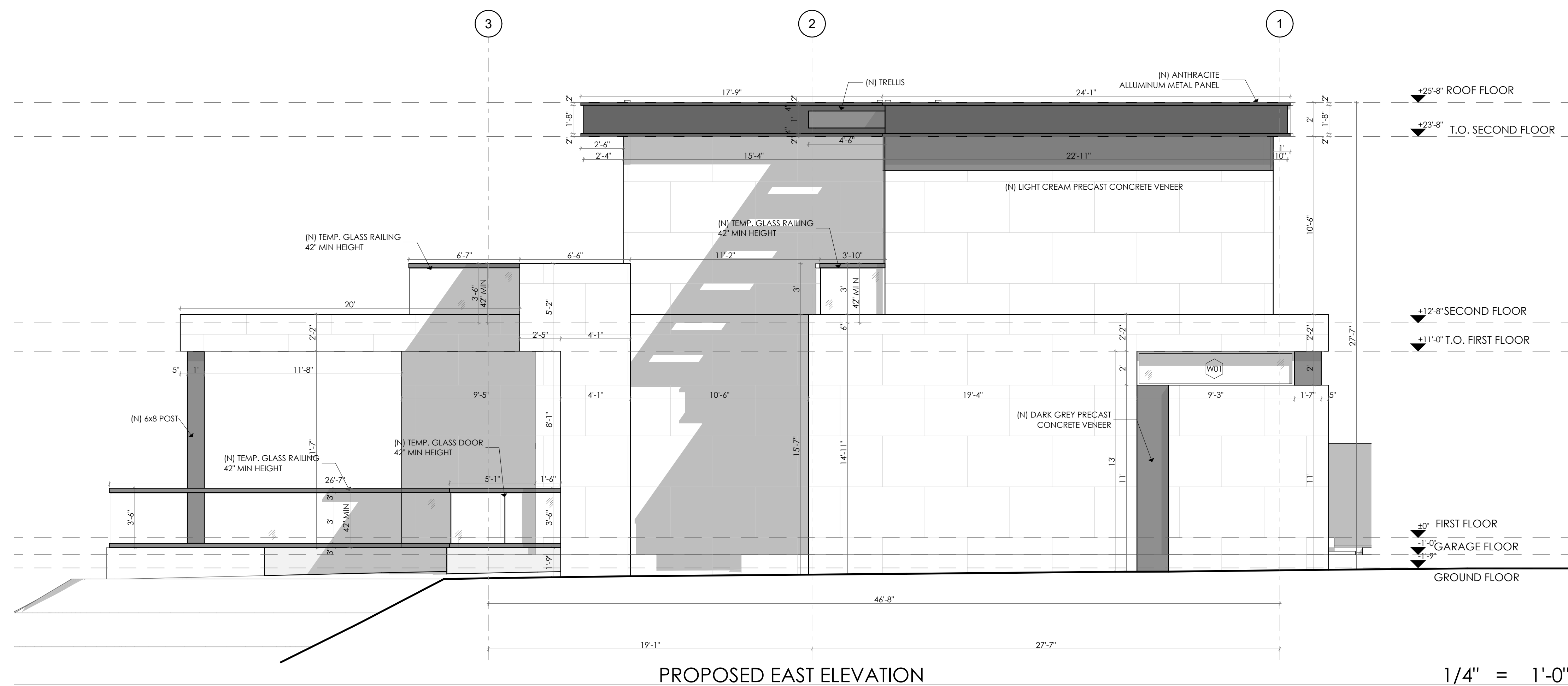
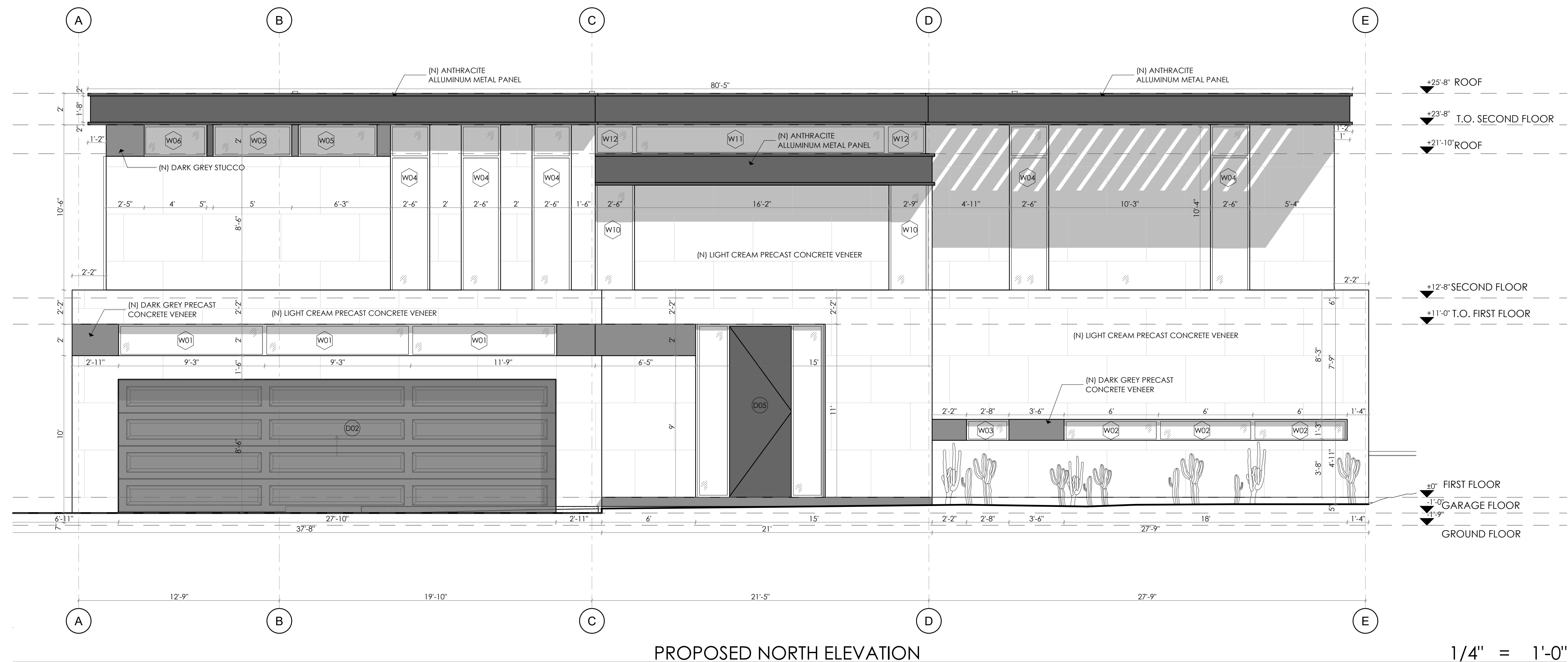
DOORS, WINDOWS, GLAZING, LIGHT & VENTILATION
1. BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 SF WHEN ABOVE THE GRADE FLOOR AND 5.5 SF ON THE GRADE FLOOR. A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR. MANUFACTURER'S DATA SHOWING COMPLIANCE WITH EGRESS REQUIREMENTS MUST BE REPRODUCED ON THE DRAWINGS FOR ANY WINDOWS DEVIATING FROM THE APPROVED WINDOW SIZES SHOWN ON THE CITY OF BURBANK CONVENTIONAL CONSTRUCTION SHEET.(CRC R310.1)

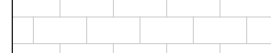
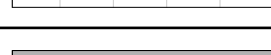

2. WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED AND THE WINDOW U-FACTOR AND SHGC MUST BE INDICATED ON THE SCHEDULE.

3. GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED (CRC R308.4). IN OPERABLE PANELS OF DOORS WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE AS MEASURED HORIZONTALLY AND IN A STRAIGHT LINE IN RAILINGS WITHIN 60" OF TUB OR SHOWER FLOOR GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" OF A WALKING SURFACE WHEN LESS IS 60" ABOVE THE ADJACENT WALKING SURFACE WITHIN 60" OF STAIRS AND STAIR LANDINGS

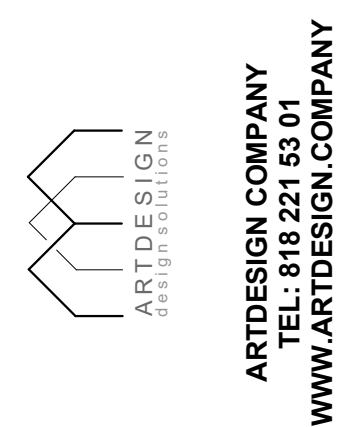
LEGEND	
	(N) WALL
	1 HOUR FIRE RATED WALL
	(N) FLAT ROOF
	(N) OPEN BALCONY

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PROJECT		JOB ADDRESS	
CLIENT/OWNER		1519 GLENMONT DR. GLENDALE, CA 91207 TIGRAN GEVORGYAN	
SHEET NUMBER		A-06	
7			



LEGEND	
	LIGHT CREAM PRECAST CONCRETE VENEER
	DARK GREY PRECAST CONCRETE VENEER
	ANTHRACITE ALUMINUM METAL PANEL

DATE:06/30/2023
JOB NO: AD22-038

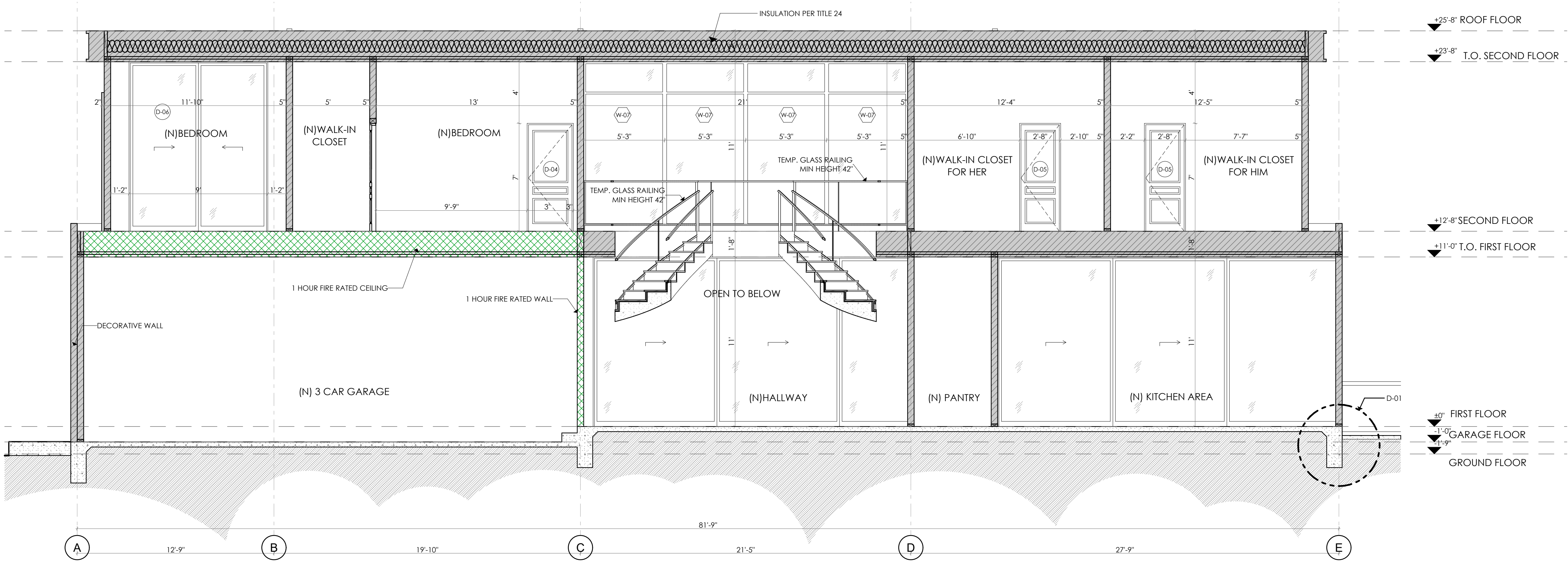


DESIGNED BY: MM
CHECKED BY: AA

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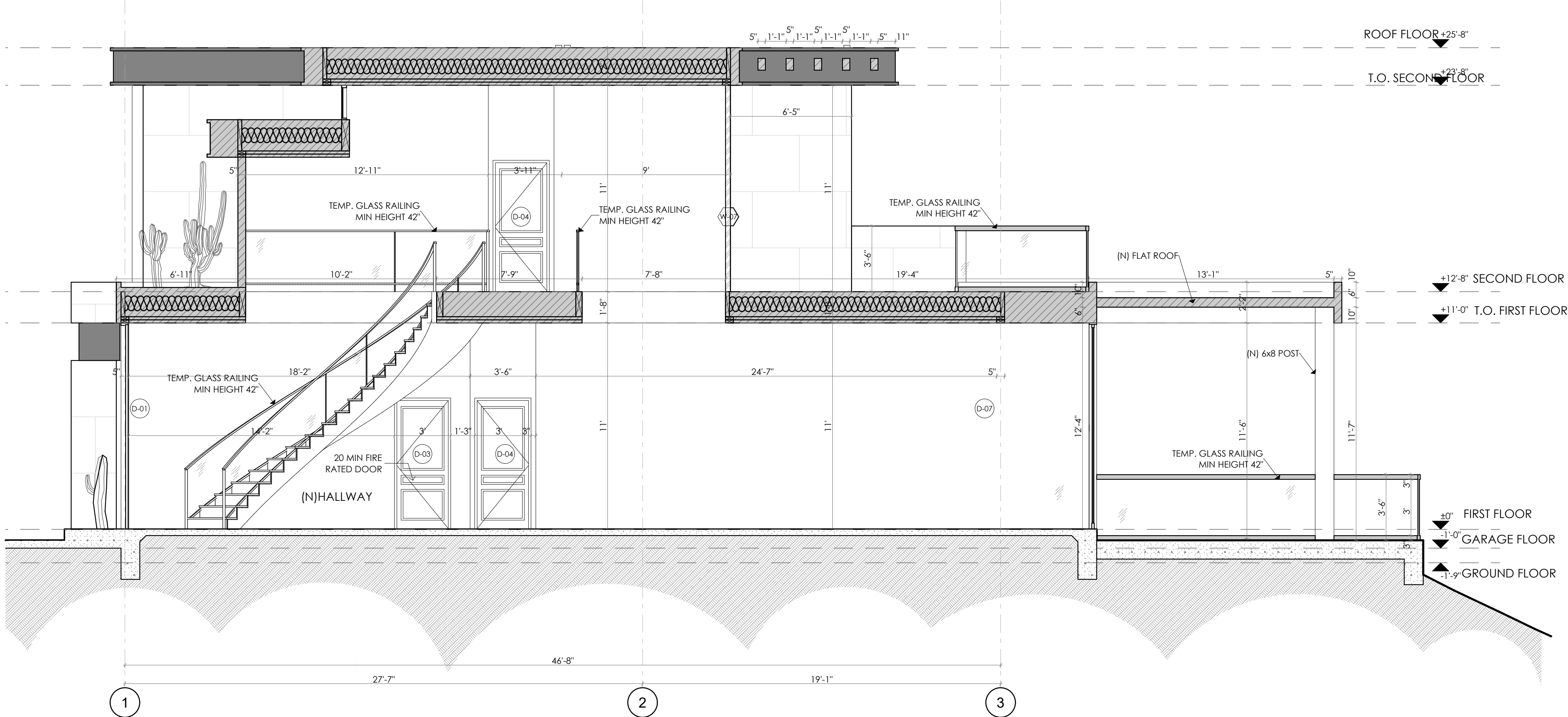
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FULL DEMOLITION OF 162,240SQFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY STD 12'x90' SQFT FIRST FLOOR AND 2,314 SQFT SECOND FLOOR. (N) 564 SQFT POOL WITH 124 SQFT SPA, (N) 3,385 SQFT COVERED PATIO, (N) BBQ AREA.



SECTION S-01

1/4" = 1'-0"



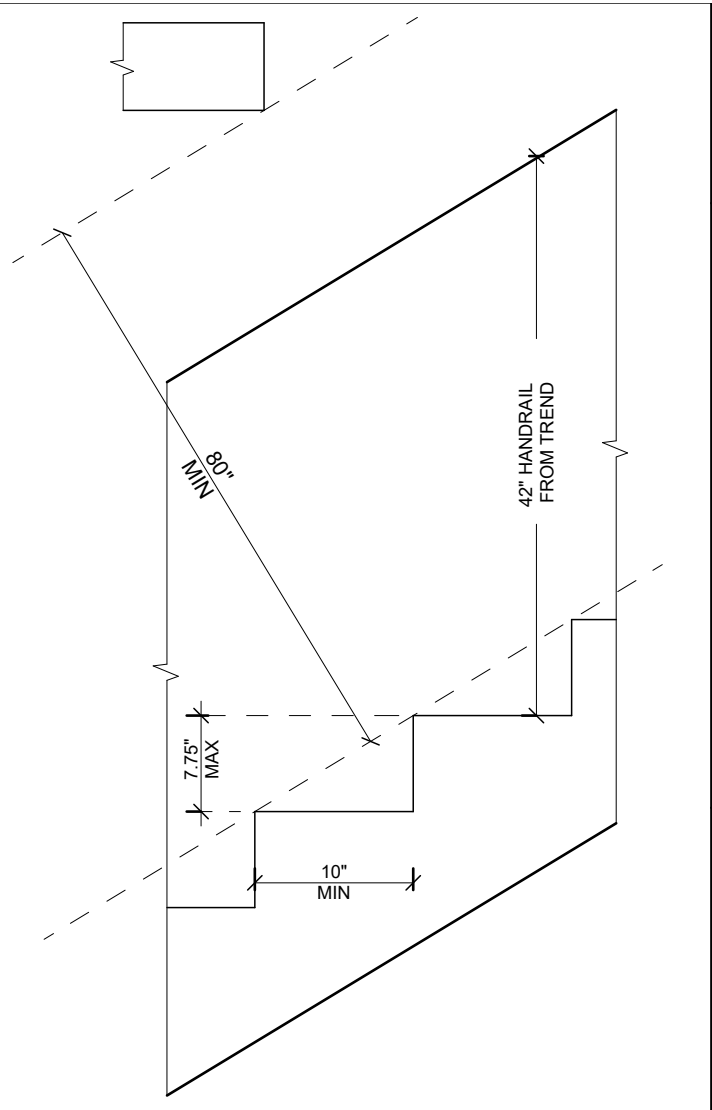
SECTION S-02

1/4" = 1'-0"

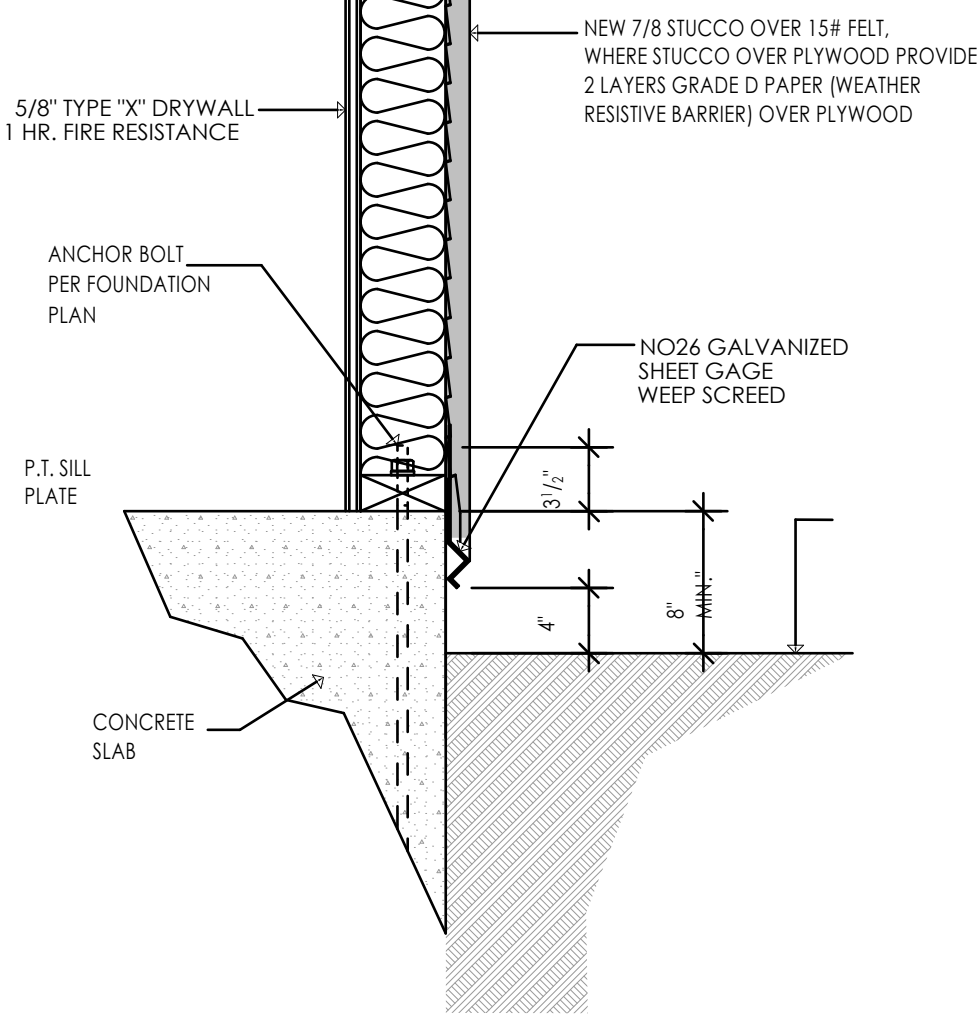
LEGEND	
	LIGHT CREAM PRECAST CONCRETE VENEER
	DARK GREY PRECAST CONCRETE VENEER
	ANTHRACITE ALUMINUM METAL PANEL
	CUT SURFACE
	CONCRETE
	EARTH
	EARTH

DETAIL 02

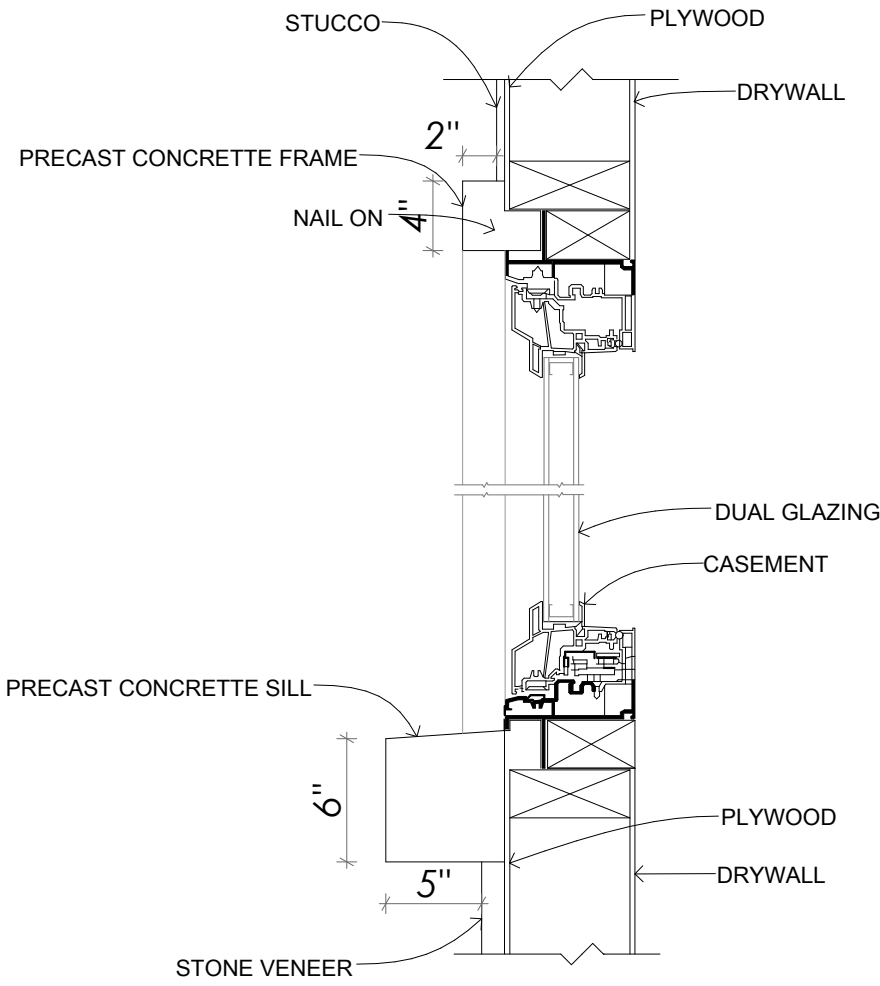
NOTE:
HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS (1014.3, R311.7, 8.3)
16. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. R303.7 & R303.8
17. PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS AT (.). R312.1.2, R312.1.3
18. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2020 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH, 2407



DETAIL 01




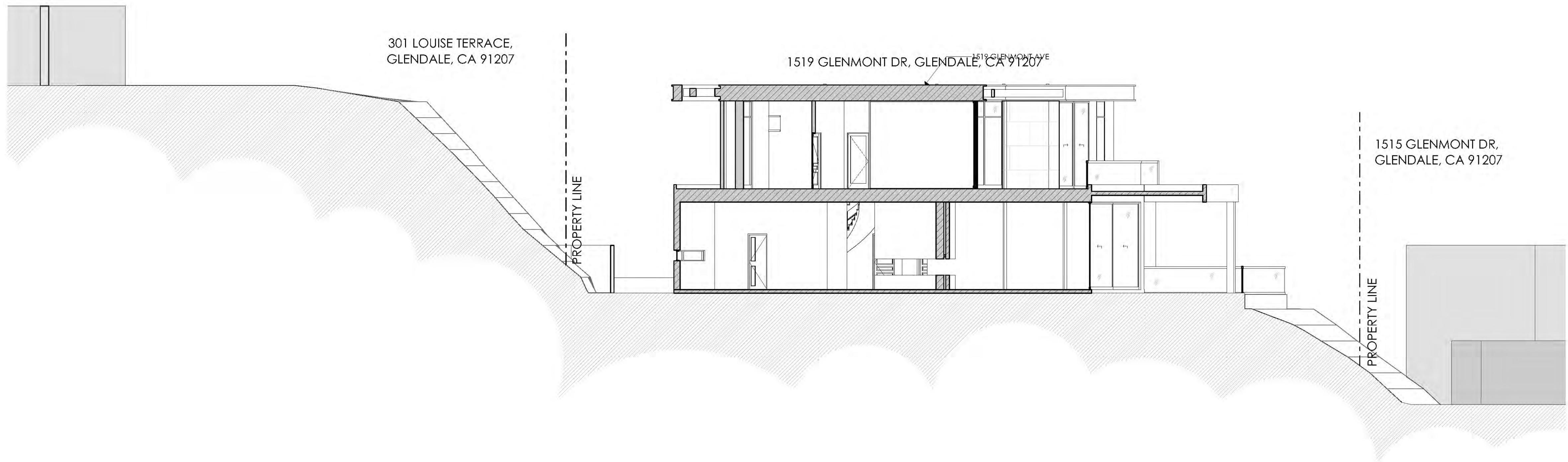
VERTICAL WINDOW SECTION DETAIL



DATE: 06/30/2023 JOB NO: AD22-038		ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COM	
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PROJECT	JOB ADDRESS	CLIENT/OWNER	
FULL DEMOLITION OF 12,240 SQFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,907 SQFT FIRST FLOOR AND 2,376 SQFT SECOND FLOOR). (N) 544 SQFT POOL WITH 124 SQFT SPA. (N) 3,385 SQFT COVERED PATIO. (N) BBQ AREA.		1519 GLENMONT DR. GLENDALE, CA 91207	
		TIGRAN GEVORGYAN	
A-10		SHEET NUMBER	
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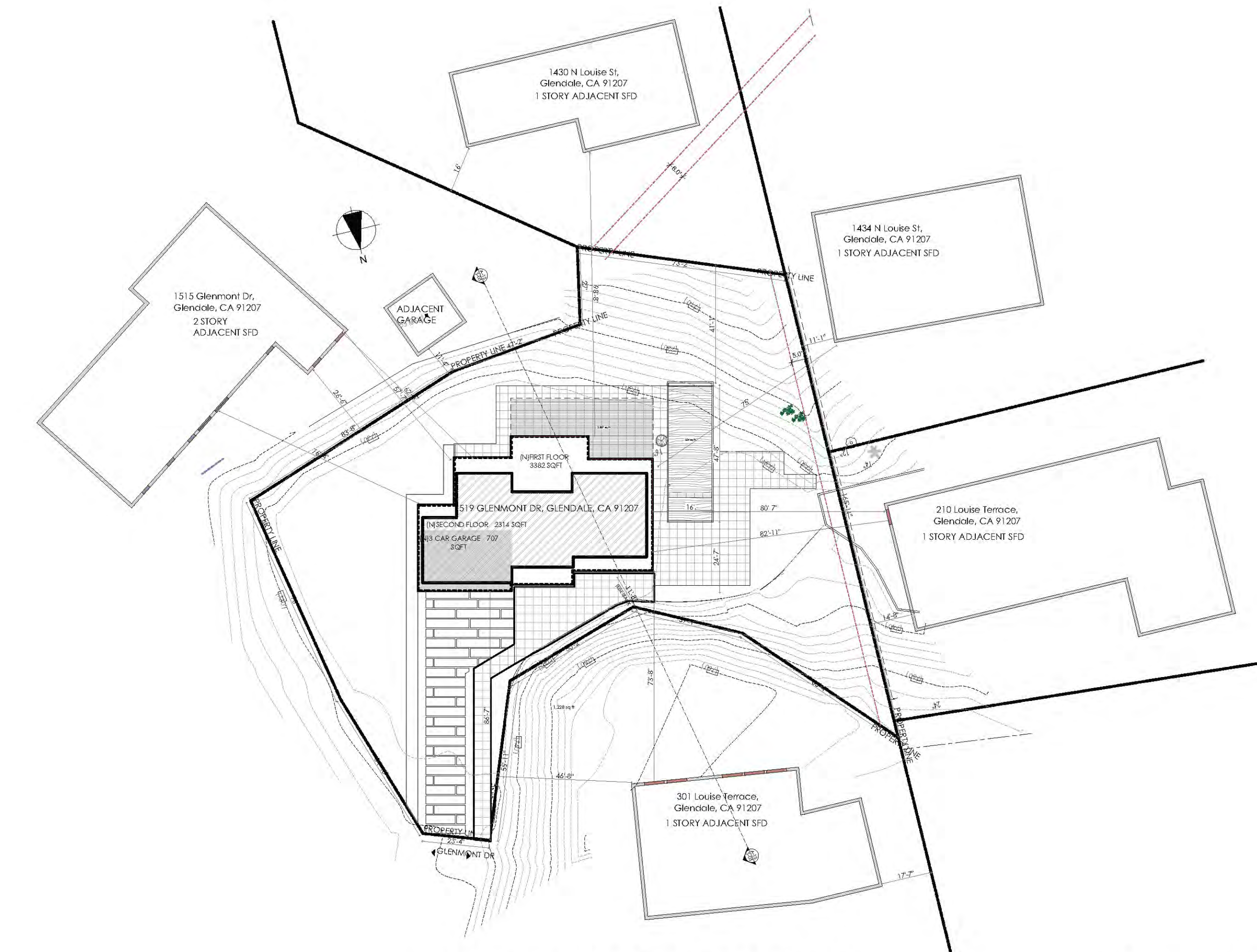

$$1/16'' = 1'-0''$$

A-12		SHEET NUMBER		13	
PROJECT	FULL DEMOLITION OF 1612.24050FT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT, 2.5 TORY SFD (2.97 SQFT FIRST FLOOR AND 2.14 SQFT SECOND FLOOR, (N) 544 SQFT POOL WITH 124 SQFT SPA, (N) 3,385 SQFT COVERED PATIO, (N) BBQ AREA				
	JOB ADDRESS	1519 GLENMONT DR, GLENDALE, CA 91207			
CLIENT/OWNER	TIGRAN GEVORGYAN				
DATE:06/30/2023 JOB NO: AD22-038					
ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COMpany		DESIGNED BY: MM CHECKED BY: AA			
BY	DESCRIPTION	DATE	REV		
			1	THE ABOVE DRAWINGS AND SPECIFICATIONS AND DETAILS, DESIGNATIONS AND ARRANGEMENTS REPRESENTED THEREBY, SHALL BE CONSIDERED AS THE FINAL AND COMPLETE SET OF CONTRACT DOCUMENTS. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE PROJECT ARCHITECT. THE PROJECT ARCHITECT SHALL BE RESPONSIBLE FOR THE PROJECT. THE DRAWINGS HAVE BEEN PREPARED AND DEVELOPED WITHOUT CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS. ANY CHANGES OR REVISIONS TO THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE PROJECT ARCHITECT. ANY CHANGES OR REVISIONS TO THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE PROJECT ARCHITECT. ANY CHANGES OR REVISIONS TO THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE PROJECT ARCHITECT.	
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PROPOSED SITE SECTION S-05

1/8" = 1'-0"



NEIGHBORING PROPERTIES PLAN

1/32" = 1'-0"

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JOB NO: AD22-038

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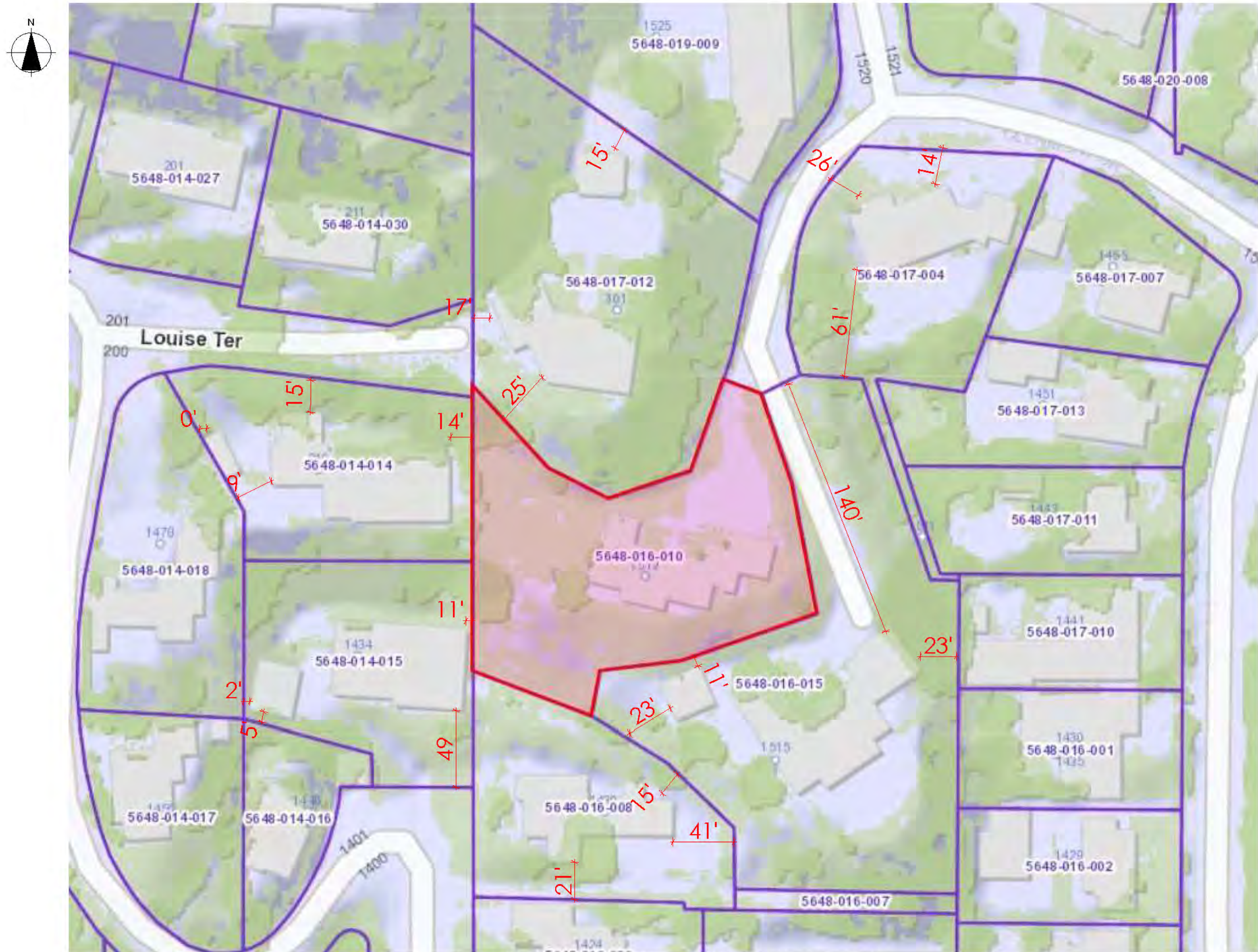
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APPLICABLE AGENCIES. CONTRACTORS SHALL VERIFY
ALL DIMENSIONS AND CONDITIONS SHOWN BY THE
DRAWINGS AND CONDITIONS SHOWN BY THE
OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE
DRAWINGS AND CONDITIONS SHOWN BY THE
OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE
CONSTRUCTION.

PROJECT	FULL DEMOLITION OF 1519 GLENMONT DR, GLENDALE, CA 91207 CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,907 SQFT FIRST FLOOR AND 2,376 SQFT SECOND FLOOR, IN 544 SQFT POOL WITH 124 SQFT SPA, IN 3,585 SQFT COVERED PATIO, IN BBQ AREA
JOB ADDRESS	1519 GLENMONT DR, GLENDALE, CA 91207
CLIENT/OWNER	TIGRAN GEVORGYAN

A-13

SHEET NUMBER
14



NEIGHBORING PROPERTIES SETBACK



NEIGHBORING PROPERTIES PLAN

1/32" = 1'-0"



1515 Glenmont Dr,
Glendale, CA
91207



1515 Glenmont Dr,
Glendale, CA
91207



1434 N Louise St,
Glendale, CA 91207



210 Louise Terrace,
Glendale, CA 91207




1430 N Louise St,
Glendale, CA 91207



301 Louise Terrace,
Glendale, CA 91207



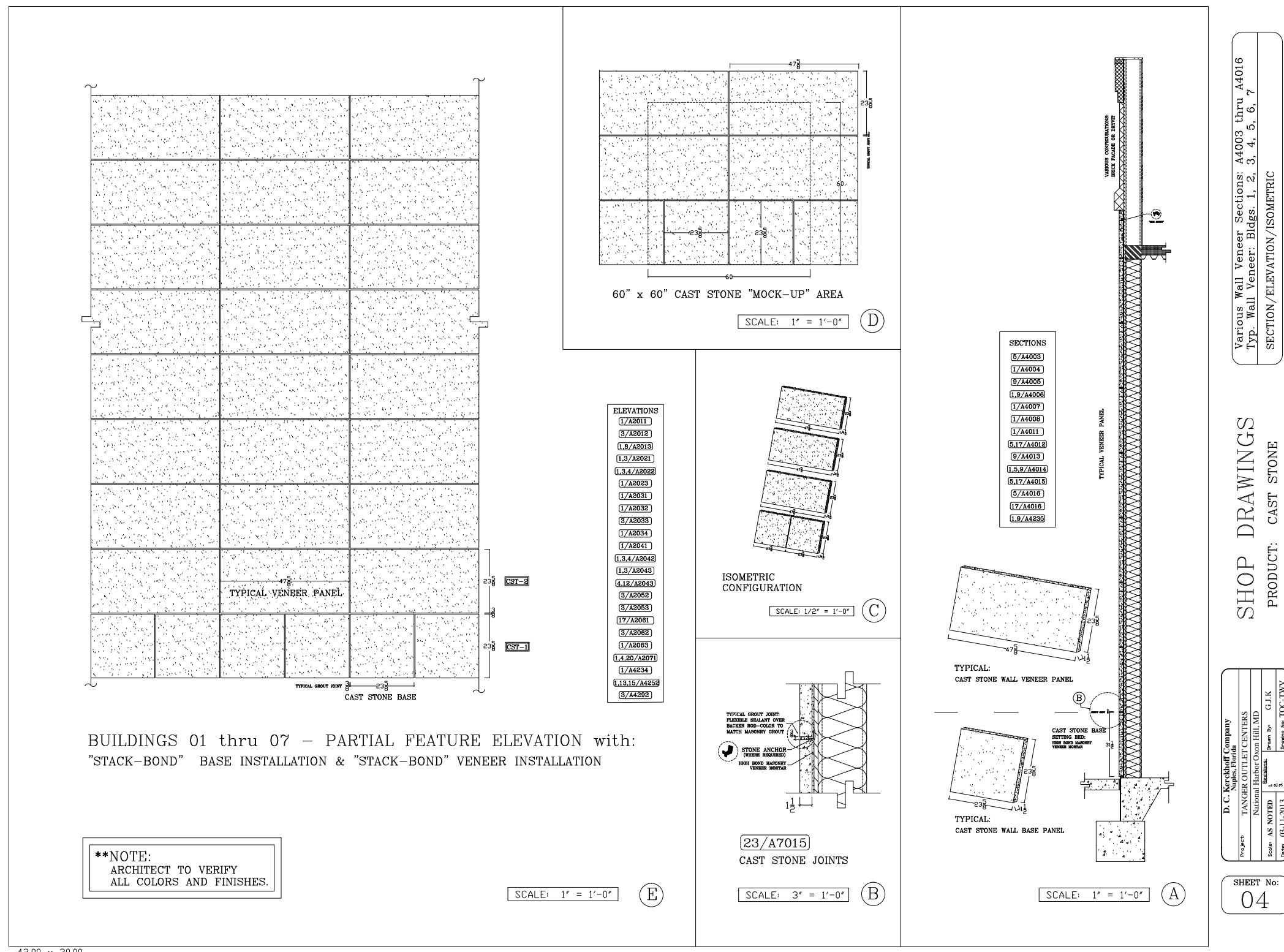
301 Louise Terrace,
Glendale, CA 91207

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REV	DATE	DESCRIPTION			
1		THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ART DESIGN COMPANY. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA. CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHOULD BE MADE BY THE CLIENT OR ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.			
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PROJECT		FULL DEMOLITION OF 16,240SQFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,307 SQFT FIRST FLOOR AND 2,976 SQFT SECOND FLOOR, (N) 564 SQFT POOL WITH 124 SQFT SPA, (N) 3,585 SQFT COVERED PATIO, (N) BBQ AREA			
JOB ADDRESS		1519 GLENMONT DR, GLENDALE, CA 91207			
CLIENT/OWNER		TIGRAN GEVORGYAN			
A-14					
SHEET NUMBER		15			



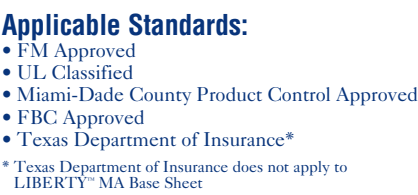
		DATE:06/30/2023 JOB NO: AD22-038	
		<div><div><div></div><div>ARTDESIGN</div><div>CONSTRUCTION</div></div><div>ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COMPNY</div></div>	
		DESIGNED BY: MM CHECKED BY: AA	
REV	DATE	DESCRIPTION	BY
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PROJECT		JOB ADDRESS	CLIENT/OWNER
		1519 GLENMONT DR, GLENDALE, CA 91207	TIGRAN GEVORGYAN
A-17			
SHEET NUMBER		18	

DESCRIPTION: LINEAR WALL VENEER		QTY:	PIECE WORK:				
COLOR:	TEXTURE:						
<div style="display: flex; justify-content: space-around; align-items: flex-start;"> <div style="text-align: center;"> <p>PLAN</p> </div> <div> <p>LINEAR VENEER SIZES (L x W x T)</p> <p><u>1" Thick Linear Veneer</u></p> <p>11-5/8" x 5-5/8" x 1"</p> <p>23-5/8" x 11-5/8" x 1"</p> <p><u>1-1/2" Thick Linear Veneer</u></p> <p>11-5/8" x 5-5/8" x 1-1/2"</p> <p>23-5/8" x 11-5/8" x 1-1/2"</p> <p><u>2" Thick Linear Veneer</u></p> <p>23-5/8" x 11-5/8" x 2"</p> <p><u>2-1/2" Thick Linear Veneer</u></p> <p>47-5/8" x 11-5/8" x 2-1/2"</p> <p>47-5/8" x 23-5/8" x 2-1/2"</p> <p>36" x 18" x 2-1/2"</p> <p>48" x 24" x 2-1/2"</p> </div> </div> <div style="text-align: center; margin-top: 20px;"> <p>SECTION</p> </div> <div style="text-align: center; margin-top: 20px;"> <p>ISOMETRIC</p> </div>							
		<table border="1" style="width: 100%;"> <tr> <td>PROJECT NAME: STONECAST STANDARD VENEER</td> <td>TICKETS:</td> </tr> <tr> <td>SCALE: NTS</td> <td>DRYING:</td> </tr> </table>		PROJECT NAME: STONECAST STANDARD VENEER	TICKETS:	SCALE: NTS	DRYING:
PROJECT NAME: STONECAST STANDARD VENEER	TICKETS:						
SCALE: NTS	DRYING:						



LIBERTY™

- ***✓ Safer For Your Building...*** Self-adhering membrane systems eliminate the need for open flames on your roof.
- ***✓ No Fumes...*** Unlike conventionally applied systems, eliminate the fumes and odors caused by hot asphalt or solvent-based adhesives.
- ***✓ Proven Technology...*** Based on the same technology used in GAF's commercial modified bitumen roofing systems—proven for over 40 years.
- ***✓ Great Warranty...*** Free Ltd. system warranty against material defects for up to 15 years.*
- ***✓ Extended Guarantees Available...*** Optional full-system warranties against manufacturing defects and workmanship for up to 20 years.
- ***✓ Peace Of Mind...*** Backed by GAF, North America's largest roofing manufacturer.
- ***✓ Seven Popular Colors...*** To complement your Timberline® or other residential single roof.



LIBERTY™ MA Base Sheet

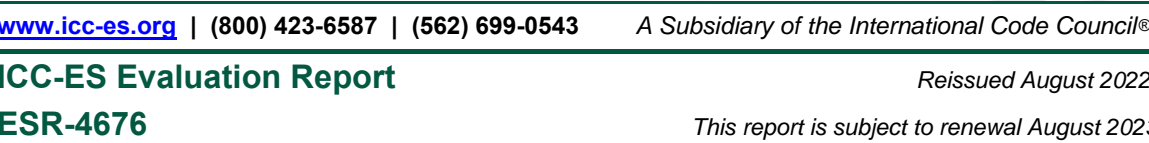
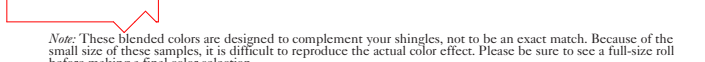
Roll length	66 ft (20.1 m)
Roll width	39.375 in (1.0 m)
Roll thickness	0.008 in (173 mm)
Roll weight	82 lbs (37.2 kg)
Roll size	2 squares, 216 sq ft (20.1 m ²)

LIBERTY™ Self-Adhering Base/Ply Sheet

Roll length	66 ft (20.1 m)
Roll width	39.375 in (1.0 m)
Roll thickness	0.008 in (173 mm)
Roll weight	82 lbs (37.2 kg)
Roll size	2 squares, 216 sq ft (20.1 m ²)

LIBERTY™ Self-Adhering Cap Sheet


Roll length	34.0 ft (10.4 m)
Roll width	39.375 in (1.0 m)
Roll thickness	0.017 in (4.0 mm)
Roll weight (Cap Sheet)	96.4 lbs (43.7 kg)
Roll size	1 square, 112 sq ft (10.4 m ²)



Liberty SBS Self-Adhering Cap Sheet is a durable, modified bitumen membrane designed and manufactured to meet industry and code requirements. The product is designed for use as a waterproofing membrane and is reinforced with a polyester mat, which is coated with a polymer-modified asphalt. Liberty systems are applied without torches, open flames, hot asphalt, or messy solvent-based adhesives and are suitable for primed plywood decks and many other substrates.

- Eliminates the fumes and odors caused by hot asphalt or solvent-based adhesives
- Requires minimal setup and cleanup for quick installation
- ASTM D6164 - type I, grade G
- FM approved
- UL classified
- Miami - dade county product control approved

WEB - <https://fourtechservice.com/>

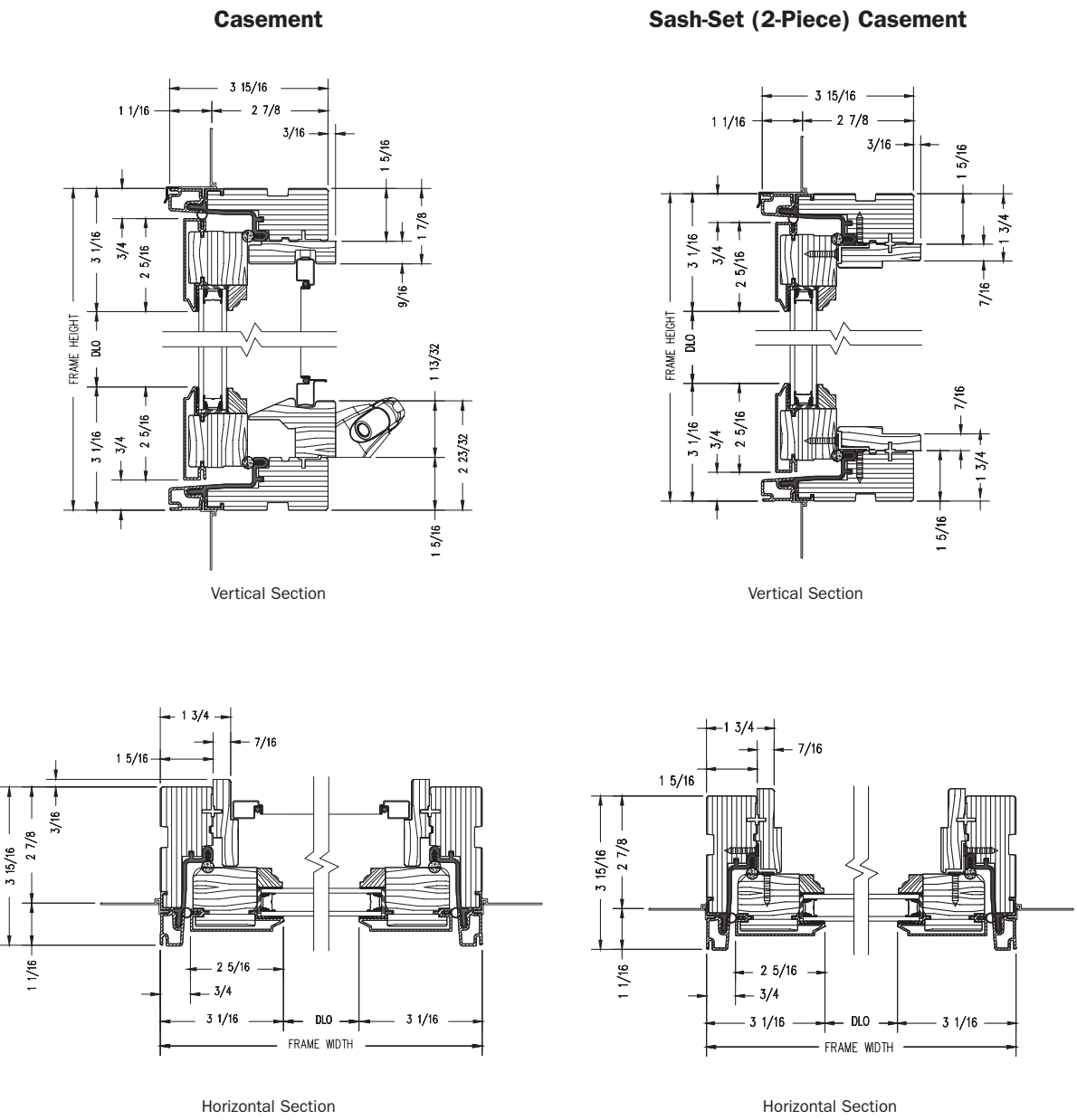
A-19		
SHEET NUMBER		
20		
PROJECT	FULL DEMOLITION OF 162,240 SQFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD, 12,907 SQFT FIRST FLOOR AND 2,314 SQFT SECOND FLOOR, (N) 544 SQFT POOL WITH 1,24 SQFT SPA, (N) 3,385 SQFT COVERED PATIO, (N) BBQ AREA	
JOB ADDRESS	1519 GLENMONT DR. GLENDALE, CA 91207	
CLIENT/OWNER	TIGRAN GEVORGYAN	
DESCRIPTION	THE ABOVE DRAWINGS AND SPECIFICATIONS AND REVISIONS, DESIGNATIONS AND ARRANGEMENTS REPRESENTED THEREBY, AND ANY PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT, WITHOUT THE WRITTEN CONSENT OF ART DESIGN COMPANY, INC. THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT ANY RESTRICTIONS, WRITTEN DIMENSIONS ON THESE DRAWINGS, CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE OFFICE MUST BE NOTIFIED OF ANY CHANGES TO THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ANY CHANGES MUST BE MADE TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE PRACTICE.	
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DESIGNED BY: MM CHECKED BY: AA		
DATE: 06/30/2023 JOB NO: AD22-038		
<div> ART DESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COM/PANY</div>		

WINDOW DETAILS

E-SERIES CASEMENT WINDOWS



Casement Windows



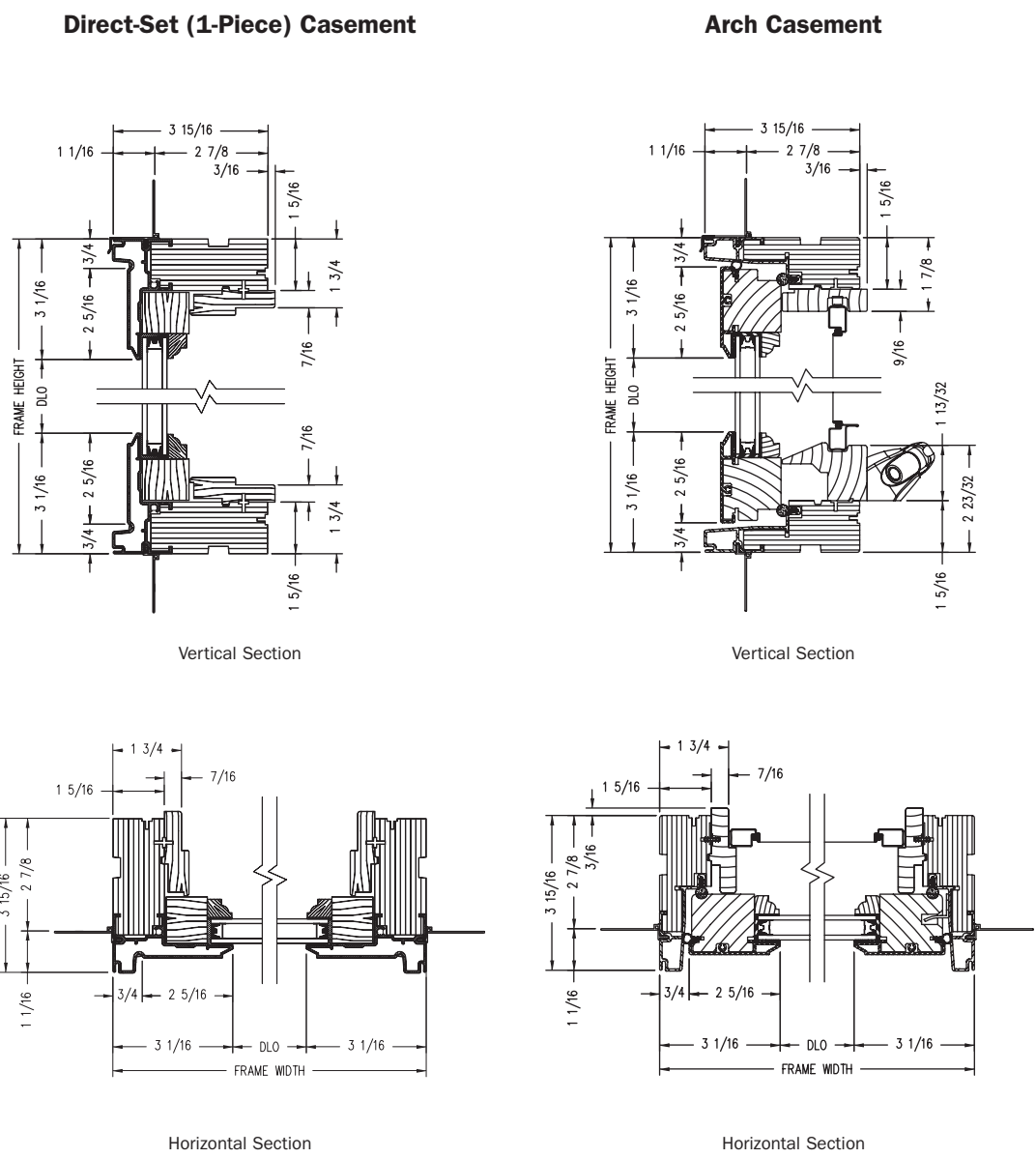
Shown with ovolo (colonial) glass stops.

PROPER INSTALLATION AND MAINTENANCE OF E-SERIES PRODUCTS IS ESSENTIAL TO ATTAIN OPTIMUM PERFORMANCE AND OPERATION. WRITTEN INSTALLATION INSTRUCTIONS THAT PROVIDE GUIDELINES FOR PROPER INSTALLATION ARE AVAILABLE BY VISITING ANDERSENWINDOWS.COM. CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.

E-SERIES CASEMENT WINDOWS



Casement Windows



Shown with ovolo (colonial) glass stops.

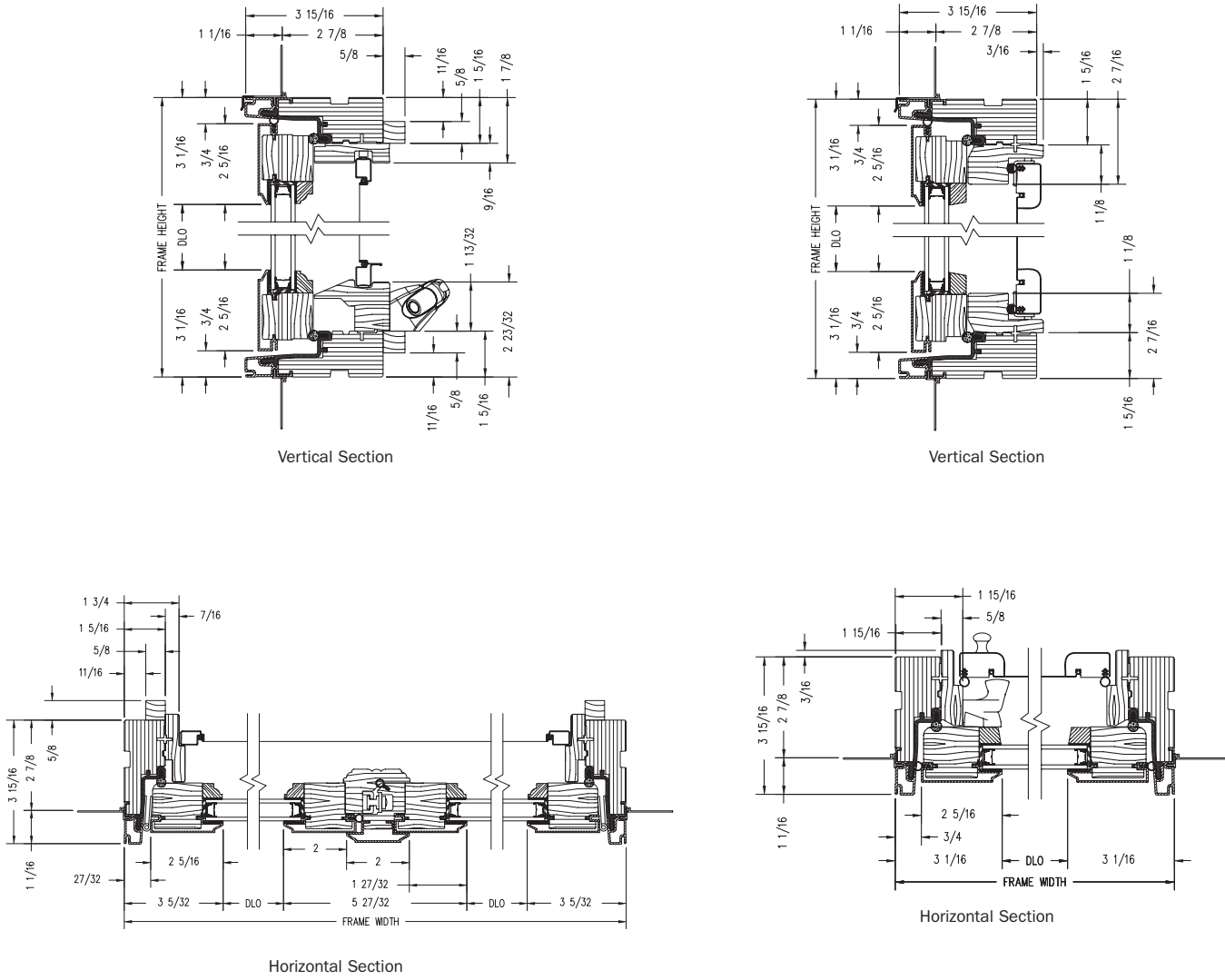
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E-SERIES CASEMENT WINDOWS



French Casement Windows

Push Out Casement Windows



Shown with ovolo (colonial) glass stops.

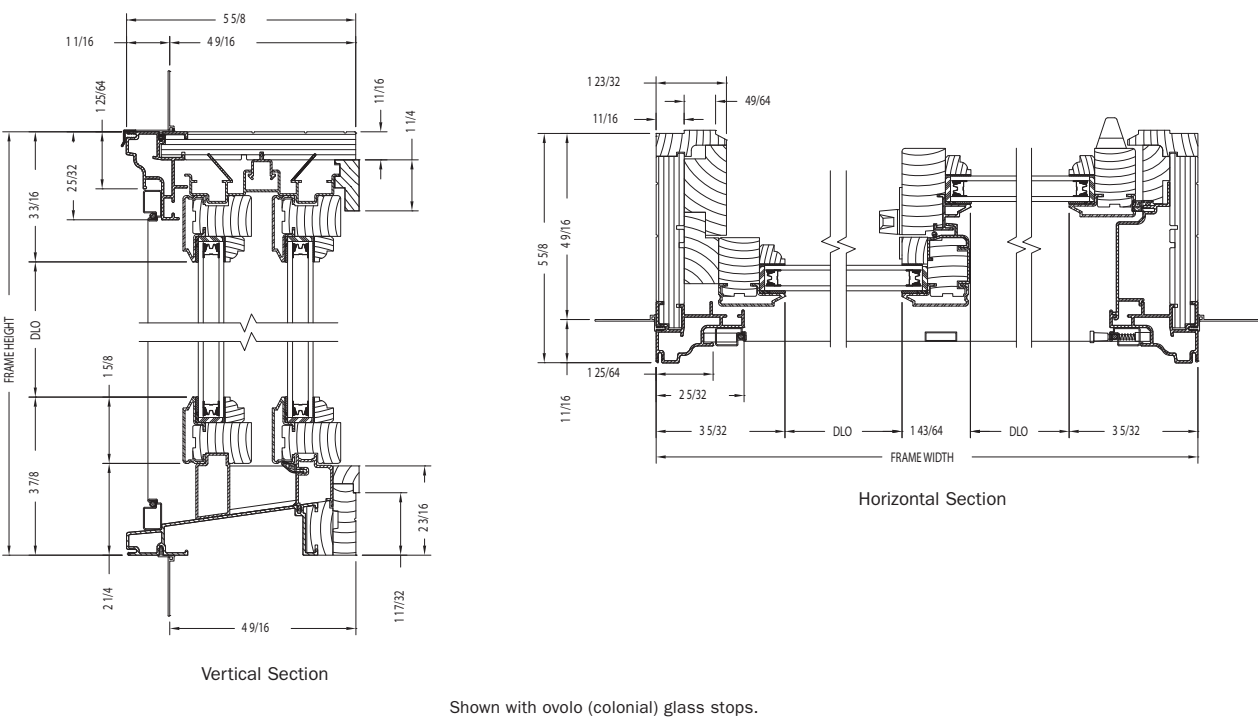
Shown with contemporary glass stops.

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E-SERIES GLIDING WINDOWS



2-Sash Gliding Windows



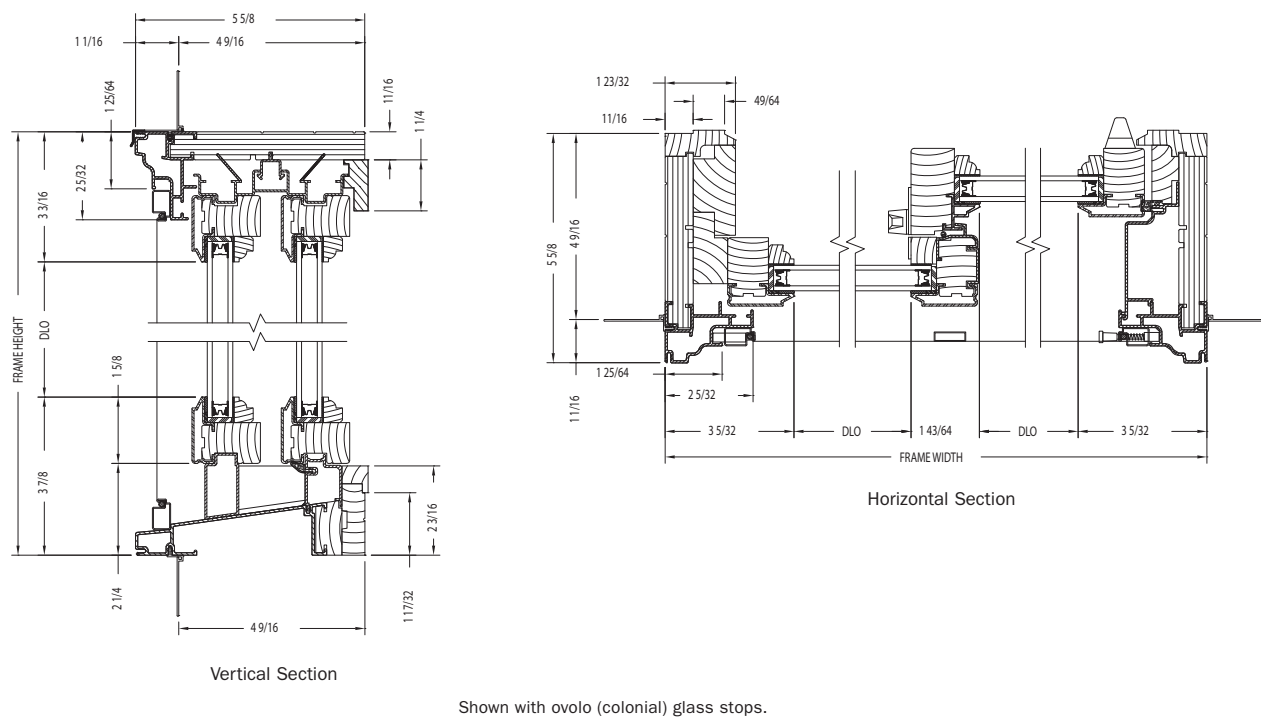
Shown with ovolo (colonial) glass stops.

PROPER INSTALLATION AND MAINTENANCE OF E-SERIES PRODUCTS IS ESSENTIAL TO ATTAIN OPTIMUM PERFORMANCE AND OPERATION. WRITTEN INSTALLATION INSTRUCTIONS THAT PROVIDE GUIDELINES FOR PROPER INSTALLATION ARE AVAILABLE BY VISITING ANDERSENWINDOWS.COM. CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.

E-SERIES GLIDING WINDOWS



2-Sash Gliding Windows



Shown with ovolo (colonial) glass stops.

PROPER INSTALLATION AND MAINTENANCE OF E-SERIES PRODUCTS IS ESSENTIAL TO ATTAIN OPTIMUM PERFORMANCE AND OPERATION. WRITTEN INSTALLATION INSTRUCTIONS THAT PROVIDE GUIDELINES FOR PROPER INSTALLATION ARE AVAILABLE BY VISITING ANDERSENWINDOWS.COM. CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.

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JOB NO: AD22-038



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PROJECT	FULL DEMOLITION OF 12124 SQFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,907 SQFT FIRST FLOOR AND 2,376 SQFT SECOND FLOOR), IN 544 SQFT POOL WITH 124 SQFT SPA, IN 3,985 SQFT COVERED PATIO, IN BBQ AREA
JOB ADDRESS	1519 GLENMONT DR, GLENDALE, CA 91207
CLIENT/OWNER	TIGRAN GEVORGYAN

A-20

SHEET NUMBER
21

DOOR DETAILS

SERIES 3070-T

MULTI-SLIDE & POCKET DOOR

TYPICAL CONFIGURATIONS

Virtually Unlimited Multi-Slide, Pocket and Corner applications.

MAX PANEL WIDTH

MAX FRAME HEIGHT

EXAMPLE SHGC

EXAMPLE U-FACTOR

1'8"

1'12"

NFRC 0.21

S.P.A. 0.22

NFRC 0.31

S.P.A. 0.29

Elevation View: OXXX Configuration

Head

Sill

Interlockers

Lock Jamb

Fixed Jamb

*Max width and height are not necessarily available in combination.

*Specimen size: Nom. 79" x 79"

*Simulated Performance Alternative size: 120" x 144" OXXX using Cardinal 366-69/Argon glass.

SERIES 3070-T

MINIMALIST HARDWARE

The standard locking system for the 3070-T is our patented Archetype system. For those desiring even more glass, we offer the optional Archetype Narrow, which is the same latch as the Archetype but with vertical actuation and a thinner profile of 3.25".

FROST CLIMATE EXTRUSIONS

The 3070-T was designed to emulate the Series 3070, but with added accommodations for colder climates. Each aluminum extrusion includes an integral thermal barrier that reduces thermal conduction of the exterior temperature to the interior. The resulting door system boasts energy performance that complies with some of the strictest energy codes in North America and retains a highly attractive aesthetic.

ARCHE-DUCT DRAINING SYSTEM

The Arche-Duct is proprietary to Fleetwood. This system allows for flush flooring and hurricane water performance. Customers may choose a continuous track or a staggered design, as shown here. Builders appreciate the threaded drain couplings, which offer a variety of placement options.

NO POST CORNER

Custom extrusions were created to allow 90° corner doors as well as odd angle corner doors without the need for a post or jamb. The result is the strongest and most attractive corner door on the market. Imagine the accentuation of your stunning view as you maximize space and minimize barriers between the inside and outside.

8

FLEETWOOD

FLEETWOODUSA.com

9

FLEETWOOD

WINDOWS & DOORS

SERIES 3070

DWG NO.: 3070-001

DATE: 10/31/23

0 1 2 3 4 5 6

USE MAP TO SCALE DIMENSIONS IN INCHES

SCALE: 1/4"

MULTI-SLIDE DOOR DETAILS

OXXX DOOR

1 MULTI-SLIDE HEAD DETAIL

2 MULTI-SLIDE HEAD DETAIL

3 MULTI-SLIDE SILL DETAIL

4 MULTI-SLIDE HEAD DETAIL

5 MULTI-SLIDE SILL DETAIL

6 FIXED JAMB

7 INTERLOCKERS

8 LOCK JAMB

9 FIXED JAMB INTERLOCKERS

10 INTERLOCKERS

11 MEETING STILES

12 INTERLOCKERS

13 LOCK JAMB

14 LOCK JAMB

NOTE: CENTERLINES ARE NOT DIVIDED EQUALLY; CONFIRM CENTERLINES WHEN REQUIRED.

OXXX DOOR

OXXX DOOR

*NET FRAME WIDTH DOES NOT INCLUDE SILL PAN.

SILL PAN EXTENDS 1/8" BEYOND EACH JAMB.

*PLAN VIEW DOES NOT SHOW SILL RISER.

*FOR ADDITIONAL OPTIONS AND UPGRADES SEE DRAWINGS 3070-07, 3070-08 & 3070-11.

*GLASS PENETRATION: 11/16"

*EXTERIOR RATED PRODUCTS HAVE WEEP SLOTS ON HORIZONTAL SILLS.

SERIES 3070

SERIES 3070

MULTI-SLIDE & POCKET DOOR

TYPICAL CONFIGURATIONS

Virtually Unlimited Multi-Slide, Pocket and Corner applications.

MAX PANEL WIDTH

MAX FRAME HEIGHT

EXAMPLE SHGC

EXAMPLE U-FACTOR

1'10"

1'18"

NFRC 0.22

S.P.A. 0.24

NFRC 0.47

S.P.A. 0.32

Elevation View: OXXX Configuration

Head

Sill

Interlockers

Lock Jamb

Fixed Jamb

*Max width and height are not necessarily available in combination.

*Specimen size: Nom. 79" x 79"

*Simulated Performance Alternative size: 288" x 130" OXXX using SXH62/27-IS20/Argon Warm Edge glass.

SERIES 3070

CUSTOMIZABLE FEATURES

The 3070 can be customized to accommodate a wide variety of aesthetics and purposes. For example, both of the lock stile choices offer unique design and ergonomics based on our patented Archetype technology.

WEATHER RATED FLUSH SILL

The optional Arche-Duct draining system allows for a continuous finished floor, similar to the Series 3050 Hidden Track, but with tested weather performance. The staggered Arche-Duct can also achieve up to hurricane-grade water performance.

DESIGN FLEXIBILITY

Be limited only by your imagination and stay true to the design intent with virtually unlimited choices in panel arrangement. The 3070's robust offering includes: no-post inside and outside custom angle corners, pocketing systems, and traditional configurations.

10

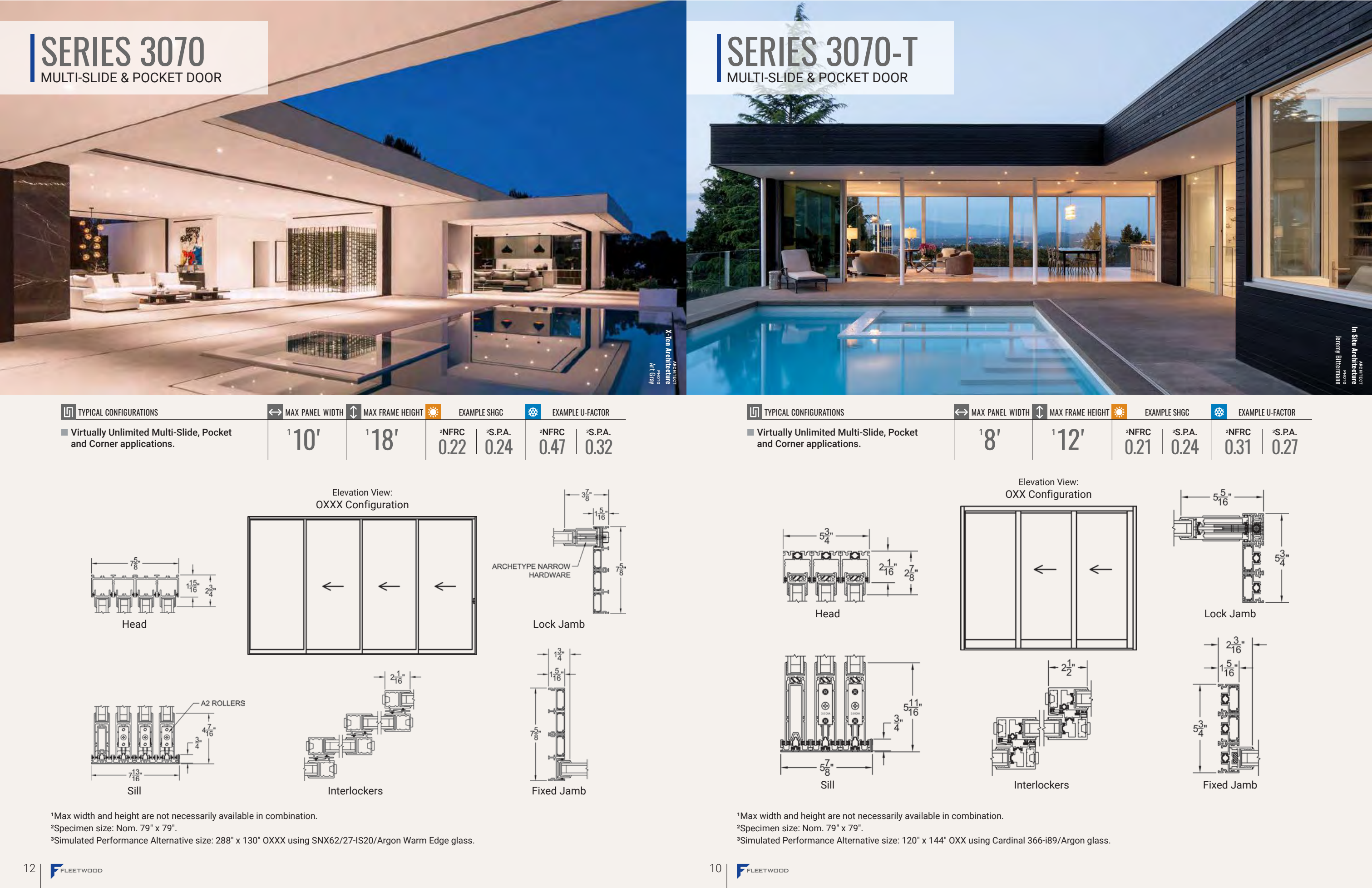
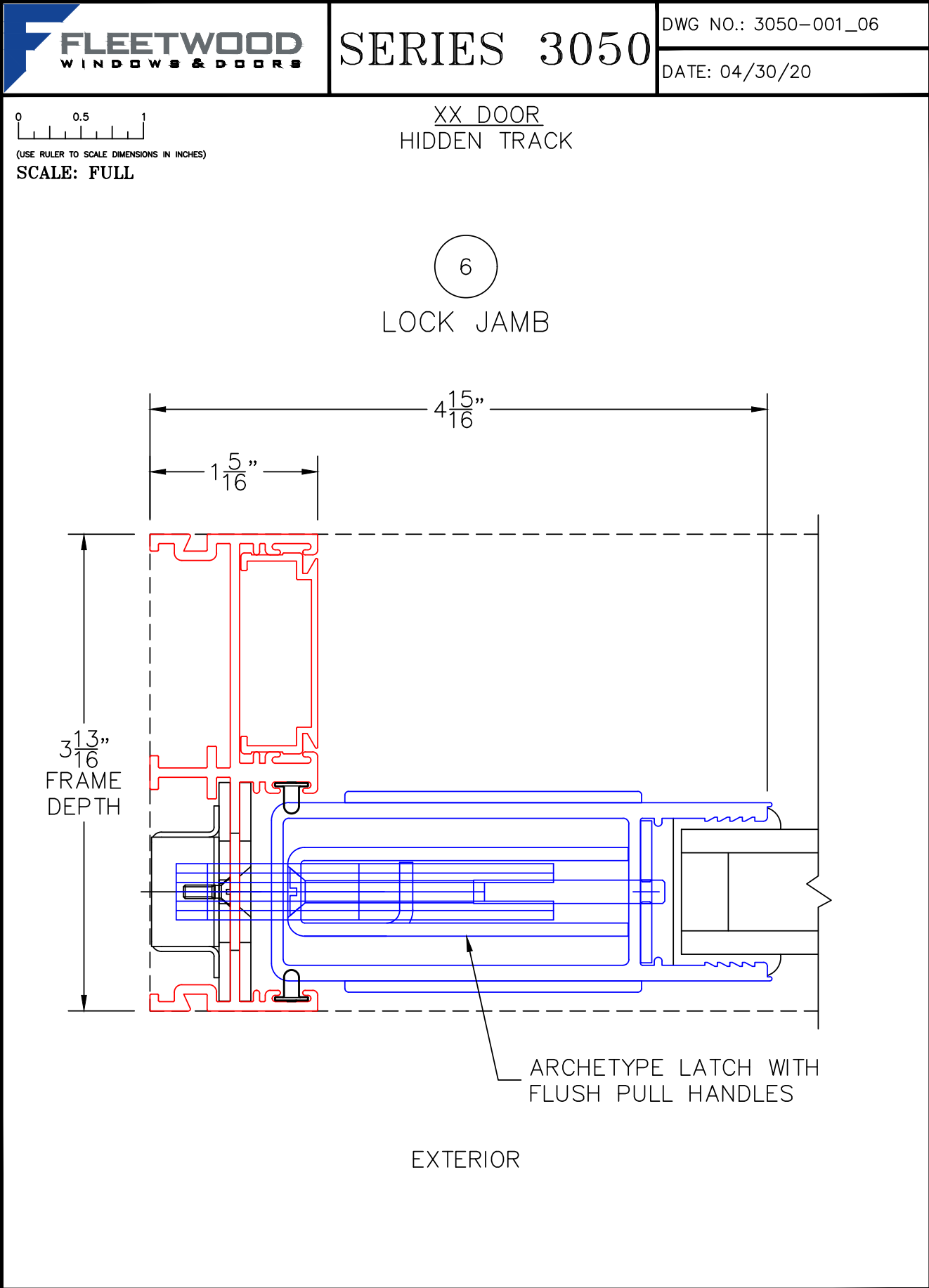
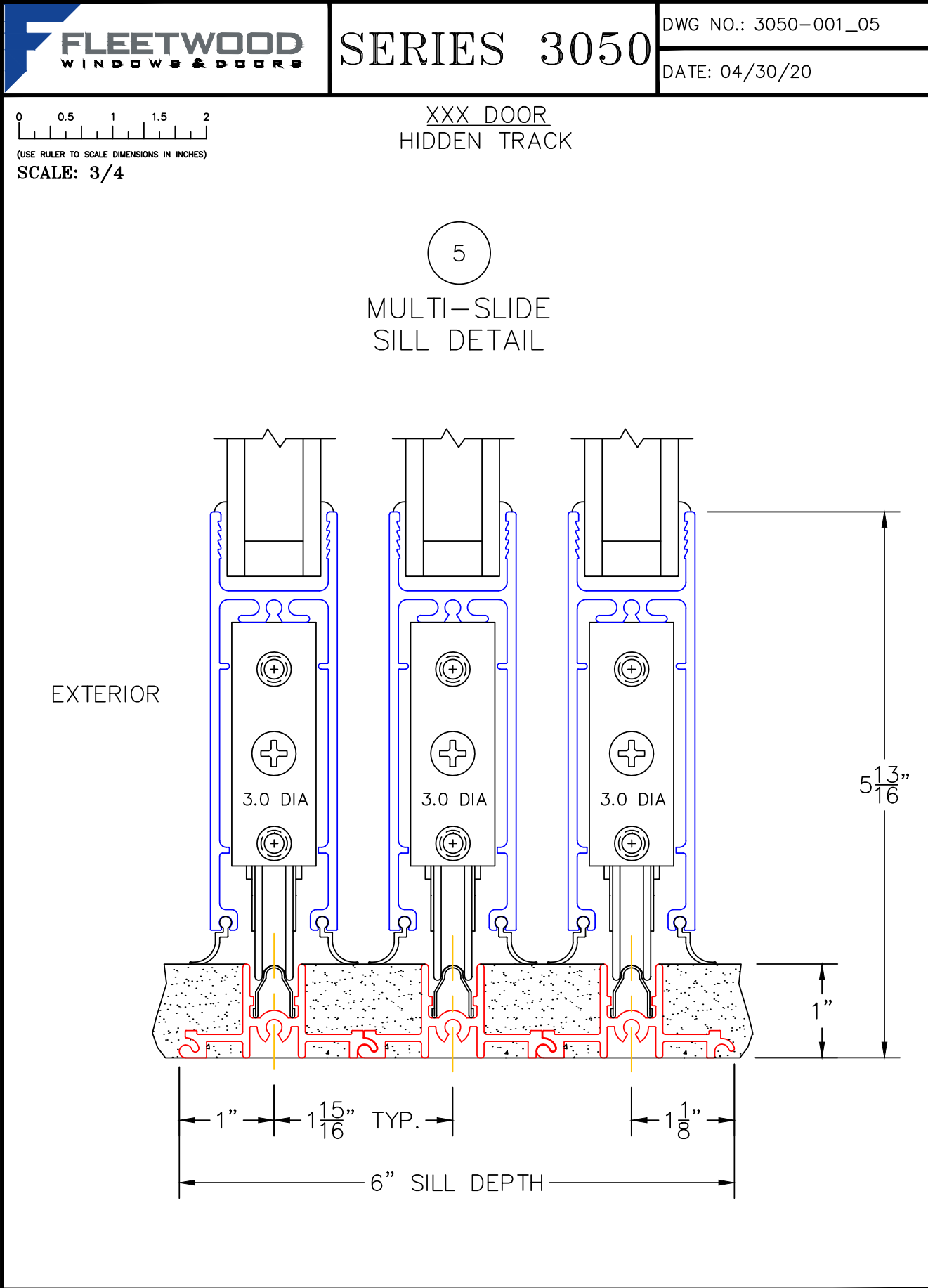
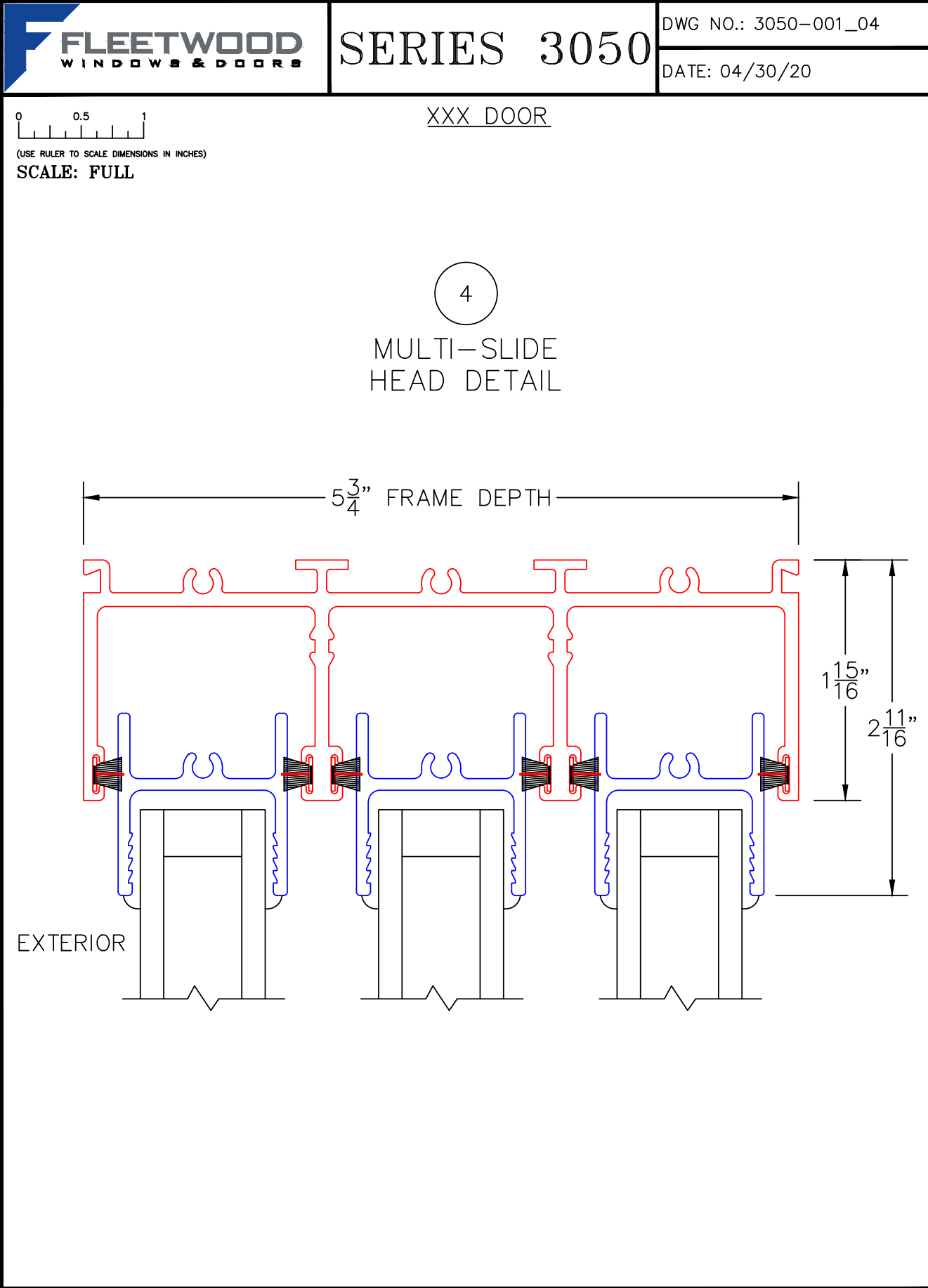
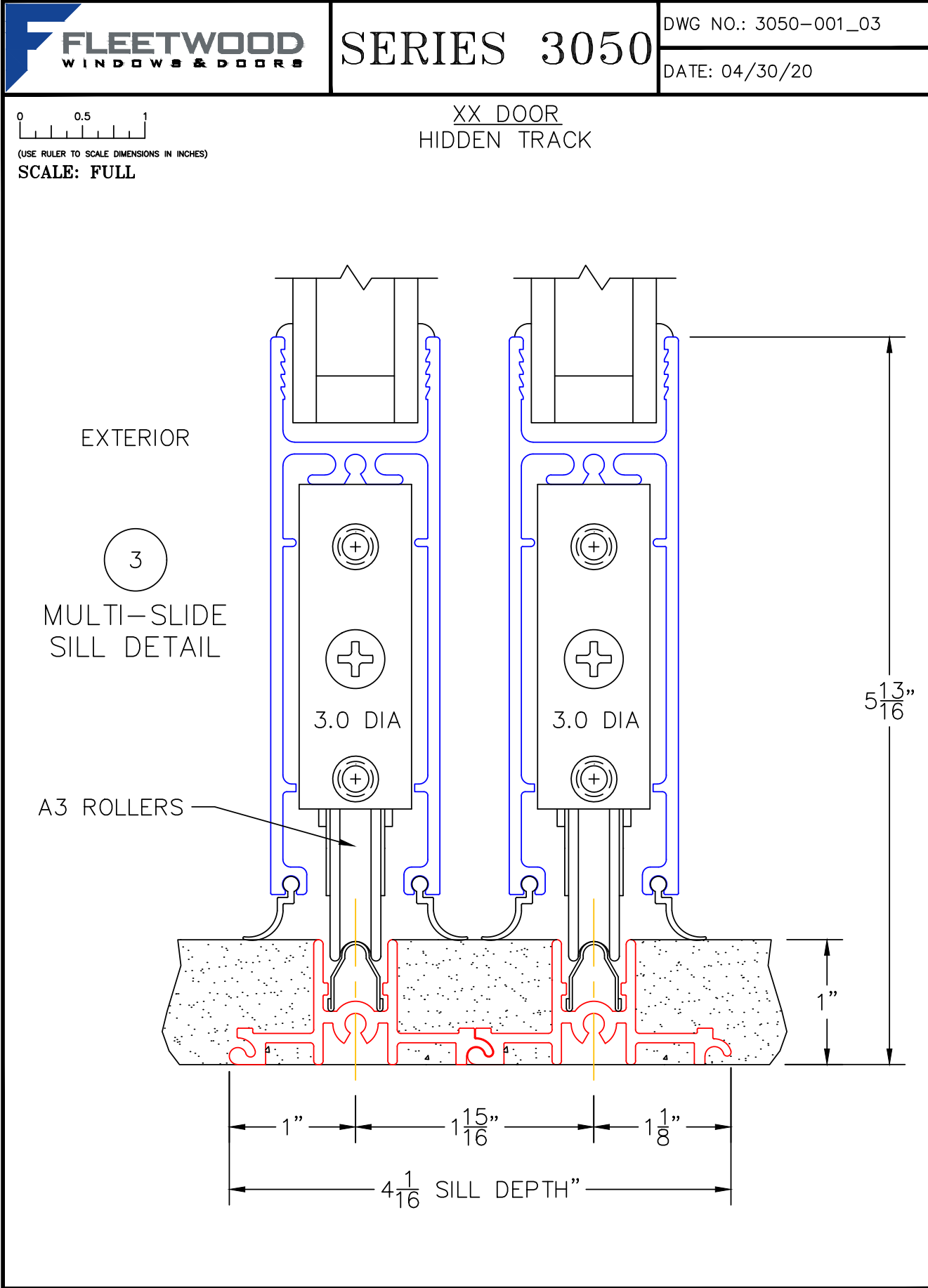
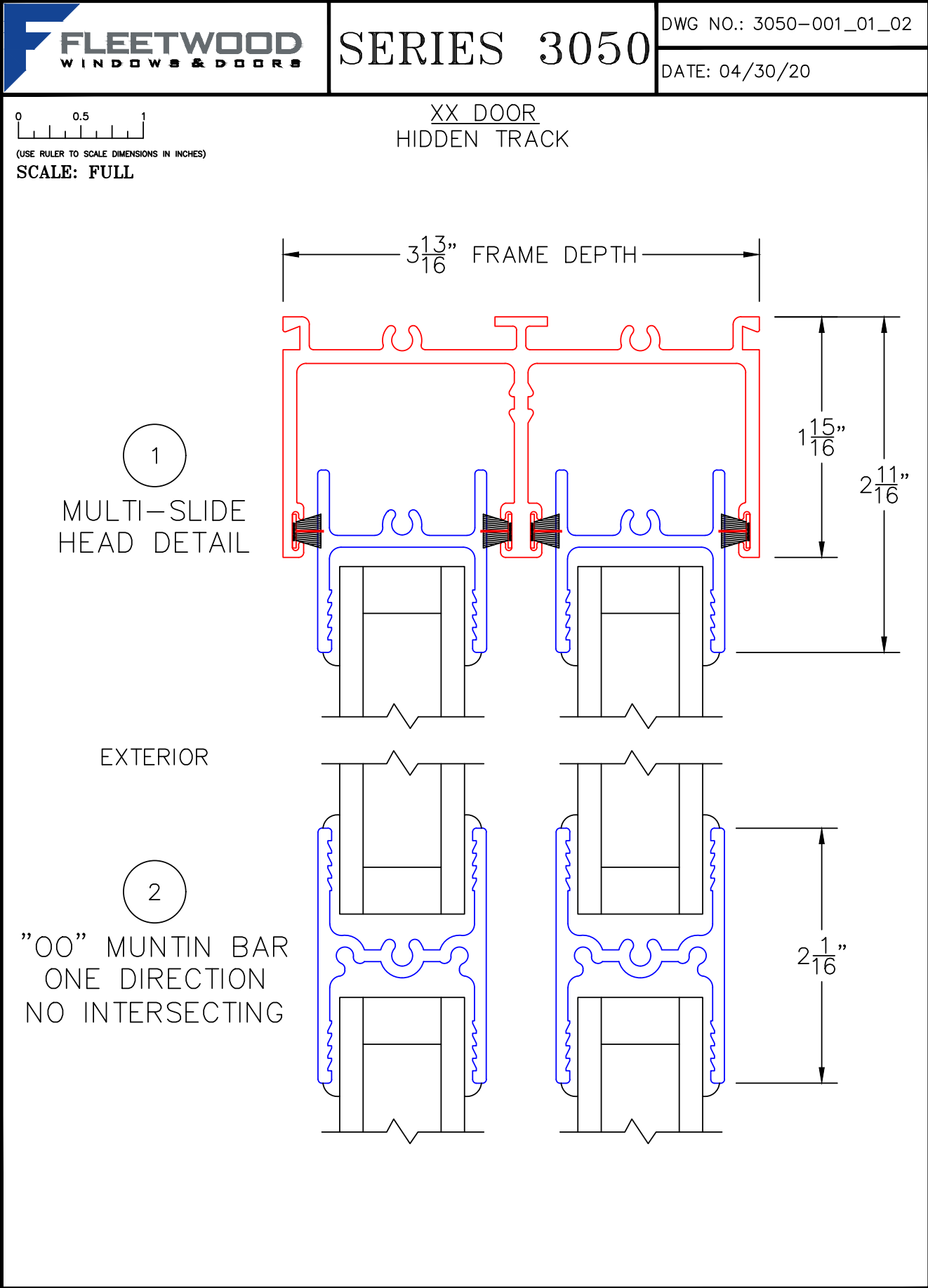
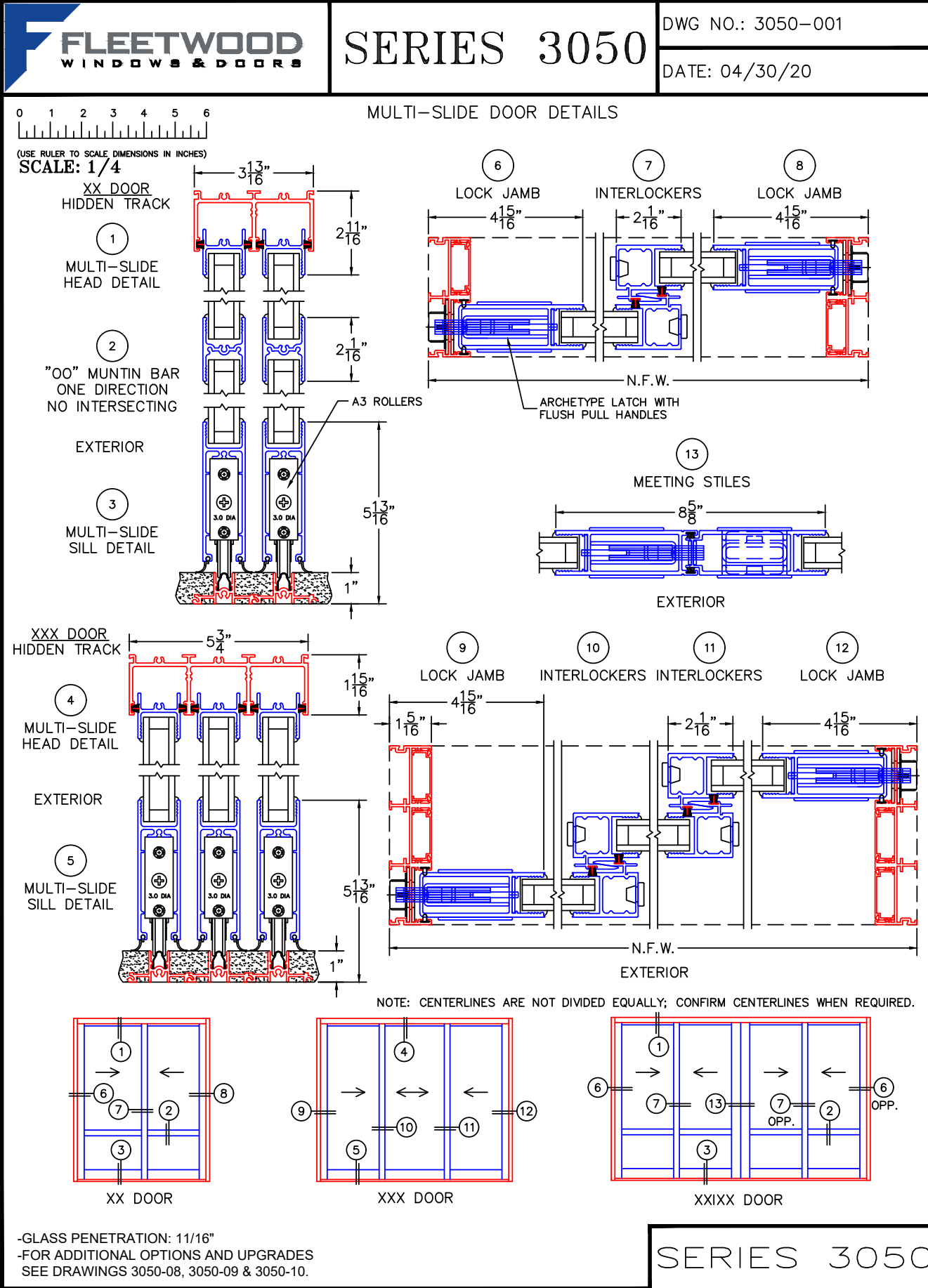
FLEETWOOD

For jobs requiring an impact rating, Fleetwood offers the Series 3070-HI. Visit our website for more information.

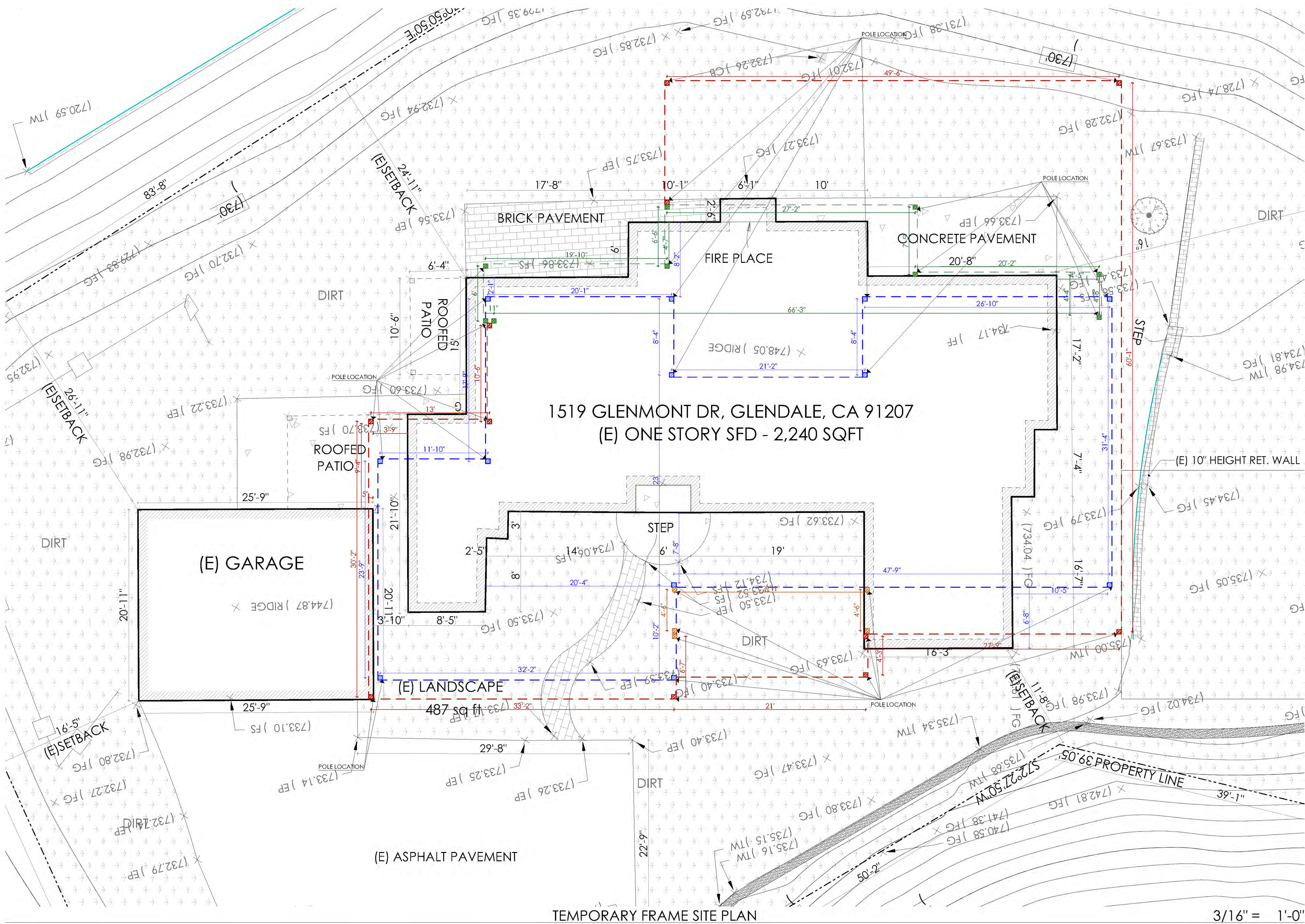
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DATE:06/30/2023 JOB NO: AD22-038		ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COM	
DESIGNED BY: MM CHECKED BY: AA			
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PROJECT	FULL DEMOLITION OF 162,240 SQ FT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQ FT 2 STORY SFD (2,297 SQ FT FIRST FLOOR AND 2,986 SQ FT SECOND FLOOR), (IN) 544 SQ FT POOL WITH 124 SQ FT SPA, (IN) 3,385 SQ FT COVERED PATIO, (IN) BBQ AREA	JOB ADDRESS	1519 GLENMONT DR. GLENDALE, CA 91207
CLIENT/OWNER	TIGRAN GEVORGYAN		
A-21			
SHEET NUMBER 22			



DATE: 06/30/2023 JOB NO: AD22-038		ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COM	
DESIGNED BY: MM CHECKED BY: AA	BY	DESCRIPTION	REV
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PROJECT	JOB ADDRESS	CLIENT/OWNER	
FULL DEMOLITION OF 121240SFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY 5D (2,907 SQFT FIRST FLOOR AND 2,376 SQFT SECOND FLOOR, IN) 544 SQFT POOL WITH 124 SQFT SPA, IN) 3,985 SQFT COVERED PATIO, IN) BBQ AREA			
	1519 GLENMONT DR. GLENDALE, CA 91207	TIGRAN GEVORGYAN	
SHEET NUMBER 23			




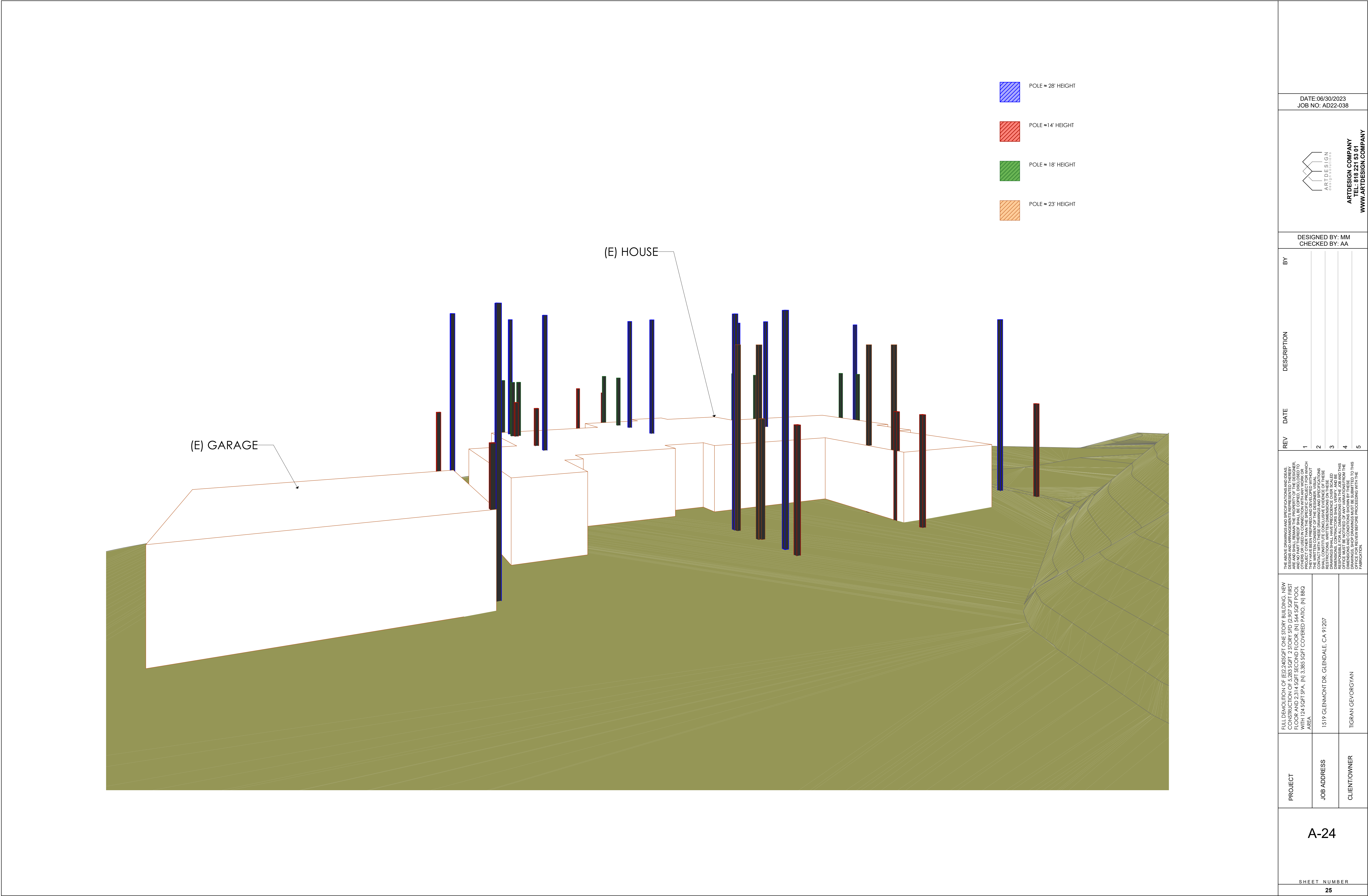
- POLE = 28' HEIGHT
- POLE = 14' HEIGHT
- POLE = 18' HEIGHT
- POLE = 23' HEIGHT

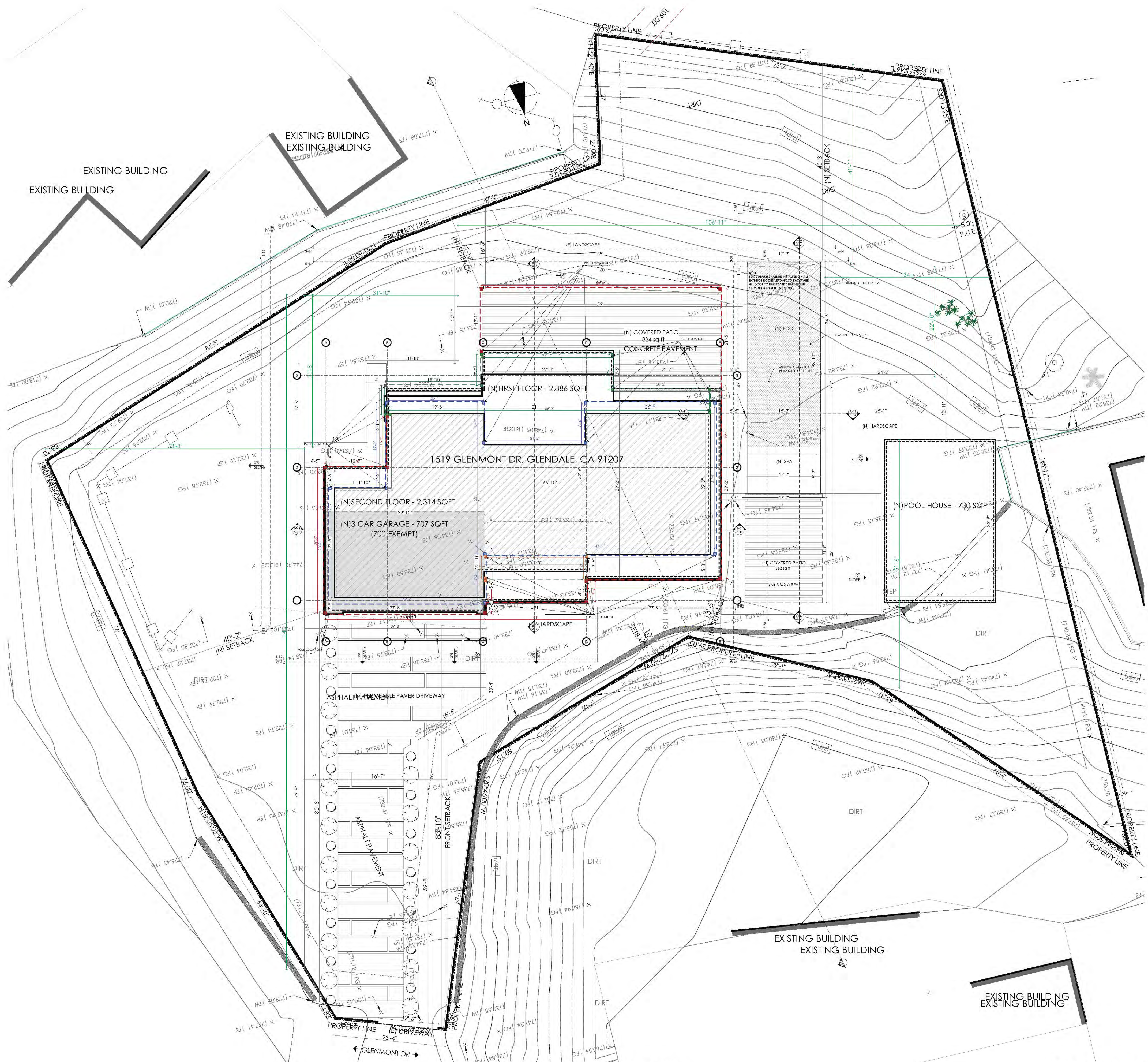
1519 GLENMONT DR, GLENDALE, CA 91207
(E) ONE STORY SFD - 2,240 SQFT

TEMPORARY FRAME SITE PLAN

3/16" = 1'-0"

SHEET NUMBER		A-23		PROJECT		FULL DEMOLITION OF 1519 GLENMONT DR ONE STORY BUILDING; NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,907 SQFT FIRST FLOOR AND 2,376 SQFT SECOND FLOOR); 1519 GLENMONT DR WITH 124 SQFT SPA, 1519 3,985 SQFT COVERED PATIO, 1519 BBQ AREA		JOB ADDRESS		1519 GLENMONT DR, GLENDALE, CA 91207		CLIENT/OWNER		TIGRAN GEORGYAN	
DATE: 06/30/2023 JOB NO: AD22-038		 ARTDESIGN GROUP		ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COM		DESIGNED BY: MM CHECKED BY: AA		BY		REV		DATE		DESCRIPTION	
1														THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN, AND NO PART THEREOF, SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT, WITHOUT THE WRITTEN CONSENT OF ARTDESIGN COMPANY. THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT ANY RESTRICTIONS, WRITTEN DIMENSIONS OR SPECIFICATIONS ON THESE DRAWINGS AND SPECIFICATIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING WITH THE WORK.	
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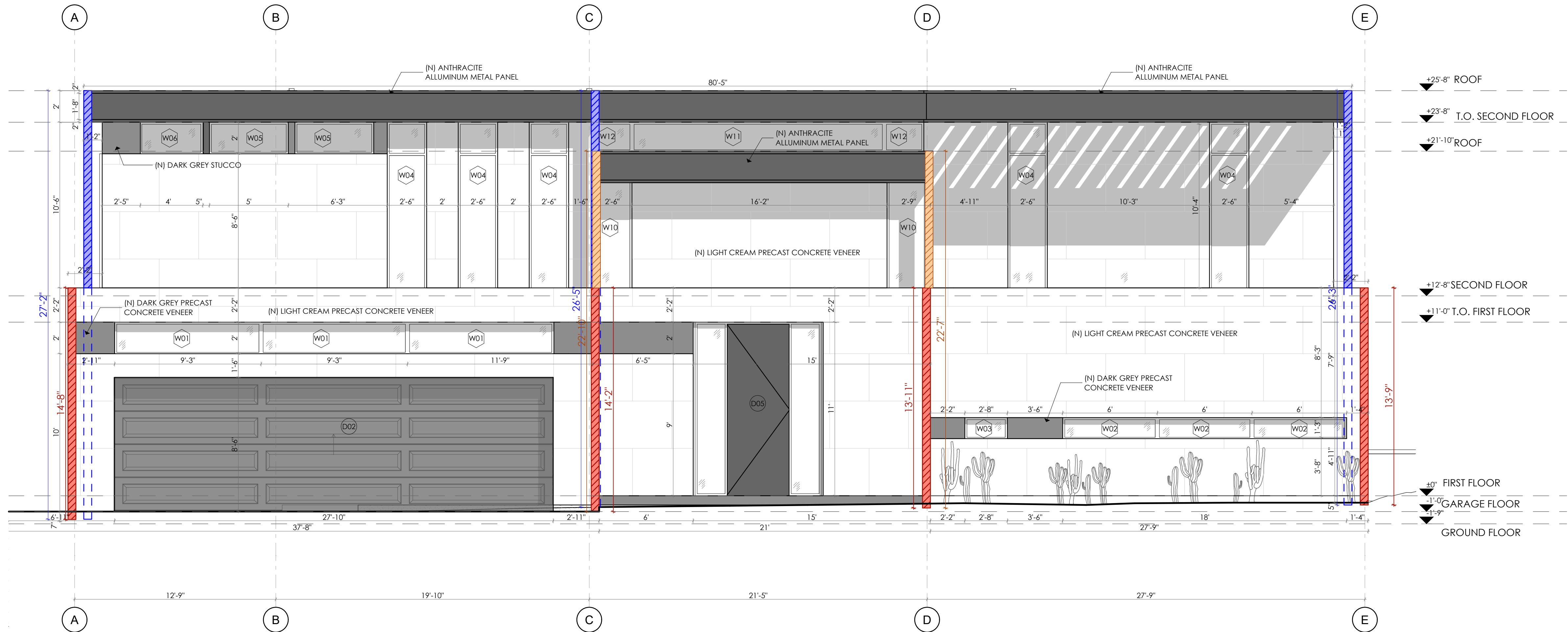


- POLE = 28' HEIGHT
- POLE = 14' HEIGHT
- POLE = 18' HEIGHT
- POLE = 23' HEIGHT

TEMPORARY FRAME SITE PLAN

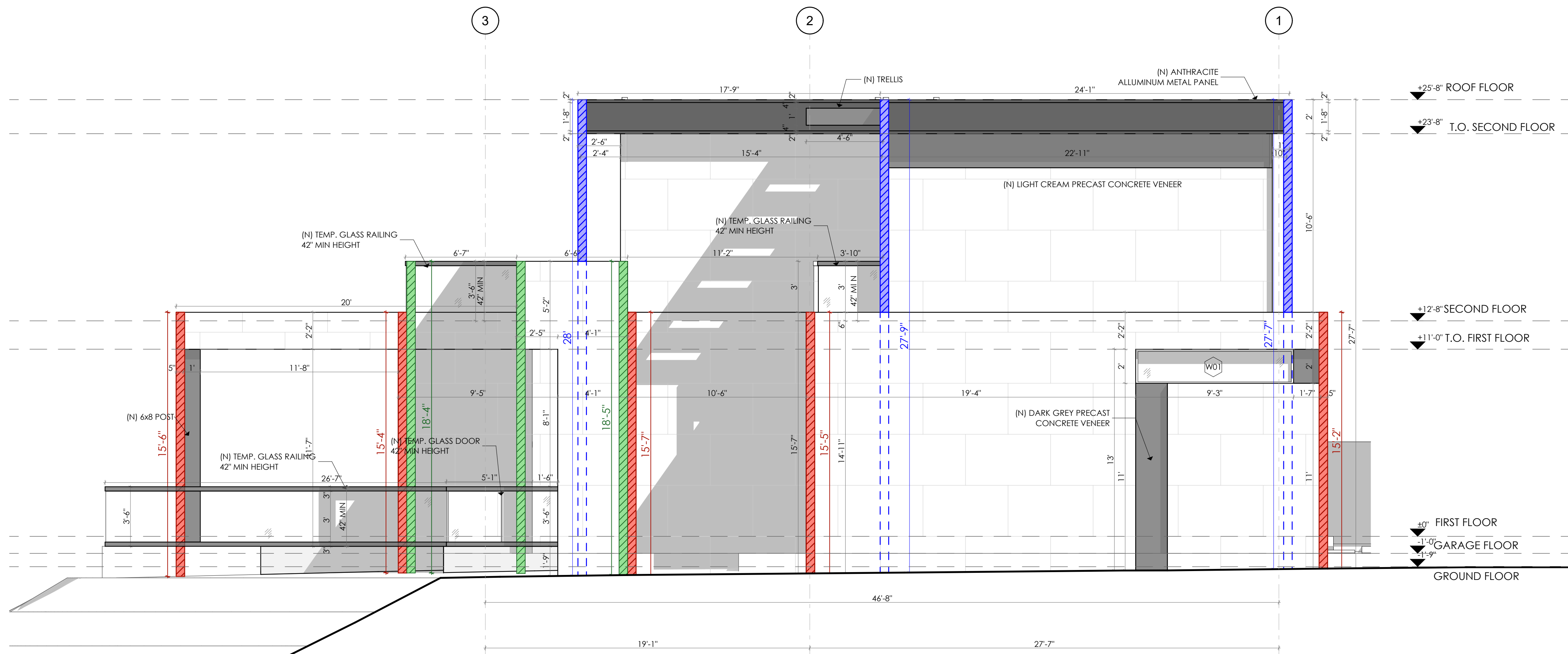
3/32" = 1'-0"

DATE:06/30/2023 JOB NO: AD22-038		<div> ARTDESIGN COMPANY</div> <div>ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COMPANY</div>	
DESIGNED BY: MM CHECKED BY: AA			
BY	DESCRIPTION	REV	DATE
1	<p>THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN, AND NO PART THEREOF, SHALL BE COPIED, DISCLOSED TO OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF ARTDESIGN COMPANY. THE WRITTEN CONSENT OF ARTDESIGN COMPANY SHALL BE OBTAINED FROM THE OFFICE OF THE ARCHITECT. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS AND SPECIFICATIONS. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF ARTDESIGN COMPANY.</p>	1	
2		2	
3		3	
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PROJECT	FULL DEMOLITION OF 162,240SQFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT, 2 STORY 5D (2,907 SQFT FIRST FLOOR AND 2,376 SQFT SECOND FLOOR, (N) 544 SQFT POOL WITH 124 SQFT SPA, (N) 3,985 SQFT COVERED PATIO, (N) BBQ AREA	JOB ADDRESS	1519 GLENMONT DR, GLENDALE, CA 91207
CLIENT/OWNER	TIGRAN GEVORGYAN		
A-25			
SHEET NUMBER			
26			



PROPOSED NORTH ELEVATION - TEMPORARY FRAME

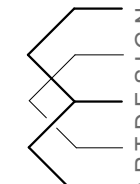
1/4" = 1'-0"

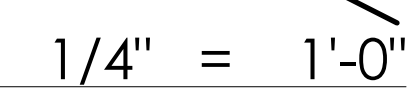
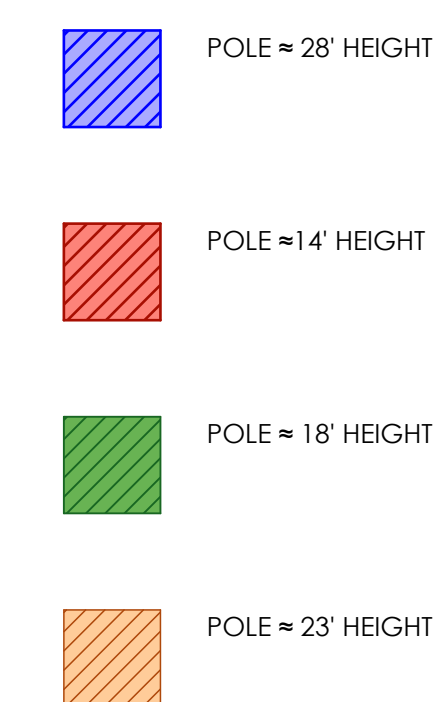



PROPOSED EAST ELEVATION - TEMPORARY FRAME

1/4" = 1'-0"

- POLE = 28' HEIGHT
- POLE = 14' HEIGHT
- POLE = 18' HEIGHT
- POLE = 23' HEIGHT

DATE: 06/30/2023 JOB NO: AD22-038		<div></div> <div>ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COM</div>	
DESIGNED BY: MM CHECKED BY: AA		BY	
REV	DATE	DESCRIPTION	
1			
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<p>THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY, ARE THE SOLE PROPERTY OF ARTDESIGN CONSULTING, INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO ANY OTHER PERSON OR ENTITY, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF ARTDESIGN CONSULTING, INC. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ANY VARIATIONS FROM THE DRAWINGS SHALL BE NOTED BY THE CONTRACTOR TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.</p>			
PROJECT	FULL DEMOLITION OF 162,240SQFT ONE STORY BUILDING, NEW CONSTRUCTION OF 5,283 SQFT 2 STORY SFD (2,907 SQFT FIRST FLOOR AND 2,376 SQFT SECOND FLOOR), (N) 544 SQFT POOL WITH 124 SQFT SPA, (N) 3,385 SQFT COVERED PATIO, (N) BBQ AREA		
JOB ADDRESS	1519 GLENMONT DR, GLENDALE, CA 91207		
CLIENT/OWNER	TIGRAN GEVORGYAN		
A-26			
SHEET NUMBER			
27			



<div style="text-align: center;">  <p>ARTDESIGN ARCHITECTURE</p> </div>		DATE: 06/30/2023 JOB NO: AD22-038	
PROJECT FULL DEMOLITION OF 1P224050FT ONE STORY BUILDING, NEW CONSTRUCTION OF 1P224050FT FIRST FLOOR AND 2314 SQFT SECOND FLOOR, (N) 544 SQFT POOL WITH 124 SQFT SPA, (N) 3,385 SQFT COVERED PATIO, (N) BBQ AREA		DESIGNED BY: MM CHECKED BY: AA	
JOB ADDRESS 1519 GLENMONT DR, GLENDALE, CA 91207		BY	
CLIENT/OWNER TIGRAN GEVORGYAN		REV DATE DESCRIPTION	
		1 THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, WHETHER OR NOT THEY ARE THE PROPERTY OF THE DESIGNER, ARE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER. ANY REUSE, REPRODUCTION, OR OTHER USE OF THESE DRAWINGS OR OTHERS OR USED IN CONNECTION WITH ANY WORK ON PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER ALL OTHER DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS OF THE PROJECT. NO OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ANY VARIATIONS MUST BE APPROVED BY THE OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.	
		2 3 4 5	
		ARTDESIGN COMPANY TEL: 818 221 53 01 WWW.ARTDESIGN.COM	



RESIDENTIAL MANDATORY MEASURES
NEW, ADDITION AND ALTERATION

The 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen) requires all of the following provisions. These provisions apply to all newly constructed residential buildings including one- and two-family dwellings, townhomes, and multi-family units in low-rise and high-rise residential buildings such as apartments, condominiums, motels and hotels. These provisions also apply to the additions and alterations of existing residential buildings that increase the buildings conditioned area, volume, or size.

Please incorporate these requirements into the plans and sign the compliance statement at the end of this document. Provisions that are underlined and italicized shall be shown on the construction documents. The information listed here is an outline of the Mandatory Measures. For complete requirements and possible exceptions, please refer to the 2019 CalGreen Code. Code Sections in **bold** are City of Glendale additional mandatory CALGreen amendments.

ITEM #	CODE SECTION	REQUIREMENTS
Chapter 1 - ADMINISTRATION		
101.3.1	Scope	Applies to ALL newly constructed residential buildings: low-rise, high-rise and hotels/motels.
Chapter 3 – GREEN BUILDING		
301.3	Addition and Alterations	<ul style="list-style-type: none">Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.Requirements only apply within the specific area of the addition or alteration.
Chapter 4 – RESIDENTIAL MANDATORY MEASURES		
Division 4.1 – Planning and Design		
Site Development (Sec. 4.106)		
1	4.106.1	General. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas.
2	4.106.2	Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common development, shall manage storm water drainage during construction. In order to manage storm store water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. <ul style="list-style-type: none">Retention basins of sufficient size shall be utilized to retain storm water on the site.Where storm water is conveyed to a public drainage system or gutter, water shall be filtered by use of a barrier system or wattle approved by the city.Compliance with all NPDES and City of Glendale Storm Water Management Ordinance. Note: Refer to the State Water Resource Control Board for projects which disturb one acre or more of soil, or part of a larger common plan of development which in total disturbs one acre or more of

Residential Mandatory Checklist

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ITEM #	CODE SECTION	REQUIREMENTS
		certificate of final completion, certificate of occupancy, or final approval by the City of Glendale Building and Safety Division.
Outdoor Water Use (Sec. 4.304)		
11	4.304.1	Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficiency landscape ordinance or the current California Department of Water Resources' Model Water Efficiency Landscape Ordinance (MWELO) whichever is more stringent. <i>Landscape plans shall show all outdoor water efficiency features of CalGreen Section 4.304.</i>
Division 4.4 – Material Conservation and Resource Efficiency		
Enhanced Durability and Reduced Maintenance (Sec. 4.406)		
12	4.406.1	Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in solebottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the city building inspector.
Construction Waste Reduction, Disposal and Recycling (Sec. 4.408)		
13	4.408.1	Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with the City of Glendale's Construction and Demolition Waste Reduction and Recycling Plan (CDWRRP) Ordinance. A City approved waste management company/hauler shall be used for recycling of construction waste. Documentation of compliance shall be provided to the City's Building and Safety Division. <i>The project shall complete the city's Construction and Demolition Waste Reduction and Recycling Plan form prior to the issuance of the building permit and pay the CDWRRP deposit.</i>
Building Maintenance and Operation (Sec. 4.410)		
14	4.410.1	Operation and Maintenance manual. The builder shall prepare an Operation and Maintenance Manual as outlined in 2019 CalGreen Section 4.410.1. The manual shall be given to the owner upon final approval by the building inspector. In such case where the property is being sold, it should be given to the new owner at the time of sale. A copy of the manual shall be available for the inspector prior to, or at the time of final inspection.
15	4.410.2	Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide a readily accessible area(s) that serves all buildings on the site and is identified for recycling. Contact the City's Public Works Integrated Waste Management Division for details of the City's recycling ordinance.
Division 4.5 – Environmental Quality		
Fireplaces (Sec. 4.503)		
16	4.503.1	Fireplaces. Any installed gas fireplace shall be direct vent sealed combustion type. New wood burning masonry fireplaces are not allowed per SCAQMD Rule 445.

Residential Mandatory Checklist

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ITEM #	CODE SECTION	REQUIREMENTS
		soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)
3	4.106.3	Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. (Does not apply to additions and alterations not altering the drainage path.)
4	4.106.4	Electric vehicle (EV) charging for new construction. New construction shall comply with CalGreen Sections 4.106.4.1, 4.106.4.2 or 4.106.4.3 (Items #5, #6 and #7 below) to facilitate the future installation and use of electric vehicle (EV) chargers. Electric vehicle supply equipment (EVSE) when installed, shall be in accordance with the <i>California Electrical Code</i> .
5	4.106.4.1	EV charging for new one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit (nominal 1-inch inside diameter) that originates at the main service or subpanel and terminates into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The service panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel shall be permanently labeled to identify the breaker space as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". <i>Construction documents shall show the requirements above.</i>
6	4.106.4.2	EV charging for new multi-family dwellings. If residential parking is available on a building site, construction shall comply with the following requirements to facilitate future installation and use of electric vehicle (EV) chargers. <i>Plans and electrical load calculations shall clearly show the following:</i> <ul style="list-style-type: none">Ten-percent (10%) of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces (EV spaces) capable of supporting future electric vehicle supply equipment. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.Electric vehicle charging stations (EVCS) When EV chargers are installed, one in every 25 spaces shall comply with at least one of the following options:<ul style="list-style-type: none">The EV space shall be located adjacent to an accessible parking space meeting the requirements of the <i>California Building Code</i>, Chapter 11A, to allow use of the EV charger from the accessible parking space.The EV space shall be located on an accessible route to the building, as defined in the <i>California Building Code</i>, Chapter 2.Electric vehicle charging station (EV space) dimensions. Electric vehicle charging spaces (EV spaces) shall comply with the following dimensions:<ul style="list-style-type: none">Minimum length of each EV space: 18-ft.Minimum width of each EV space: 9-ft.One in every 25 EV spaces, but not less than one, shall also have an 8-foot wide minimum aisle (a 5-foot wide aisle is permitted provided the minimum width of the EV space is 12' feet). The surface slope of this EV space and aisle shall not exceed a 1 unit vertical in 48 units horizontal (2.083 percent) slope in any direction.Single EV space electrical requirements. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than nominal 1-inch inside diameter. The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed

Residential Mandatory Checklist

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ITEM #	CODE SECTION	REQUIREMENTS
Pollutant Control (Sec. 4.504)		
17	4.504.1	HVAC system Protection. During the construction process and until final startup of the HVAC system, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other method to reduce the amount of water, dust and debris which may enter the system.
18	4.504.2	Finish material pollutant control. Finish material pollutant control, shall comply as follows: <ul style="list-style-type: none">Adhesives, sealants and caulks used on this project shall comply with SCAQMD Rule 1168 for VOC limits and toxic compounds. Aerosol adhesives, sealants and caulks (in packaging units not more than one pound or 16 fluid ounces) shall comply with statewide VOC standards.Paints and coatings shall comply with VOC limits in CalGreen Table 4.504.3.Aerosol paints and coatings shall comply with statewide requirements and other requirements noted in CalGreen Section 4.504.2.3Carpet Systems. All carpeting and carpet cushion shall meet the requirements of the Carpet and Rug Institute Green Label Plus Program. Adhesives shall comply with VOC limits in CalGreen Table 4.504.1.Resilient flooring. Where installed, 80% of the floor area receiving resilient flooring shall comply with one or more of the standards listed in CalGreen Section 4.504.4.Composite wood products used on the interior or exterior of the building shall comply with the formaldehyde limits in CalGreen Table 4.504.5. Verification of compliance with the standards listed above shall be provided upon request to the building inspector.
Interior Moisture Control (Sec. 4.505)		
19	4.505.1	Interior moisture control. Buildings shall meet or exceed the provisions of the <i>California Building Code</i> . <ul style="list-style-type: none">Concrete Slab foundations. Concrete Slab-on-grade foundations/floors that are required to have a vapor retarder by the <i>California Building Code</i> section 1907 or the <i>California Residential Code</i> section R506, shall have a capillary break consisting of a 4-inch-thick base of ½ inch or larger clean aggregate with a vapor retarder in direct contact with concrete. The concrete mix design shall address bleeding, shrinkage, and curling. For additional information, see American Concrete Institute, ACE 302.2R-08.Building materials with visible signs of water damage shall not be installed. Wall and floor framing lumber shall not be enclosed when the framing members exceed 19-percent moisture content. Moisture content shall be verified using one of the methods listed in CalGreen section 4.505.3.Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.
Indoor Air Quality (Sec.4.506)		
20	4.506.1	Indoor air quality and exhaust. Each bathroom (a room which contains a bathtub, shower, or tub/shower combination) shall be mechanically ventilated and shall comply with the following: <ul style="list-style-type: none">Exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

Residential Mandatory Checklist

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ITEM #	CODE SECTION	REQUIREMENTS																		
		location of the EV spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit over-current protective device. Construction documents shall identify the raceway termination point.																		
		<p>f. Multiple EV spaces electrical requirements. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculation to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EV's at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.</p> <p>g. Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the <i>California Electrical Code</i>.</p>																		
7	4.106.4.3	<p>EV charging for new hotels and motels. If hotel or motel parking is available on a building site, construction shall comply with the following requirements to facilitate future installation and use of electric vehicle (EV) chargers. <u>Plans and electrical load calculations shall clearly show the following:</u></p> <p>a. Number of required EV spaces. The total number of parking spaces provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future electric vehicle supply equipment. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number and shall be as follows:</p> <table><tr><th>TOTAL NUMBER OF PARKING SPACES</th><th>NUMBER OF REQUIRED EV SPACES</th></tr><tr><td>0 to 9</td><td>0</td></tr><tr><td>10 to 25</td><td>1</td></tr><tr><td>26 to 50</td><td>2</td></tr><tr><td>51 to 75</td><td>4</td></tr><tr><td>76 to 100</td><td>5</td></tr><tr><td>101 to 150</td><td>7</td></tr><tr><td>151 to 200</td><td>10</td></tr><tr><td>201 and over</td><td>At least 6% of total</td></tr></table>	TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES	0 to 9	0	10 to 25	1	26 to 50	2	51 to 75	4	76 to 100	5	101 to 150	7	151 to 200	10	201 and over	At least 6% of total
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES																			
0 to 9	0																			
10 to 25	1																			
26 to 50	2																			
51 to 75	4																			
76 to 100	5																			
101 to 150	7																			
151 to 200	10																			
201 and over	At least 6% of total																			
		<p>b. Electric vehicle charging station (EV space) dimensions. Electric vehicle charging spaces (EV spaces) shall comply with the following dimensions:</p> <p>i. Minimum length of each EV space: 18-ft.</p> <p>ii. Minimum width of each EV space: 9-ft.</p> <p>c. Single EV space electrical requirements. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than nominal 1-inch inside diameter. The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit over-current protective device. Construction documents shall identify the raceway termination point.</p> <p>d. Multiple EV spaces electrical requirements. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE.</p>																		

Residential Mandatory Checklist

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ITEM #	CODE SECTION	REQUIREMENTS
		b. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control.
		c. Humidity controls shall be capable of adjustment between 50% and 80% relative humidity. Humidity control may utilize manual or automatic means of adjustment which may be a separate component to the exhaust fan (not required to be built-in).
Environmental Comfort (Sec. 4.507)		
21	4.507.2	HVAC system design. HVAC systems shall be sized, designed and have equipment selected using the methods listed in CalGreen Section 4.507.2.
Natural Light and Ventilation (Sec. 4.509)		
22	4.509.1 (GBSC)	Natural light and ventilation. <i>Provide calculation of required natural light and ventilation on plans showing the following:</i> <ul style="list-style-type: none">The minimum glazed area for natural light shall not be less than 10 percent of the floor area of the room served.The minimum operable area for ventilation to the outdoors shall be 5 percent of the floor area of being ventilated.
Chapter 7 – INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS		
Qualifications (Sec. 702)		
23	702.1	General. New buildings shall comply with the requirements of CalGreen Chapter 7.
24	702.1	Installer and training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. <ul style="list-style-type: none">State certified apprenticeship programs.Public utility training programs.Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.Programs sponsored by manufacturing organizations.Other programs acceptable to the enforcing agency.
25	702.2	Special inspection. When required by the <i>California Building Code</i> , or the approved plans, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with the CalGreen Code. Special inspectors shall comply with the following: <ul style="list-style-type: none">Special Inspectors shall be approved by the City of Glendale Building & Safety Division prior to performing any special inspections of any component or system required by the CalGreen Code.Special inspectors shall be qualified and able to demonstrate competence to the enforcing agency in the discipline which they are inspecting.Special Inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting.

Residential Mandatory Checklist

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Updated: 01/01/2020

ITEM #	CODE SECTION	REQUIREMENTS
		raceway method(s), wiring schematics and electrical load calculation to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EV's at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.
e.		Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the <i>California Electrical Code</i> .
f.		Accessible EV spaces. EV spaces for hotels/motels and all EVSE, when installed shall comply with the accessibility provisions of EV charging stations in the <i>California Building Code</i> , Chapter 11B.
8	4.106.5 (GBSC)	Water permeable surface. <i>Provide calculation on site plan to show proposed water permeable surfaces shall not to be less than 20 percent of the total on-grade, residential uncovered parking, walking or patio surfaces.</i> The primary driveway, the primary entry walkway and entry porch or landing and required accessible routes for persons with disability as required by Chapter 11A and / or 11B of CBC shall not be included when calculating the area required to be a permeable surface.
Division 4.2 – Energy Efficiency		
Performance Requirements (Sec. 4.201)		
9	5.201.1	Scope. This project shall comply with all applicable energy efficiency requirements as set forth in the 2019 <i>California Energy Code</i> . <i>Energy calculations and forms shall be included as part of the plans and drawings.</i>
Division 4.3 – Water Efficiency and Conservation		
Indoor Water Use (Sec. 4.303)		
10	4.303.1	Indoor water use. Plumbing fixtures and fittings shall comply with the following and <i>shall be shown on the construction documents:</i> <ul style="list-style-type: none">Water closets: Maximum 1.28 gallons per flushUrinals: Maximum 0.125 gallons per flush for wall-mounted. Other urinals: 0.5 gallons per flush.Single showerheads: Maximum flow rate of 2.0 gallons per minute at 80 psi.Multiple showerheads serving one shower: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi.Lavatory faucets within dwelling units: Max flow rate of 1.2 gallons per minute at 60 psi. Minimum flow rate of 0.8 gallon per minute at 20 psi.Lavatory faucets in common and public use areas: Maximum flow rate of 0.5 gallons per minute at 60 psi.Metering faucets: Maximum 0.25 gallons per cycle.Kitchen faucets: Maximum flow rate of 1.8 gallons per minute at 60 psi. Plumbing fixtures and fittings shall be installed in accordance with the 2019 <i>California Plumbing Code</i> and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> . Note: All noncompliant plumbing fixtures in any residential property shall be replaced with water conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a

Residential Mandatory Checklist

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ITEM #	CODE SECTION	REQUIREMENTS
Verifications (Sec. 703)		
26	703.1	Documentation. Documentation used to show compliance with this code shall include but is not limited to: construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the City of Glendale which demonstrates substantial conformance.
COMPLIANCE STATEMENT		
27		Compliance Statement. As the design professional or designer of record for this project, I certify that this project will comply with all applicable provisions of the 2019 California Green Building Standards Code (CalGreen Code). Signature _____ Print Name _____ Company _____ Address _____ Date _____ License _____

Residential Mandatory Checklist

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Updated: 01/01/2020



ARTDESIGN COMPANY
TEL: 818 221 53 01
WWW.ARTDESIGN.COM

DESIGNED BY: MM
CHECKED BY: AA

BY

DESCRIPTION

DATE

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FULL DEMOLITION OF 121240SQFT ONE STORY BUILDING; NEW CONSTRUCTION OF 5,283 SQFT 2 STORY 5FD (2,907 SQFT FIRST FLOOR AND 2,374 SQFT SECOND FLOOR; (N) 544 SQFT POOL WITH 124 SQFT SPA, (N) 3,385 SQFT COVERED PATIO, (N) BBQ AREA
1519 GLENMONT DR, GLENDALE, CA 91207
TIGRAN GEVORGYAN

PROJECT

JOB ADDRESS

CLIENT/OWNER

GRN.01

SHEET NUMBER

29