

# Irving Glendale Apartments

413 | 417 Irving Avenue  
Glendale, California



## PROJECT TEAM

**OWNER/APPLICANT: RL Consulting Services**  
[413-Mar LLC]  
83 Via Ricardo  
Newbury Park, CA 91320  
Rick Lemmo, President  
rlconsultingca@gmail.com  
Rony Shram, Owner Representative  
rony@shramdevelopment.com

**ARCHITECT: ONYX Architects**  
2540 E Colorado Blvd.  
Pasadena, CA 91107  
T: 626.405.8001

**CIVIL / SURVEYOR: DCI Engineering, Inc.**  
1150 N Richfield Rd., Suite B  
Anaheim, CA 92807  
T: 714.779.3828

## ARCHITECTURAL

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**SITE ADDRESS:** 413/417 IRVING AVE, GLENDALE CA 91201

**ZONING:** R 3050

**OCCUPANCY TYPE:** MODERATE DENSITY RESIDENTIAL

**CONSTRUCTION TYPE:** Type I / Type V

**ASSESSOR'S PARCEL NUMBER:** 5625-009-020 LOT: 33  
5625-009-019 LOT: 32

**SITE AREA | Acres (SF):** 18,369 SF - 0.422 Acres

**BUILDING AREA (GROSS):** 46,622 GSF

**BUILDING FOOTPRINT:** 14,102 GSF

**SETBACKS:** SEE SHEET DR-03.6

**TRUE GROSS BUILDING AREA (TO EXT. FACE OF EXT. WALL) (BY PLANNING CODE)**

B1 PARKING:	14,188 GSF	
1ST FLOOR:	3,646 GSF	(RESIDENTIAL)
1ST FLOOR:	9,114 GSF	(PARKING)
2ND FLOOR:	11,400 GSF	
3RD FLOOR:	9,656 GSF	
4TH FLOOR:	9,656 GSF	
MEZZANINE FLOOR:	3,150 GSF	
<b>TOTAL</b>	<b>46,622 GSF</b>	(EXCLUDING PARKING)

### PROGRAM SUMMARY:

<b>BUILDING HEIGHT:</b>	ALLOWABLE HEIGHT = 3 STORIES/36 FT. + 5' FOR ROOFS W/MIN 3:12=41' PROPOSED HEIGHT = 4 STORIES/41' W/ MEZZANINE LEVEL = 52'-8" (55'-11" TO ELEVATOR SHAFT APPURTENANCE)
<b>LOT COVERAGE:</b>	ALLOWABLE LOT COVERAGE = 50% X 18,369 s.f. = 9,184 s.f. PROPOSED LOT COVERAGE = 14,102 s.f. / 18,369 s.f. = 76.7 % (26.7% ADDITIONAL)
<b>FAR:</b>	MAXIMUM ALLOWABLE FAR = .65 PROPOSED FAR = 2.53 ALLOWABLE FLOOR AREA = .65 (18,369) = 11,939 s.f. PROPOSED FLOOR AREA = 46,622 s.f.
<b>DENSITY:</b>	PER 30.11.030 (RESIDENTIAL DENSITY MAX. 1 DU PER 3,050 sq. ft. OF LOT AREA) 18,369 s.f. / 3,050 sq.ft. = 6.02 = 7 DU/ACRE PROPOSED 26 DU ABOVE THE BASE 26 +7=33 DU (26/7=371.4% INCREASE) PER AB2345 (15% VERY LOW INCOME - 50% DENSITY BONUS) ((15% X 7) X (371.4% / 50%)) = 7.79 = 8 DU 25 MARKET RATE UNITS + 8 AFFORDABLE UNITS = 33 UNITS PERCENTAGE OF AFFORDABLE UNITS PROVIDED (8 AFFORD. / 7 BASE = 114.2%)
<b>PARKING REQUIRED:</b>	PER AB2345 (0-1 BED = 1 SPACE / 2-3 BED = 1.5 SPACES) 18 (1 BD.) x 1 PARKING SPACES = 18 12 (1 BD. + DEN) x 1 PARKING SPACES = 12 03 (2 BD.) x 1.5 PARKING SPACES = 4.5 GUEST (1/4 SPACE x UNIT) 33/4 = 8.25 Total: 42.75 STALLS REQUIRED Total: 49 STALLS PROVIDED
<b>LANDSCAPED SPACE:</b>	(SEE SHEET DR-03.1) REQUIRED LANDSCAPE AREA = 30% (18,369) = 5,511 s.f. PROPOSED LANDSCAPE AREA = 6,196 s.f.
<b>OPEN SPACE:</b>	(SEE SHEET DR-03.1) REQUIRED COMMON OUTDOOR AREA = 6,200 s.f. PROPOSED COMMON OUTDOOR AREA = 6,212 s.f.
<b>GRADE:</b>	(SEE SHEET DR-03.0) 497.03 (SW), 497.66 (SE), 497.35 (MIDDLE POINT) PER TOPO SURVEY ALLOWABLE SEMI-SUBTERRANEAN GRADE DECK EL. = 497.35 + 3 = 500.35 PROPOSED SEMI-SUBTERRANEAN GRADE DECK EL. = 500.130
<b>CONCESSIONS:</b>	HEIGHT (STORY) INCREASE FAR INCREASE PARKING ABOVE GRADE
<b>WAIVERS:</b>	LOT COVERAGE INCREASE

IRVING GLENDALE  
MULTIFAMILY APTS  
413/417 IRVING AVENUE  
GLENDALE CALIFORNIA 91201  
1 FEBRUARY 2024  
DESIGN DEVELOPMENT







2 Story Building



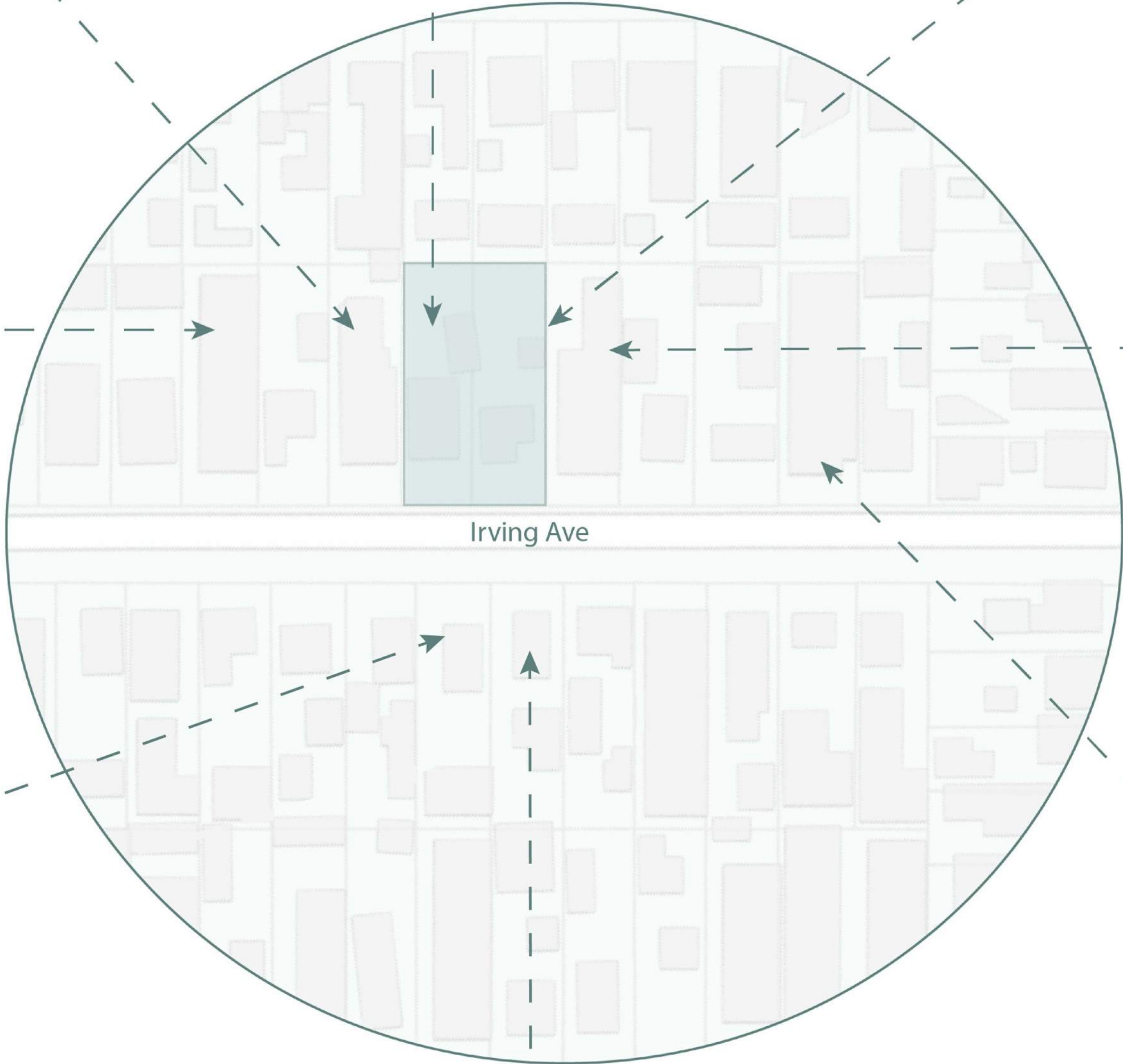
Existing 1 Story House



Existing 1 Story House



3 Story Building



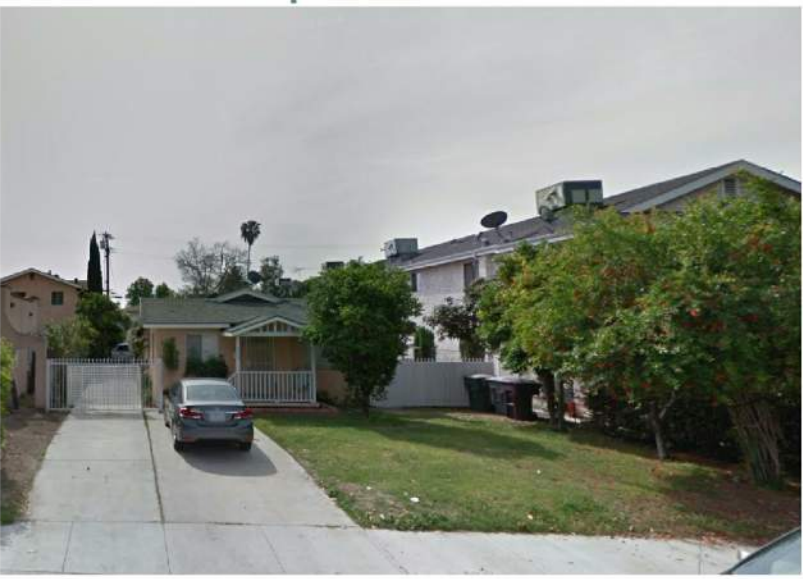
3 Story Building



2 Story Building



2 Story Building



Existing 1 Story House

FR 1 1



DATE

No. DESCRIPTION

IRVING GLENDALE  
MULTIFAMILY APTS

413/417 IR N G AVENUE  
GLENDALE CALI O NIA 9 20

1 FEBRUARY 2024

DESIGN DEVELOPMENT

SITE CONTEXT  
DR-01





1



2



3



6



4



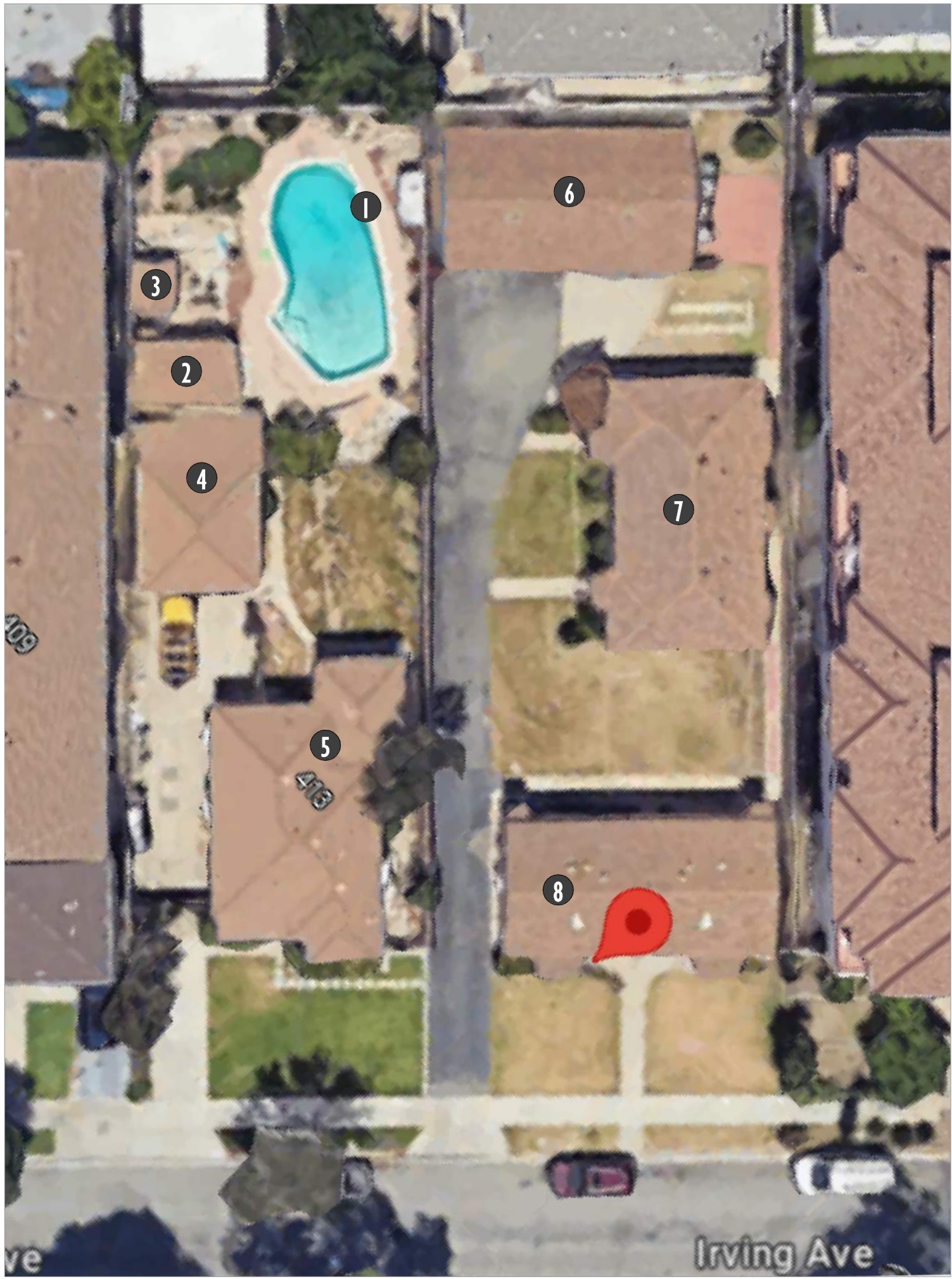
4



4



4



5



5



7



8



8



8

FR 1 1



DATE

No. DESCRIPTION

IRVING GLENDALE  
MULTIFAMILY APTS

413/417 IRVING AVENUE  
GLENDALE CALIFORNIA 91204

1 FEBRUARY 2024

DESIGN DEVELOPMENT

EXISTING STRUCTURES  
DR-01.1



BUILDING



SCREENS



COMMON OPEN SPACE



FR 1 1



DATE

No. DESCRIPTION

IRVING GLENDALE  
MULTIFAMILY APTS

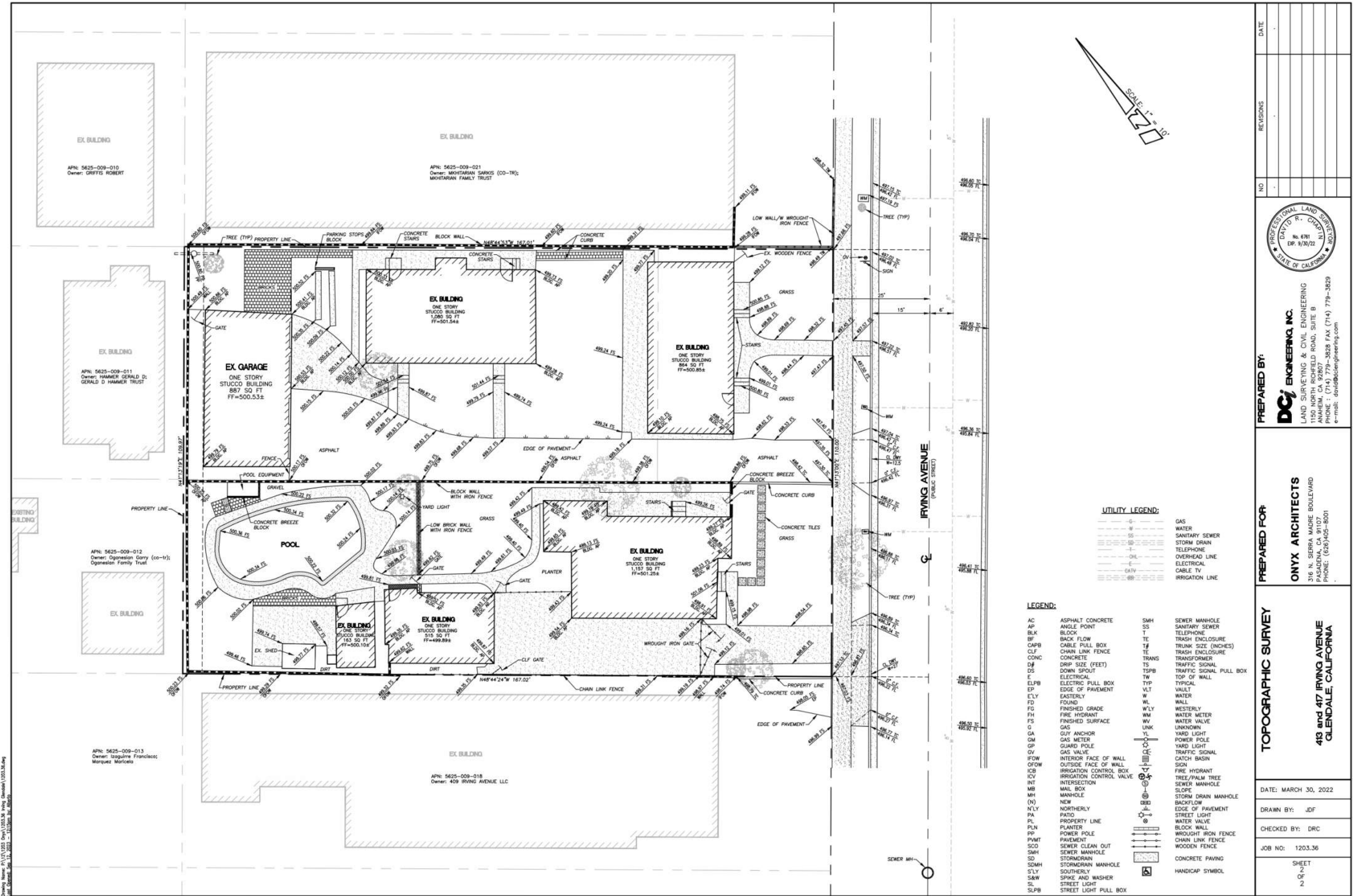
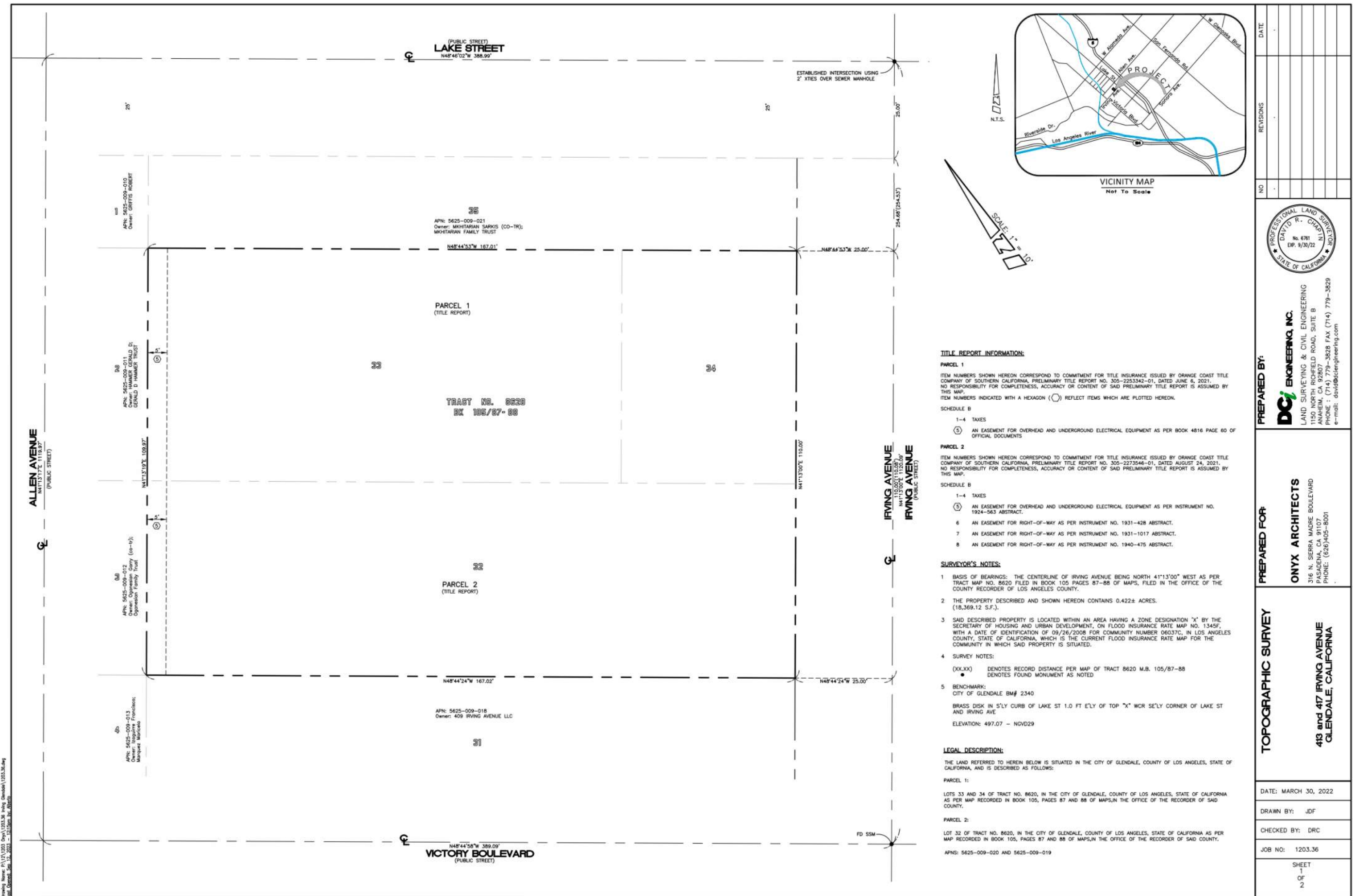
413/417 IRVING AVENUE  
GLENDALE CALIFORNIA 91201

1 FEBRUARY 2024

DESIGN DEVELOPMENT

INSPIRATIONAL IMAGES  
DR-02





## Alison Lancaster Consulting Arborists LLC

Tree Inventory and Protection, Pruning and Hazard Evaluation, Disease and Pest Diagnosis

1744 Franklin Street Unit B  
Santa Monica, CA 90404  
(818) 631-4664

7/18/23

Luisa Salazar  
ONYX Architects  
2540 E Colorado Blvd  
Pasadena, CA 91107

**SUBJECT:** Tree inspection at 413-417 Irving Avenue, Glendale, CA 91201

### REFERENCES:

- 1) City of Glendale Municipal Code Chapter 12.44 – Indigenous Trees
- 2) Email, dated 7/11/23 at 3:50PM, Salazar (online form)
- 3) Email, dated 7/12/23 at 6:28PM, Lancaster (scope of work)

I was asked to inspect the subject site and provide an opinion about whether there are protected trees on the site, or on adjacent properties within 20 feet of the site.

Protected tree species under Glendale Municipal Code Chapter 12.44 for Indigenous Trees are as follows:

- coast live oak (*Quercus agrifolia*)
- valley oak (*Quercus lobata*)
- Engelmann's oak (*Quercus engelmannii*)
- scrub oak (*Quercus berberidifolia*)
- western sycamore (*Platanus racemosa*)
- California bay laurel (*Umbellularia californica*).

Protected trees are those of any of the species listed above that measure at least six inches trunk diameter at a height of four-and-a-half feet above grade, or for multi-trunk trees, which have any two trunks with a combined trunk diameter of at least eight inches.

I visited the site on 7/18/23 and inspected the subject site as well as surrounding properties within 20 feet of the site.

The enclosed Tree Exhibit shows the species, trunk diameter, and condition of all trees on and near the site that meet the trunk diameter requirements above.

**Based on my site inspection, it is my opinion that there are no protected trees located on or near this site under the Glendale Municipal Code Chapter 12.44.**

Alison Lancaster Consulting Arborists LLC

1 of 2

Irving Ave

7/18/23

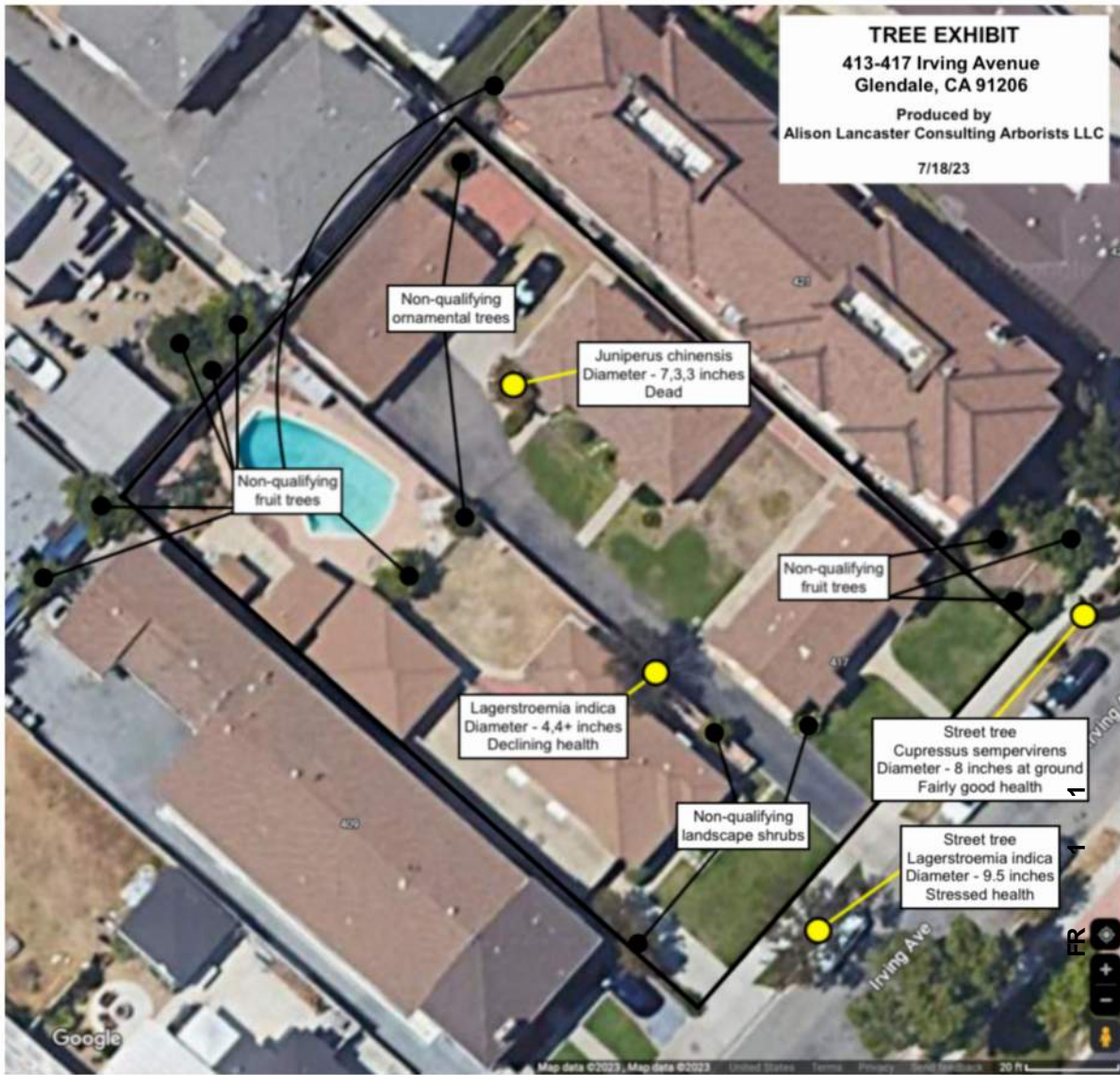
Please let me know if I can be of further assistance or if you have additional questions.

Sincerely,

Alison Lancaster  
ASCA Registered Consulting Arborist #770  
ISA Board Certified Master Arborist #WE-12464B



Enclosed: Tree Exhibit



## IRVING GLENDALE MULTIFAMILY APTS

413-417 IRVING AVENUE  
GLENDALE, CA 91206

1 FEBRUARY 2024

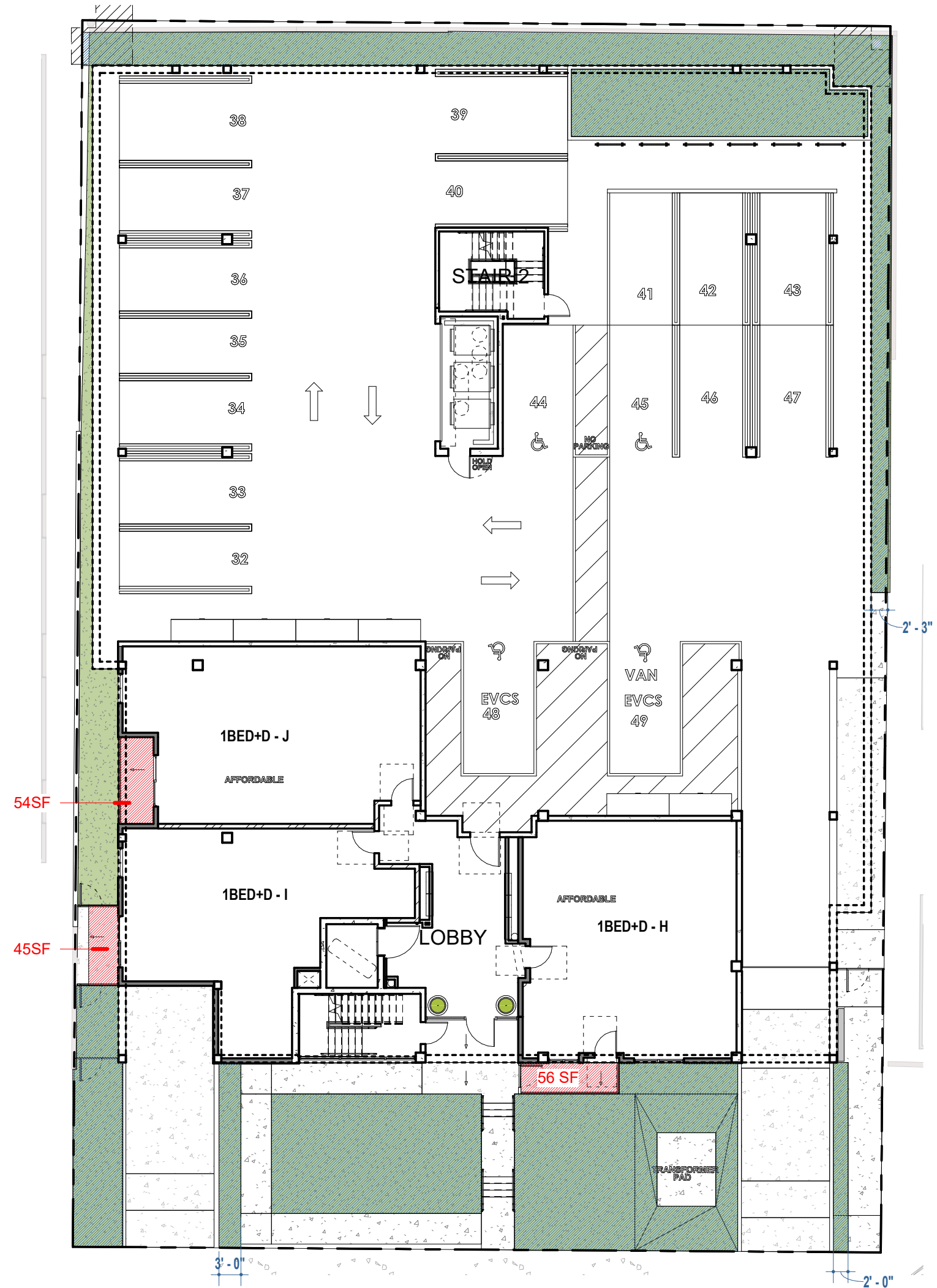
DESIGN DEVELOPMENT

DATE

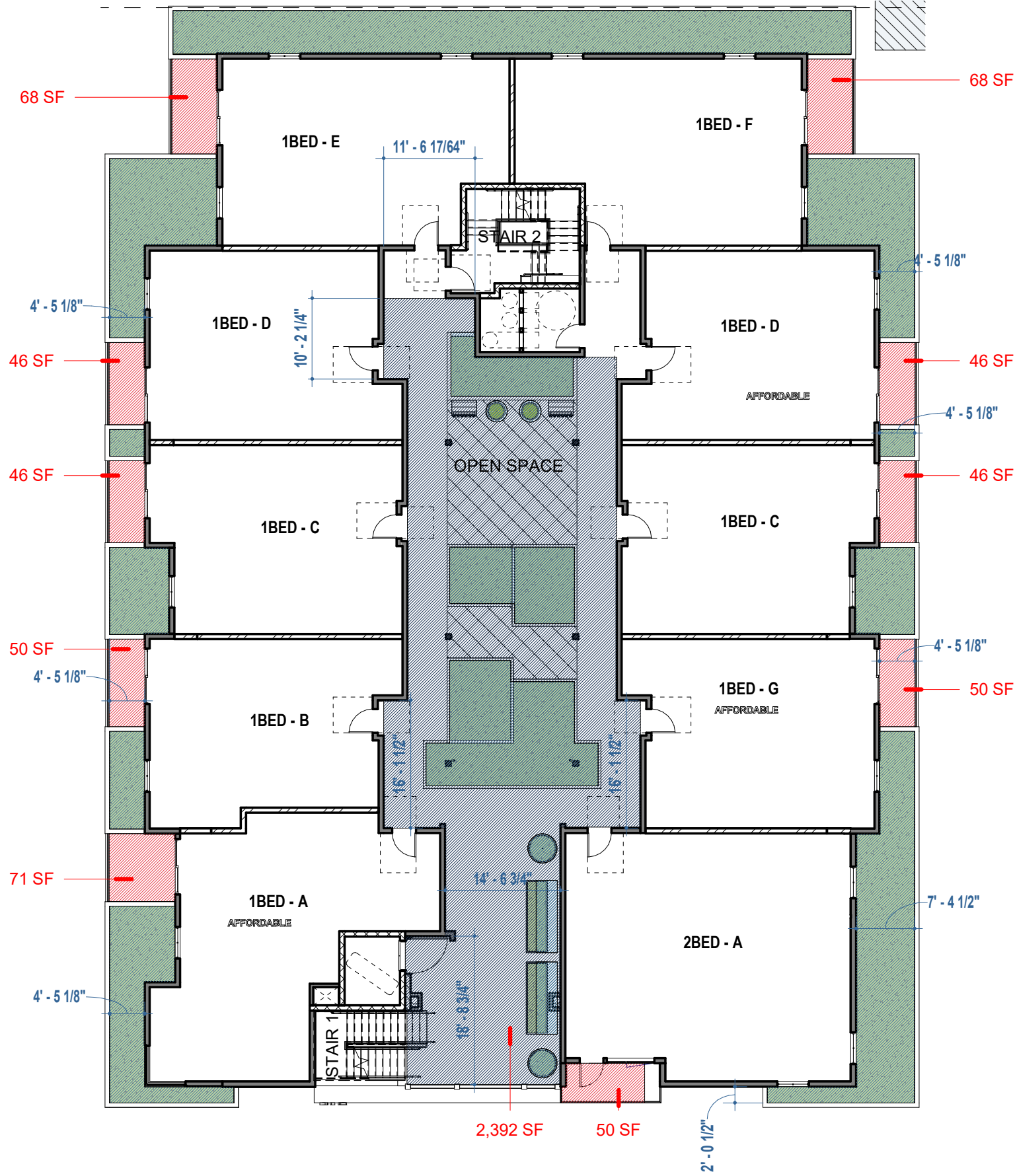
No. DESCRIPTION

SURVEY - TREE REPORT  
**DR-03.0**

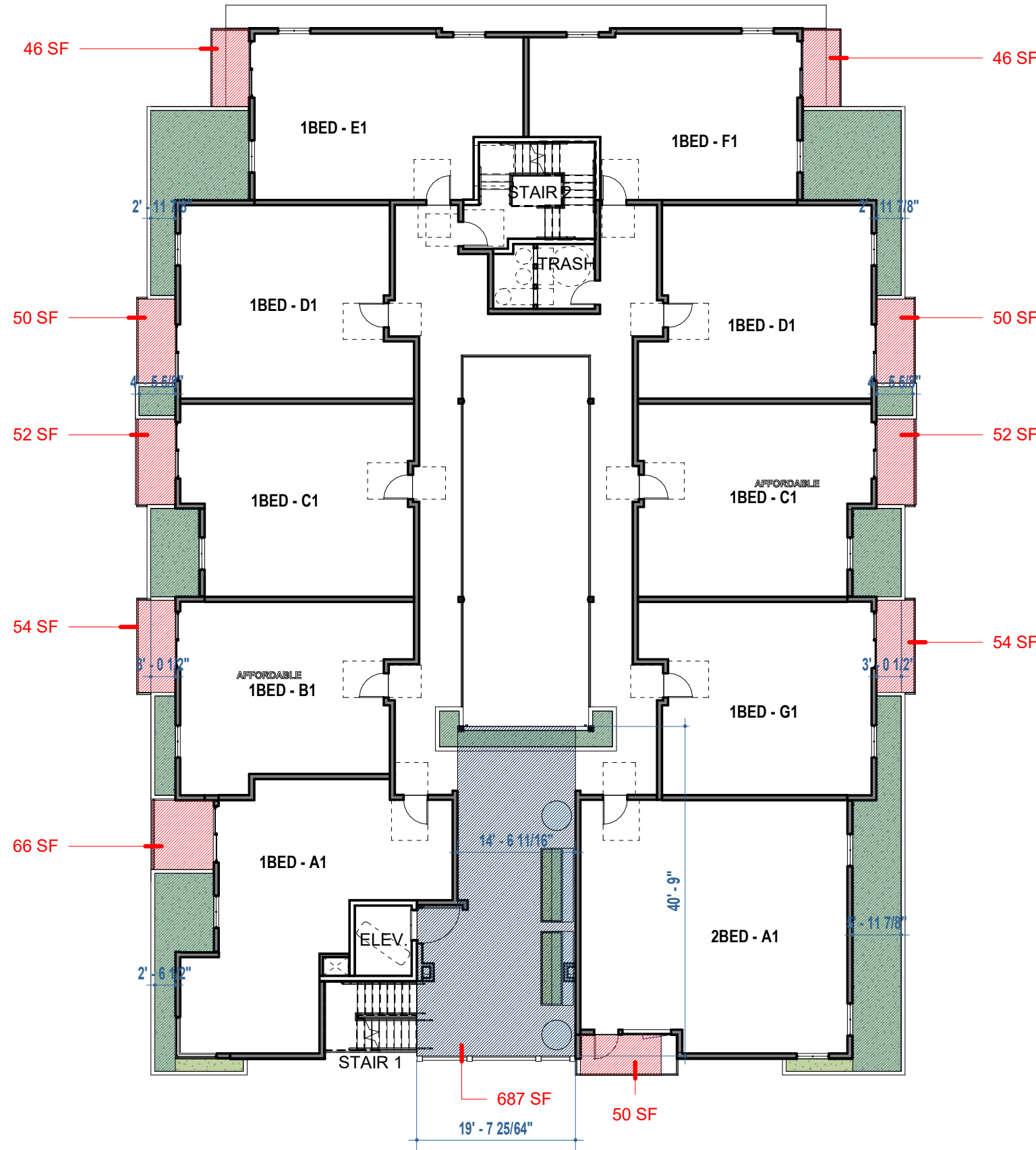




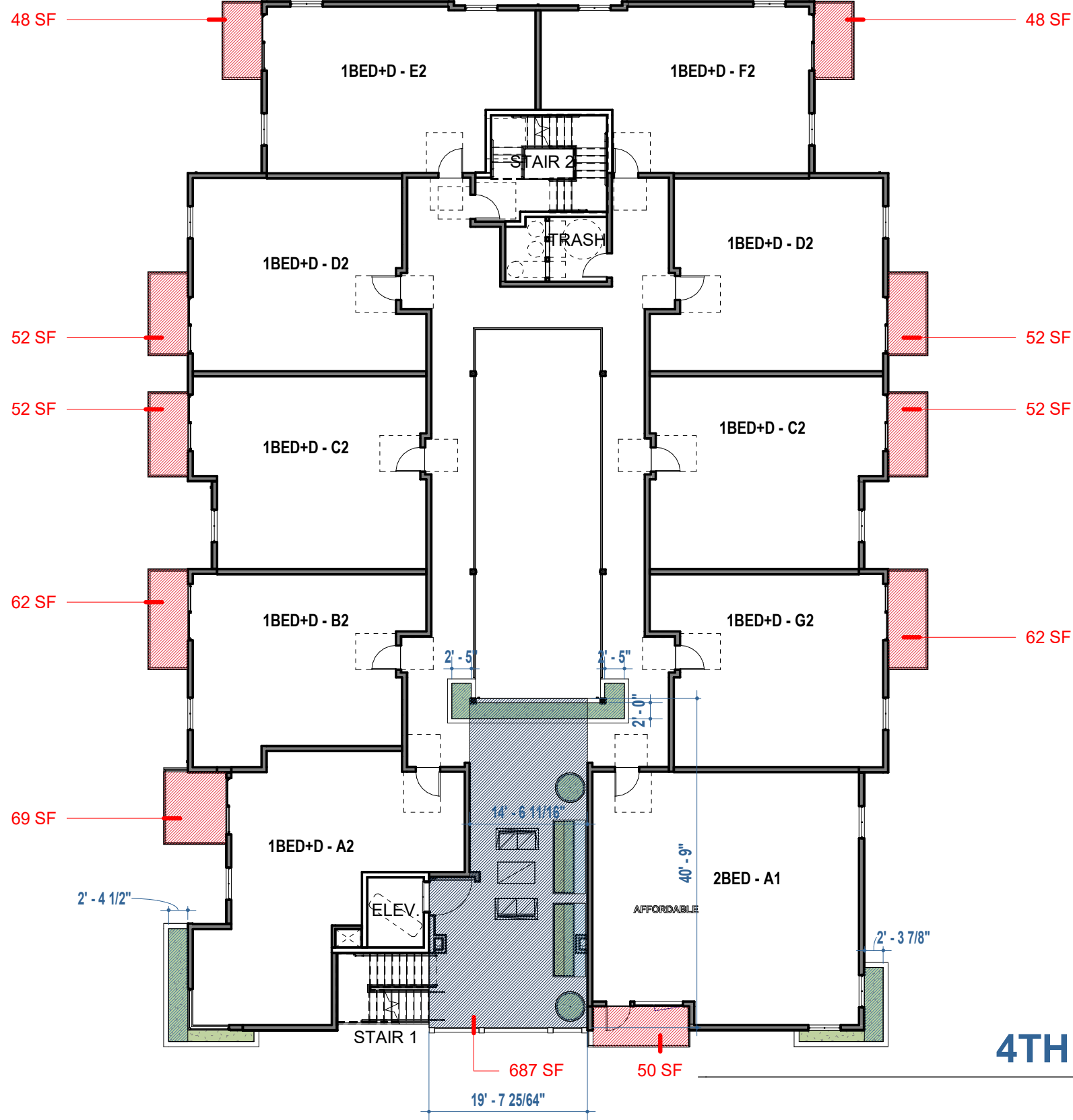
1ST FLOOR PLAN 1



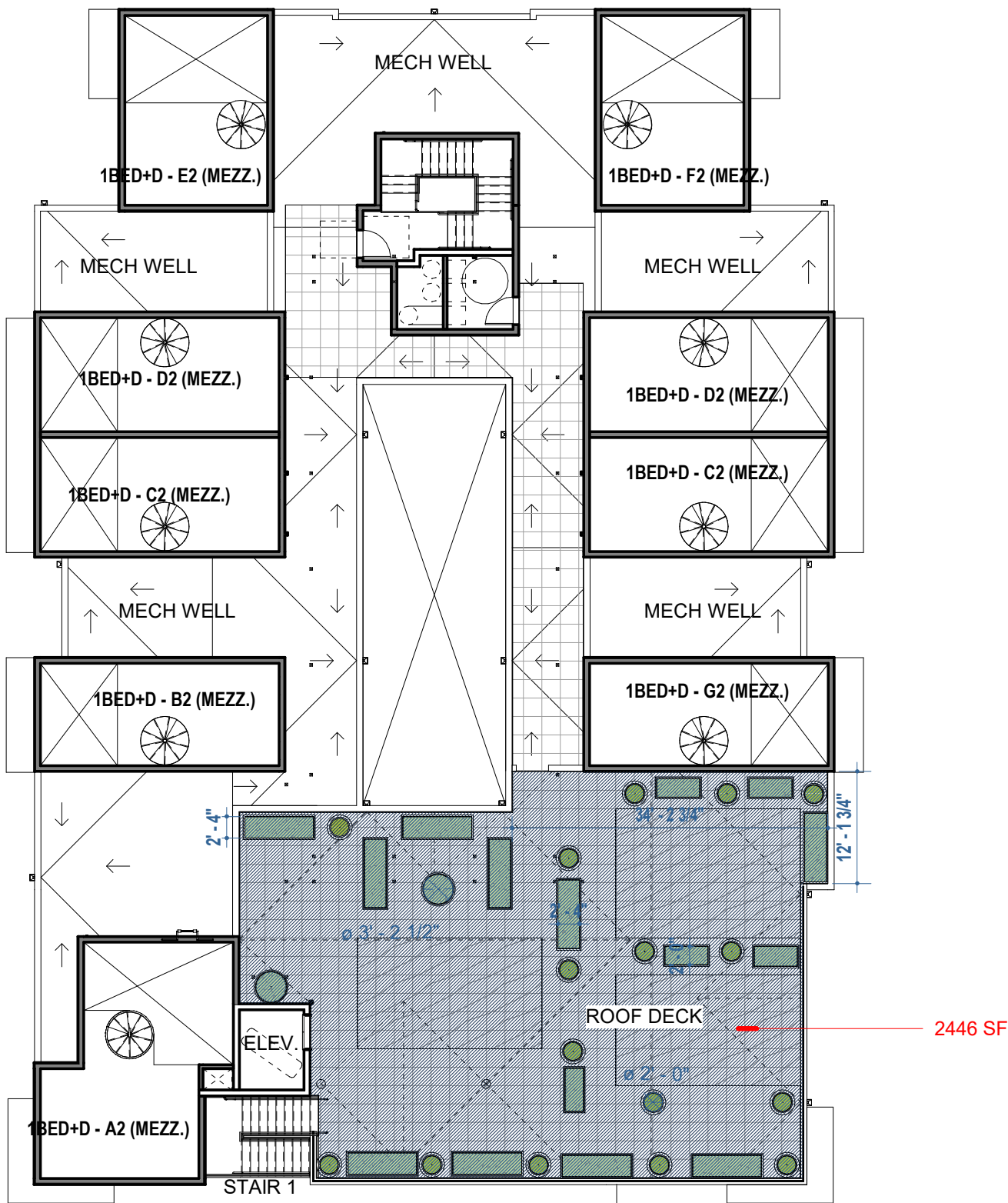
2ND FLOOR PLAN 2



3RD FLOOR PLAN 3



4TH FLOOR 4



MEZZANINE/ DEN 5

**B. Private Outdoor Space.** A minimum private outdoor space of forty (40) square feet shall be provided for each dwelling unit. Such private outdoor space shall be designed as a patio, deck or balcony and shall have a minimum length or width of four (4) feet and shall be directly accessible and an integral part of the dwelling unit which it serves.

**C. Common Outdoor Space.** A minimum common outdoor space of two hundred (200) square feet shall be provided per dwelling unit for the first twenty-five (25) dwelling units on a lot; a minimum common outdoor space of one hundred fifty (150) square feet shall be provided per dwelling unit for the second twenty-five (25) dwelling units on a lot; a minimum common outdoor space of one hundred (100) square feet shall be provided per dwelling unit for each additional dwelling unit above fifty (50) on a lot. Any common outdoor space shall have a minimum level surface dimension of ten (10) feet and a minimum area of two hundred (200) square feet.

Landscaping and seating shall be permanently integrated into all required common outdoor spaces. No street front setback area or street side setback area shall be used for common outdoor space. The developer shall pay an amount of money, established by the city council as a parks fee, to be used by the city for the purpose of fulfillment of recreational demand created by the project.

Zone	Minimum percentage of total lot area to be permanently landscaped open space
R-3050	30%

PRIVATE OPEN SPACE

LANDSCAPE

COMMON OPEN SPACE

**COMMON OPEN SPACE CALCULATION**

200 SF for the first 25 units = 200 sf x 25 = 5,000  
150 SF for the second 25 units = 150 sf x 08 = 1,200  
5,000+1,200 = 6,200

TOTAL COMMON OPEN SPACE REQUIRED = 6,200 SF

**(PROVIDED) 6,212 SF > 6,200 SF (REQUIRED)**

**LANDSCAPE SPACE CALCULATION**

30% of Lot 18,369 SF= 5,511

**(PROVIDED) 6,196 SF > 5,511 SF (REQUIRED)**

**COMMON OPEN SPACE PROVIDED**

2nd Floor Common Open Space= 2,392 sf (courtyard + semi-open)  
Roof Deck Common Open Space=2,446 sf  
Common Semi - Open Space = 687 sf (3rd floor)  
687 sf (4th floor)

TOTAL COMMON OPEN SPACE PROVIDED = 6,212 SF

**LANDSCAPE SPACE PROVIDED**

1st Floor = 2,501 sf  
2nd Floor = 2,199 sf  
3rd Floor = 1,033 sf  
4th Floor = 178 sf  
Roof Deck= 285 sf  
6,196 sf

DATE

No. DESCRIPTION

IRVING GLENDALE  
MULTIFAMILY APTS

413/417 IRVING AVENUE  
GLENDALE CALIFORNIA 920

1 FEBRUARY 2024

DESIGN DEVELOPMENT

PRIVATE/COMMON OPEN  
SPACE-LANDSCAPE

DR-03.1

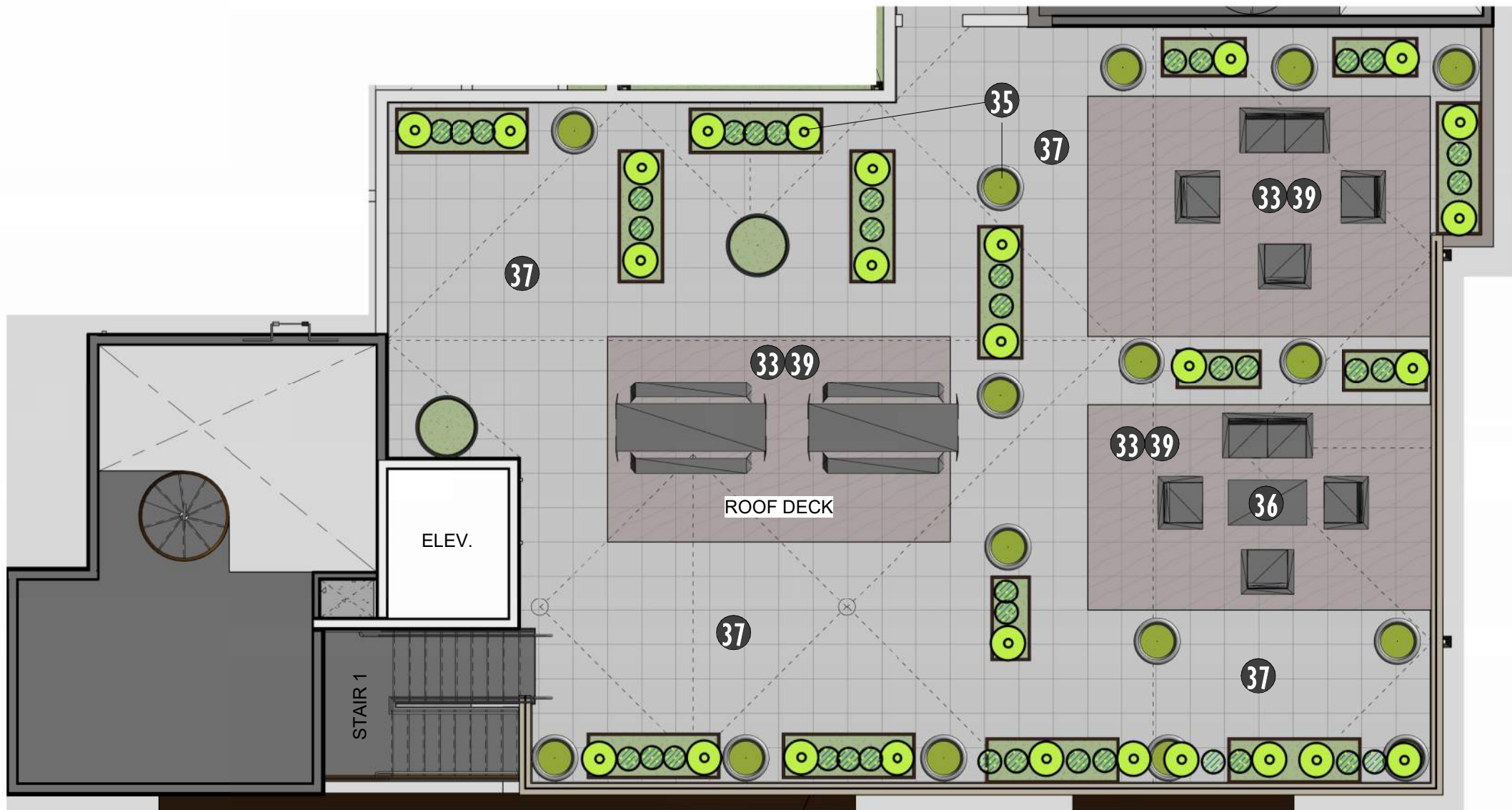


LANDSCAPE PLAN LEGEND

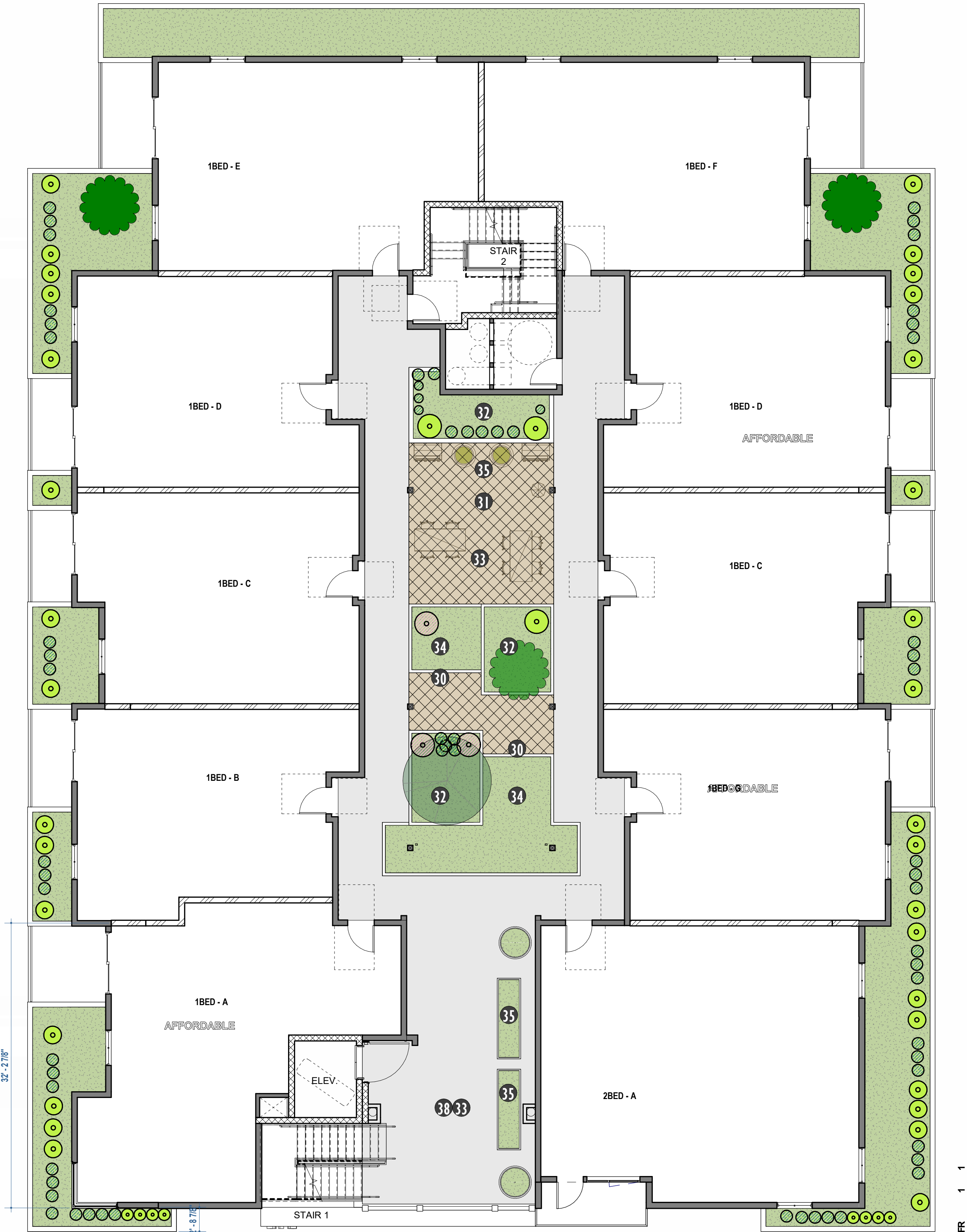
- 30 BENCH | SEAT WALL
- 31 BBQ AREA
- 32 RAISED | BUILT IN PLANTERS
- 33 OUTDOOR PATIO SEATING
- 34 RAISED LAWN AREA
- 35 PLANTER BOXES | POTS
- 36 LOUNGE SEATING W/  
ELECTRIC FIRE PIT
- 37 PEDESTAL PAVERS - COLOR 1
- 38 COVERED TERRACE  
(PROVIDED ON LEVELS 2, 3, 4)
- 39 PEDESTAL PAVERS - COLOR 2

PRELIMINARY PLANT LIST  
SEE PRELIMINARY PLANT LIST L-003 L-004

- TREE 1 - IN POTS PLANTERS
- SHRUB
- SHRUB
- SHRUB
- SHRUB
- TREE 2 - IN POT/PLANTERS
- TREE 3 - 24" BOX ON PODIUM
- TREE 4 - 36" BOX ON PODIUM



ROOF DECK LANDSCAPE 2  
1/8" = 1'-0"



2ND FLOOR PLAN 1  
1/8" = 1'-0"



IRVING GLENDALE  
MULTIFAMILY APTS  
413/417 IR N G AVENUE  
GLENDALE CALI O NIA 9 20  
1 FEBRUARY 2024  
DESIGN DEVELOPMENT

PRELIMINARY PODIUM  
LANDSCAPE PLAN  
DR-03.2





NOTE:  
SIGNAGE SPECS:  
• 18" HIGH NUMBERS  
• 10" HIGH LETTERS  
• BRONZE COLOR  
• CAST ALUMINUM WITH  
1" RETURN, PAINTED  
BRONZE

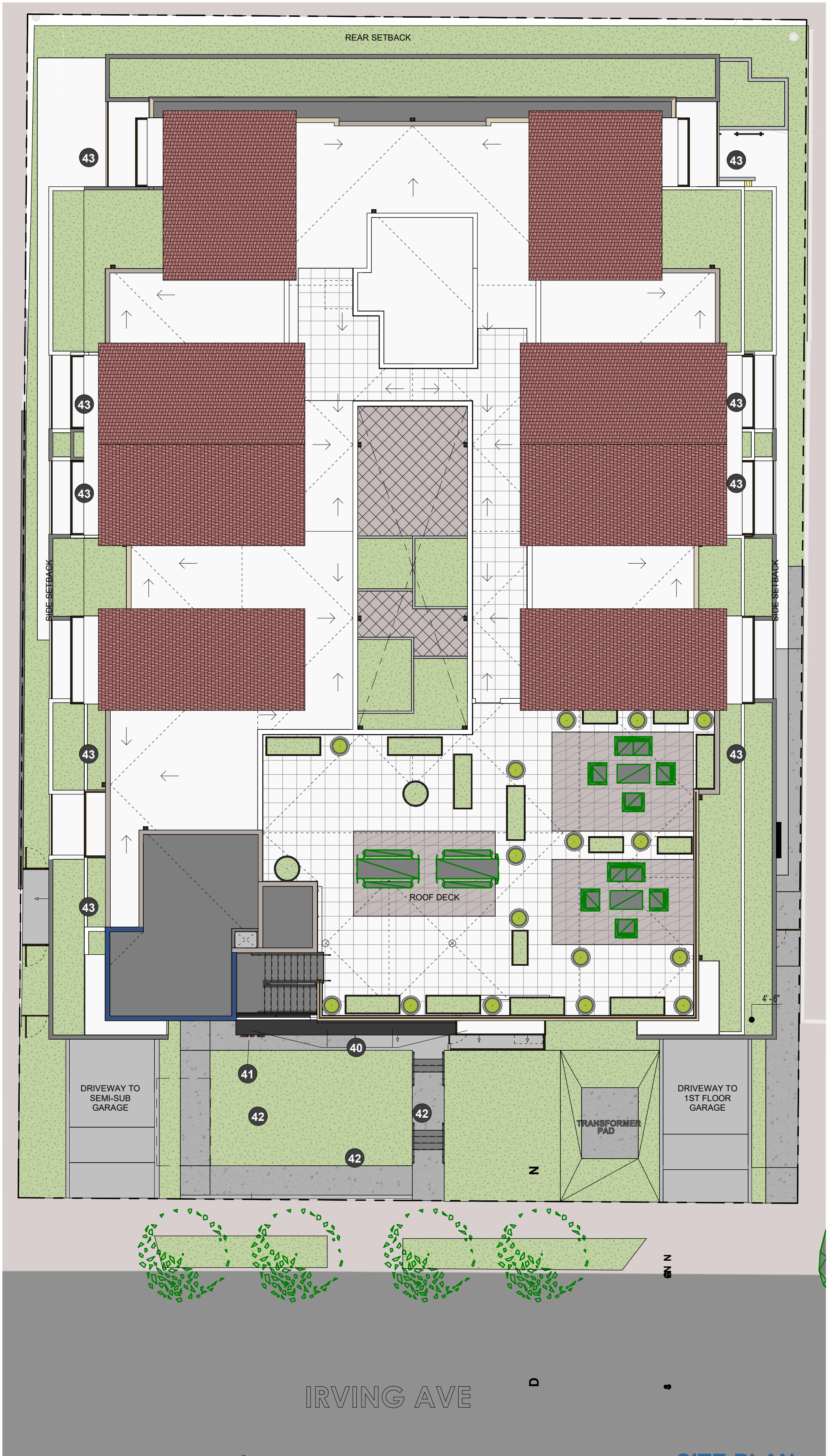
SIGNAGE 4  
1/4" = 1'-0"



SOUTH ELEVATION - LIGHTING 2  
3/32" = 1'-0"



WEST ELEVATION - LIGHTING 3  
3/32" = 1'-0"



SITE PLAN 1  
3/32" = 1'-0"

EXTERIOR LIGHTING KEYNOTES

- 40 DOWNLIGHT | ENTRANCE
- 41 LIGHT | SIGNAGE
- 42 STEP LIGHT
- 43 DOWNLIGHT | PATIOS

PRELIMINARY LIGHTING



DATE

No. DESCRIPTION

IRVING GLENDALE  
MULTIFAMILY APTS

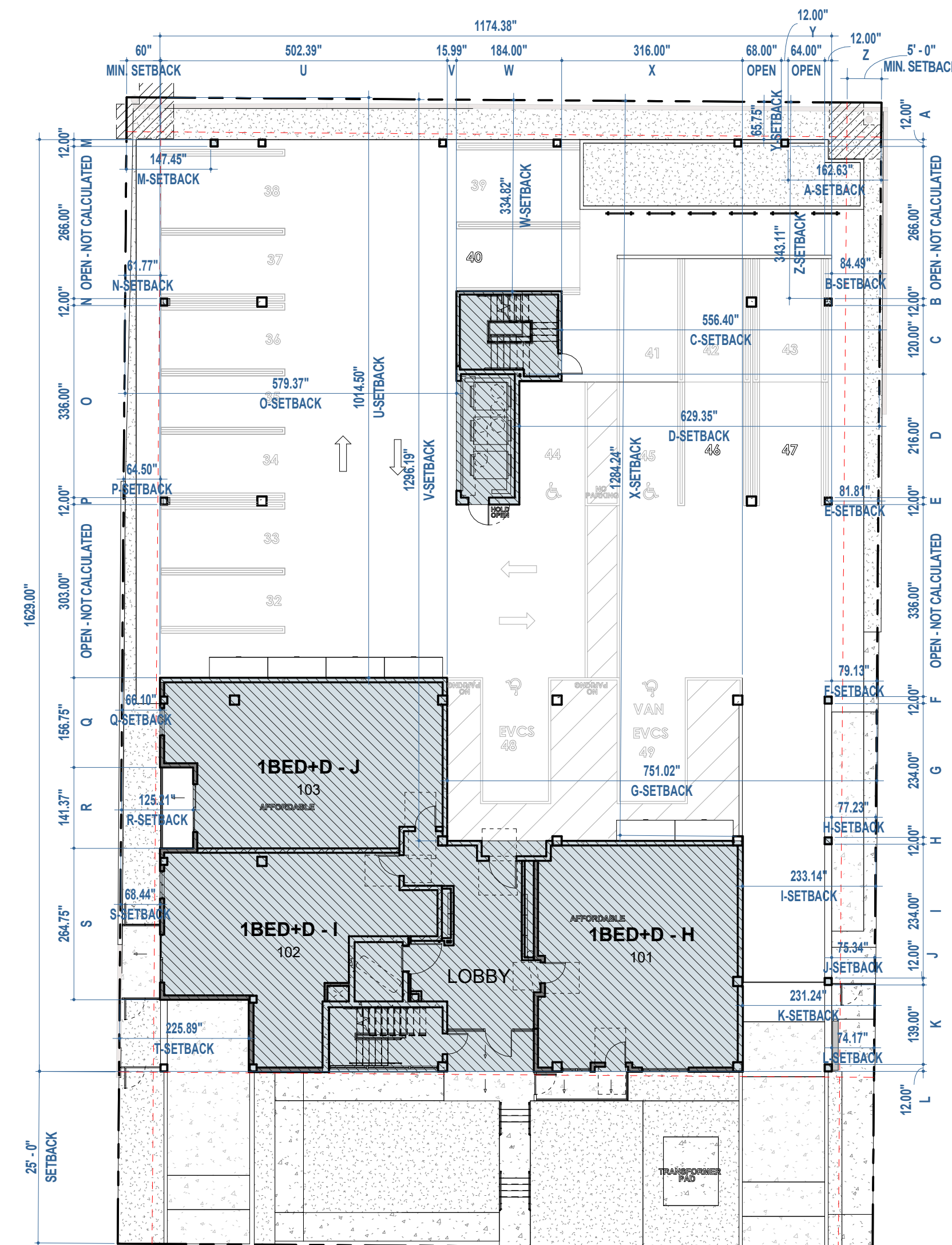
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ESIGN DEVELOPME T

EXTERIOR LIGHTING PLAN  
DR-03.3





**1ST FLOOR SETBACKS** 5' SETBACK MINIMUM - 8' SETBACK AVERAGE

**EAST SETBACKS**

A=	12"	@	161.77"	=	1,941.24
B=	12"	@	84.49"	=	1,013.88
C=	132"	@	556.40"	=	73,444.8
D=	204"	@	629.35"	=	128,387.4
E=	12"	@	81.81"	=	981.72
F=	12"	@	79.13"	=	949.56
G=	234"	@	785.04"	=	183,699.4
H=	12"	@	77.23"	=	926.76
I=	239"	@	233.14"	=	55,720.46
J=	12"	@	75.34"	=	904.08
K=	139"	@	231.24"	=	32,142.36
L=	12"	@	74.17"	=	890.04
				=	481,001.7

TOTAL LENGTH - OPEN AREAS.  
TOTAL LENGTH=1629" - 266" - 336" = 1027"

AVG. SB = 481,001.7/1027  
**AVG. SB = 468.35" = 39.02'**

**WEST SETBACKS**

M=	12"	@	147.45"	=	1,769.4
N=	12"	@	66.28"	=	795.36
O=	336"	@	579.37"	=	194,668.32
P=	12"	@	69.01"	=	828.12
Q=	156.7"	@	66.10"	=	10,361.17
R=	141.0"	@	125.21"	=	17,658.36
S=	264.9"	@	68.44"	=	18,131.12
T=	125.3"	@	225.89"	=	28,304.01
				=	272,515.86

TOTAL LENGTH - OPEN AREAS.  
TOTAL LENGTH=1629" - 266" - 303" = 1,060"

AVG. SB = 272,515.86/1060  
**AVG. SB = 257.09" = 21.42'**

**NORTH SETBACKS**

U=	468.4"	@	1,014.5"	=	475,191.8
V=	50"	@	1,288.2"	=	64,410
W=	184"	@	334.82"	=	61,606.88
X=	316"	@	1284.2"	=	405,807.2
Y=	12"	@	65.75"	=	789
T=	12"	@	343.11"	=	4,117.32
				=	1,011,922.2

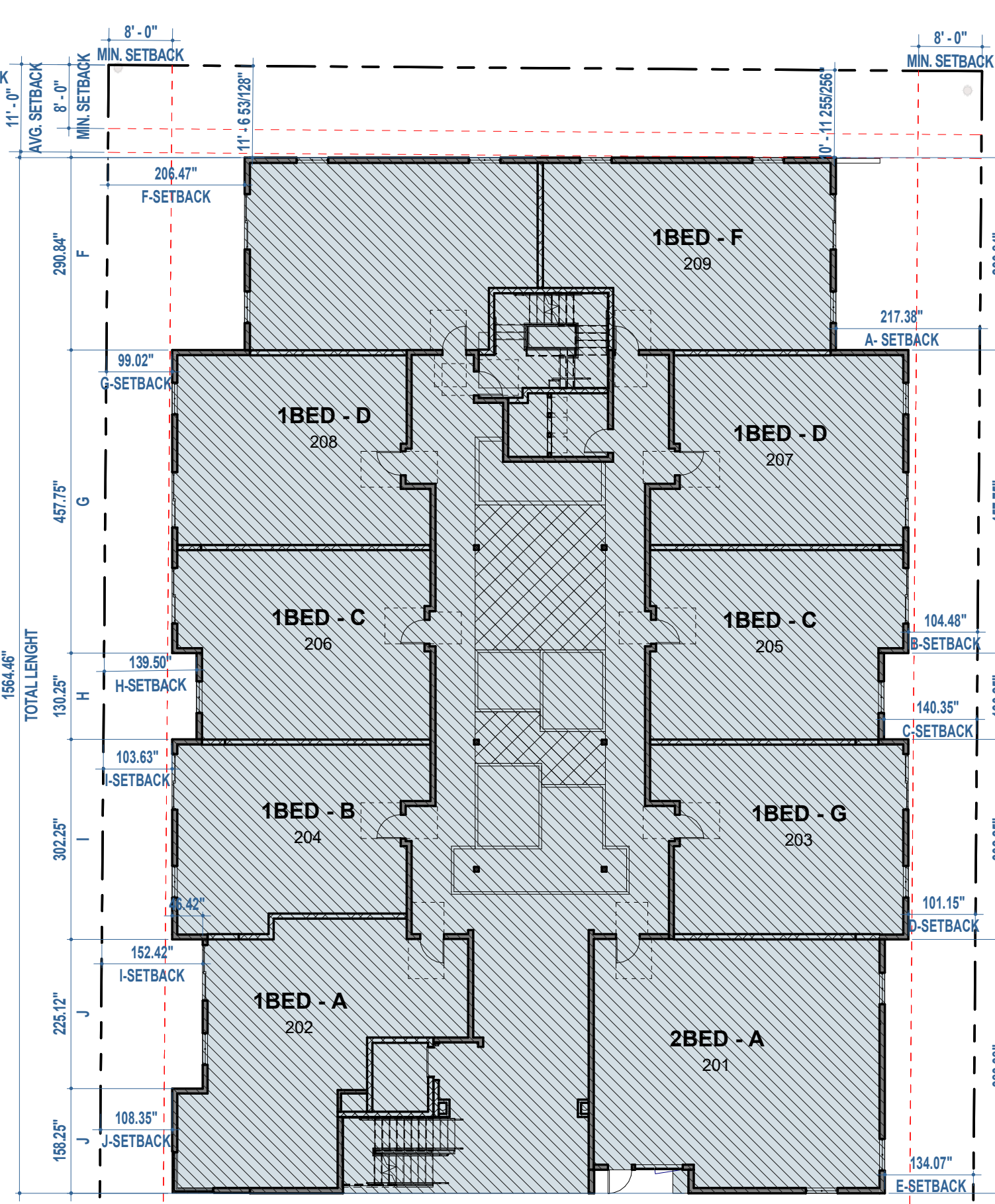
TOTAL LENGTH - OPEN AREAS.  
TOTAL LENGTH=1174.38" - 68.86" - 63.14" = 1,042.38"

AVG. SB = 1,011,922.2/1042.38  
**AVG. SB = 970.78" = 80.89'**

**1ST FLOOR PLAN**

1/16" = 1'-0"

1



**2ND FLOOR PLAN**

1/16" = 1'-0"

2

**2ND FLOOR SETBACKS**

08' SETBACK MINIMUM  
11' SETBACK AVERAGE

**EAST SETBACKS**

A=291.38 @ 217.52" = 63,381  
B=457.75 @ 104.62" = 47,889  
C=130.25 @ 140.49" = 18,299  
D=302.25 @ 101.29" = 30,615  
E=383.38 @ 133.71" = 51,261  
TOTAL LENGTH=1564.5

AVG. SB = 211445/1564.5  
**AVG. SB = 135.15" = 11.26'**

**WEST SETBACKS**

F=291.38 @ 206.47" = 60,161  
G=457.75 @ 99.38" = 45,491  
H=130.25 @ 139.86" = 18,217  
I=302.25 @ 103.99" = 31,431  
J=224.58 @ 152.42" = 34,231  
K=158.80 @ 108.35" = 17,206  
TOTAL LENGTH=1564.5

AVG. SB = 206737/1564.5  
**AVG. SB = 132.14" = 11.01'**

**4TH FLOOR SETBACKS**

11' SETBACK MINIMUM  
14' SETBACK AVERAGE

**EAST SETBACKS**

A=260.38 @ 253.52" = 66,012  
B=457.75 @ 140.62" = 64,369  
C=130.25 @ 174.99" = 22,793  
D=302.25 @ 137.29" = 41,496  
E=383.38 @ 169.71" = 65,064  
TOTAL LENGTH=1534"

AVG. SB = 259734/1534  
**AVG. SB = 169.32" = 14.11'**

**WEST SETBACKS**

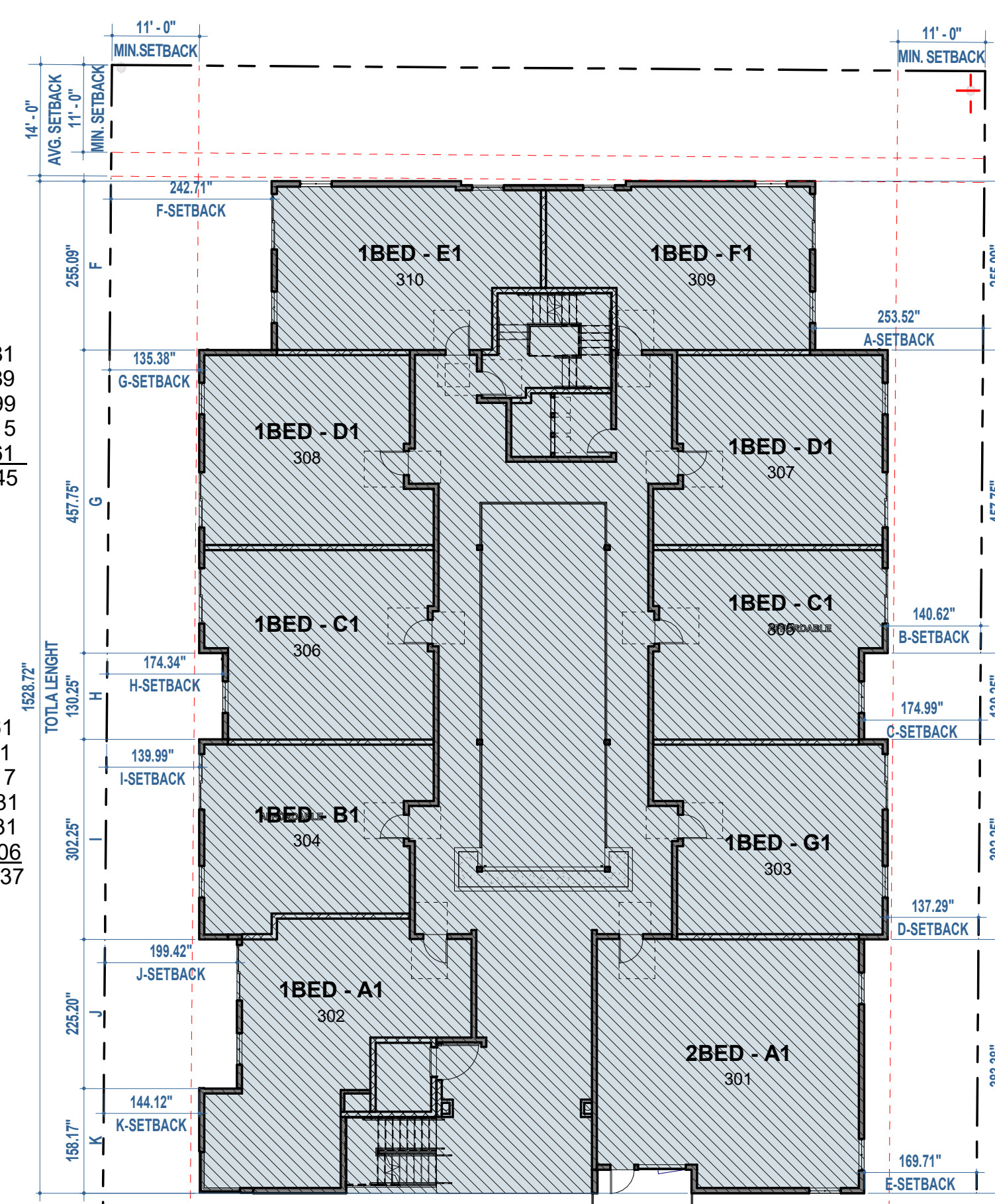
F=260.38 @ 242.71" = 63,197  
G=457.75 @ 135.38" = 61,970  
H=130.25 @ 174.34" = 22,708  
I=302.25 @ 139.99" = 42,312  
J=224.58 @ 199.42" = 44,786  
K=158.80 @ 144.12" = 22,886  
TOTAL LENGTH=1534"

AVG. SB = 255389/1534  
**AVG. SB = 168.10" = 14.00'**

**4TH FLOOR**

1/16" = 1'-0"

4



**3RD FLOOR PLAN**

1/16" = 1'-0"

3

**3RD FLOOR SETBACKS**

11' SETBACK MINIMUM  
14' SETBACK AVERAGE

**EAST SETBACKS**

A=260.38 @ 253.52" = 66,012  
B=457.75 @ 140.62" = 64,369  
C=130.25 @ 174.99" = 22,793  
D=302.25 @ 137.29" = 41,496  
E=383.38 @ 169.71" = 65,064  
TOTAL LENGTH=1534"

AVG. SB = 259734/1534  
**AVG. SB = 169.32" = 14.11'**

**WEST SETBACKS**

F=260.38 @ 242.71" = 63,197  
G=457.75 @ 135.38" = 61,970  
H=130.25 @ 174.34" = 22,708  
I=302.25 @ 139.99" = 42,312  
J=224.58 @ 199.42" = 44,786  
K=158.80 @ 144.12" = 22,886  
TOTAL LENGTH=1534"

AVG. SB = 255389/1534  
**AVG. SB = 168.10" = 14.00'**

**MEZZANINE FLOOR SETBACKS**

11' SETBACK MINIMUM  
14' SETBACK AVERAGE

**EAST SETBACKS**

A=255.09 @ 255.56" = 65,191  
B=164.28 @ 144.14" = 23,679  
C=150.75 @ 176.15" = 26,555  
D=159.00 @ 139.61" = 22,198  
E=120.00 @ 818.12" = 98,174  
F=115.35 @ 954.81" = 110,137  
TOTAL LENGTH - OPEN AREA  
TOTAL LENGTH=1529" - 272.9" - 291.3" = 964.8"

AVG. SB = 345934/964.8  
**AVG. SB = 358.5" = 29.8'**

**WEST SETBACKS**

G=255.09 @ 242.75" = 61,923  
H=164.28 @ 135.37" = 22,238  
I=150.75 @ 174.18" = 26,258  
J=159.00 @ 139.99" = 22,258  
K=165.41 @ 142.66" = 37,863  
TOTAL LENGTH - OPEN AREA  
TOTAL LENGTH=1529" - 272.9" - 261.1" = 995"

AVG. SB = 170540/995  
**AVG. SB = 171.4" = 14.28'**

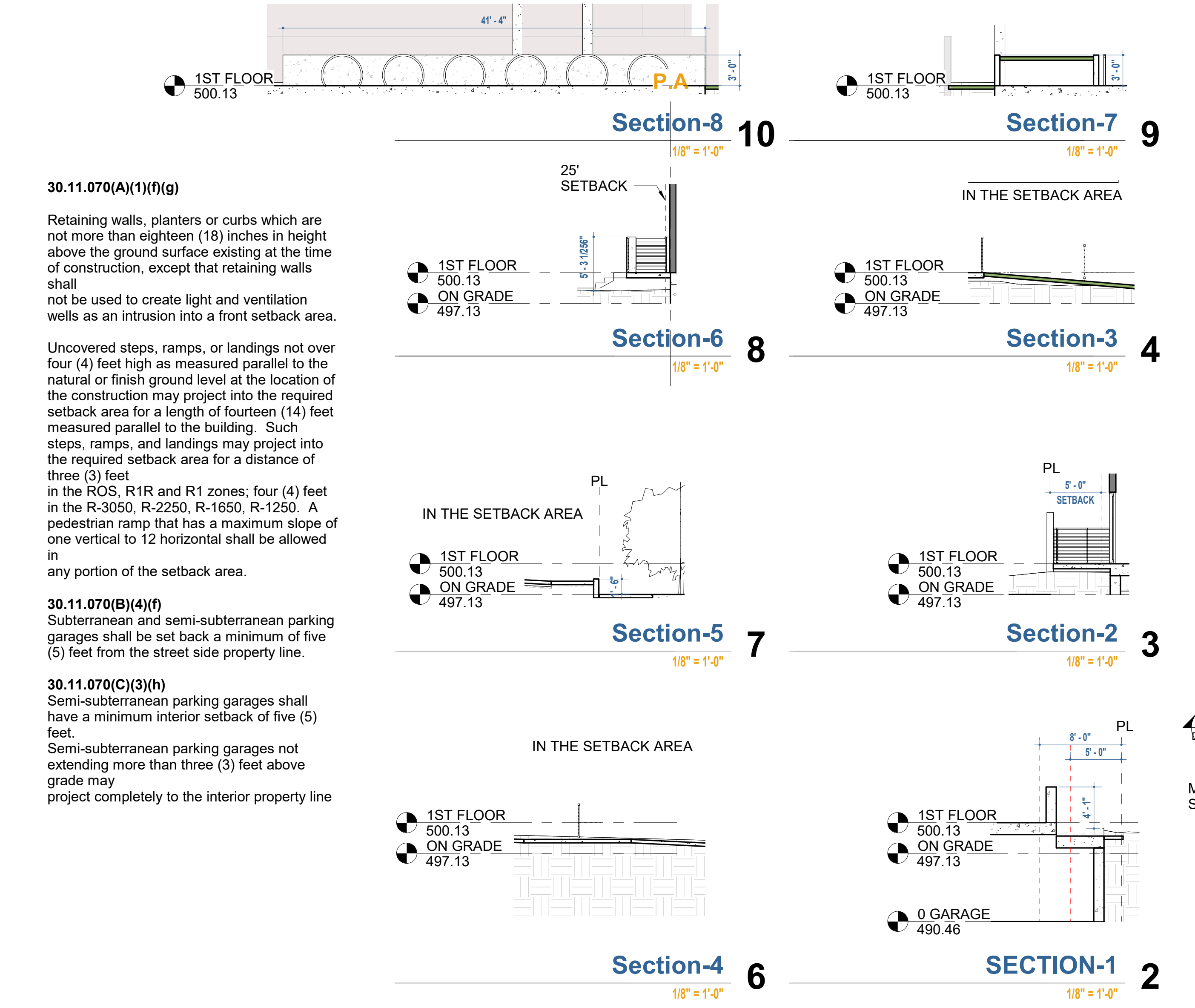
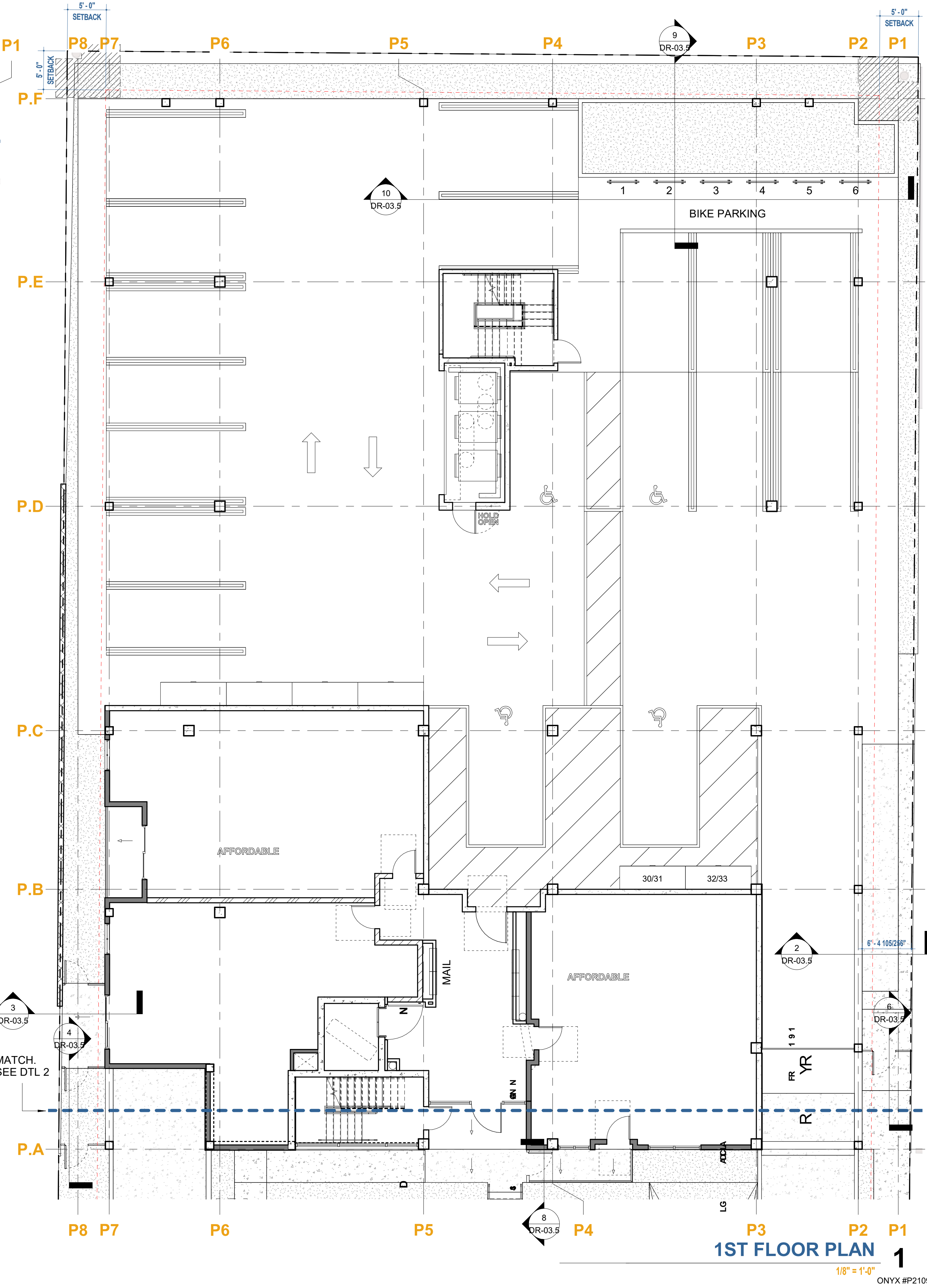
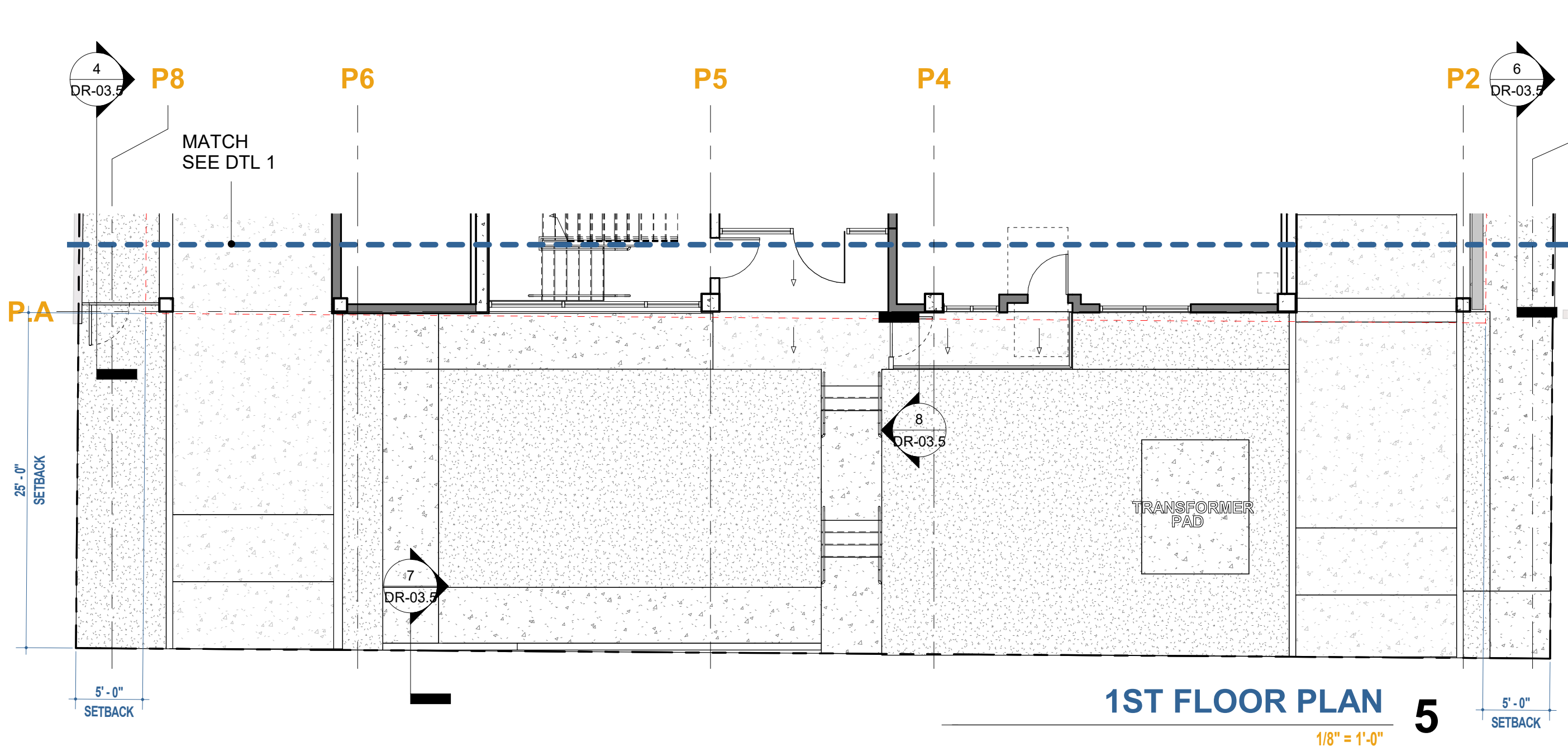
**MEZZANINE/ DEN**

1/16" = 1'-0"

5







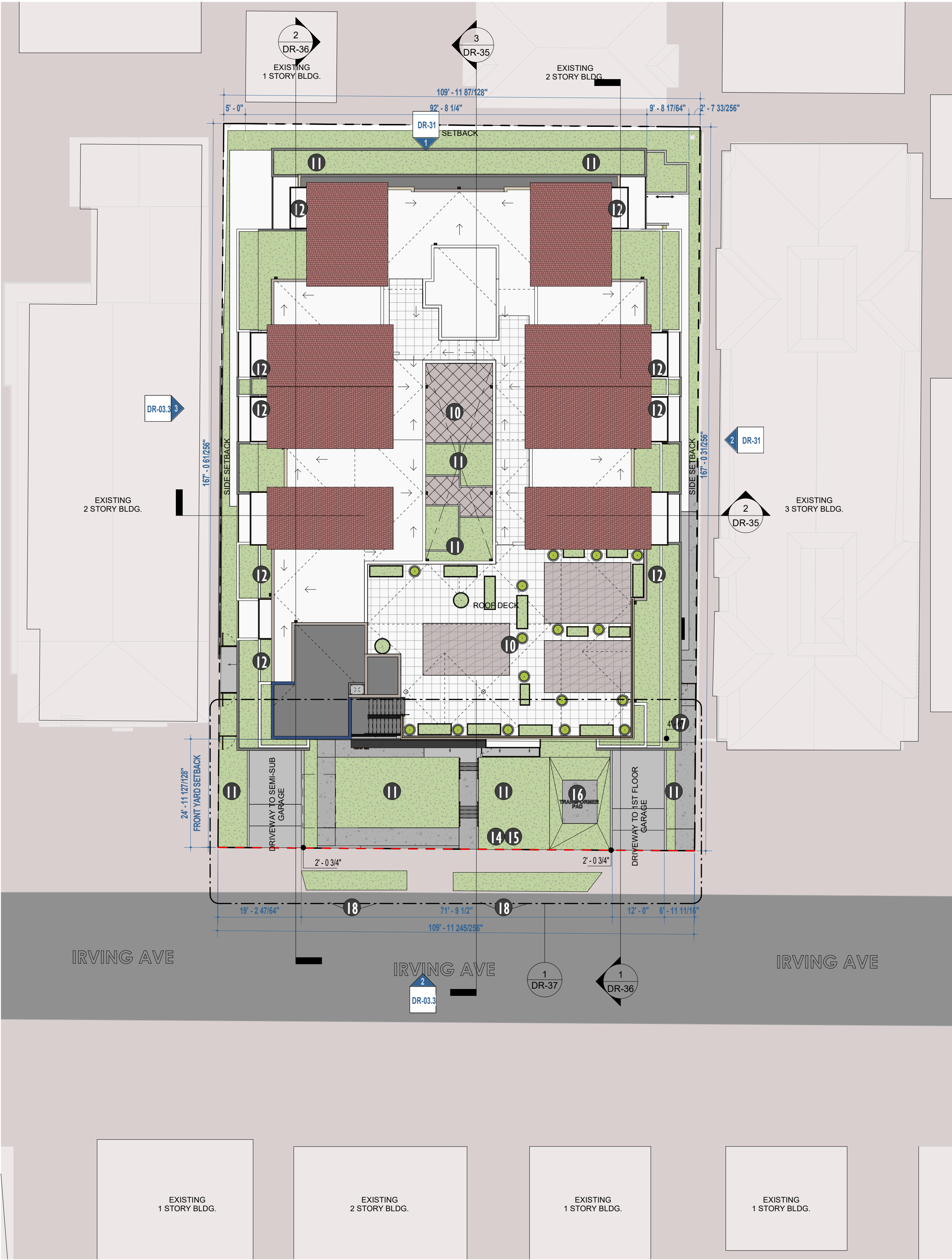
**30.11.070(A)(1)(f)(g)**  
Retaining walls, planters or curbs which are not more than eighteen (18) inches in height above the ground surface existing at the time of construction, except that retaining walls shall not be used to create light and ventilation wells as an intrusion into a front setback area.

Uncovered steps, ramps, or landings not over four (4) feet high as measured parallel to the natural or finish ground level at the location of the construction may project into the required setback area for a length of fourteen (14) feet measured parallel to the building. Such steps, ramps, and landings may project into the required setback area for a distance of three (3) feet in the ROS, R1R and R1 zones; four (4) feet in the R-3050, R-2250, R-1650, R-1250. A pedestrian ramp that has a maximum slope of one vertical to 12 horizontal shall be allowed in any portion of the setback area.

**30.11.070(B)(4)(f)**  
Subterranean and semi-subterranean parking garages shall be set back a minimum of five (5) feet from the street side property line.

**30.11.070(C)(3)(h)**  
Semi-subterranean parking garages shall have a minimum interior setback of five (5) feet. Semi-subterranean parking garages not extending more than three (3) feet above grade may project completely to the interior property line.

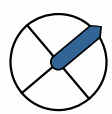




SITE PLAN

1/16" = 1'-0"

1



ADJACENT PROPERTIES



421 Irving Ave. Glendale CA (west)



409 Irving Ave. Glendale CA (east)

ACROSS STREET PROPERTIES



414 Irving Ave. Glendale CA

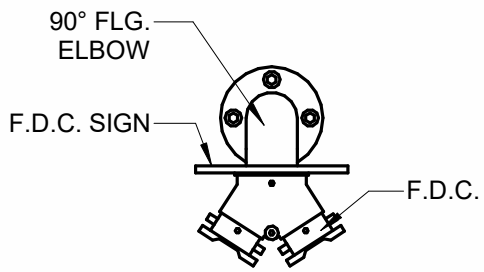


416 Irving Ave. Glendale CA

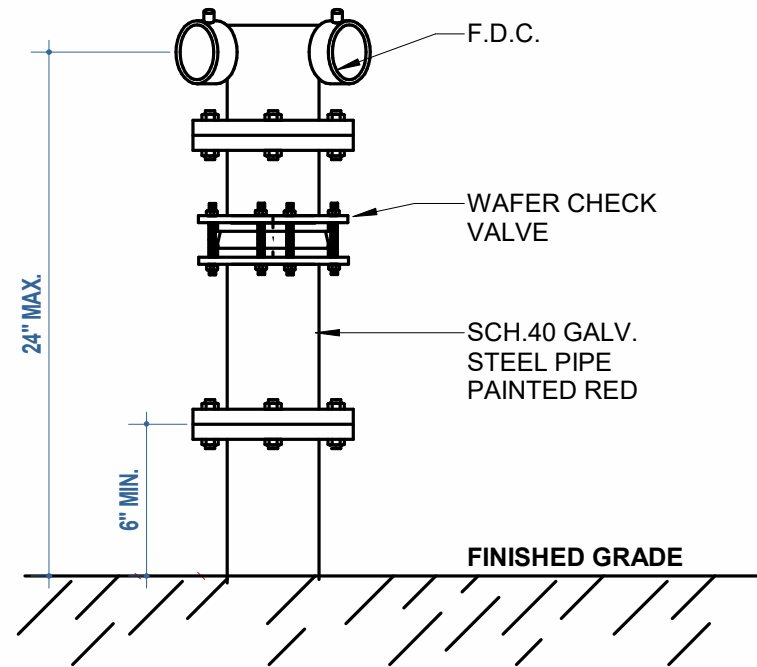
KEYNOTES

- 10 OPEN SPACE
- 11 LANDSCAPE
- 12 PRIVATE OPEN SPACE (BALCONIES)
- 13 BUILDING ENTRANCE w/ INTEGRATED SLOPED WALK AND STEPS
- 14 WATER METER
- 15 FDC (FIRE DEPARTMENT CONNECTION)
- 16 (N) TRANSFORMER PAD LOCATION
- 17 GAS METERS @ 1ST FLOOR
- 18 NEW STREET TREES (BRISBANE BOX)

NOTE: NO PROTECTED TREES WITHIN 20 FEET OF THE SITE. SEE ARBORIST REPORT SHEET DR-03.0



FIRE DEPT. CONNECTION  
PLAN VIEW

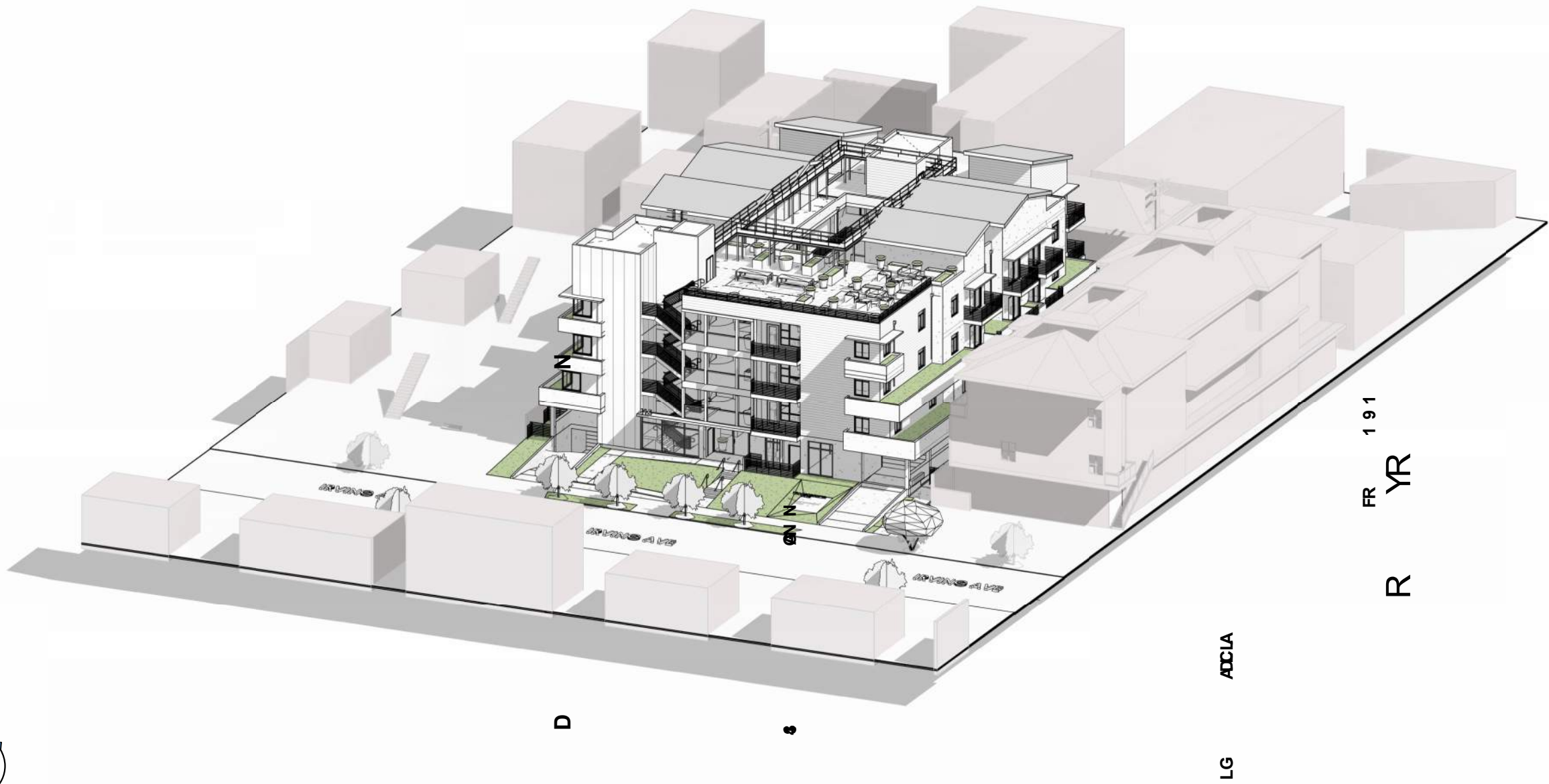


FIRE DEPT. CONNECTION  
ELEVATION VIEW

FIRE DEPARTMENT CONNECTION

1 1/2" = 1'-0"

3



IRVING GLENDALE  
MULTIFAMILY APTS

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DATE

No. DESCRIPTION

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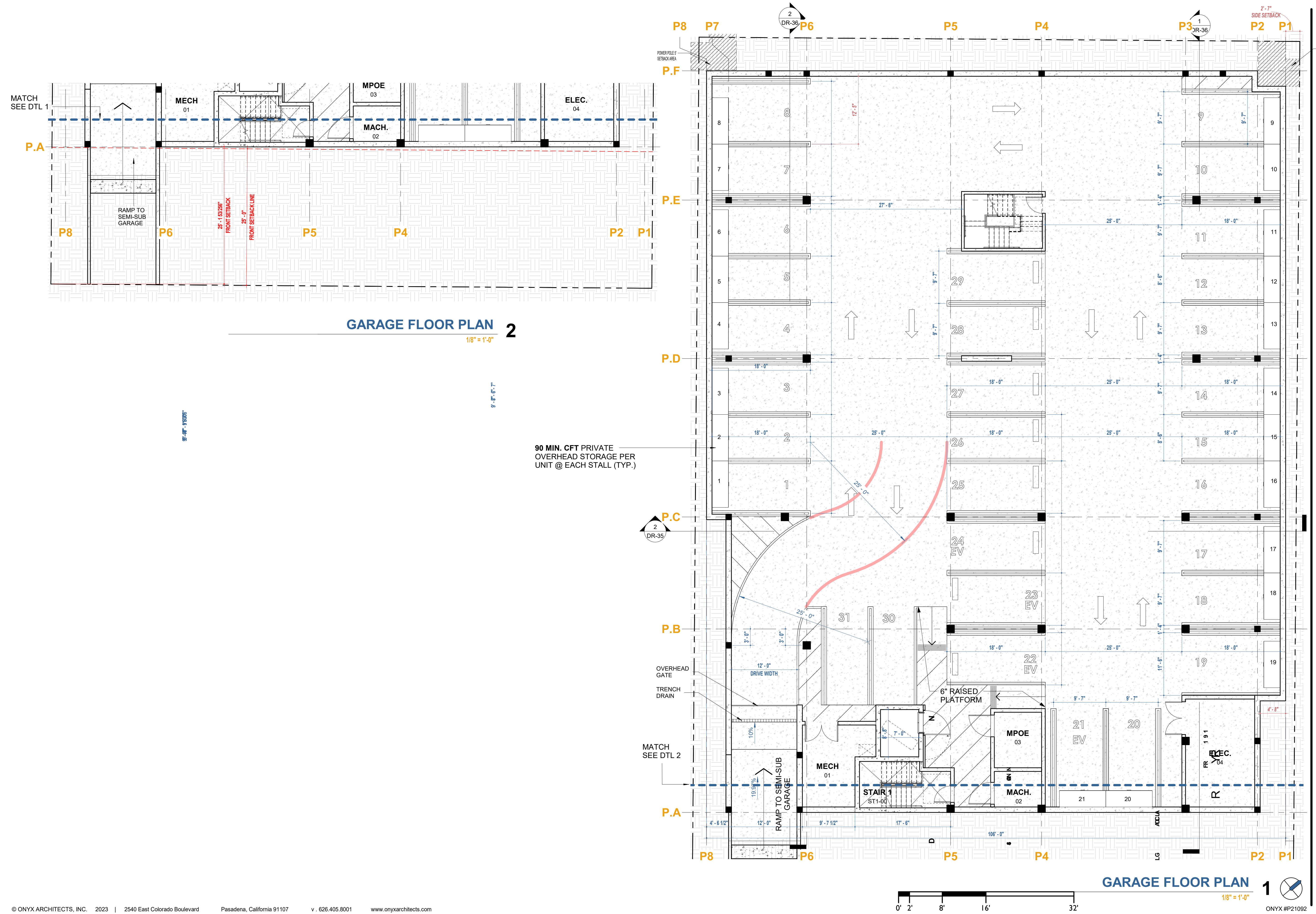
1/417 I R V E U E  
E N E I O N I A 20

1 FEB UA 2024

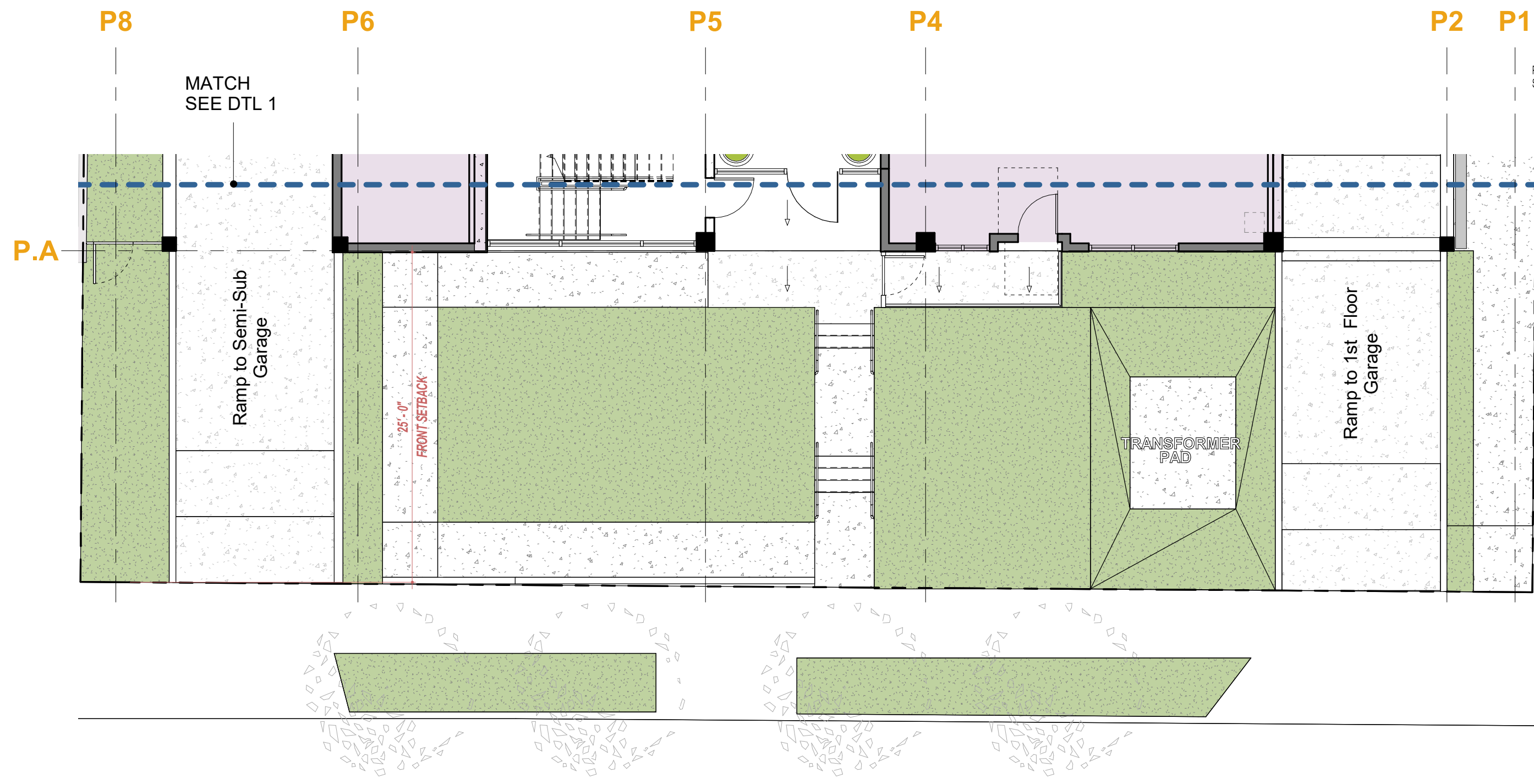
ESIGN DEVELOPME T

SITE PLAN  
DR-04







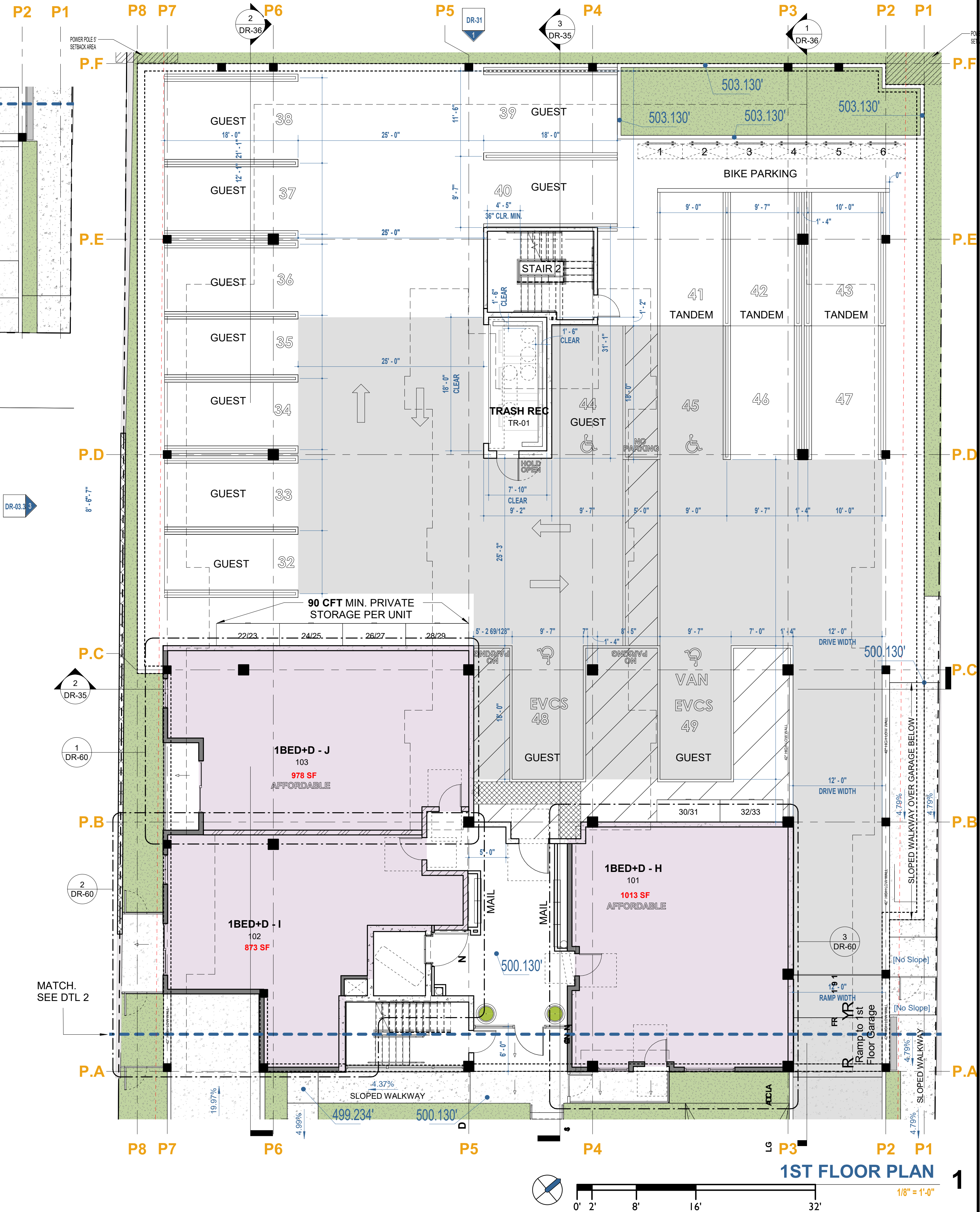


1ST FLOOR PLAN 2  
1/8" = 1'-0"

UNIT MIX

	QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL
1 BED	1	912	2ND	202	A	18
	1	761	2ND	203	G	
	1	716	2ND	204	B	
	1	774	2ND	205	C	
	1	774	2ND	206	C	
	1	762	2ND	207	D	
	1	762	2ND	208	D	
	1	853	2ND	209	F	
	1	874	2ND	210	E	
	1	797	3RD	302	A1	
	1	687	3RD	303	G1	
	1	642	3RD	304	B1	
	1	702	3RD	305	C1	
	1	702	3RD	306	C1	
	1	689	3RD	307	D1	
	1	689	3RD	308	D1	
	1	672	3RD	309	F1	
1 BED + D	1	693	3RD	310	E1	12
	1	1013	1ST	101	H	
	1	873	1ST	102	I	
	1	978	1ST	103	J	
	1	1090	4TH	402	A2	
	1	930	4TH	403	G2	
	1	885	4TH	404	B2	
	1	959	4TH	405	C2	
	1	959	4TH	406	C2	
	1	946	4TH	407	D2	
2 BED	1	946	4TH	408	D2	3
	1	894	4TH	409	F2	
	1	915	4TH	410	E2	
	1	1170	2ND	201	A	
	1	1073	3RD	301	A1	
	1	1073	4TH	401	A1	
	33					33

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS



1ST FLOOR PLAN 1  
1/8" = 1'-0"



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OVERALL 1ST FLOOR PLAN

DR-21





UNIT MIX						
	QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL
1 BED	1	912	2ND	202	A	18
	1	761	2ND	203	G	
	1	716	2ND	204	B	
	1	774	2ND	205	C	
	1	774	2ND	206	C	
	1	762	2ND	207	D	
	1	762	2ND	208	D	
	1	853	2ND	209	F	
	1	874	2ND	210	E	
	1	797	3RD	302	A1	
	1	687	3RD	303	G1	
	1	642	3RD	304	B1	
	1	702	3RD	305	C1	
	1	702	3RD	306	C1	
	1	689	3RD	307	D1	
	1	689	3RD	308	D1	
	1	672	3RD	309	F1	
	1	693	3RD	310	E1	
1 BED + D	1	1013	1ST	101	H	12
	1	873	1ST	102	I	
	1	978	1ST	103	J	
	1	1090	4TH	402	A2	
	1	930	4TH	403	G2	
	1	885	4TH	404	B2	
	1	959	4TH	405	C2	
	1	959	4TH	406	C2	
	1	946	4TH	407	D2	
	1	946	4TH	408	D2	
	1	894	4TH	409	F2	
	1	915	4TH	410	E2	
2 BED	1	1170	2ND	201	A	3
	1	1073	3RD	301	A1	
	1	1073	4TH	401	A1	
	33					33

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS

2ND FLOOR PLAN

1

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OVERALL 2ND FLOOR PLAN

DR-22

DATE

No. DESCRIPTION

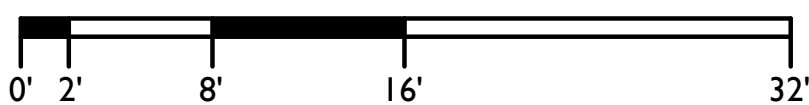




UNIT MIX						
	QUANTITY	SF	LEVEL	UNIT #	TYPE	TOTAL
1 BED	1	912	2ND	202	A	18
	1	761	2ND	203	G	
	1	716	2ND	204	B	
	1	774	2ND	205	C	
	1	774	2ND	206	C	
	1	762	2ND	207	D	
	1	762	2ND	208	D	
	1	853	2ND	209	F	
	1	874	2ND	210	E	
	1	797	3RD	302	A1	
	1	687	3RD	303	G1	
	1	642	3RD	304	B1	
	1	702	3RD	305	C1	
	1	702	3RD	306	C1	
	1	689	3RD	307	D1	
	1	689	3RD	308	D1	
	1	672	3RD	309	F1	
	1	693	3RD	310	E1	
1 BED + D	1	1013	1ST	101	H	12
	1	873	1ST	102	I	
	1	978	1ST	103	J	
	1	1090	4TH	402	A2	
	1	930	4TH	403	G2	
	1	885	4TH	404	B2	
	1	959	4TH	405	C2	
	1	959	4TH	406	C2	
	1	946	4TH	407	D2	
	1	946	4TH	408	D2	
	1	894	4TH	409	F2	
	1	915	4TH	410	E2	
2 BED	1	1170	2ND	201	A	3
	1	1073	3RD	301	A1	
	1	1073	4TH	401	A1	
	33					33

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS

3RD FLOOR PLAN



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MULTIFAMILY APTS

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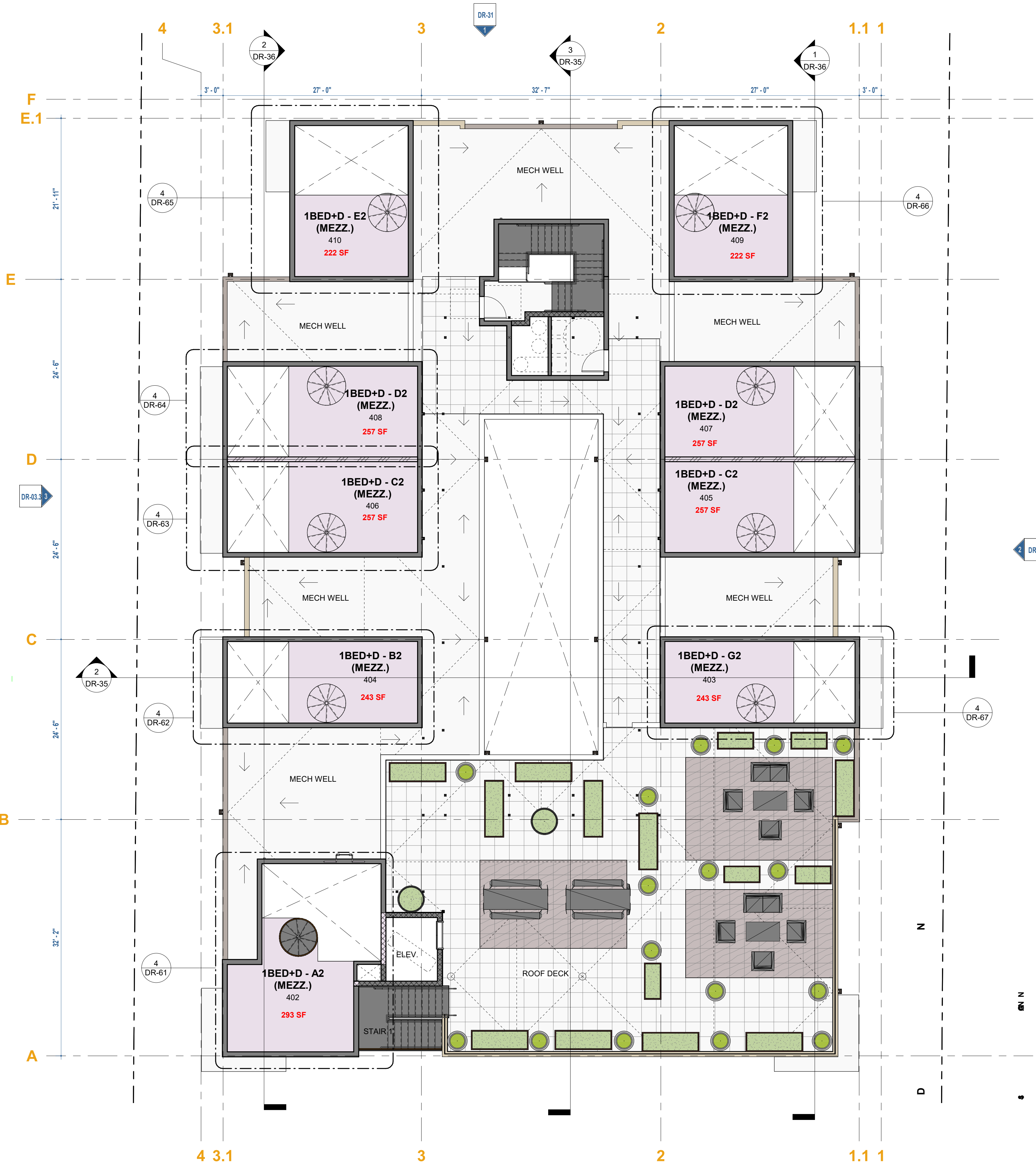
OVERALL 3RD FLOOR PLAN

DR-23



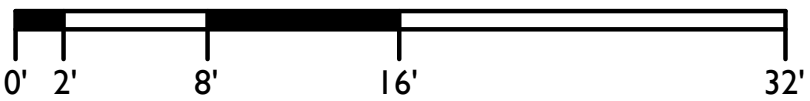






UNIT MIX					
	QUANTITY	SF	LEVEL	UNIT #	TYPE
1 BED	1	912	2ND	202	A
	1	761	2ND	203	G
	1	716	2ND	204	B
	1	774	2ND	205	C
	1	774	2ND	206	C
	1	762	2ND	207	D
	1	762	2ND	208	D
	1	853	2ND	209	F
	1	874	2ND	210	E
	1	797	3RD	302	A1
	1	687	3RD	303	G1
	1	642	3RD	304	B1
	1	702	3RD	305	C1
	1	702	3RD	306	C1
	1	689	3RD	307	D1
	1	689	3RD	308	D1
	1	672	3RD	309	F1
	1	693	3RD	310	E1
1 BED + D	1	1013	1ST	101	H
	1	873	1ST	102	I
	1	978	1ST	103	J
	1	1090	4TH	402	A2
	1	930	4TH	403	G2
	1	885	4TH	404	B2
	1	959	4TH	405	C2
	1	959	4TH	406	C2
	1	946	4TH	407	D2
	1	946	4TH	408	D2
	1	894	4TH	409	F2
	1	915	4TH	410	E2
2 BED	1	1170	2ND	201	A
	1	1073	3RD	301	A1
	1	1073	4TH	401	A1
33					33

GREY HATCH DENOTES DESIGNATED AFFORDABLE UNITS



MEZZANINE/ DEN 1  
1/8" = 1'-0"

IRVING GLENDALE  
MULTIFAMILY APTS

1 FEB 2024  
DESIGN DEVELOPMENT

OVERALL MEZZANINE /  
ROOF PLAN  
DR-25

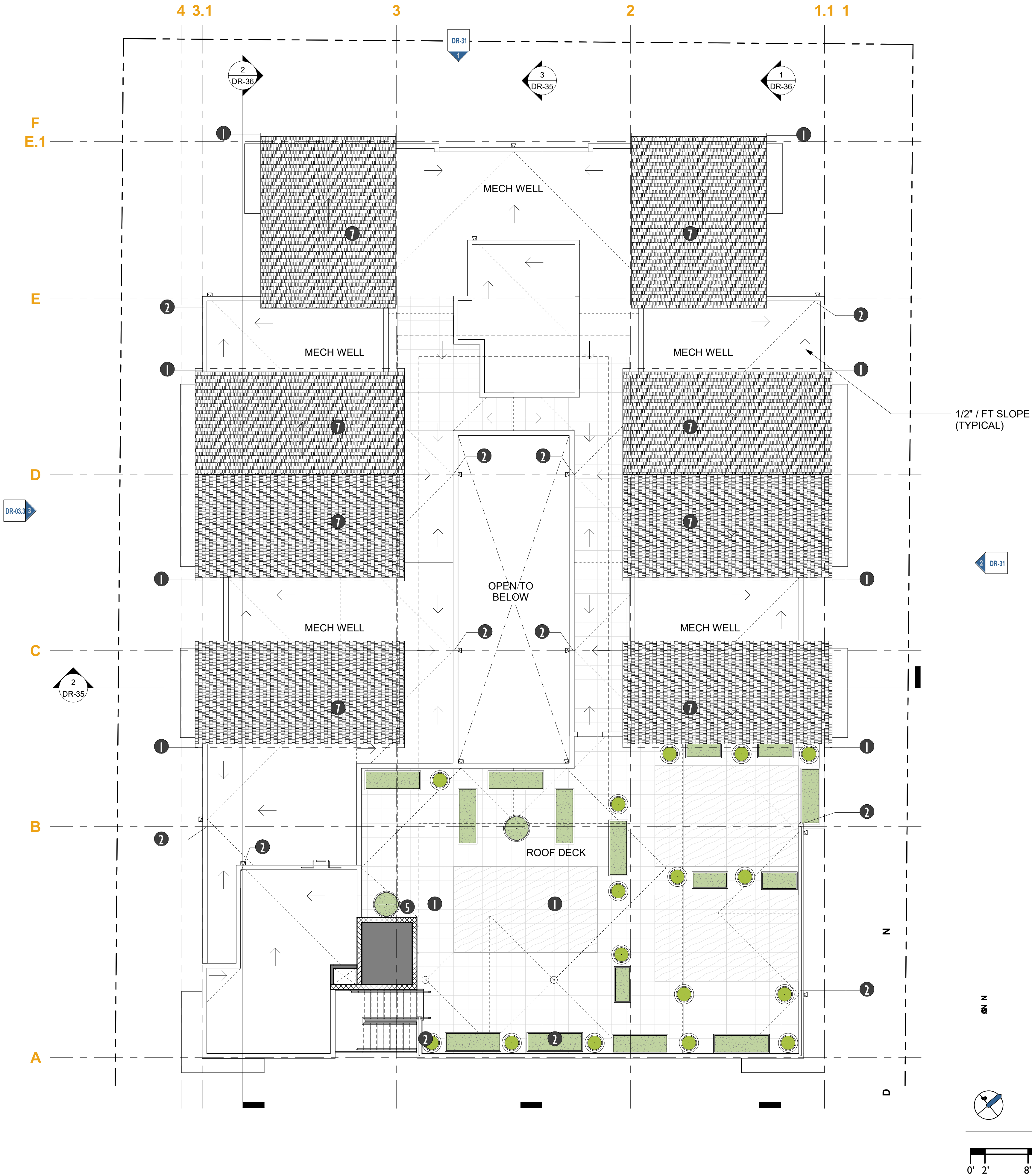




# KEYNOTES

- GUTTER (CONCEALED @ FLAT ROOF (8+ 9/A-830)  
SURFACE MOUNT GUTTER @ 3:12 ROOF(X/A-XXX)
- SCUPPER / DOWNSPOUT
- CRICKET - PROVIDE 1/2" / FT MIN. SLOPE
- AREA DECK DRAIN
- CAT WALK ABOVE FOR EMERGENCY-FIRE DEPT. ACCESS ONLY
- FLAT ROOF MEMBRANE - PVC Single Ply  
GAF SRI= 110 , Solar Reflectance = .87, Thermal Emittance = .87
- ASPHALT SHINGLE ROOFING @ 3:12 PITCH  
GAF Timberline HDZ - Driftwood  
SRI= XX, Solar Reflectance = XX, Thermal Emittance = XX

**GENERAL ROOF NOTES:**  
 1. Installation of Roofing shall be in accordance with manufacturer's specification.  
 2. Roofing materials shall all be from one Manufacturer, shall have a U/L Class A fire rating and shall be roofing manufacturer's current published specifications to General Contractor for approval.  
 3. Roof Penetration flashing per Mechanical per Detail 17 + 18/A-840  
 4. Size the roof drains and overflow drains according to Chapter 11 of the CPC. (1503.4)  
 5. Overflow scuppers shall be designed in accordance to Table 11-1 of the CPC  
 6. See civil plans for site drainage.





EXT. ELEVATION RELATED:

- 1 GUTTER (CONCEALED @ FLAT ROOM/SURFACE @ 3:12 ROOF)
- 2 SCUPPER / DOWNSPOUT
- 20A COLOR A : FIELD INTEGRAL "BEIGE" CEMENT PLASTER  
COLOR: MERLEX "TRABUCO"  
FINISH: SAND FLOAT 20/30
- 20B COLOR B : FIELD INTEGRAL "WHITE" CEMENT PLASTER  
COLOR: MERLEX "DOVE GREY"  
FINISH: SAND FLOAT 20/30
- 20C COLOR C : FIELD INTEGRAL "GREY" CEMENT PLASTER  
COLOR: MERLEX "BAY RIDGE"  
FINISH: SAND FLOAT 20/30
- 23 COLOR D : METAL DOWNSPOUTS/RAILINGS/STAIRS  
COLOR: DET619 "CELLULOID"
- 24 COLOR E : VERTICAL SIDING "BLUE" PANEL VERTICAL SIDING  
COLOR: JAMES HARDIE-SMOOTH "BOOTHBAY BLUE"  
FINISH: SMOOTH
- 25 PAINT-COLOR F : HORIZONTAL SIDING "LT BEIGE" PANEL JAMES HARDIE-FINE SAND-GROOVED  
COLOR: DET647 "TRADE WINDS"
- 26 BUILT IN PLANTERS PER DETAILS X, X, XX/A-XXX
- 27 CATWALK (FIRE DEPT ACCESS ONLY)



WEST ELEVATION

2

1/8" = 1'-0"



SOUTH ELEVATION

1

1/8" = 1'-0"

IRVING GLENDALE  
MULTIFAMILY APTS

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EXTERIOR ELEVATIONS  
DR-30



EXT. ELEVATION RELATED:

- 1 GUTTER (CONCEALED @ FLAT ROOM/SURFACE @ 3:12 ROOF)
- 2 SCUPPER / DOWNSPOUT
- 20A COLOR A : FIELD INTEGRAL "BEIGE" CEMENT PLASTER  
COLOR: MERLEX "TRABUCO"  
FINISH: SAND FLOAT 20/30
- 20E COLOR B : FIELD INTEGRAL "WHITE" CEMENT PLASTER  
COLOR: MERLEX "DOVE GREY"  
FINISH: SAND FLOAT 20/30
- 20C COLOR C : FIELD INTEGRAL "GREY" CEMENT PLASTER  
COLOR: MERLEX "BAY RIDGE"  
FINISH: SAND FLOAT 20/30
- 23 COLOR D : METAL DOWNSPOUTS/RAILINGS/STAIRS  
COLOR: DET619 "CELLULOID"
- 24 COLOR E : VERTICAL SIDING "BLUE" PANEL VERTICAL SIDING  
COLOR: JAMES HARDIE-SMOOTH "BOOTHBAY BLUE"  
FINISH: SMOOTH
- 25 PAINT-COLOR F : HORIZONTAL SIDING "LT BEIGE" PANEL JAMES HARDIE-FINE SAND  
GROOVED  
COLOR: DET647 "TRADE WINDS"
- 26 BUILT IN PLANTERS PER DETAILS X, X, XX/A-XXX
- 27 CATWALK (FIRE DEPT ACCESS ONLY)

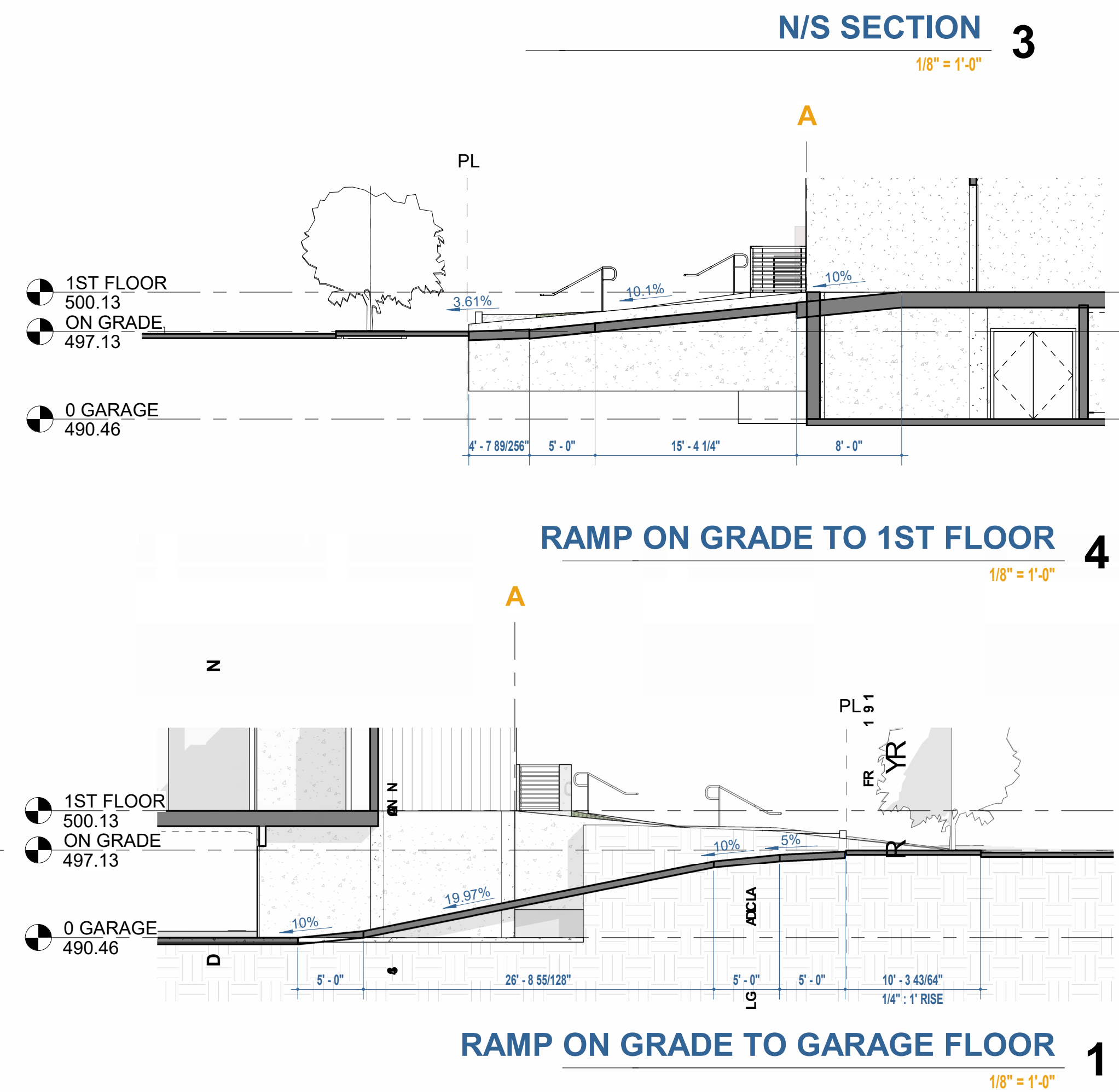
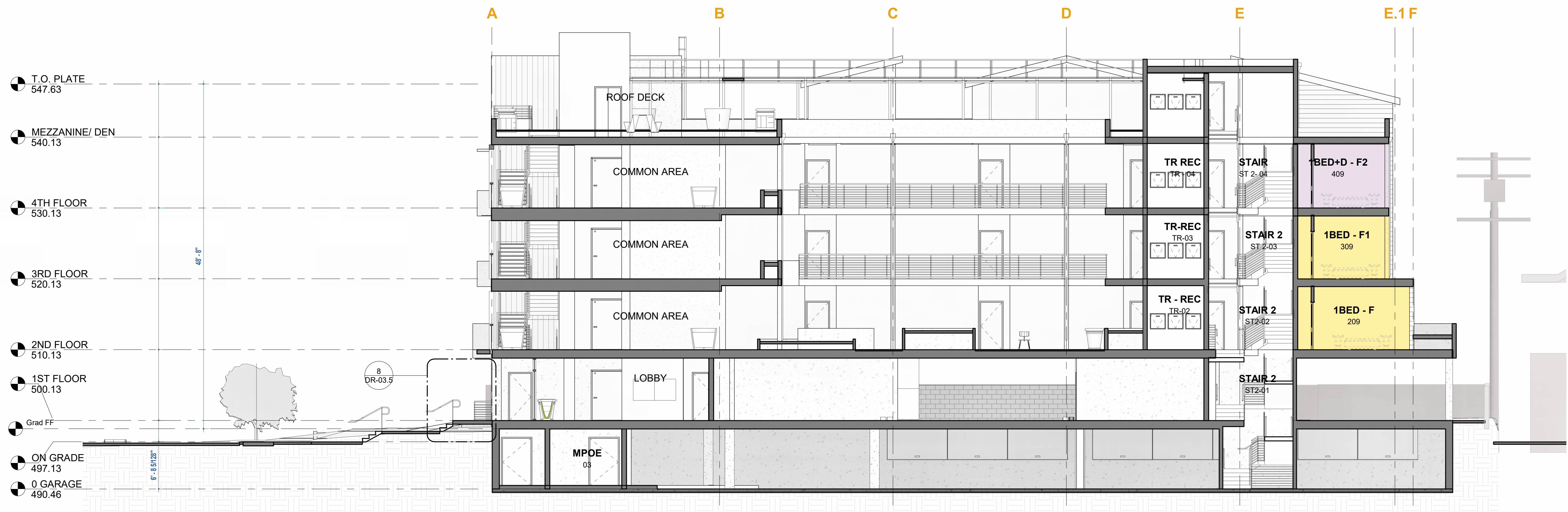


EAST ELEVATION 2  
1/8" = 1'-0"

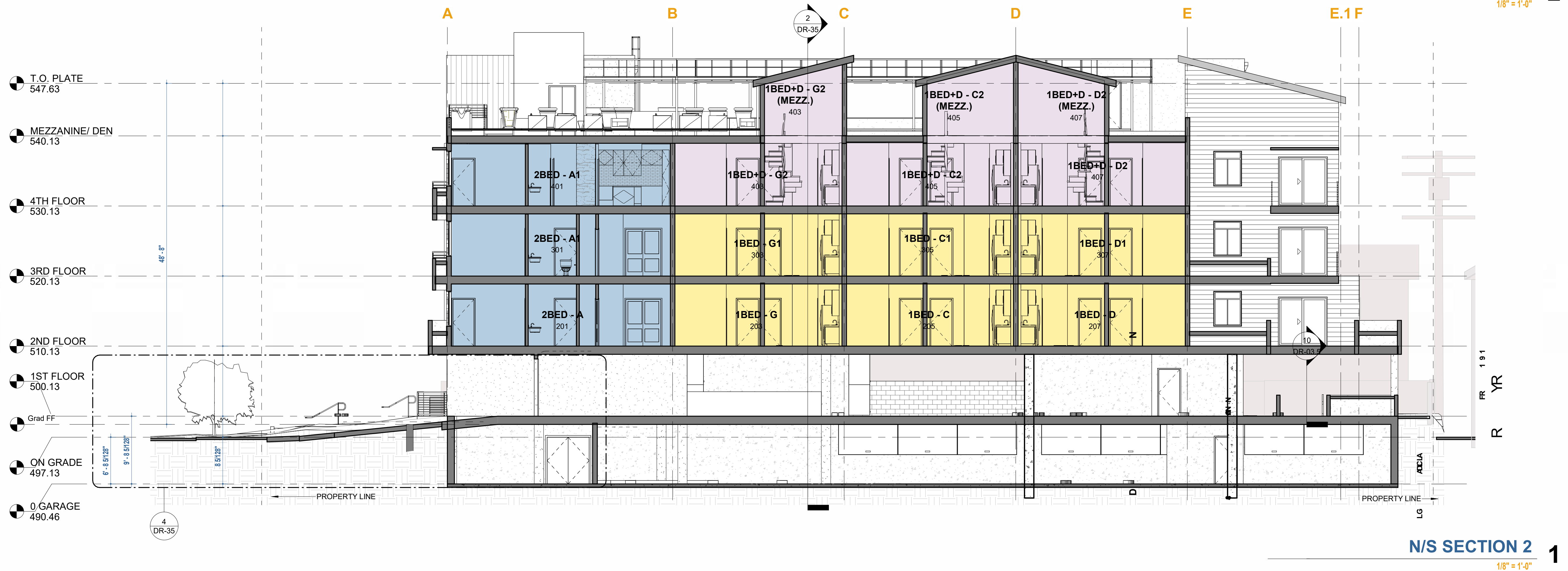
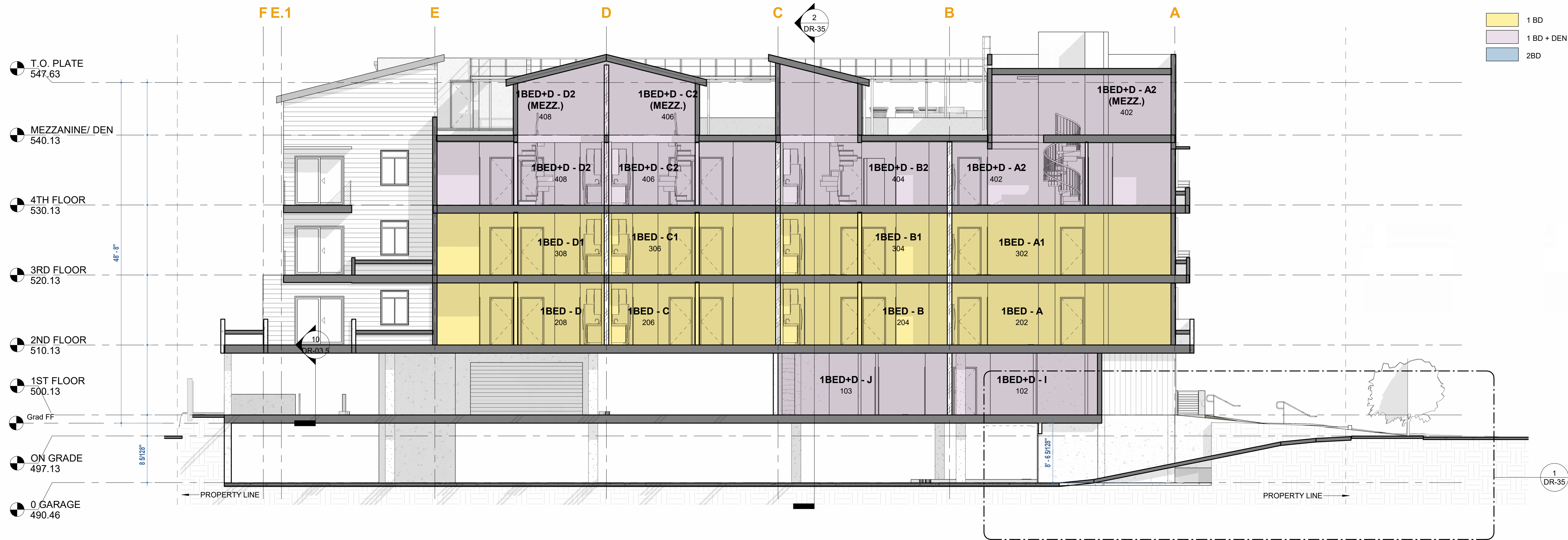


NORTH ELEVATION 1  
1/8" = 1'-0"

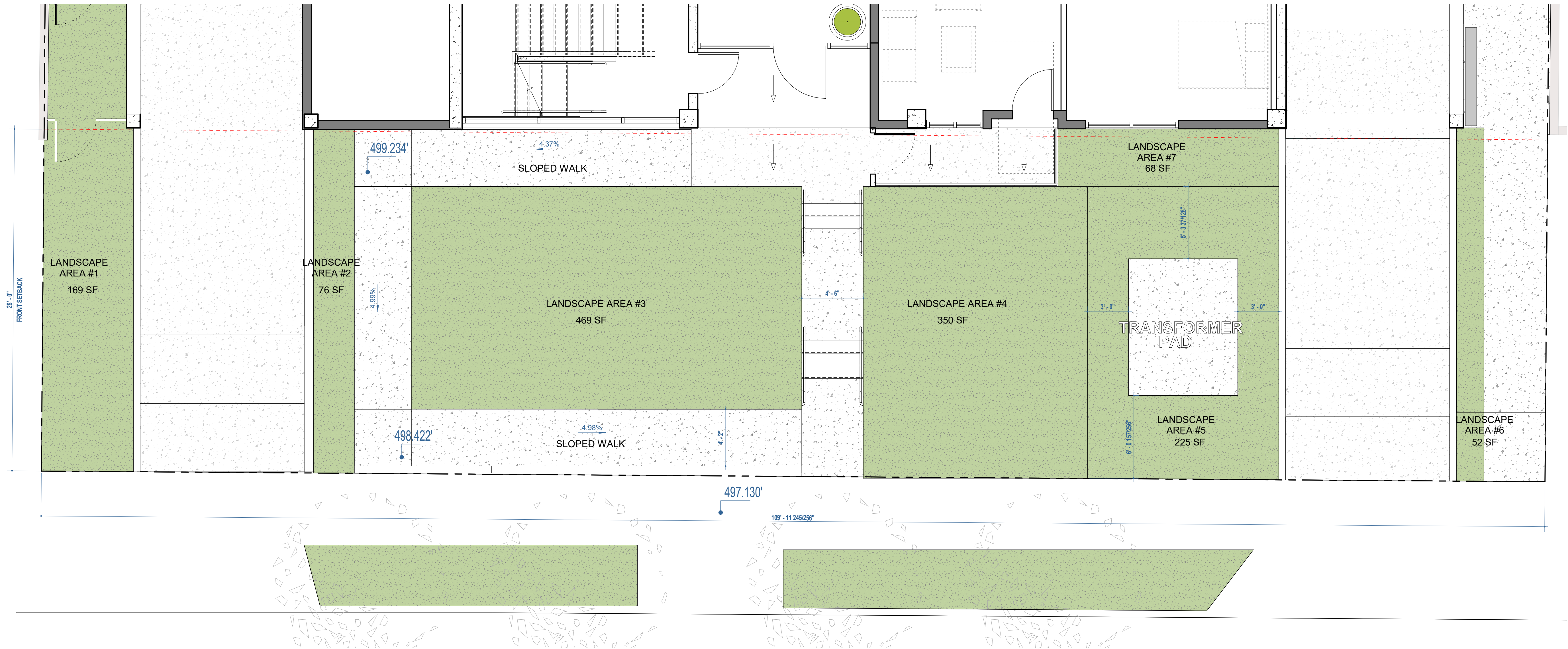












ONYX #P21092





DATE

No. DESCRIPTION

IRVING GLENDALE  
MULTIFAMILY APTS

1/417 TR V E U E  
EN E I O N I A 20

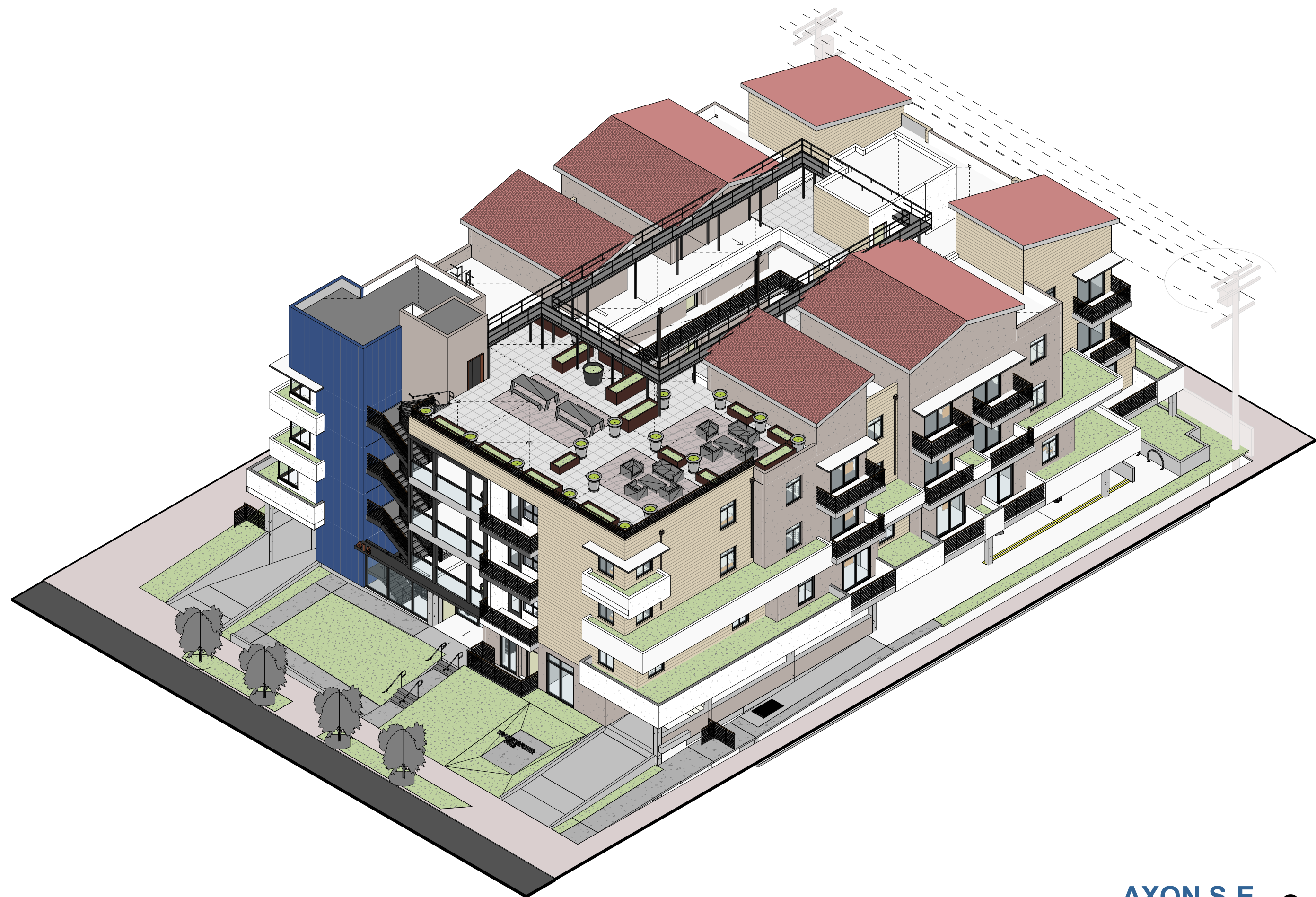
1 FEB UA 2024

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PERSPECTIVE VIEWS /  
RENDERINGS

DR-40





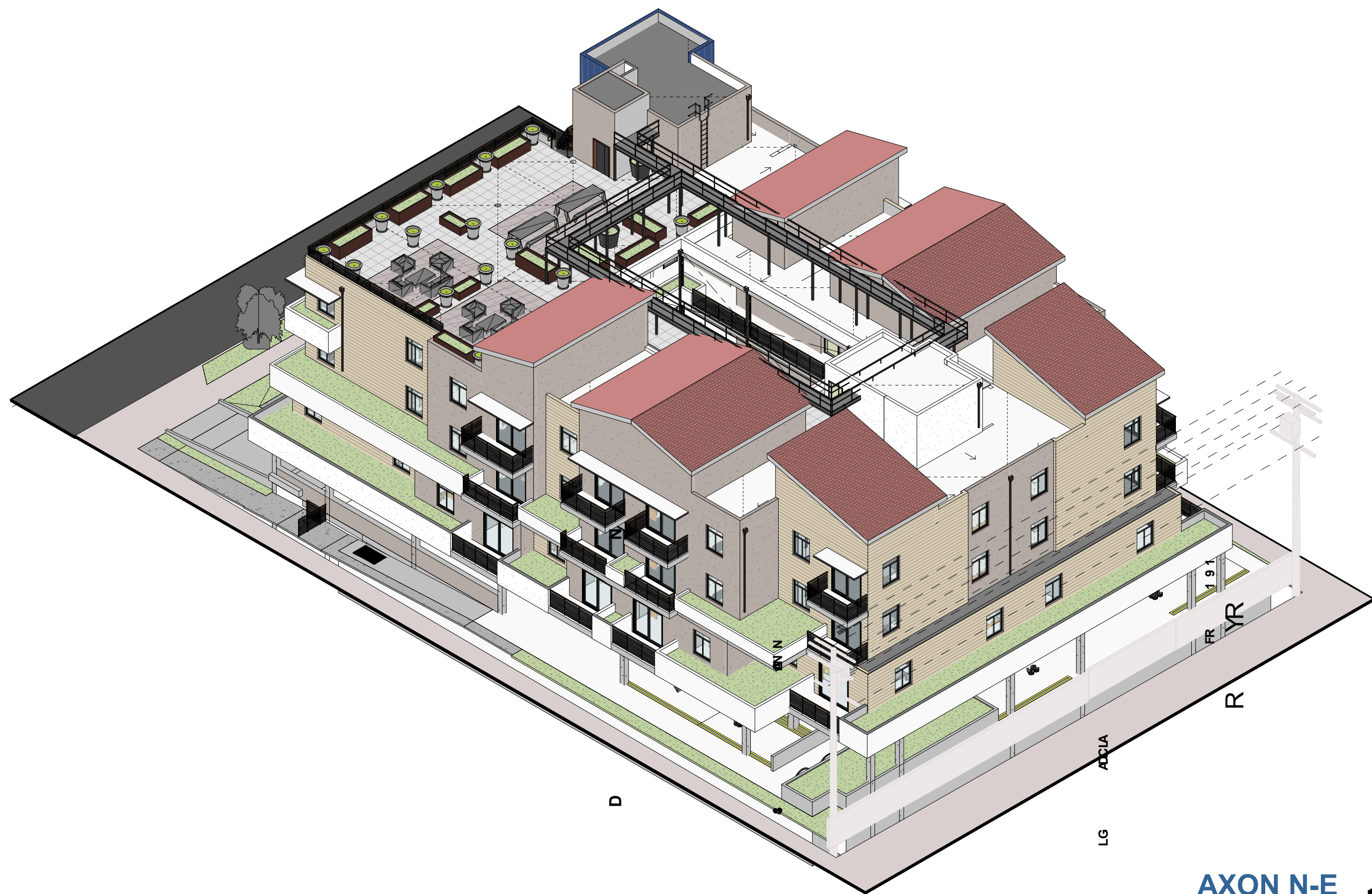
AXON S-E 3



AXON N-W 2



AXON S-W 4



AXON N-E 1

DATE

No. DESCRIPTION

IRVING GLENDALE  
MULTIFAMILY APTS

1/417 I R V E U E  
EN E I O N I A 20

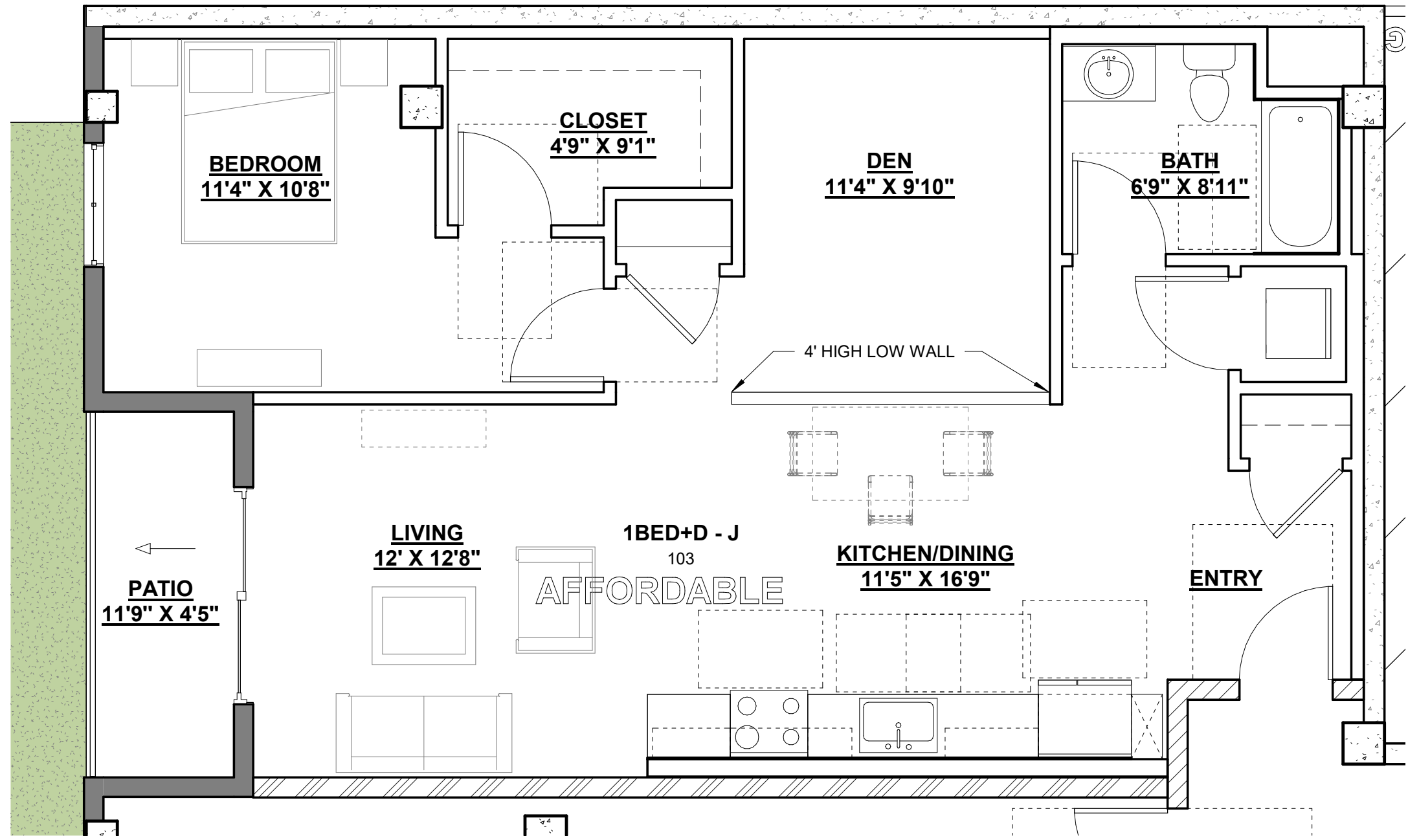
1 FEB UA 2024

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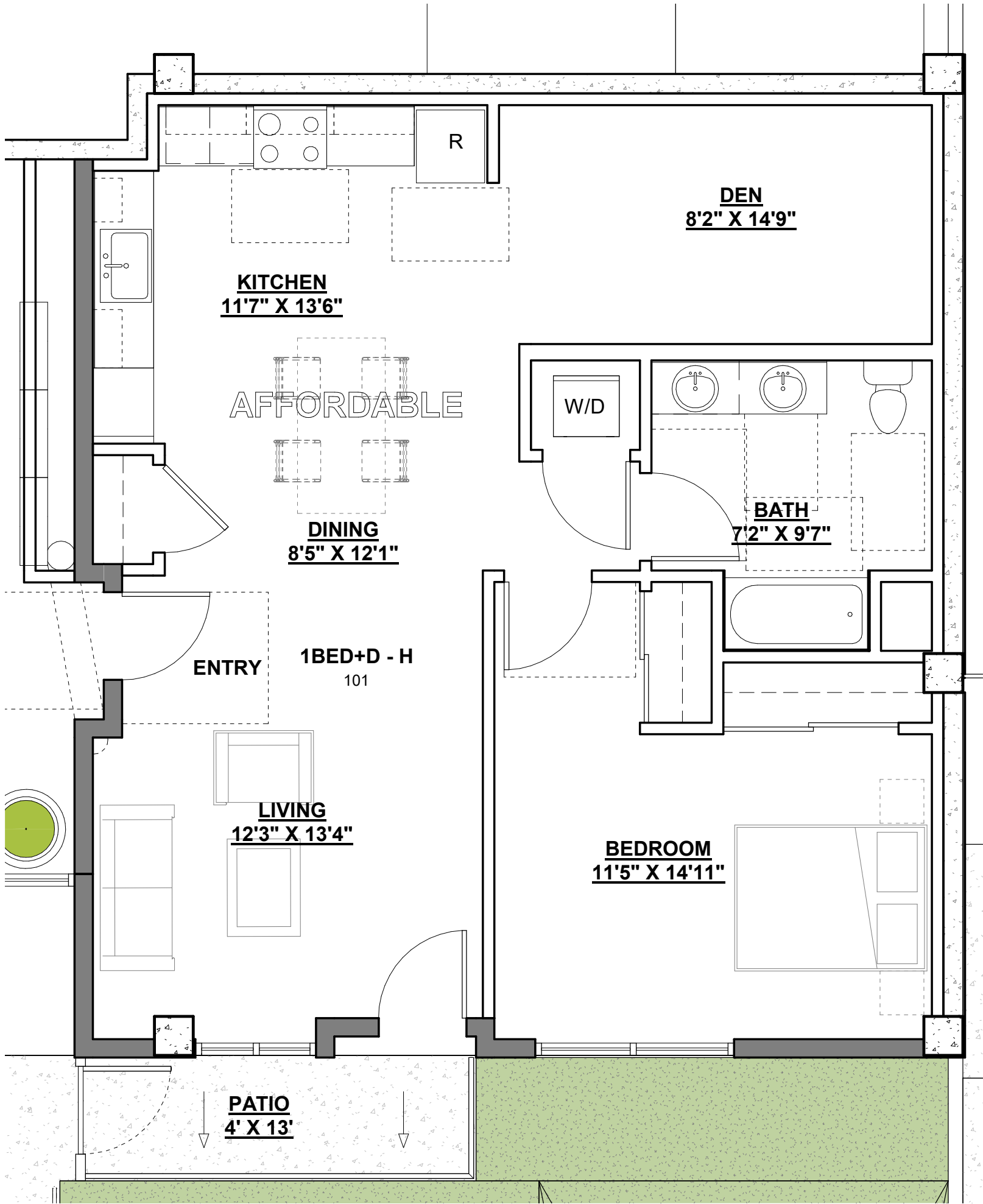
AXONOMETRIC 3D VIEWS

DR-41

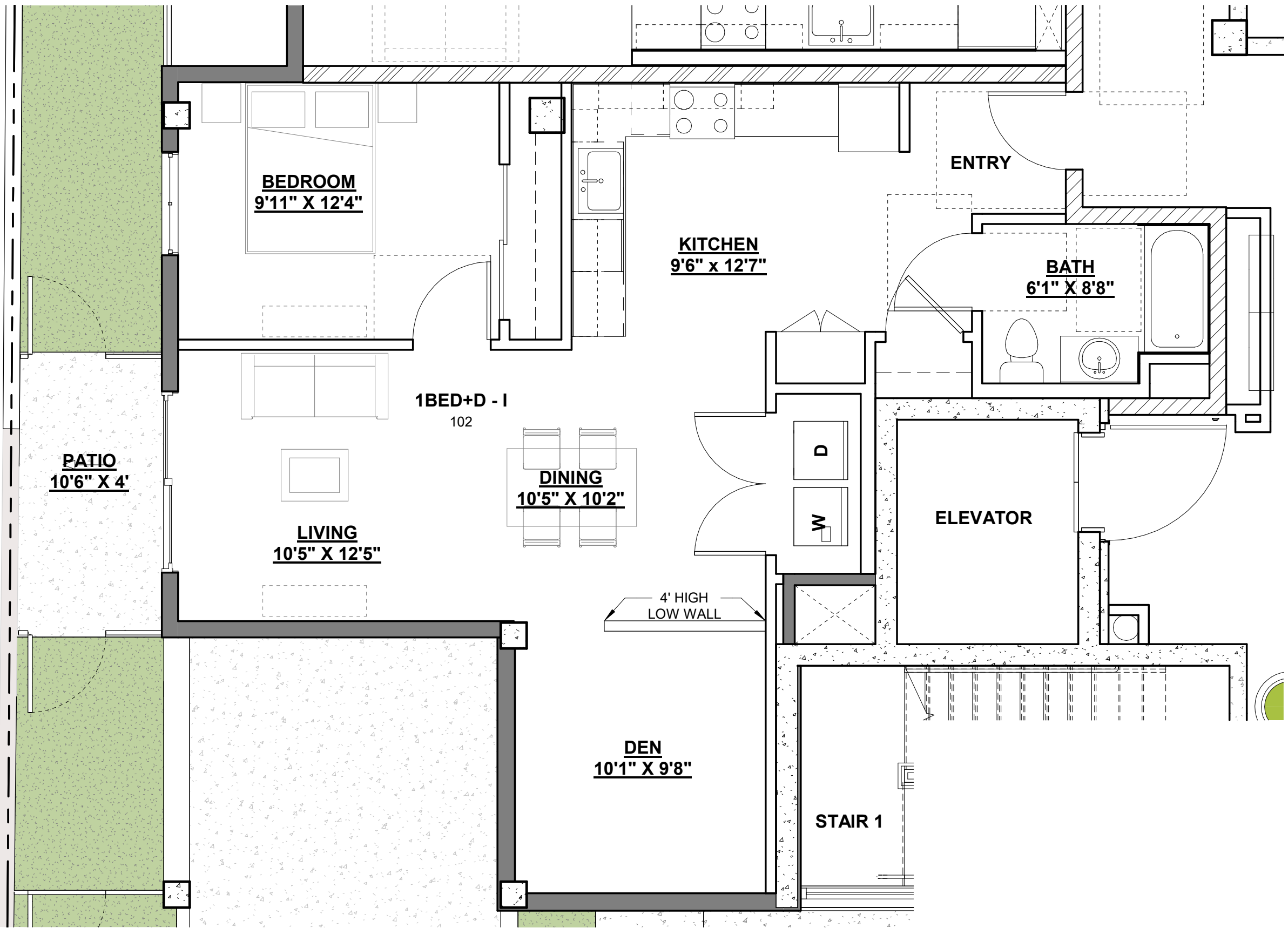




GSF - 978 SF  
UNIT #103  
**1BED+DEN-J** 1  
1/4" = 1'-0"



GSF - 1013 SF  
UNIT#101  
**1BED+DEN-H** 3  
1/4" = 1'-0"



GSF - 873 SF  
UNIT #102  
**1BED+DEN-I** 2  
1/4" = 1'-0"

DATE

No. DESCRIPTION

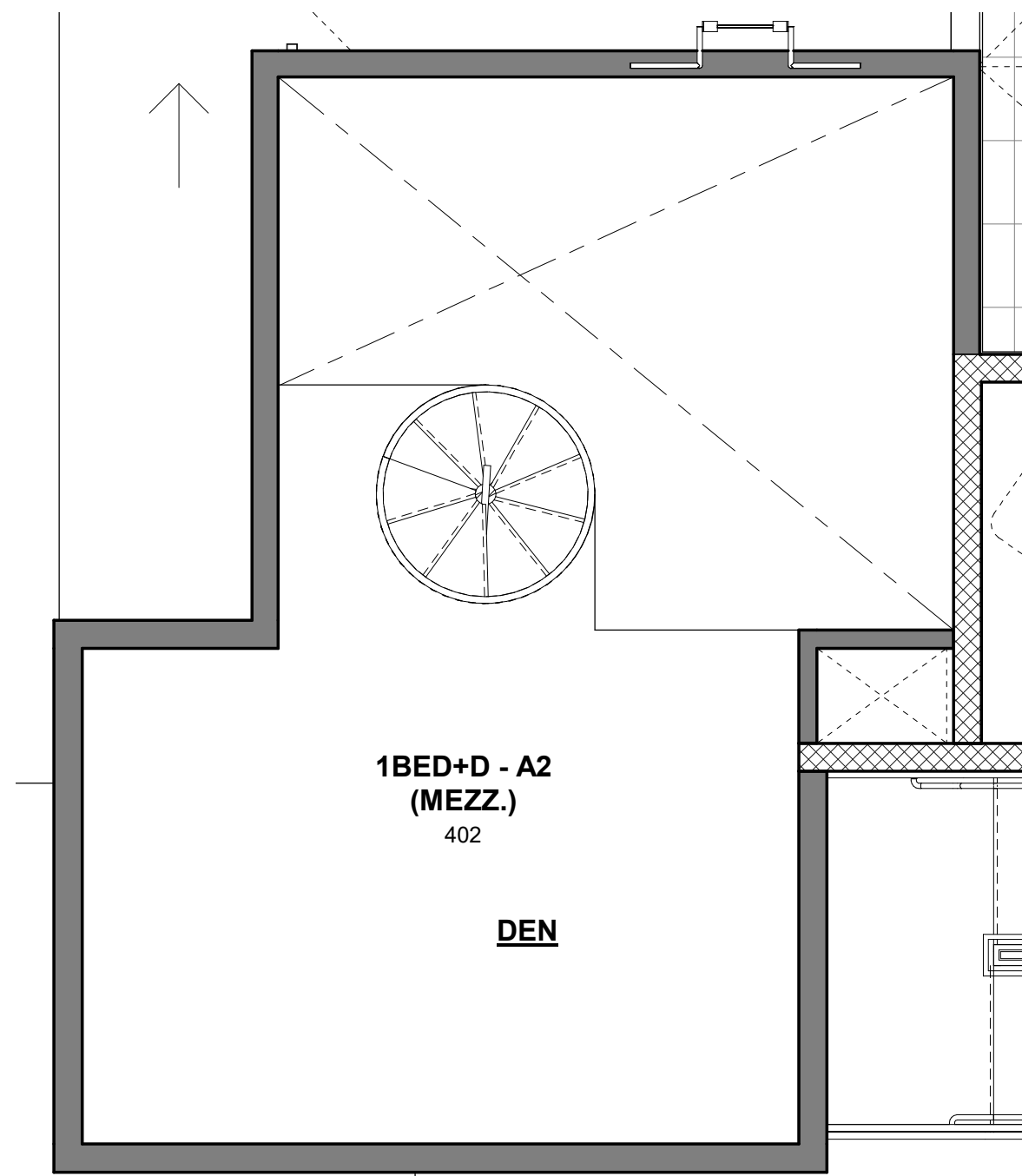
IRVING GLENDALE  
MULTIFAMILY APTS

1/417 I R V E U E  
E N E I O N I A 20

1 FEB UA 2024

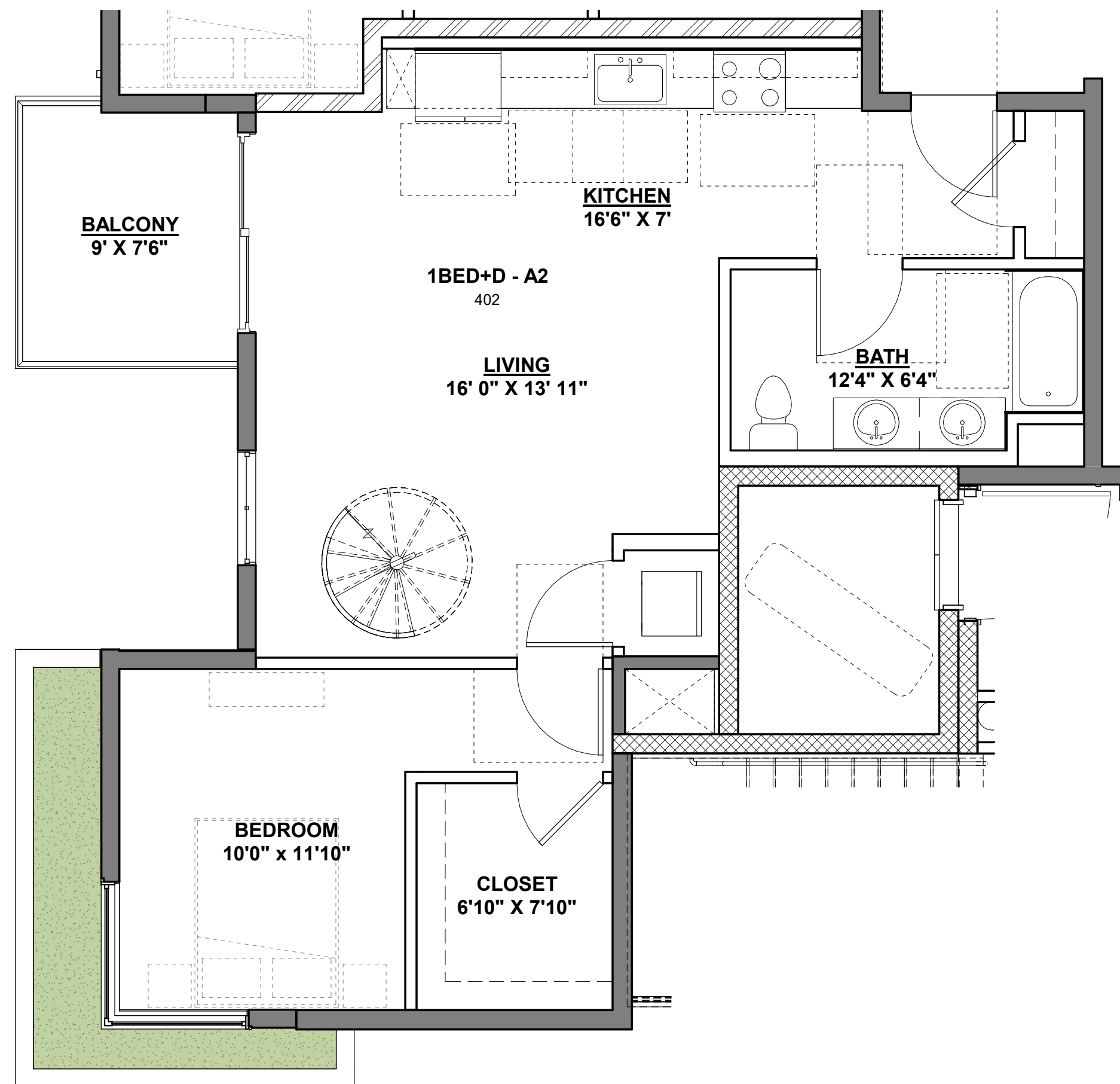
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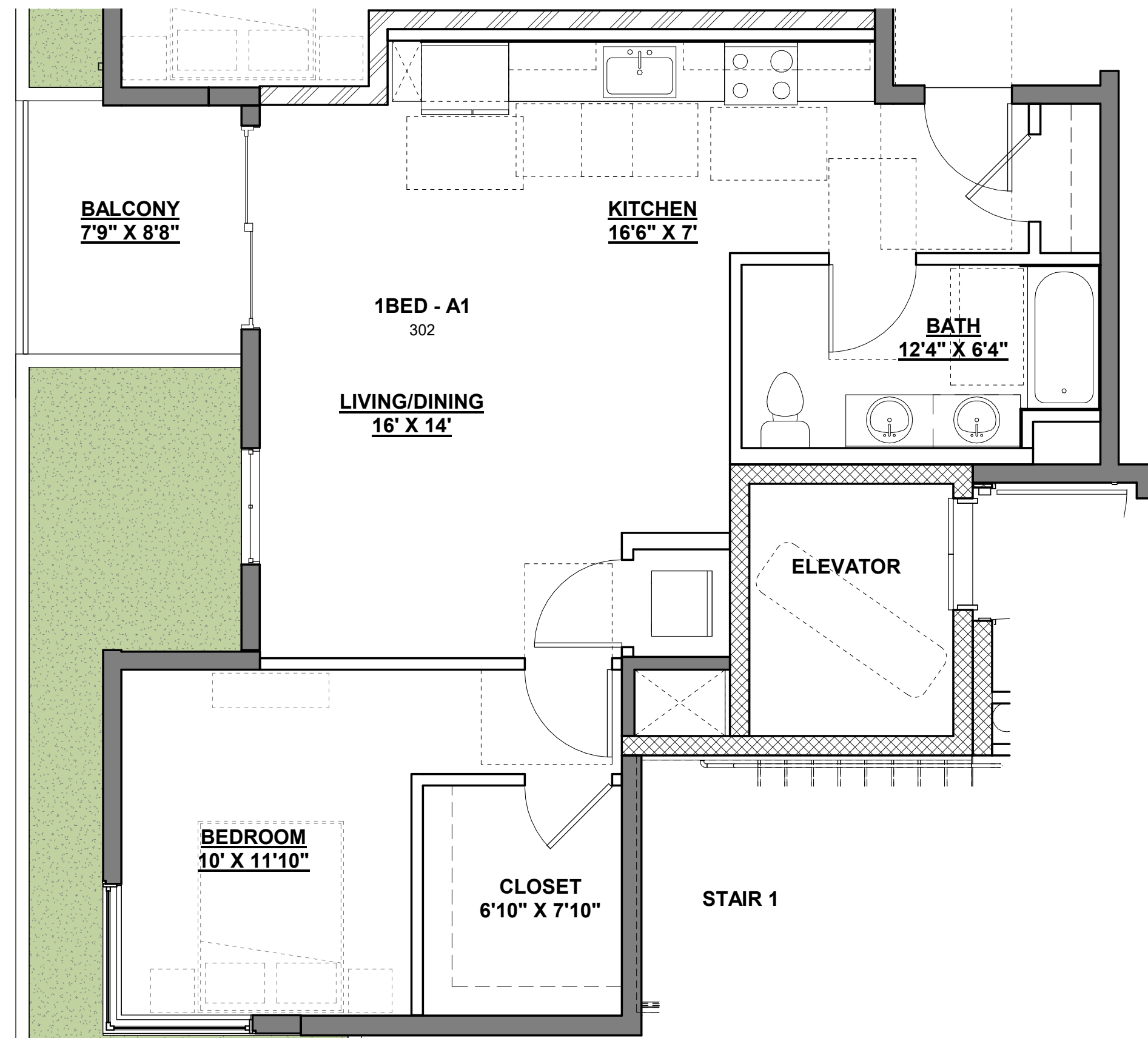
GSF - 293 SF (MEZZ.)  
UNIT # 402 (MEZZ.)

1BED+DEN-A2 MEZZANINE 4  
1/4" = 1'-0"



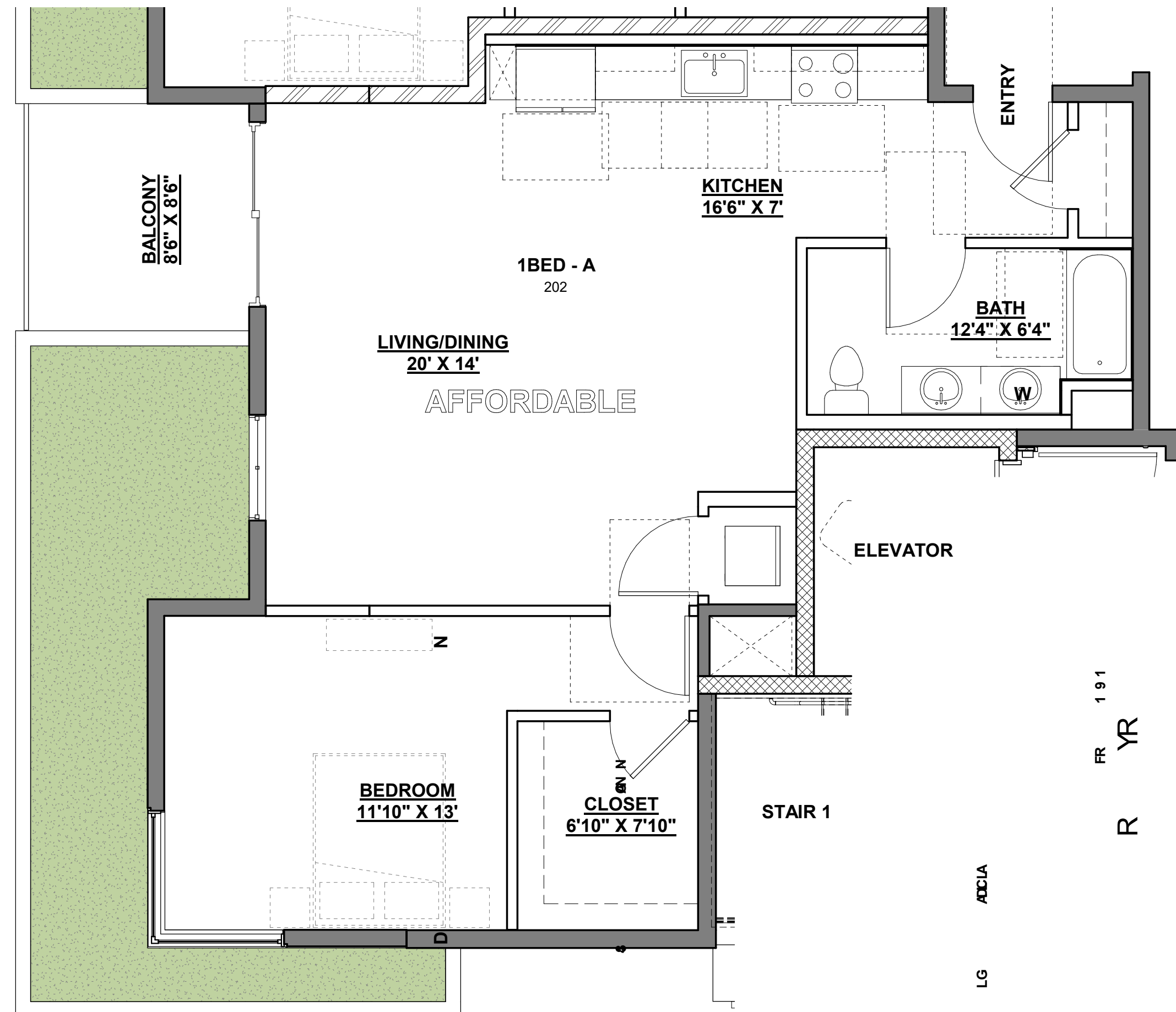
GSF - 797 SF + 293 SF (MEZZ.) = 1090 SF  
UNIT # 402

1BED+DEN-A2 3  
1/4" = 1'-0"



GSF - 797 SF  
UNIT # 302

1BED-A1 2  
1/4" = 1'-0"



GSF - 912 SF  
UNIT # 202

1BED-A 1  
1/4" = 1'-0"



DATE

No. DESCRIPTION

IRVING GLENDALE  
MULTIFAMILY APTS

1/417 I R V E U E  
E N E I O N I A 20

1 FEB UA 2024

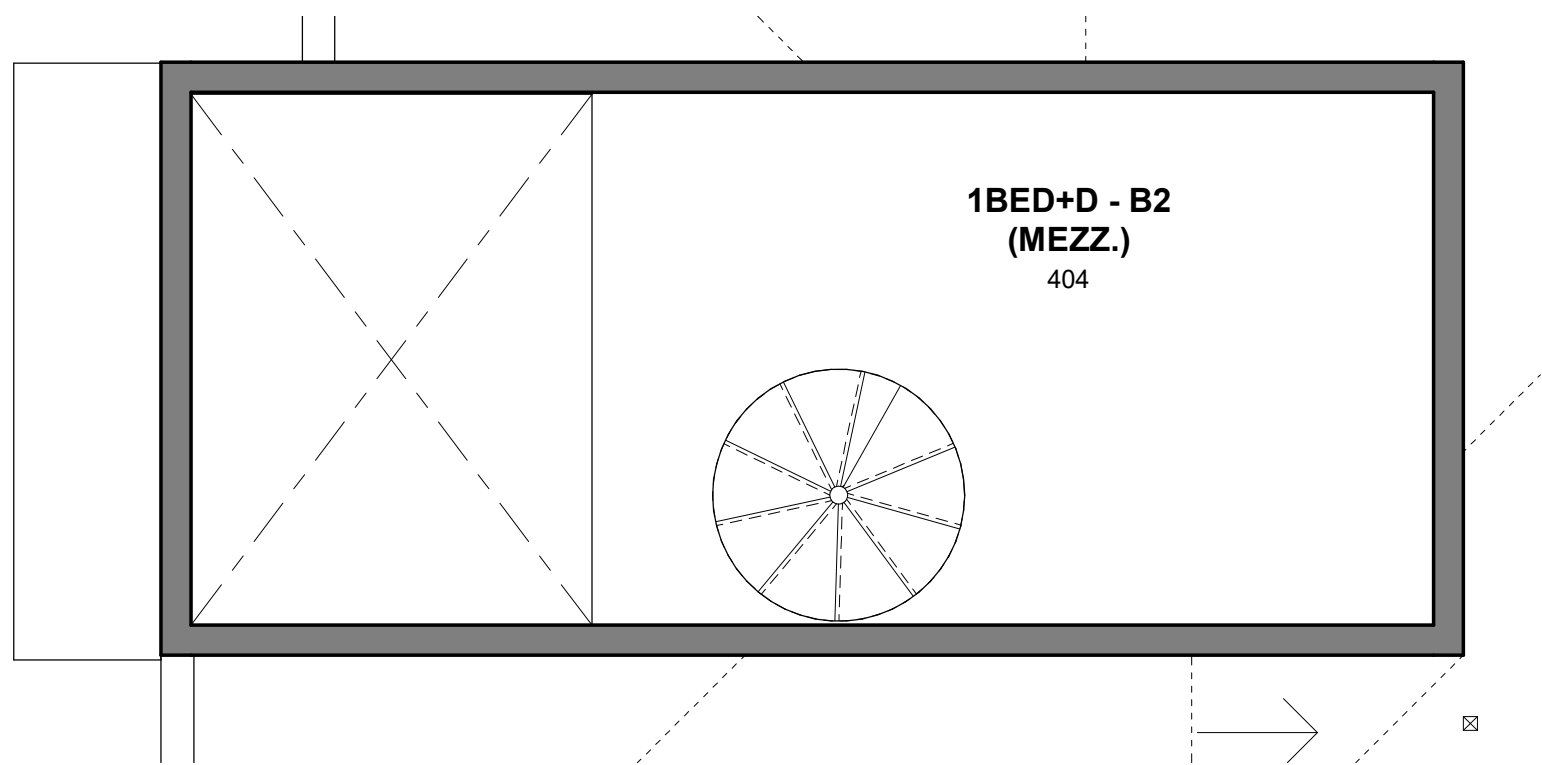
ESIGN DEVELOPME T

ENLARGED UNIT PLANS

DR-61

ONYX #P21092



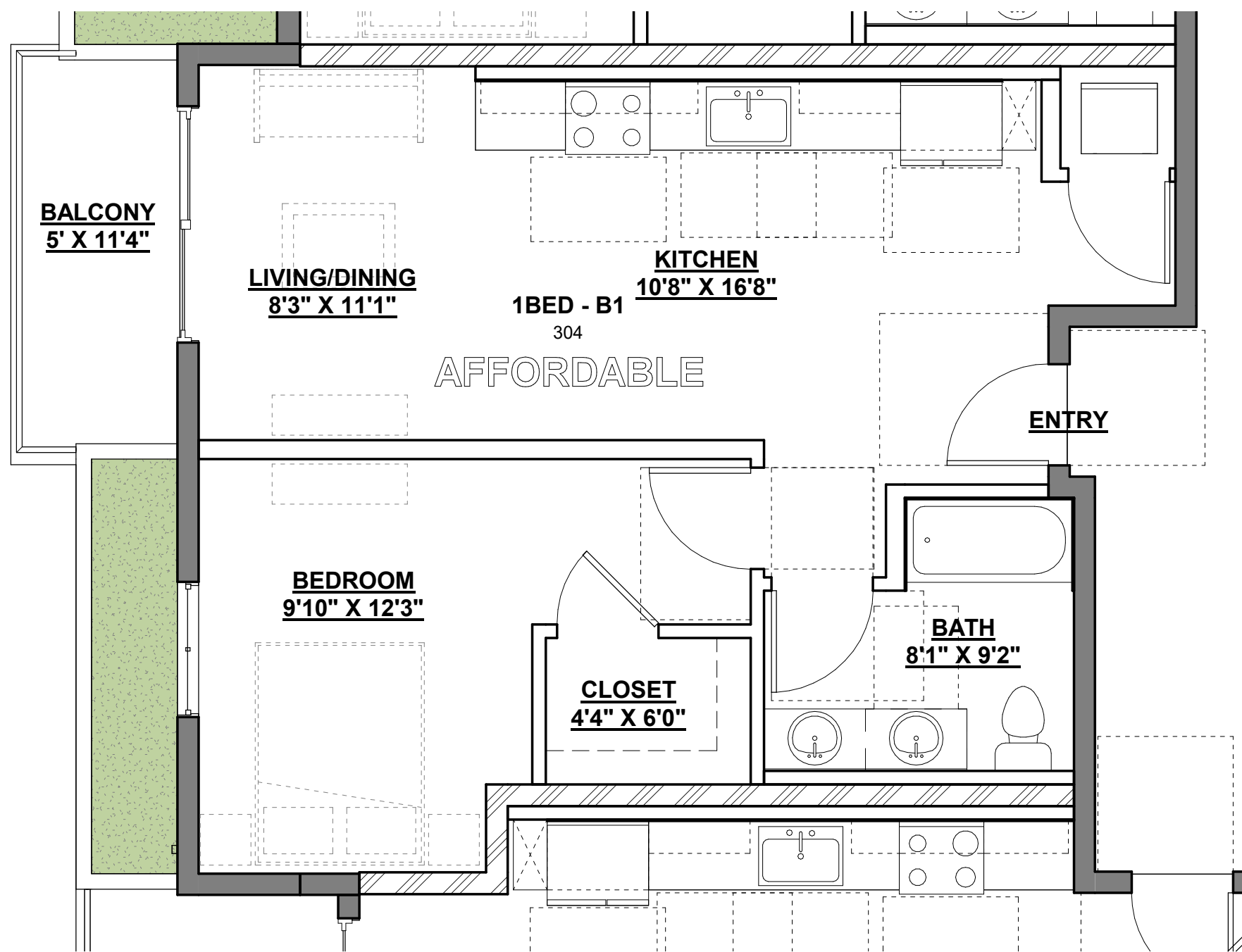


GSF - 243 SF (MEZZ.)  
UNIT # 404 (MEZZ.)

1BED+DEN-B2 MEZZANINE

1/4" = 1'-0"

4

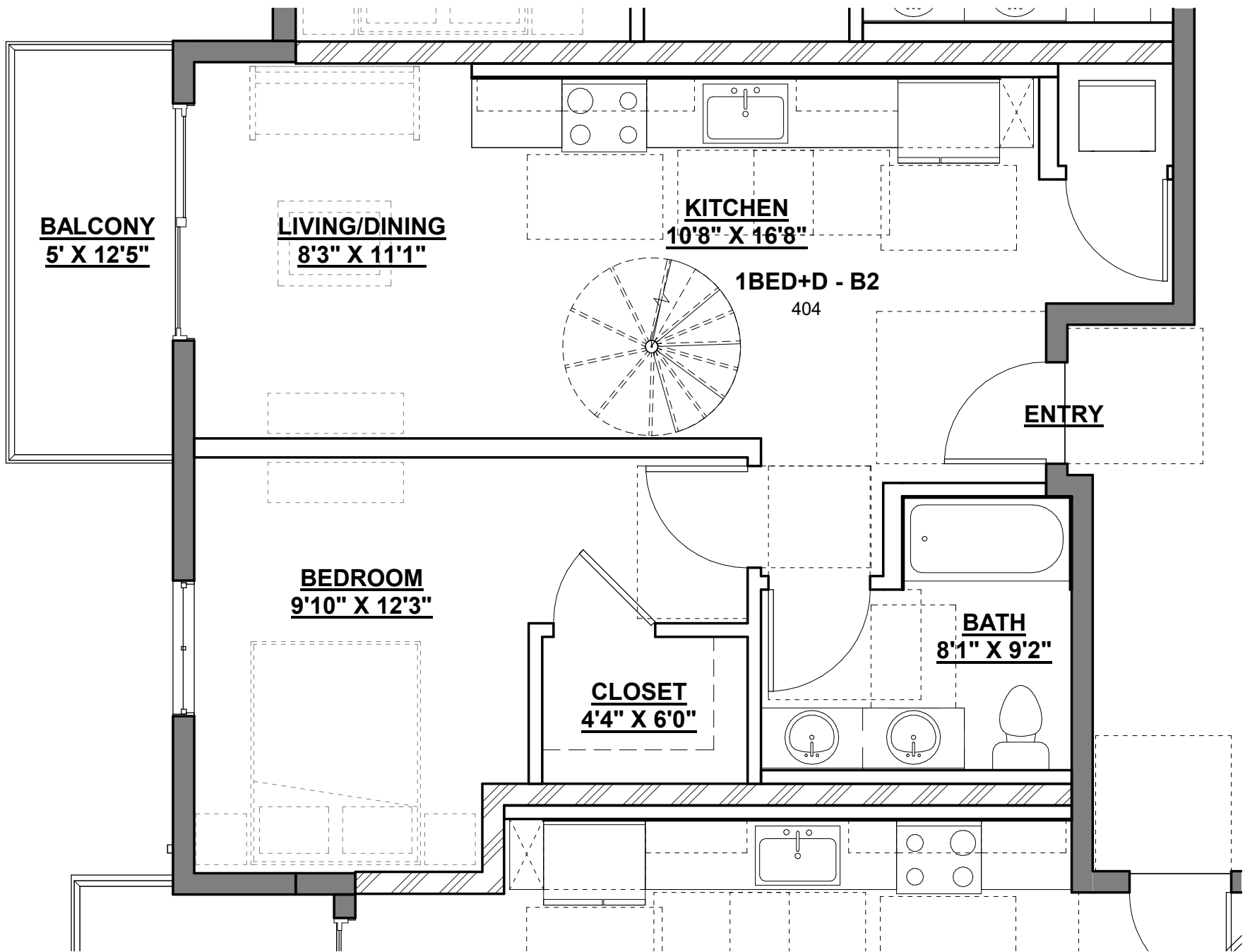


GSF - 642 SF  
UNIT # 304

1BED-B1

1/4" = 1'-0"

2

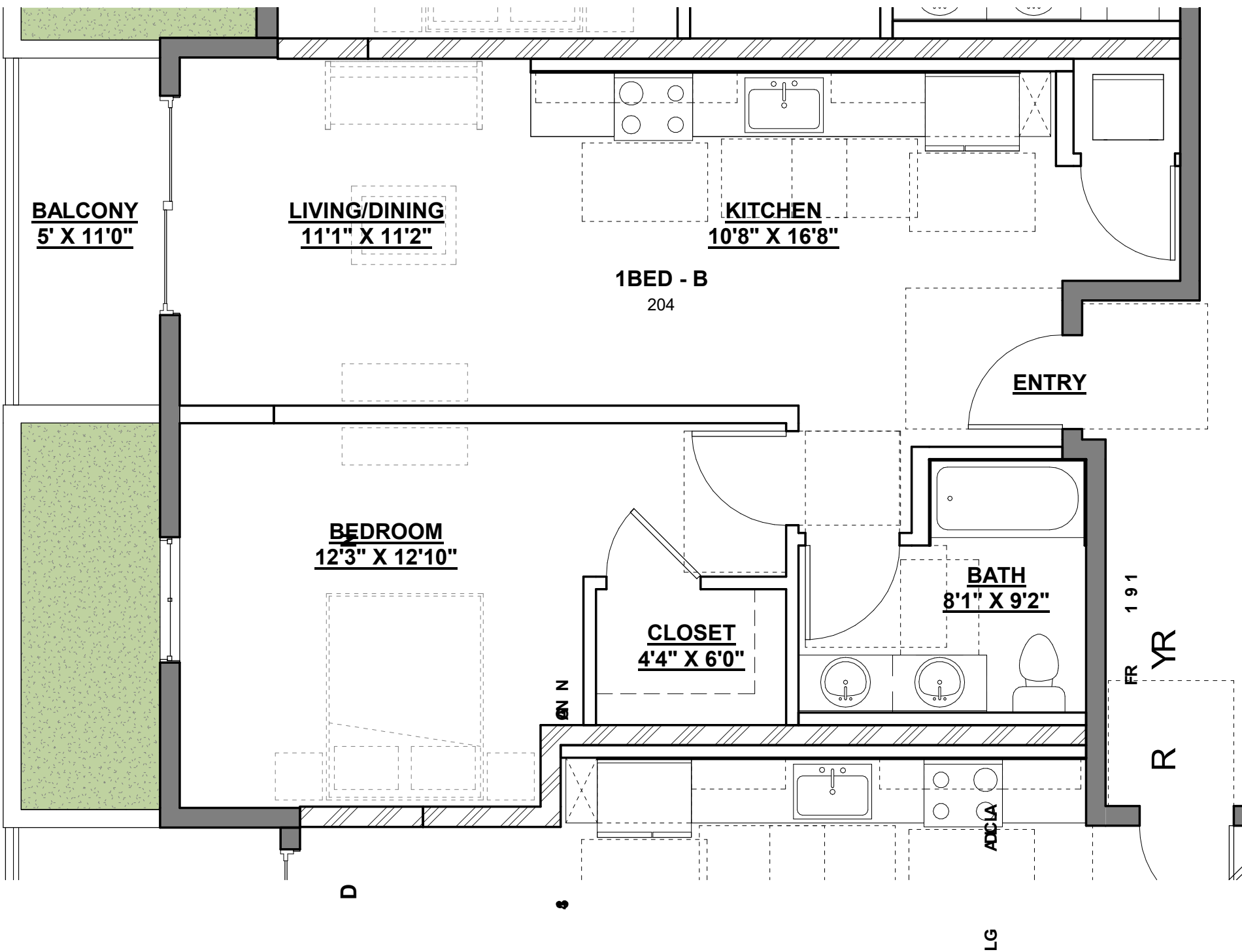


GSF - 642 SF + 243 SF (MEZZ.) = 885 SF  
UNIT # 404

1BED+DEN-B2

1/4" = 1'-0"

3



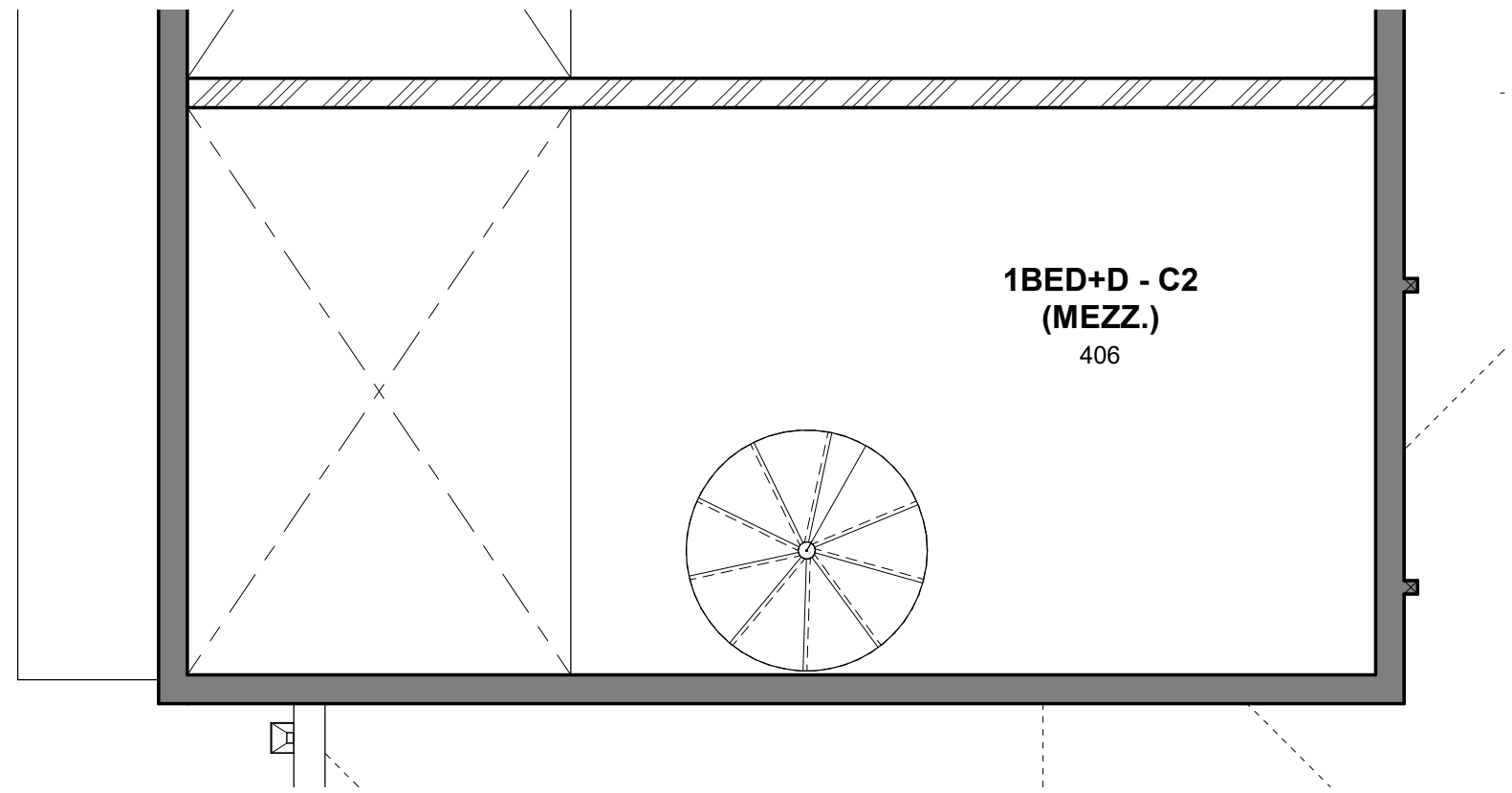
GSF - 716 SF  
UNIT # 204

1BED-B

1/4" = 1'-0"

1



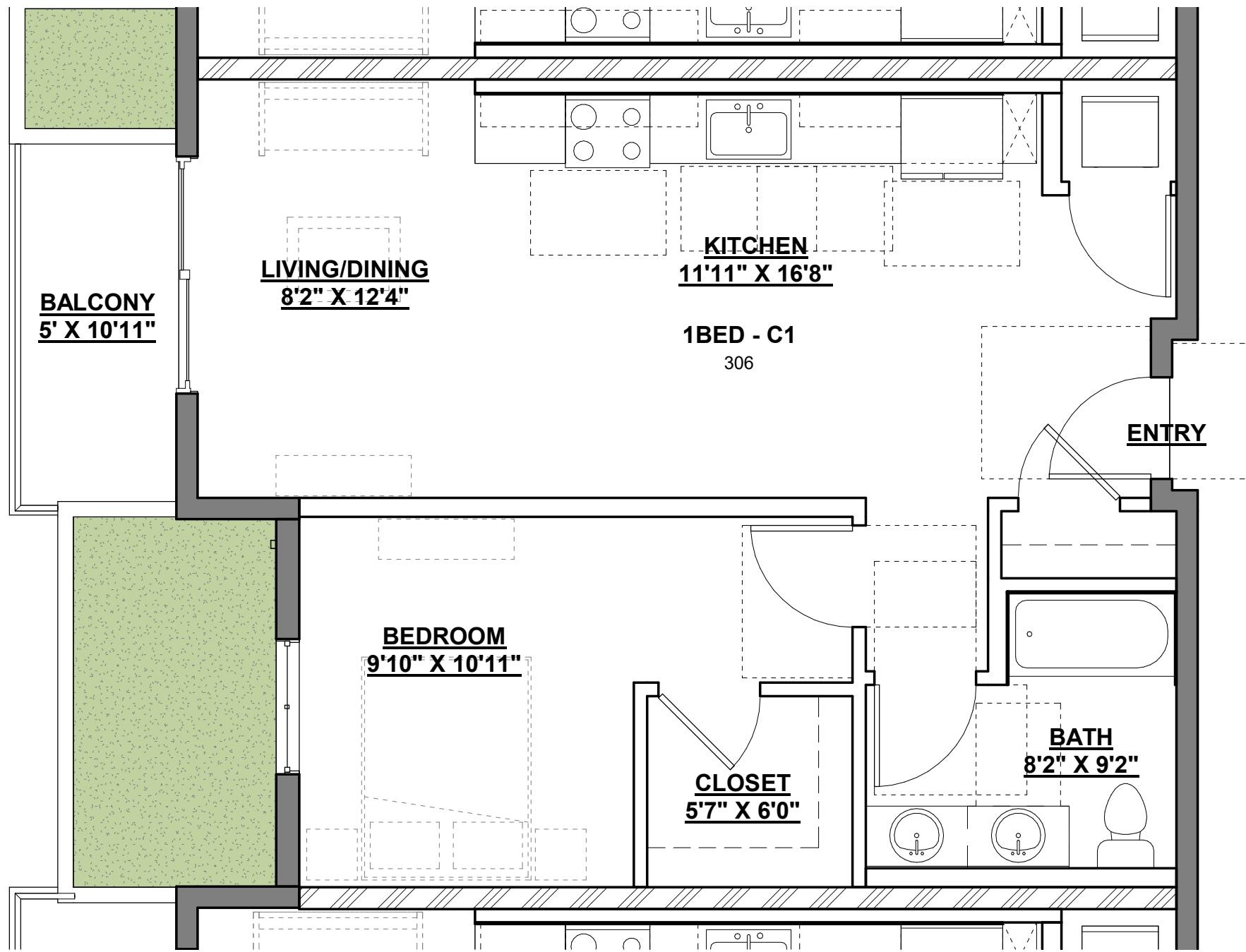


GSF - 257 SF (MEZZ.)  
UNIT # 406 (MEZZ.) (405 MEZZ. SIMILAR)

1BED+DEN-C2 MEZZANINE

1/4" = 1'-0"

4

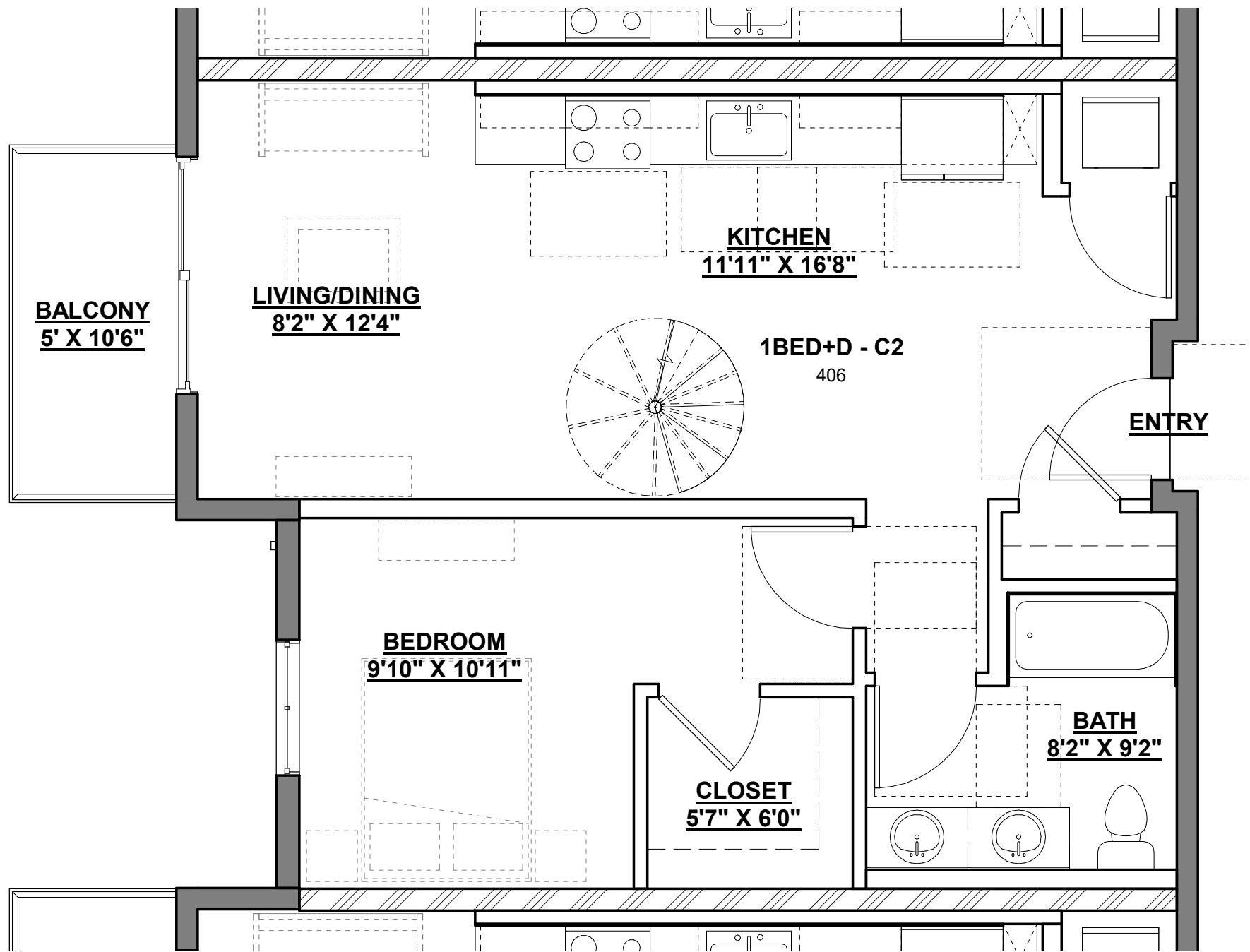


GSF - 702 SF  
UNIT # 306 (305 SIMILAR)

1BED-C1

1/4" = 1'-0"

2

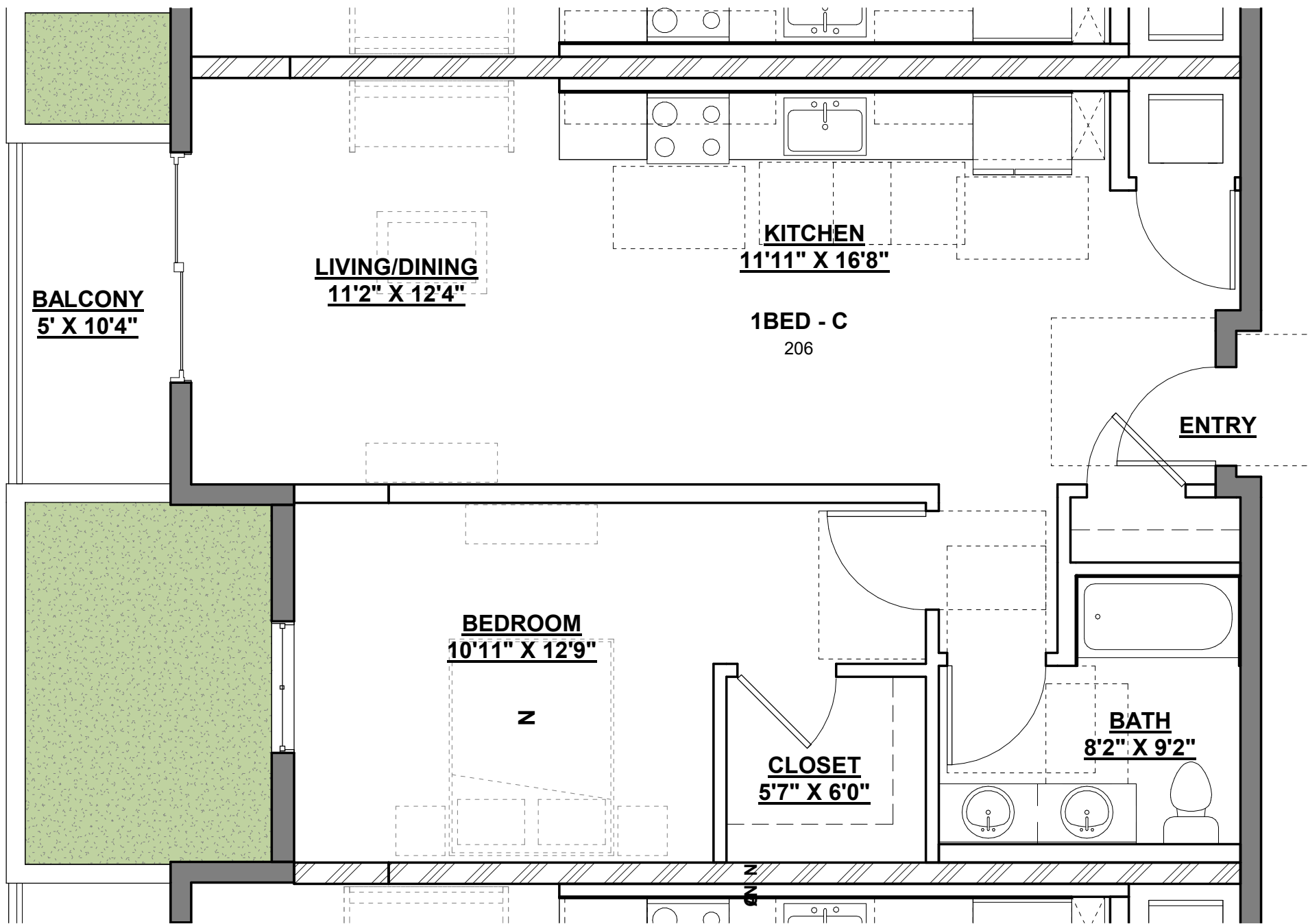


GSF - 702 SF + 257 SF (MEZZ.) = 959 SF  
UNIT # 406 (405 SIMILAR)

1BED+DEN-C2

1/4" = 1'-0"

3



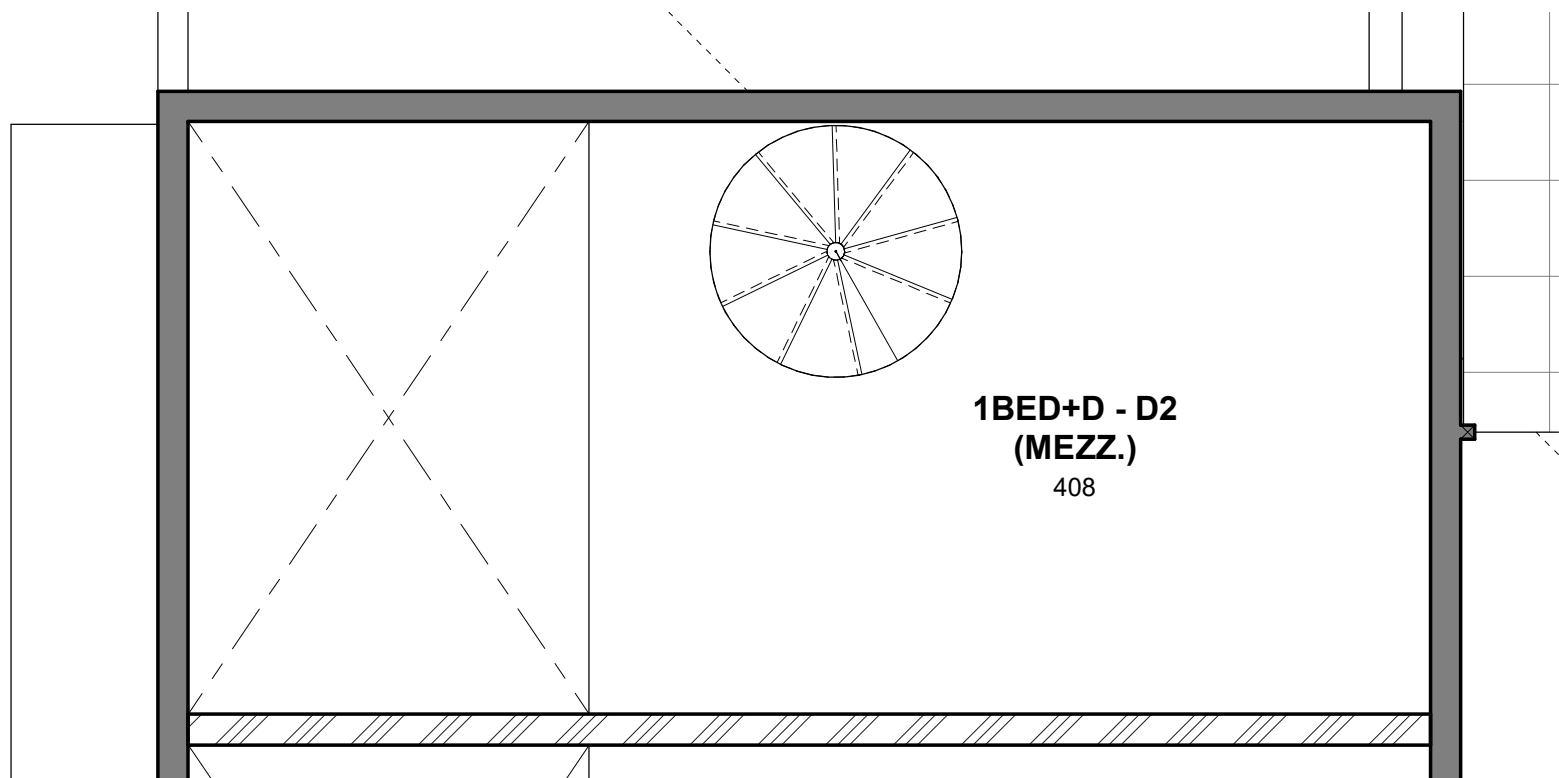
GSF - 774 SF  
UNIT # 206 (205 SIMILAR)

1BED-C

1/4" = 1'-0"

1





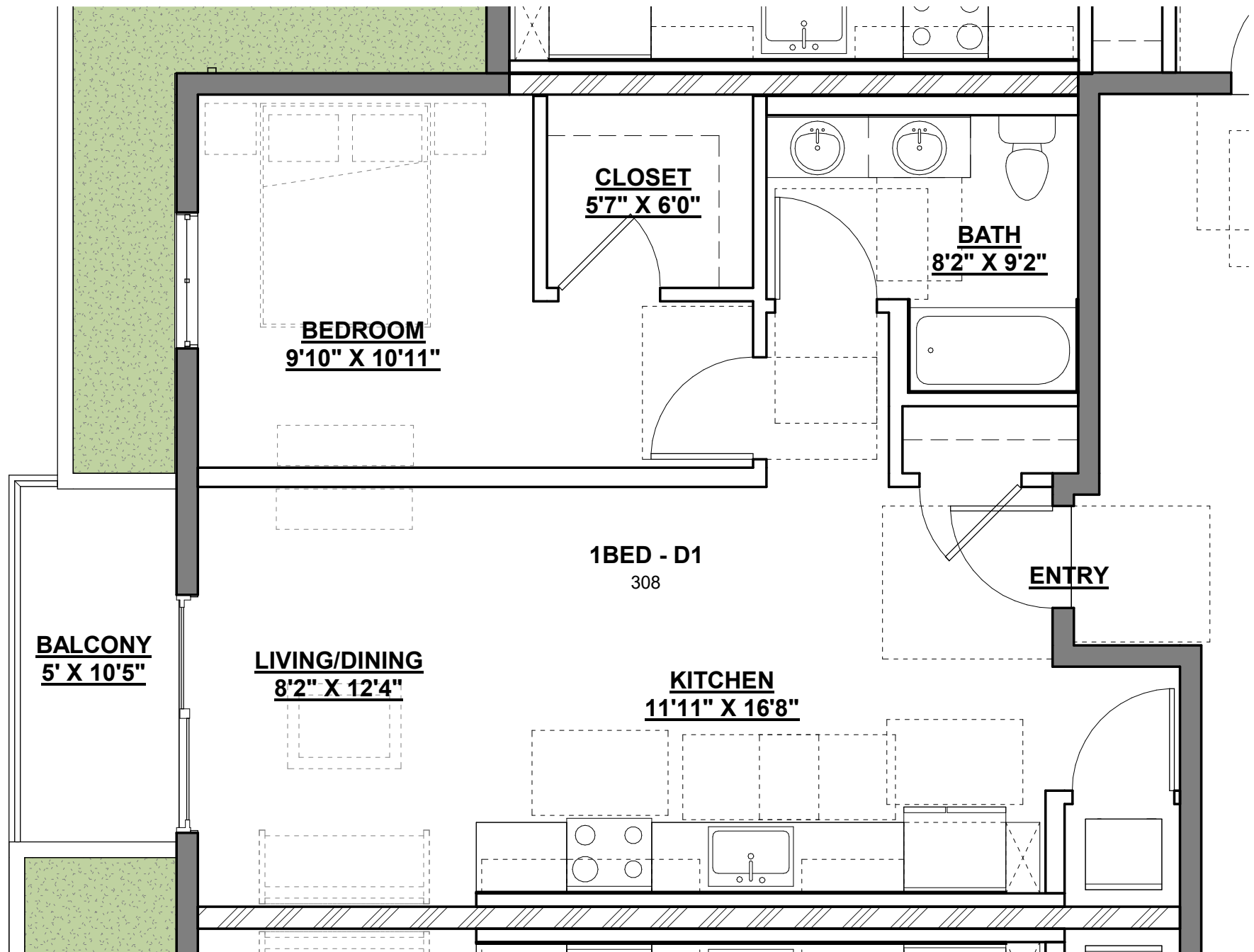
GSF - 257 SF (MEZZ.)

1BED+DEN-D2 MEZZANINE

UNIT # 408 (MEZZ.) (407 MEZZ. SIMILAR)

1/4" = 1'-0"

4



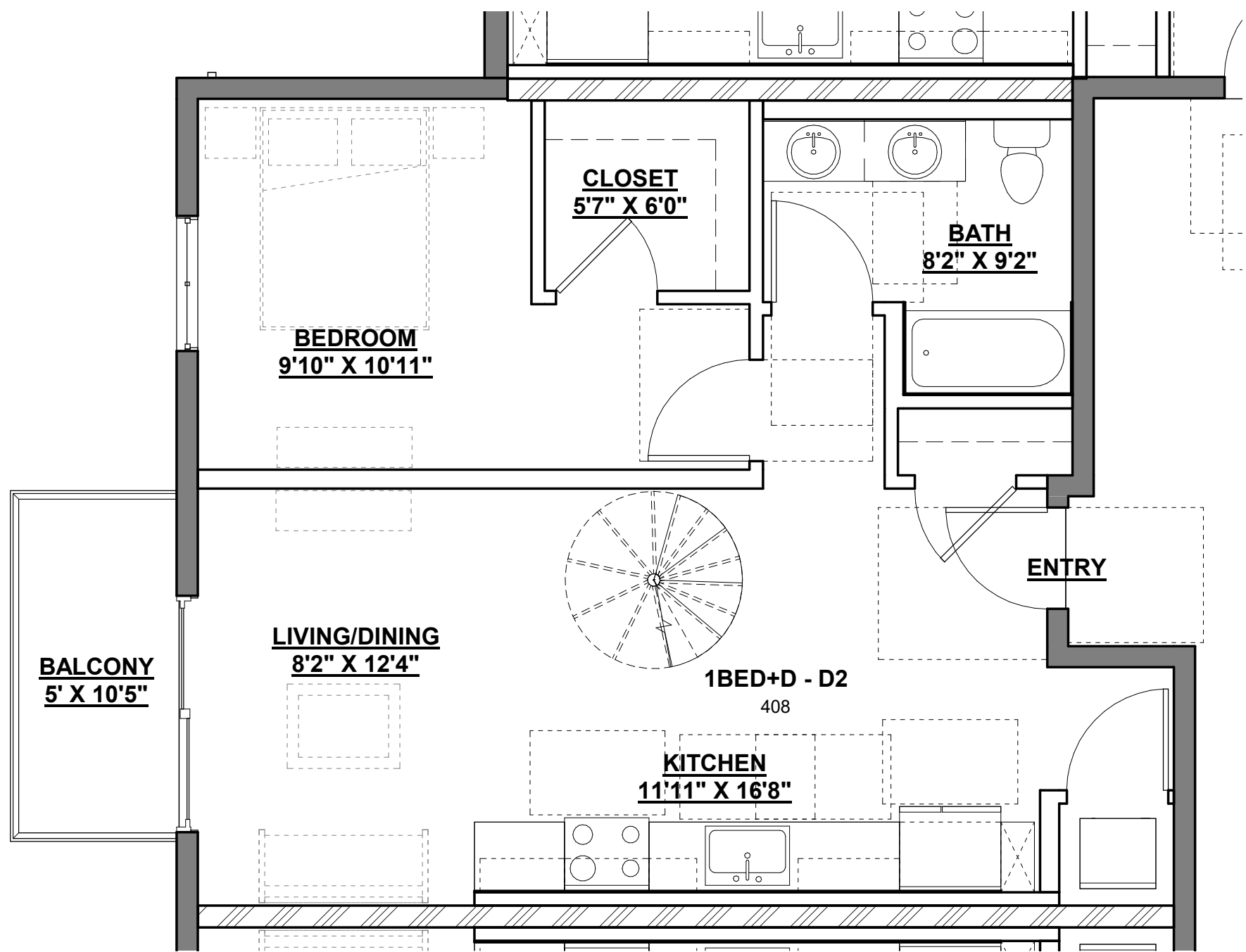
GSF - 689 SF

1BED-D1

UNIT # 308 (307 SIMILAR)

1/4" = 1'-0"

2



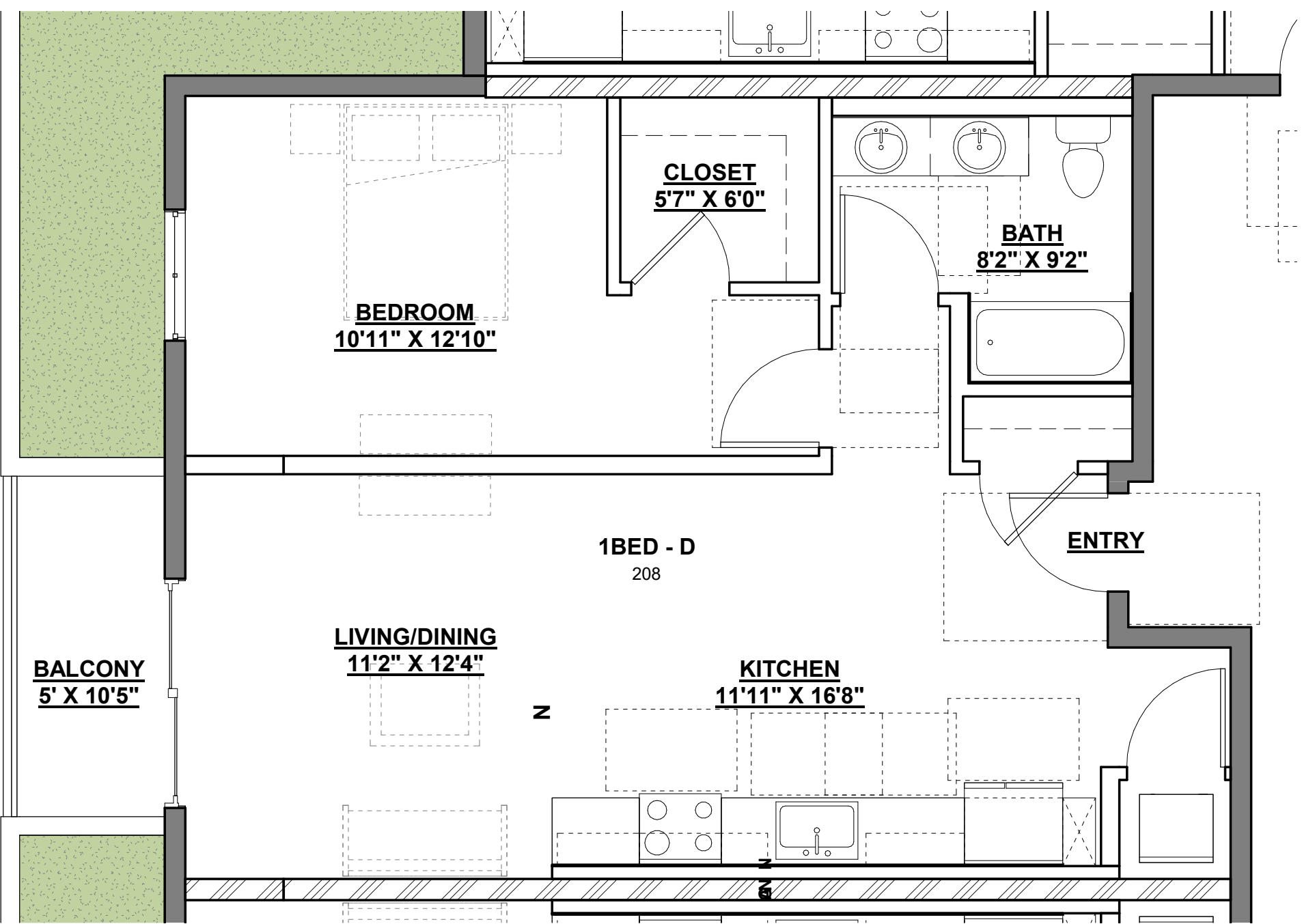
GSF - 689 SF + 257 SF (MEZZ.) = 946 SF

1BED+DEN-D2

UNIT # 408 (407 SIMILAR)

1/4" = 1'-0"

3



GSF - 762 SF

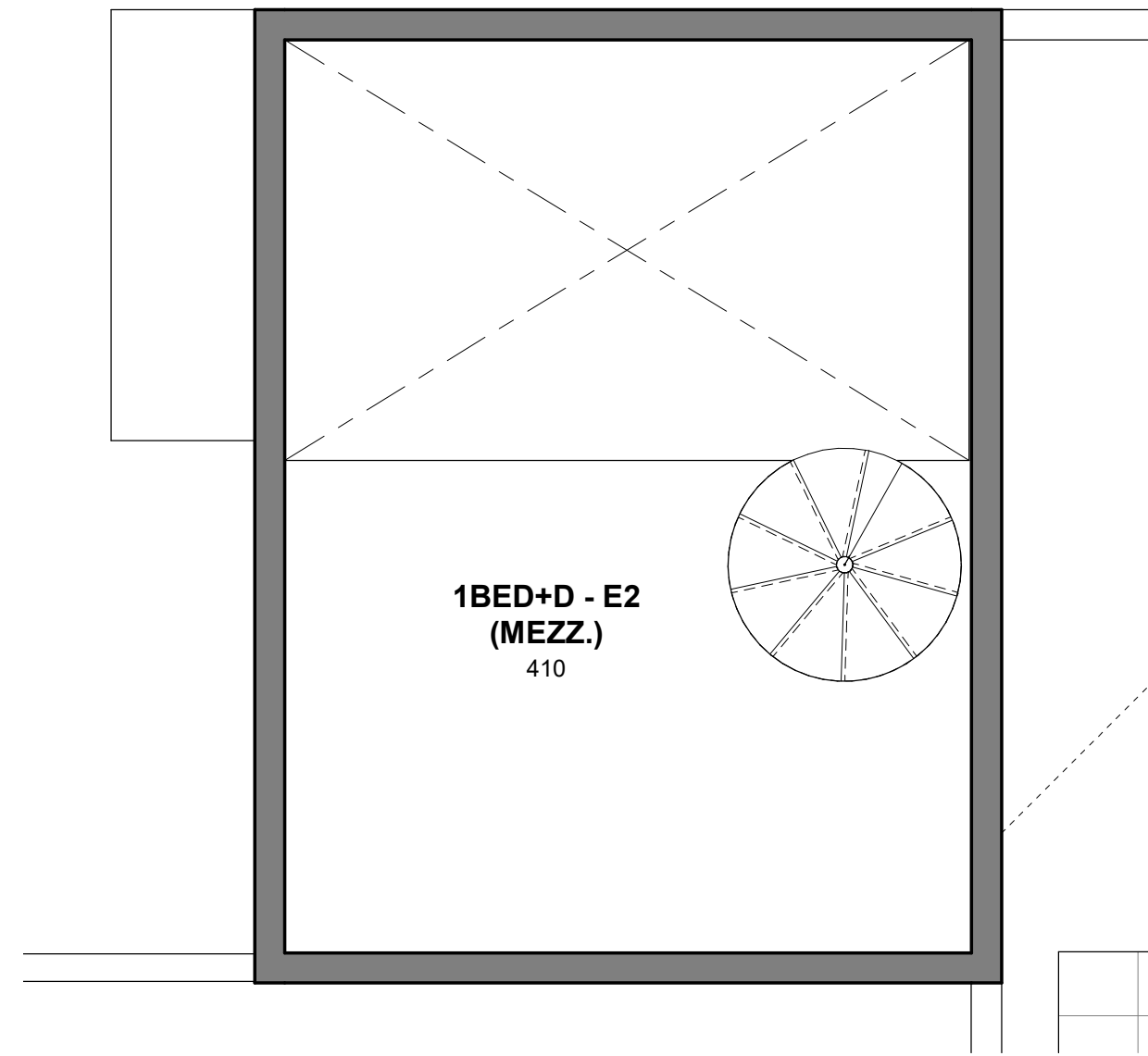
1BED-D

UNIT # 208 (207 SIMILAR)

1/4" = 1'-0"

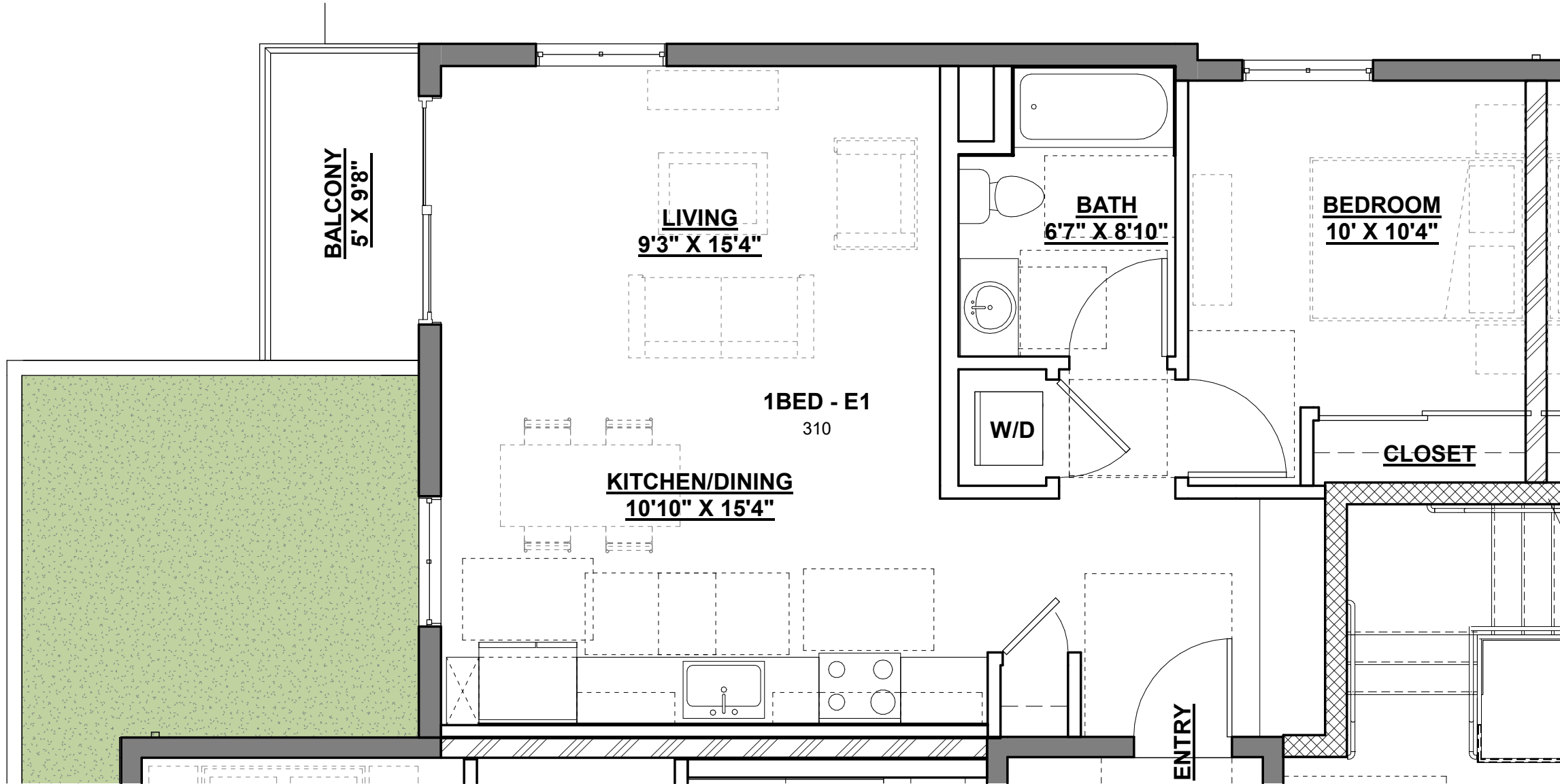
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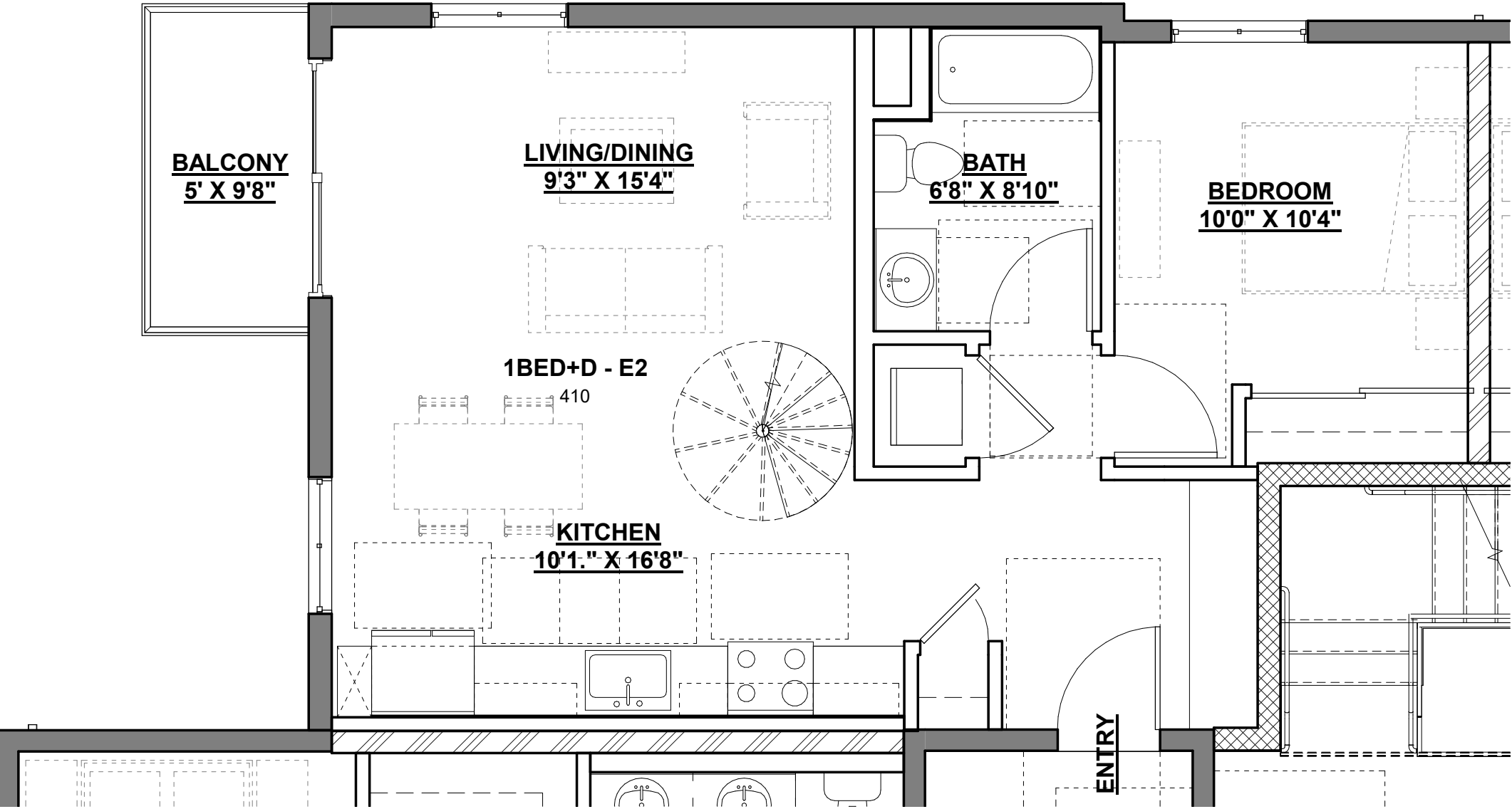
GSF - 222 SF (MEZZ.)  
UNIT # 410 (MEZZ.)

**1BED+DEN-E2 MEZZANINE** 4  
1/4" = 1'-0"



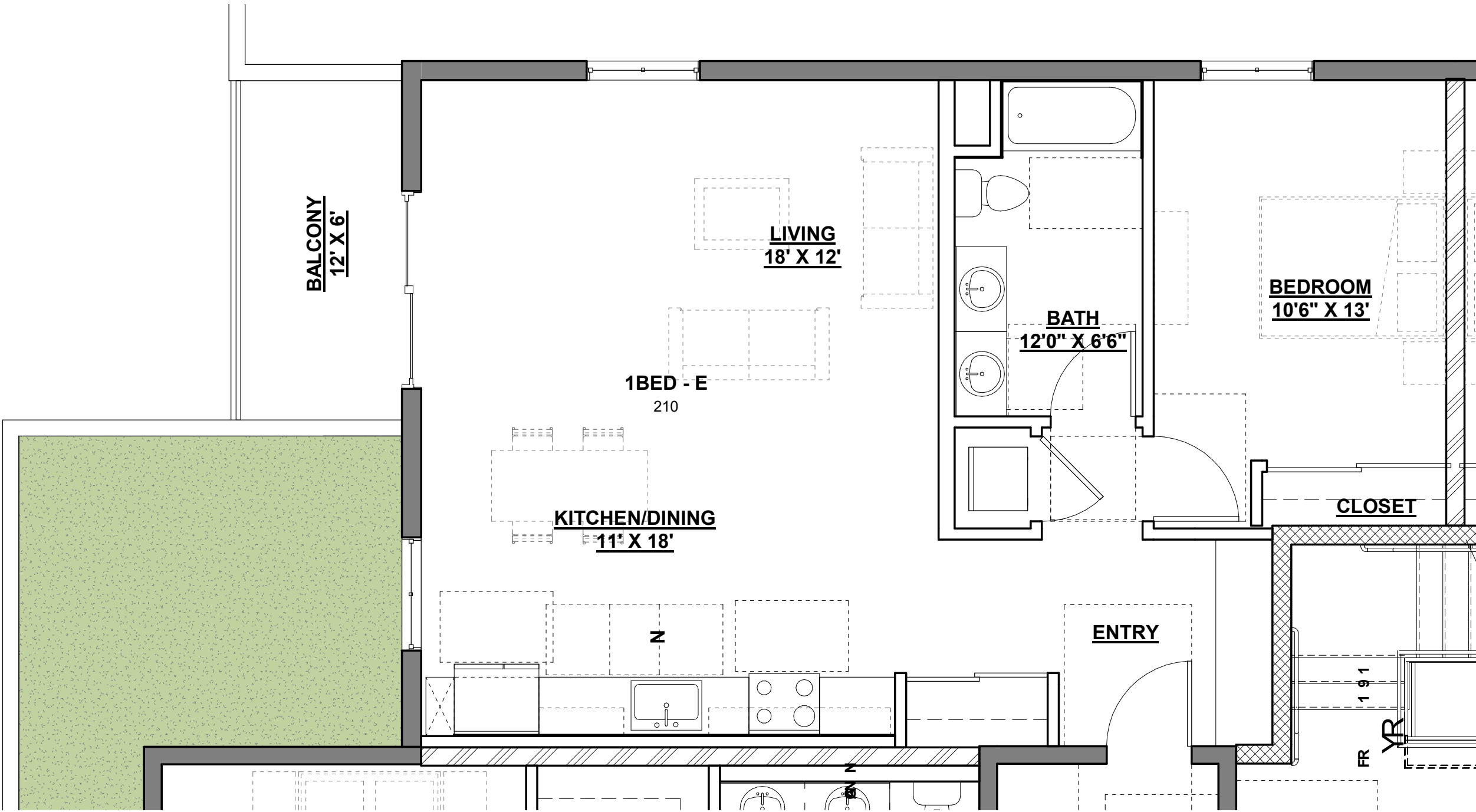
GSF - 693 SF  
UNIT # 310

**1BED-E1** 2  
1/4" = 1'-0"



GSF - 693 SF + 222 SF (MEZZ.) = 915 SF  
UNIT # 410

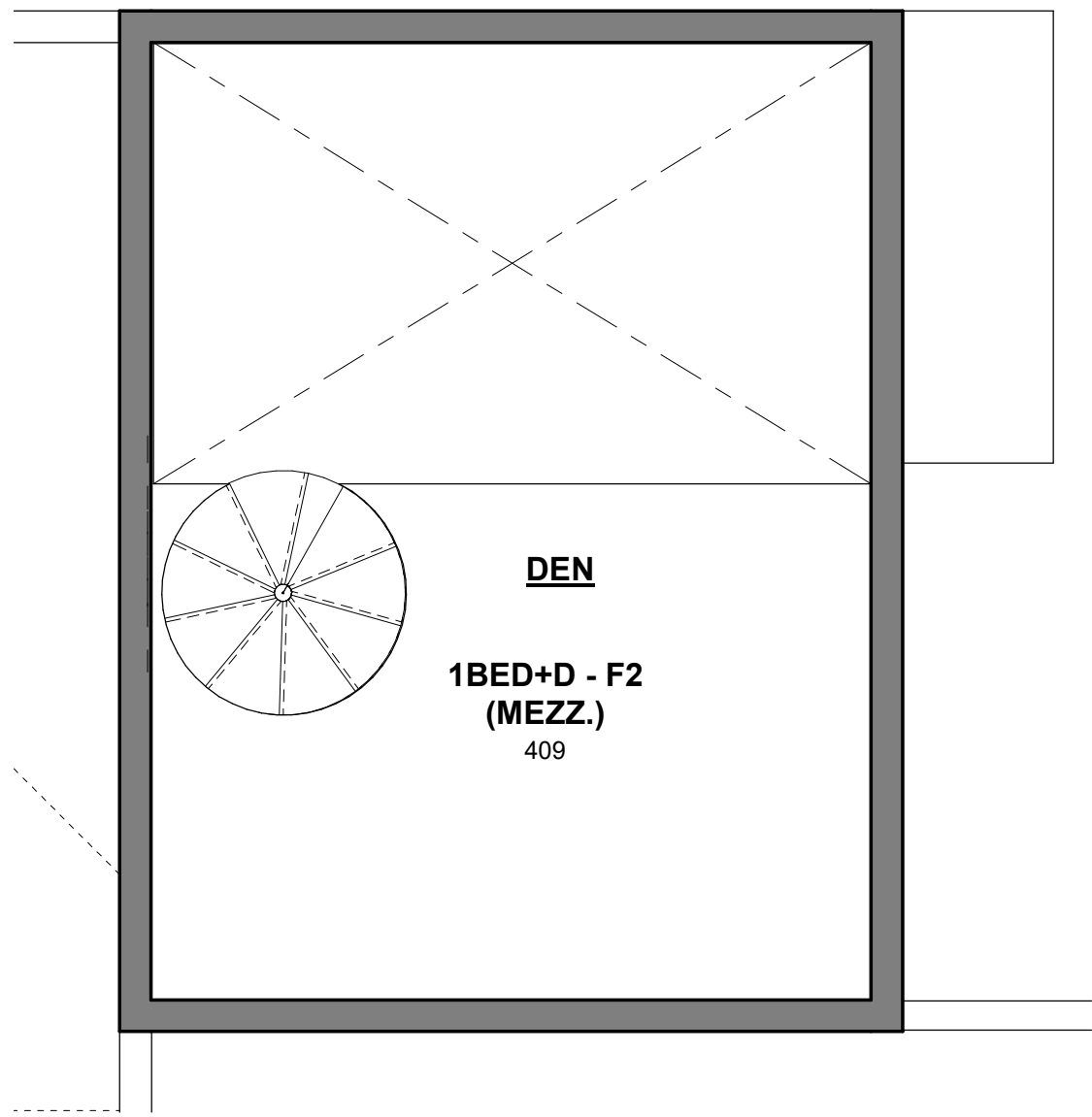
**1BED+DEN-E2** 3  
1/4" = 1'-0"



GSF - 874 SF  
UNIT # 210

**1BED-E** 1  
1/4" = 1'-0"

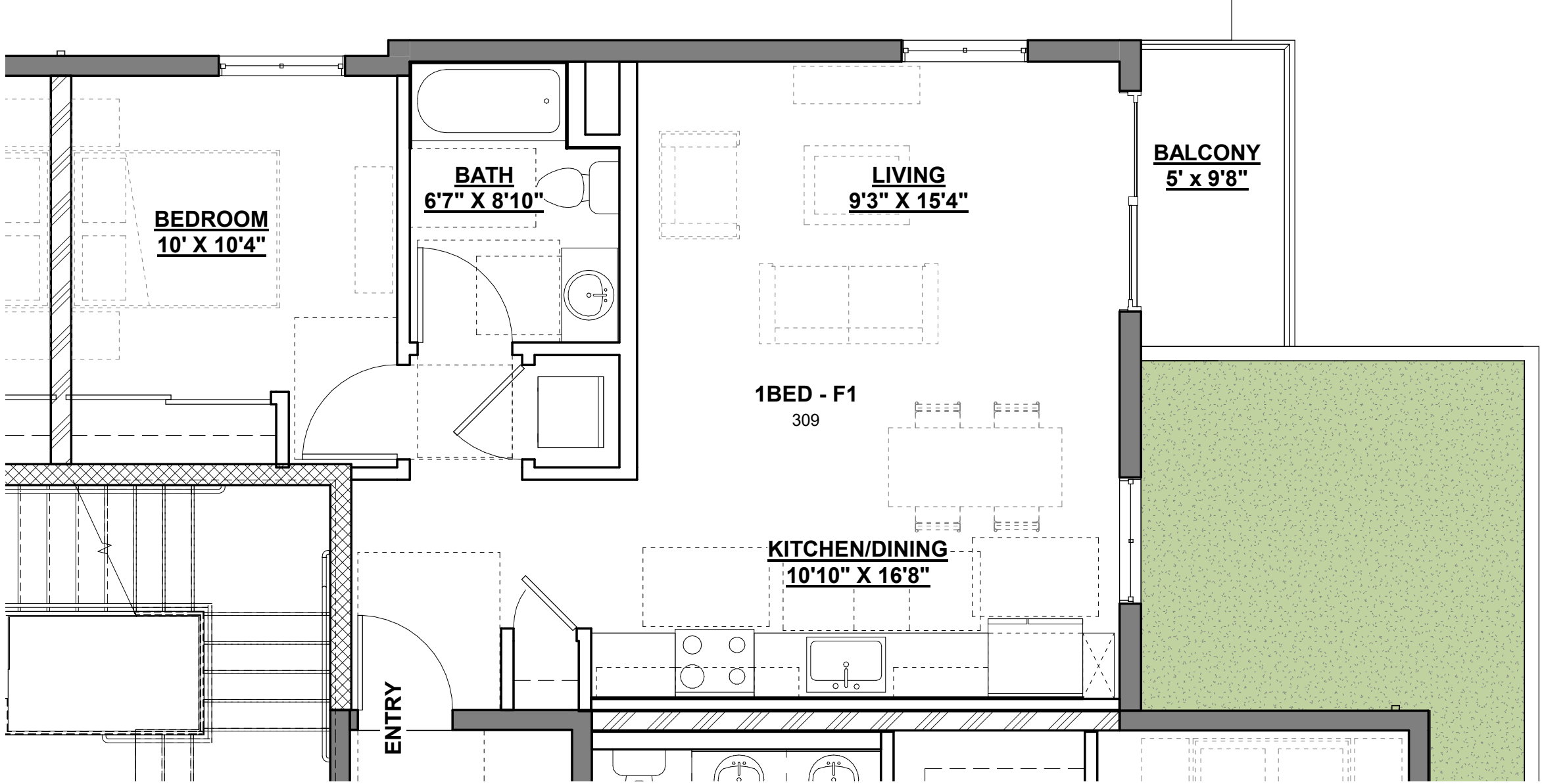




GSF - 222 SF (MEZZ.)  
UNIT # 409 (MEZZ.)

1BED+DEN-F2 MEZZANINE 4

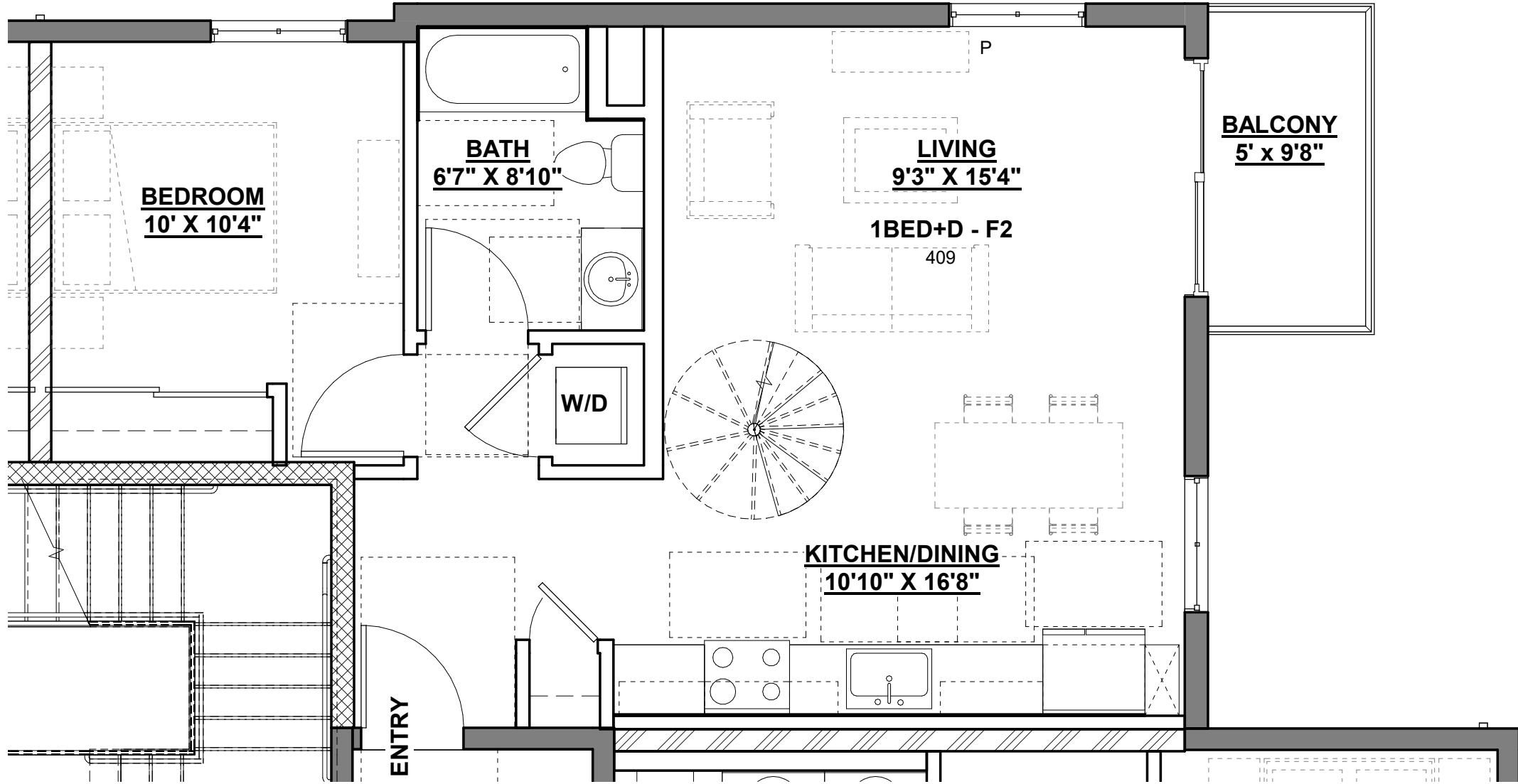
1/4" = 1'-0"



GSF - 672 SF  
UNIT # 309

1BED-F1 2

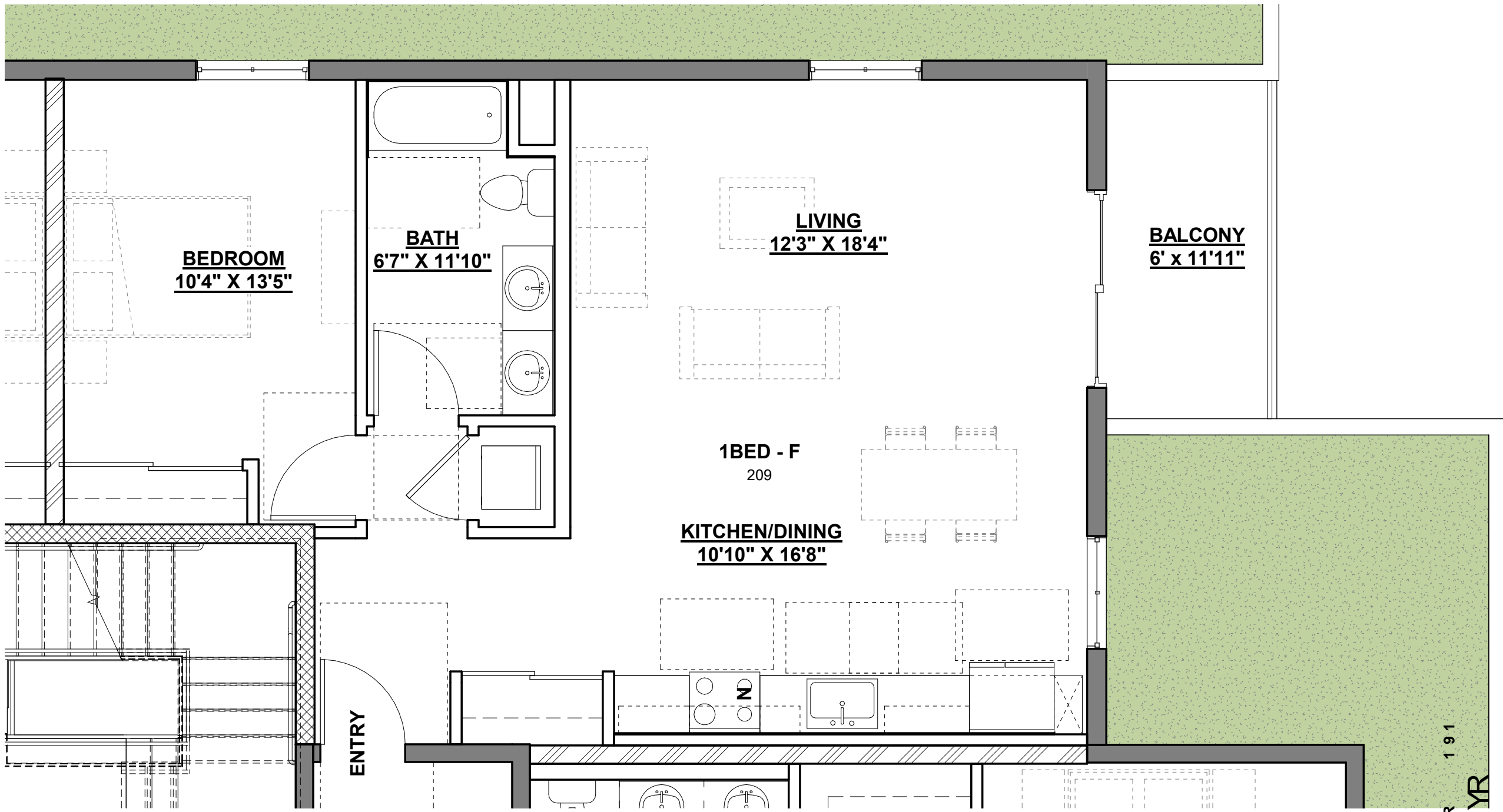
1/4" = 1'-0"



GSF - 672 SF + 222 SF (MEZZ.) = 894 SF  
UNIT # 409

1BED+DEN-F2 3

1/4" = 1'-0"

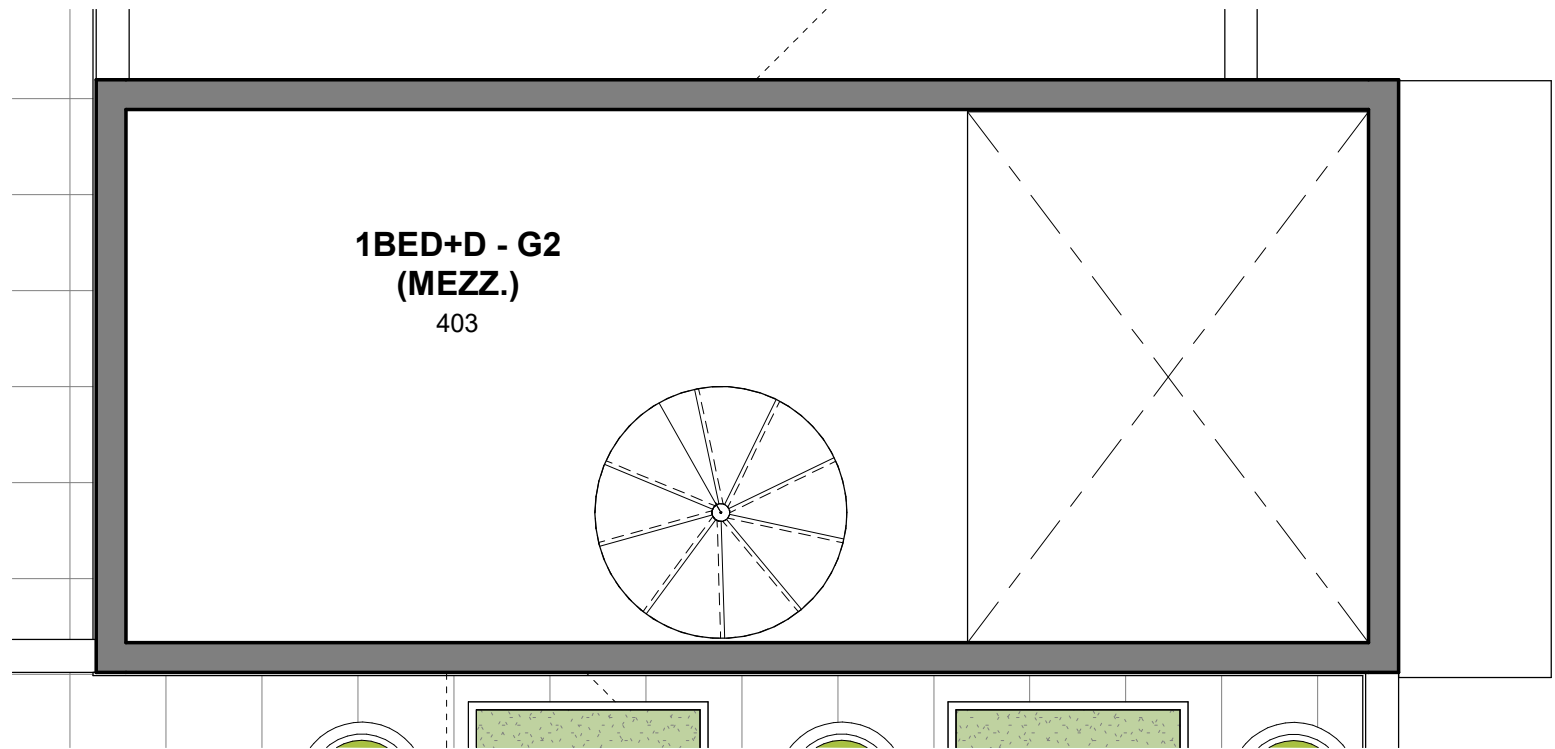


GSF - 853 SF  
UNIT # 209

1BED-F 1

1/4" = 1'-0"



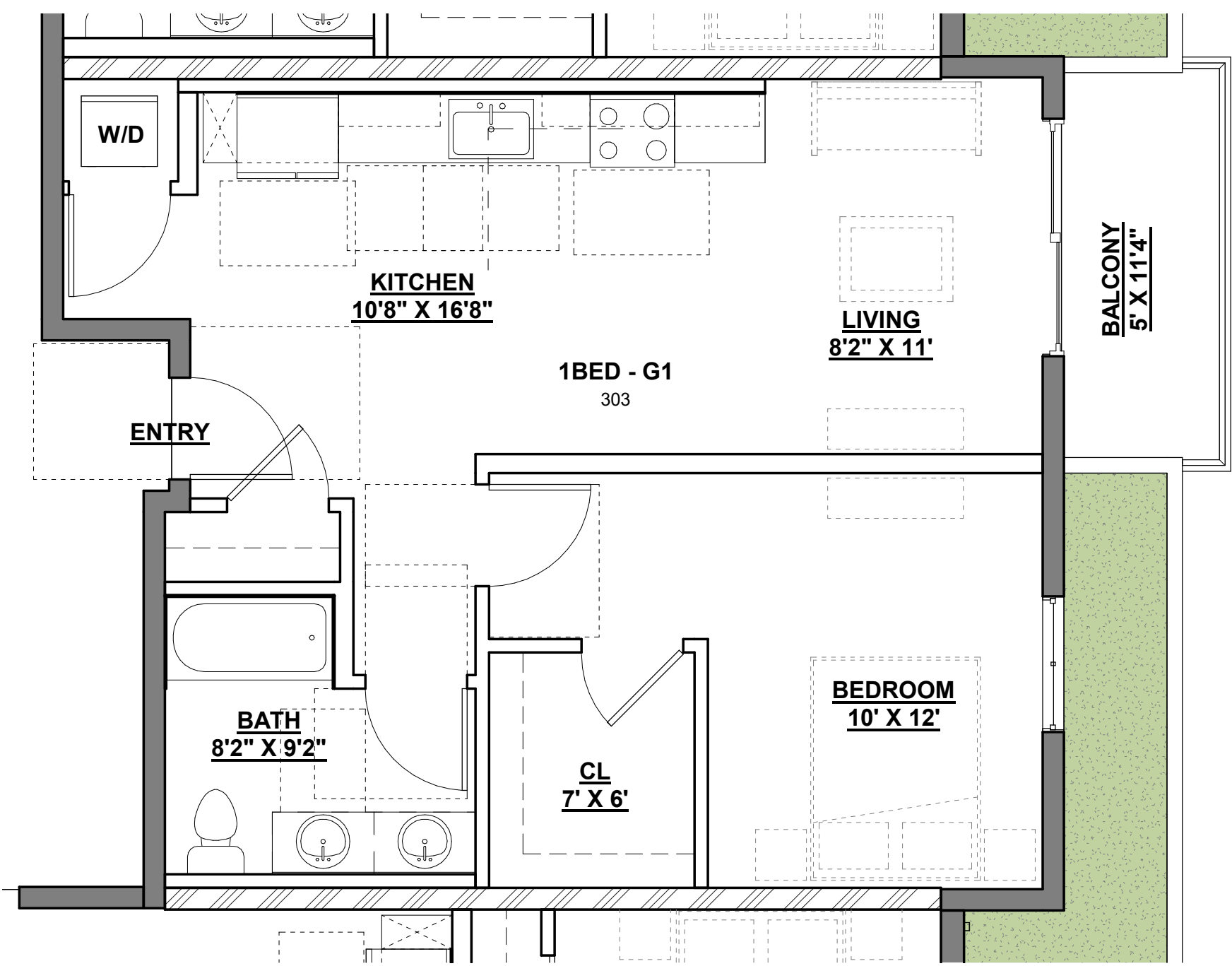


GSF - 243 SF (MEZZ.)  
UNIT # 403 (MEZZ.)

1BED+DEN-G2 MEZZANINE

1/4" = 1'-0"

4

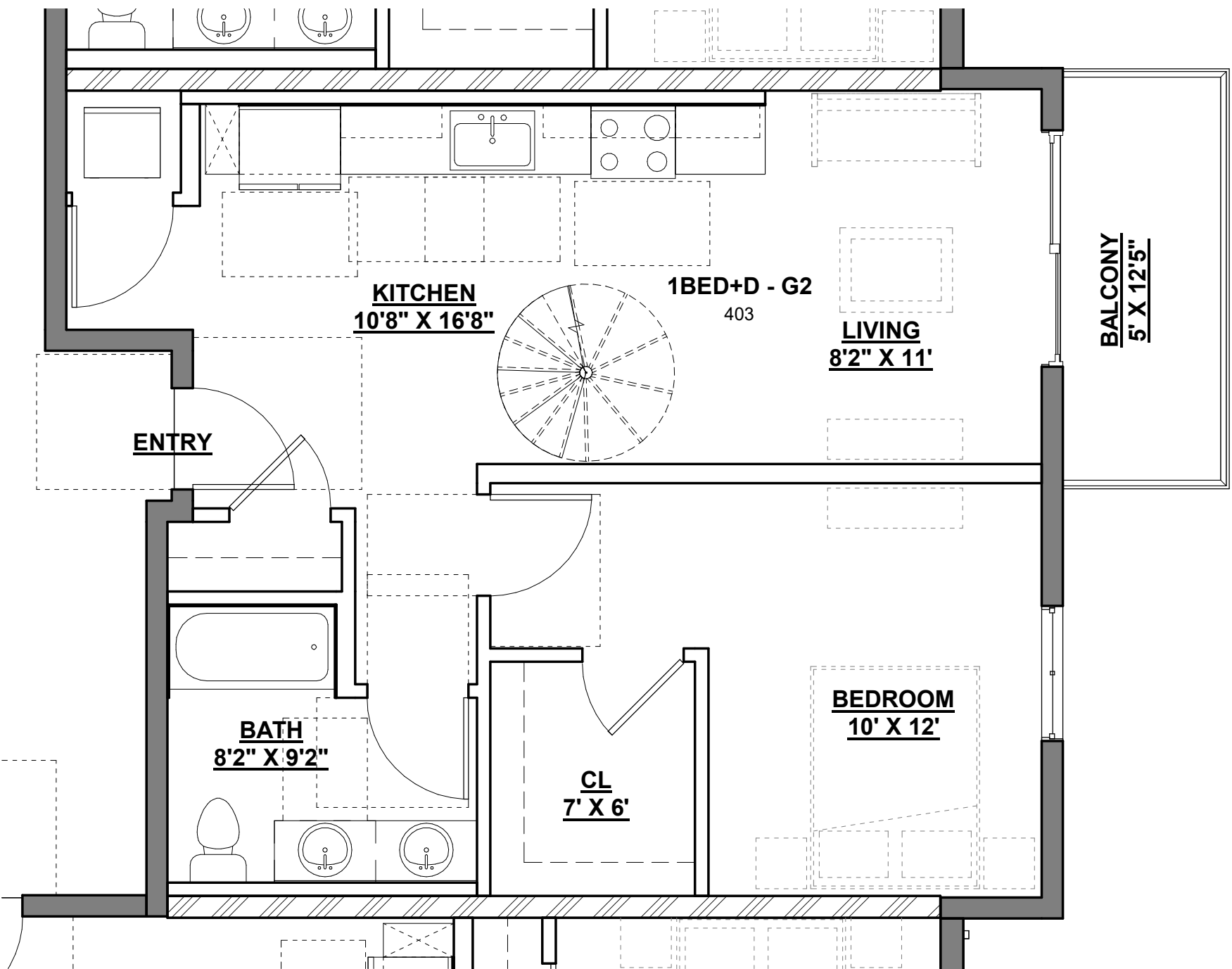


GSF - 687 SF  
UNIT # 303

1BED-G1

1/4" = 1'-0"

2

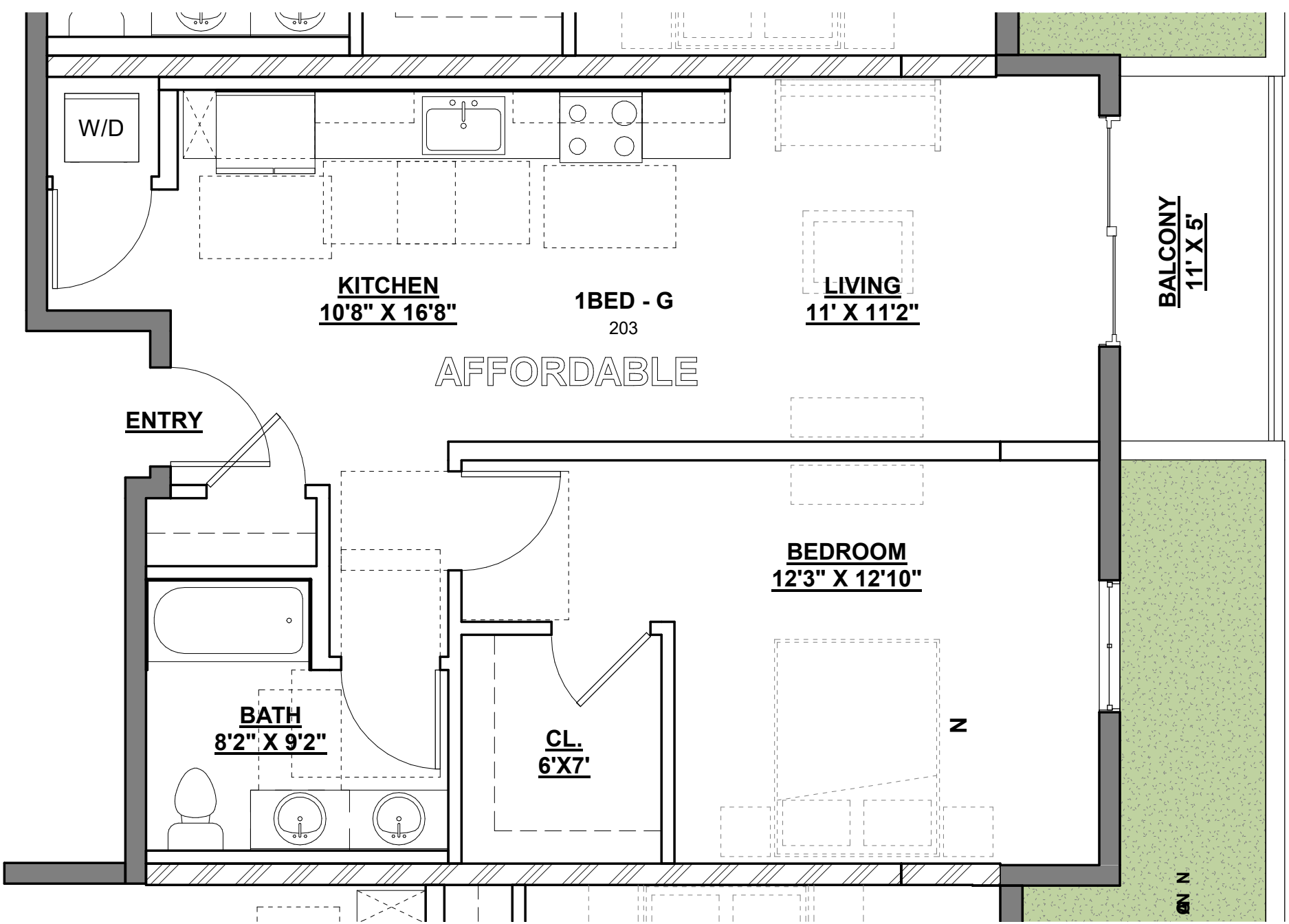


GSF - 687 SF + 243 SF (MEZZ.) = 930 SF  
UNIT # 403

1BED+DEN-G2

1/4" = 1'-0"

3



GSF - 761 SF  
UNIT # 203

1BED-G

1/4" = 1'-0"

1

ADD A LG

FR 191  
R YR

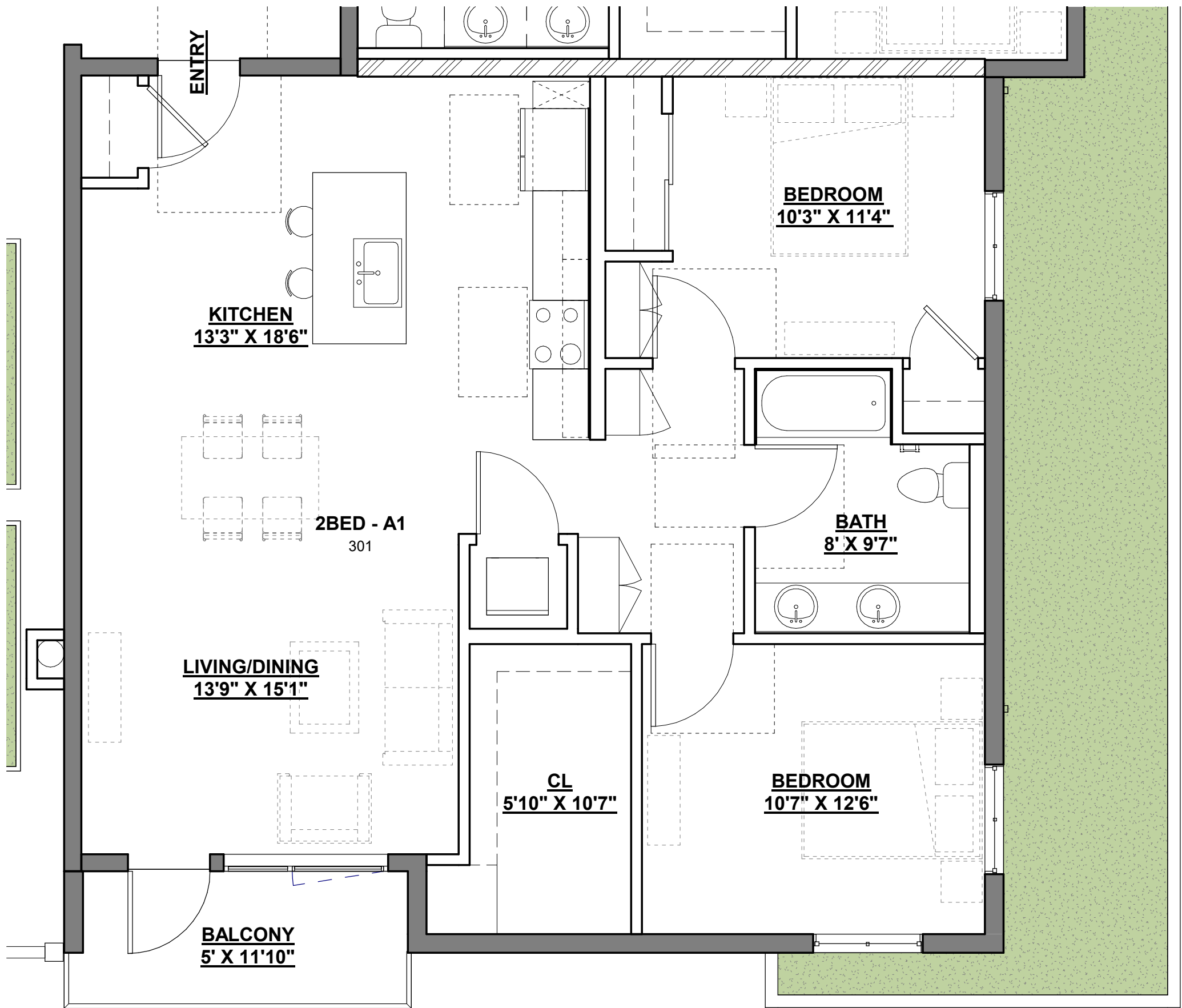
IRVING GLENDALE  
MULTIFAMILY APTS

1/417 I R V E U E  
E N E I O N I A 20

1 FEB UA 2024

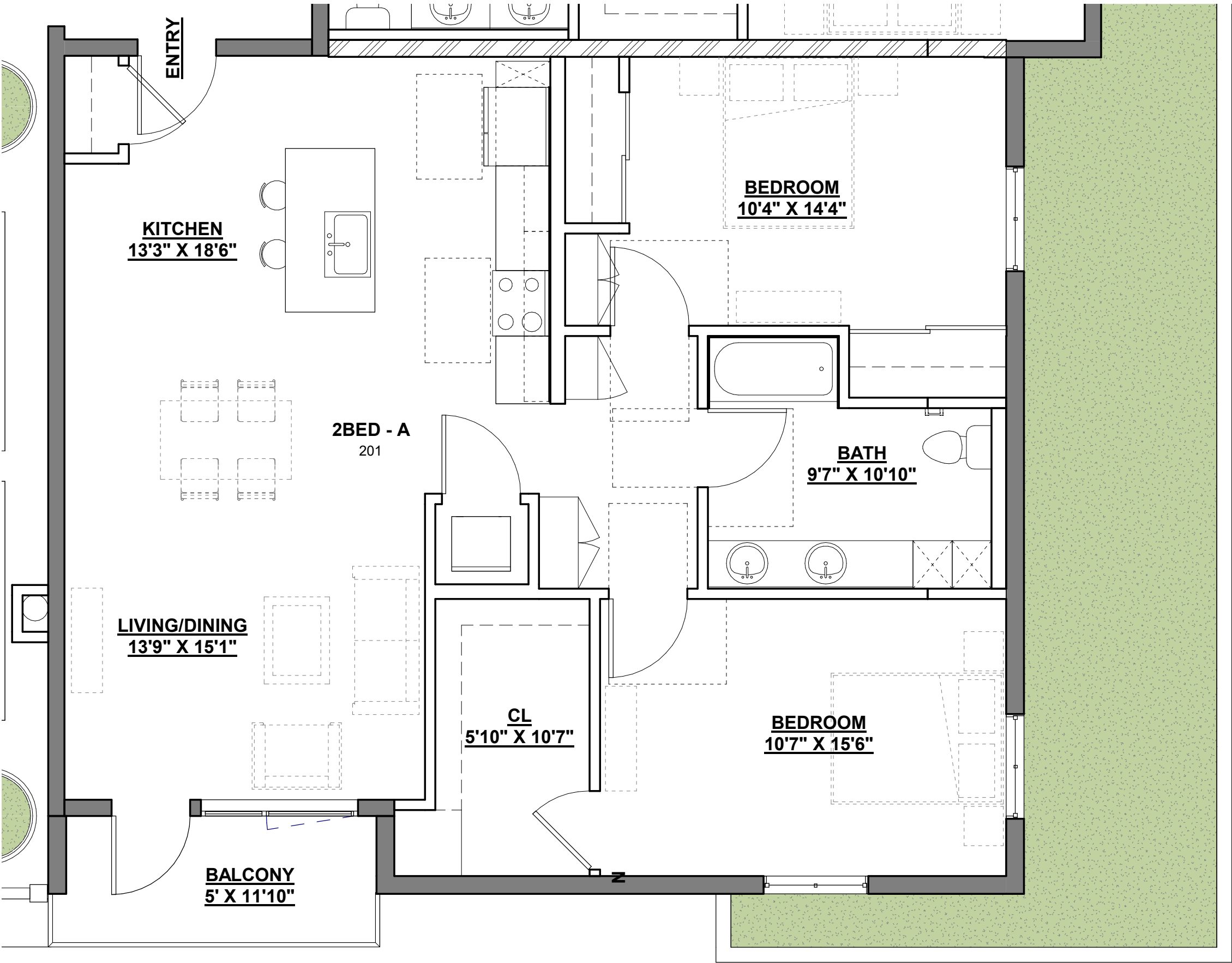
ESIGN DEVELOPME T





GSF - 1073 SF  
UNIT # 301 (401 SIMILAR)

2BED-A1  
1/4" = 1'-0" 2



GSF - 1170 SF  
UNIT # 201

2BED-A  
1/4" = 1'-0" 1

IRVING GLENDALE  
MULTIFAMILY APTS

1/417 I R V E U E  
E N E I O N I A 20

1 FEB UA 2024

ESIGN DEVELOPME T

DATE

No. DESCRIPTION

FR 191

YR

R

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LG

ADD A

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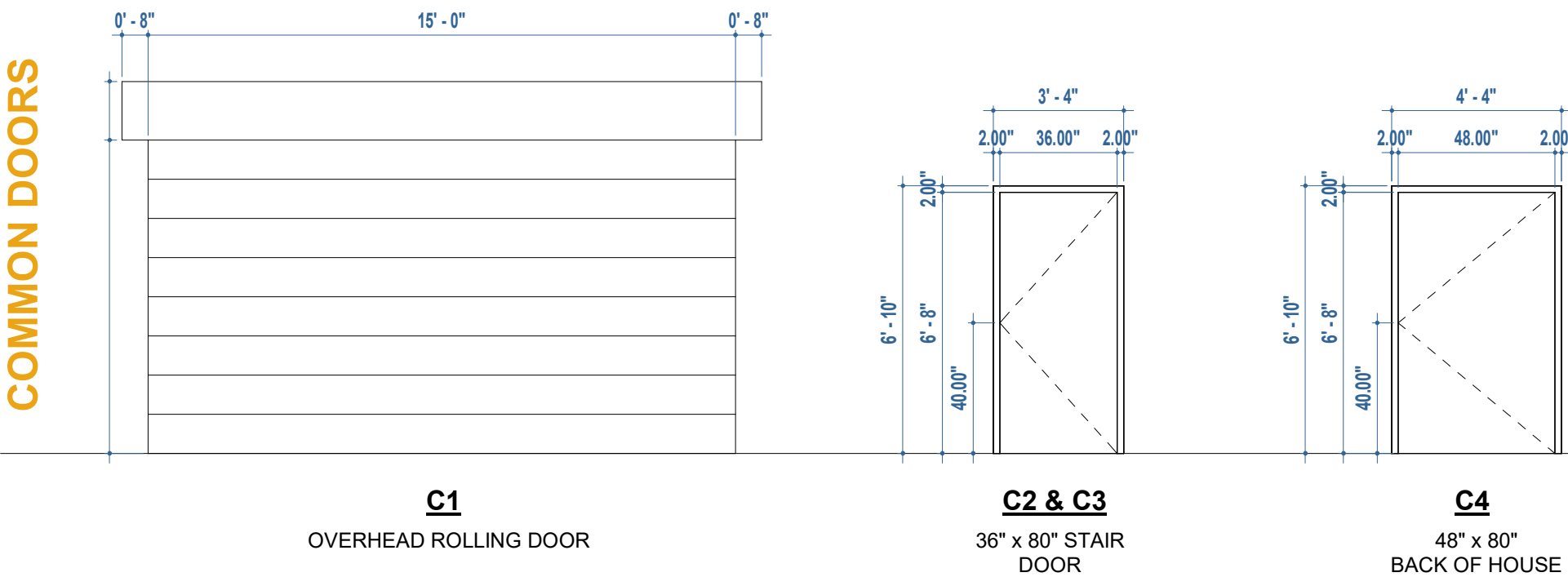
DOOR																	FRAME		DETAILS			HARDWARE				COMMENTS
DOOR #	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	FIRE RATING	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB	SILL	PANIC HARDWARE	CLOSERS	HOLD OPEN	KICKPLATE										
COMMON																										
C1	COMMON	16'-0"	7'-6"	3"	MFR.		MFR.	90MIN.	MFR.	MFR.				•	•	•	TRASH BIN ROOM DOOR - ADD NO PARKING SIGN ON DOOR									
C2	COMMON	3'-0"	6'-8"	1 3/4"	HM		PT	90 MIN.	HM	PT				•	•	•	• STAIR DOOR - CONCRETE WALL									
C3	COMMON	3'-0"	6'-8"	1 3/4"	HM		PT	60 MIN	HM	PT				•	•	•	• STAIR DOOR - WOOD WALL									
C4	COMMON	4'-0"	6'-8"	1 3/4"	HM		PT	60 MIN	HM	PT				•	•	•	• FIRE PUMP ROOM									
C6	COMMON	6'-0"	6'-8"	1 3/4"	HM		PT	60 MIN	HM	PT				•	•	•	• ELECTRICAL DOUBLE DOORS									
C-20	COMMON	4'-0"	7'-0"	2"													STOREFRONT LOBBY									
C-99	COMMON	3'-0"	6'-8"	1 3/4"	HM		PT	90 MIN.	HM	PT				•	•	•	• TRASH COLLECTION ROOM SWING DOOR - ADD NO PARKING SIGN ON DOOR									
G-1	COMMON	12'-0"		1 1/2"													OVERHEAD SECTIONAL									
TR-1	COMMON	2'-0"	4'-0"		MFR.		MFR.	90 MIN.	MFR.	MFR.	MFR.	MFR.		•	•	•	• TRASH CHUTE DOOR - PROVIDE SIGNAGE TO IDENTIFY TRASH, RECYCLING, OR ORGANICS									
U-96	COMMON	4'-0"	6'-8"	1 3/4"	HM		PT		HM	PT				•	•	•	• LOBBY									
ELEVATOR																										
E1	ELEVATOR		0"	0"	MFR.												ELEVATOR SLAM DOOR - SMOKE SEAL									
E2	ELEVATOR				MFR.		90MIN.										ELEVATOR HOISTWAY DOOR									

UNIT																		
C-3	UNIT	3'-0"	6'-8"	1 3/4"	HM		PT	60 MIN	HM	PT								LAUNDRY
D2	UNIT	5'-0"	6'-8"	1 3/4"	WD / MDF.		PT		WD / MDF.	PT	2/A-841	2/A-841						UNIT CLOSET SLIDING DOOR
D3	UNIT	6'-0"	6'-8"	1 3/4"	WD / MDF.		PT		WD / MDF.	PT	2/A-841	2/A-841						UNIT CLOSET SLIDING DOOR
D4	UNIT	6'-6"	6'-8"	1 3/4"	WD / MDF.		PT		WD / MDF.	PT	2/A-841	2/A-841						UNIT CLOSET SLIDING DOOR
U1	UNIT	3'-0"	6'-8"	1 3/4"	HM		PT	20 MIN	HM	PT						●	●	UNIT ENTRY DOOR
U3	UNIT	3'-0"	6'-8"	1 3/4"			-											UNIT BEDROOMS - MDF 4-PANEL MOLDED NON RATED WOOD DOOR (SMOOTH SKIN / HOLLOW CORE)
U4	UNIT	3'-0"	6'-8"	1 3/4"	4P-MDF		PT	-	MDF	PT	4/A-911	4/A-911						UNIT CLOSETS / STORAGE ROOMS - MDF 4-PANEL MOLDED NON RATED WOOD DOOR (SMOOTH SKIN / HOLLOW CORE)
U5	UNIT	2'-6"	6'-8"	1 3/4"	4P-MDF		PT	-	MDF	PT	4/A-911	4/A-911						UNIT CLOSET SWING DOOR
U6	UNIT	7'-0"	7'-0"	5"														Vent Sliding Door 2 Panel XO
U7	UNIT	3'-0"	7'-0"	1 3/4"	FG / LOW E TEMP GLASS		PT	-	WD	PT	18/A-911	5/A-911	12/A-911					EXTERIOR PATIO SINGLE DOOR-BASIS OF DESIGN JELD-WEN SMOOTH-PRO FIBERGLASS FULL-LITE OR APPROVED EQUIVALENT
U-6	UNIT	3'-0"	6'-8"	1 3/4"	4P-MDF		PT	-	MDF	PT	4/A-911	4/A-911						UNIT BATHROOMS - MDF 4-PANEL MOLDED NON RATED WOOD DOOR (SMOOTH SKIN / HOLLOW CORE)
U-9	UNIT	6'-0"	6'-8"	1 3/4"	4P-MDF		PT	-	MDF	PT	17/A-911	17/A-911						UNIT CLOSETS - MDF 4-PANEL MOLDED NON RATED WOOD DOOR (SMOOTH SKIN / HOLLOW CORE)
U-19	UNIT	4'-6"	6'-8"	1 3/4"	4P-MDF		PT		MDF	PT	17/A-911	17/A-911						UNIT CLOSET SLIDING DOOR
U-62	UNIT	3'-0"	6'-8"	2"			-											UNIT BEDROOMS - MDF 4-PANEL MOLDED NON RATED WOOD DOOR (SMOOTH SKIN / HOLLOW CORE)
U-95	UNIT	5'-6"	6'-8"	1 3/4"	HM		PT		HM	PT								UNIT LAUNDRY DOUBLE DOOR
U-98	UNIT	2'-0"	6'-8"	1 3/4"	4P-MDF		PT	-	MDF	PT	4/A-911	4/A-911						UNIT CLOSET SWING DOOR

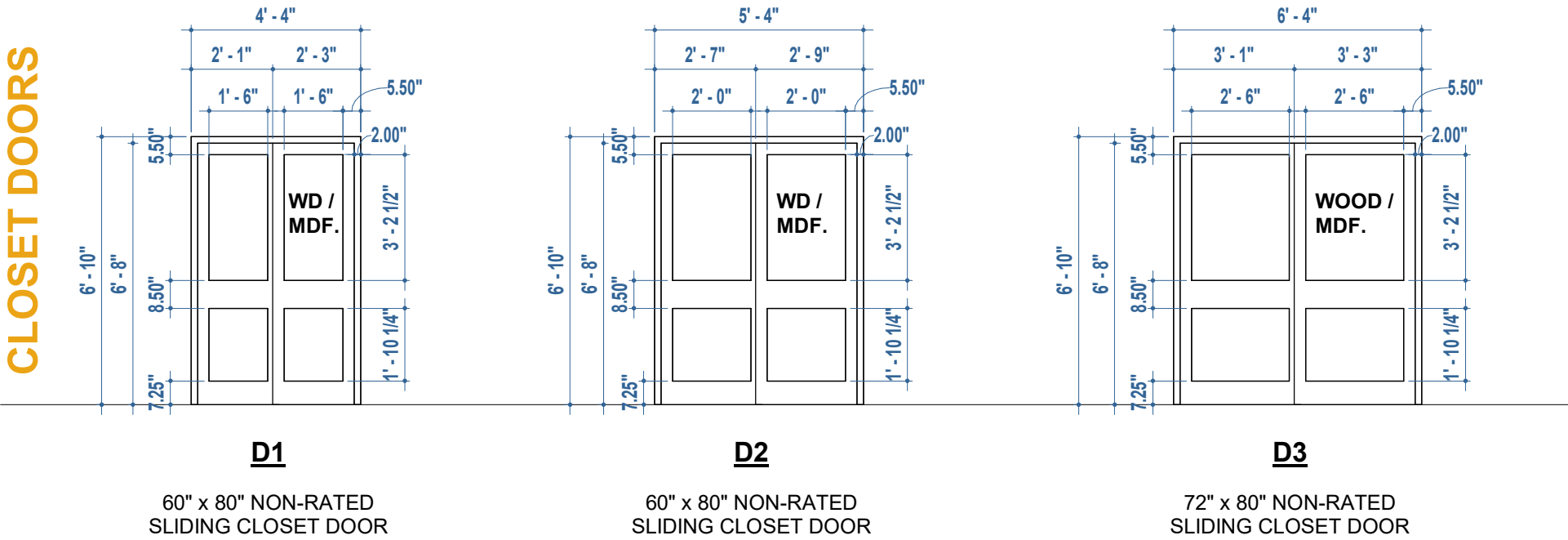
TYPE	Count	MATERIAL	FINISH	DIMENSIONS		DETAIL			COMMENTS
				WIDTH	HEIGHT	HEAD	JAMB	SILL	
W2	3	VINYL	FF	DK BRONZE	6'-0"	6'-0"			
W4	3				5'-0 1/2"	4'-11 1/4"			
W6	50				4'-0"	5'-0"			

## DOOR LEGEND

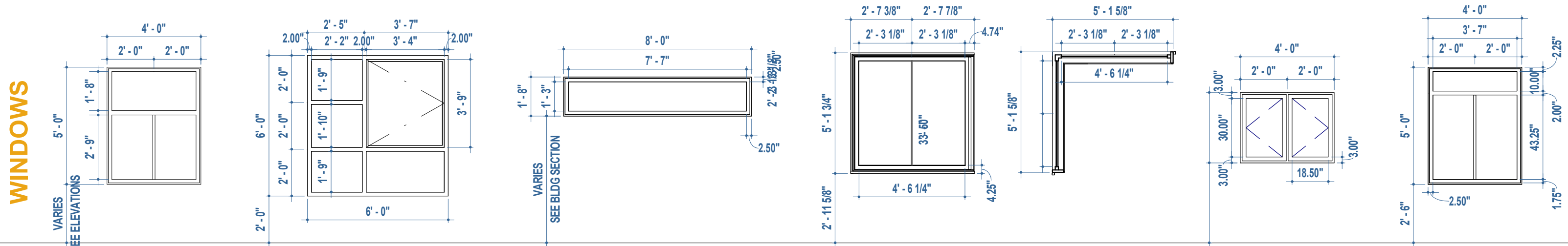
COMMON DOORS



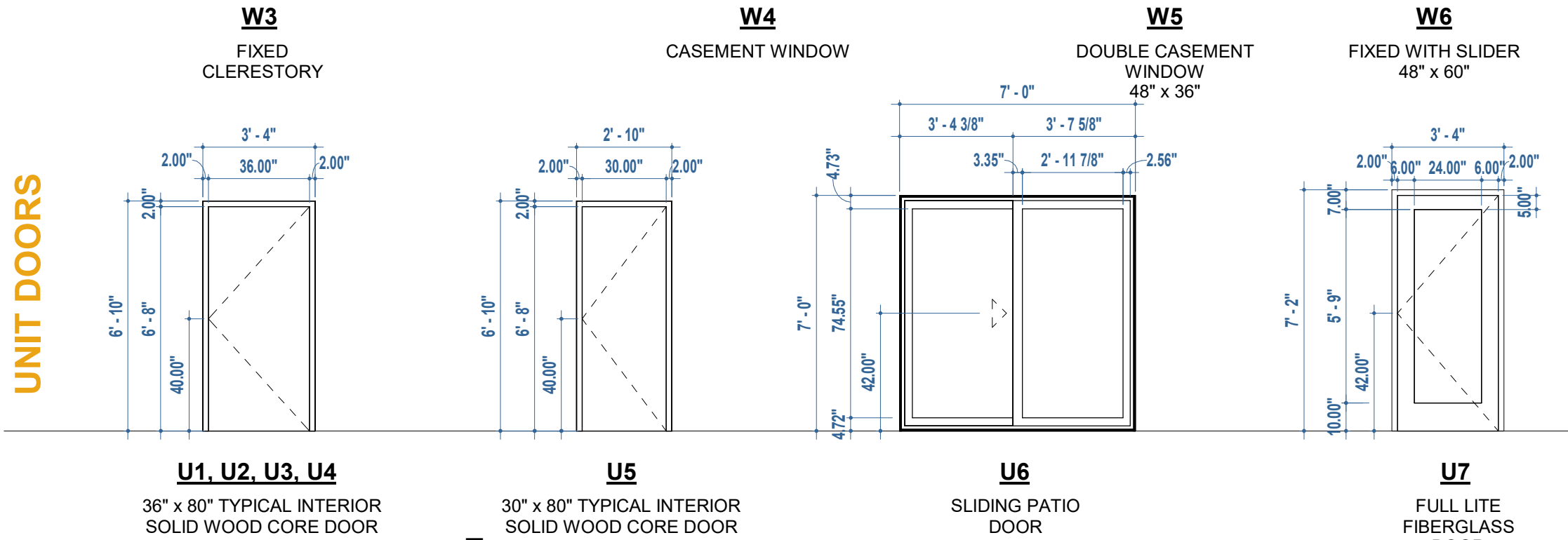
CLOSET DOORS



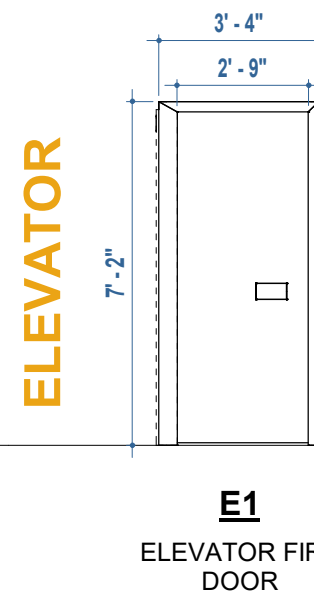
WINDOWS



UNIT DOORS

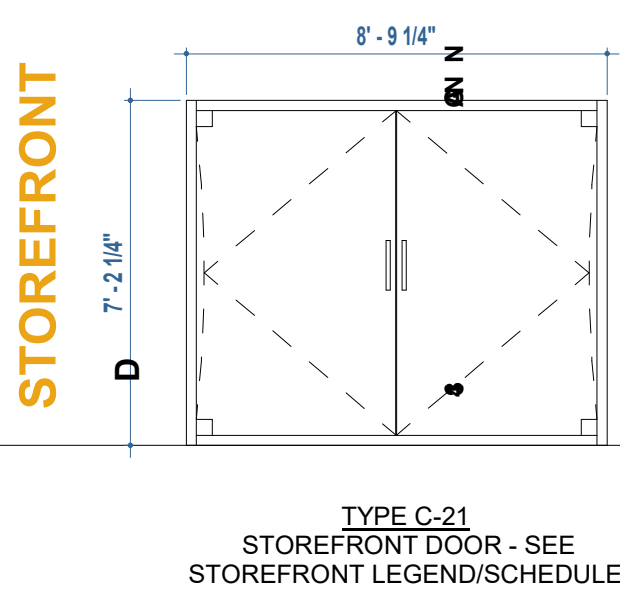


ELEVATOR



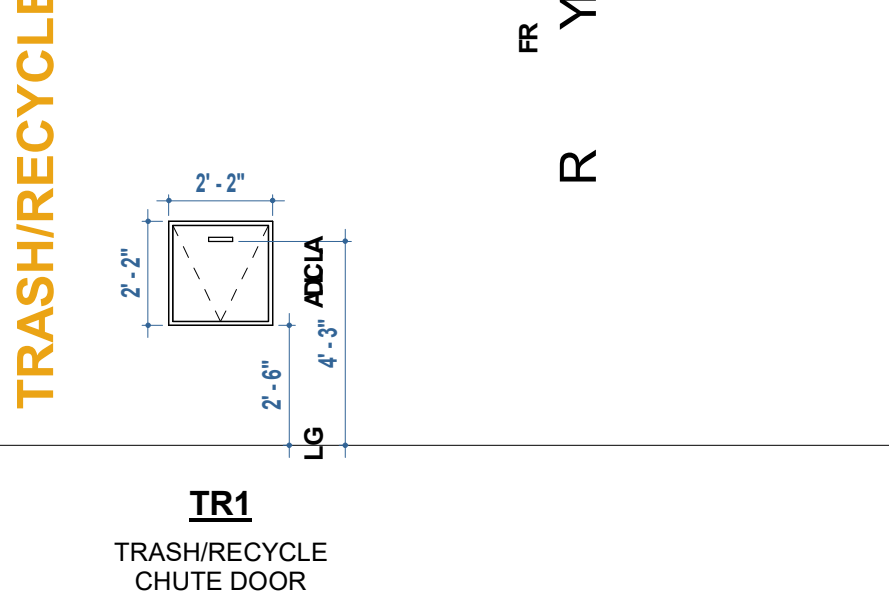
ELEVATOR DOOR

STOREFRONT



TYPE C-21  
STOREFRONT DOOR - SEE  
STOREFRONT LEGEND/SCHEDULE

TRASH/RECYCLE



TRASH/RECYCLE  
CHUTE DOOR

## TYPICAL DOOR NOTES

- SEE FLOOR PLANS FOR LOCATIONS OF PANIC HARDWARE & HOLD-OPENS.
- FIRE-RATED OPENINGS: PROVIDE HARDWARE FOR FIRE-RATED OPENINGS IN COMPLIANCE WITH THE CALIFORNIA CODE OR REGULATIONS (CCR) TITLE 24, PART 2, CALIFORNIA BUILDING CODE AND NFPA STANDARD NO. 80. THIS REQUIREMENT TAKES PRECEDENCE OVER OTHER REQUIREMENTS FOR SUCH HARDWARE.
- PROVIDE SAFETY GLAZING PER CBC 2406.4 TO MEET ALL OF THE FOLLOWING CONDITIONS:
  - EXPOSED BOTTOM EDGE LESS THAN 18 IN ABOVE THE FLOOR.
  - EXPOSED TOP EDGE IS GREATER THAN 36 IN ABOVE THE FLOOR.
  - WITHIN 24" OF A DOORWAY AND LESS THAN 60" ABOVE A WALKWAY.
  - WITHIN 60" VERTICALLY AND 36" HORIZONTALLY OF STAIRWAYS + LANDINGS.
- DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 6 SECONDS MINIMUM.
- DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS.
- THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS. THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15-POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30-POUND FORCE. THE DOOR SHALL SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A 15 POUND FORCE.
- WHERE MEANS OF EGRESS DOORS ARE OPERATED OR ASSISTED BY POWER, THE DESIGN SHALL BE SUCH THAT IN THE EVENT OF POWER FAILURE, THE DOOR IS CAPABLE OF BEING OPENED MANUALLY TO PERMIT MEANS OF EGRESS TRAVEL OR CLOSED WHERE NECESSARY TO SAFEGUARD MEANS OF EGRESS. THE FORCES REQUIRED TO OPEN THESE DOORS MANUALLY SHALL NOT EXCEED THOSE SPECIFIED IN NOTE #6 ABOVE, EXCEPT THAT THE FORCE TO SET THE DOOR IN MOTION SHALL NOT EXCEED 50 POUNDS. THE DOOR SHALL BE CAPABLE OF SWINGING OPEN FROM ANY POSITION TO THE FULL WIDTH OF THE OPENING IN WHICH SUCH DOOR IS INSTALLED WHEN A FORCE IS APPLIED TO THE DOOR ON THE SIDE FROM WHICH EGRESS IS MADE. POWER OPERATED SWINGING DOORS, POWER OPERATED SLIDING DOORS AND POWER OPERATED FOLDING DOORS SHALL COMPLY WITH BHMA A156.10. POWER ASSISTED SWINGING DOORS AND LOW ENERGY POWER OPERATED WINGING DOORS SHALL COMPLY WITH BHMA A156.19.
- All exit doors shall comply with Section 1008-1008.1
  - Clear width of each door opening shall be min. 32" or per section 1005.1, whichever is greater
  - Min. door height of 6'-8"
  - Shall be capable of opening 90 degrees.
  - The maximum width of a swinging door leaf shall be 48" nominal.
  - Exit door shall be side-hinged swinging type (1008.1.2)
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4 INCH IN HEIGHT ABOVE THE FINISHED FLOOR OR LANDING FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2 INCH ABOVE THE FINISHED FLOOR OR LANDING FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 3/4 INCH AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50 PERCENT SLOPE). EXCEPTIONS:
  - IN OCCUPANCY GROUP R-2 OR R-3, THRESHOLD HEIGHTS FOR SLIDING AND SIDE HINGED EXTERIOR DOORS SHALL BE PERMITTED TO BE UP TO 7-3/4 INCHES IN HEIGHT IF ALL OF THE FOLLOWING APPLY:
    - THE DOOR IS NOT PART OF THE REQUIRED MEANS OF EGRESS
    - THE DOOR IS NOT PART OF AN ACCESSIBLE ROUTE AS REQUIRED BY CHAPTER 11A OR 11B.
    - THE DOOR IS NOT PART OF AN ADAPTABLE OR ACCESSIBLE DWELLING UNIT.
  - IN ADAPTABLE OR ACCESSIBLE DWELLING UNITS, WHERE EXCEPTION 5 TO SECTION 1010.1.5 PERMITS A 4 INCH ELEVATION CHANGE AT THE DOOR, THE THRESHOLD HEIGHT ON THE EXTERIOR SIDE OF THE DOOR SHALL NOT EXCEED 4-3/4 INCHES IN HEIGHT ABOVE THE EXTERIOR DECK, PATIO OR BALCONY FOR SLIDING DOORS OR 4-1/2 INCHES ABOVE THE EXTERIOR DECK, PATIO OR BALCONY FOR OTHER DOORS.
- Each pane of safety glazing installed in hazardous locations shall be identified by a manufacturer's designation specifying who applied the designation, the manufacturer or installer and the safety glazing standard. The following shall be considered specific hazardous locations for the purposes of safety glazing. Glazing in: Section 2406.1
- PROVIDE WEATHER STRIPS AT ALL DOORS FACING UNCONDITIONED SPACES.
- PROVIDE SMOKESEALS AT ALL FIRE RATED DOORS.

## ABBREVIATIONS

4P-FG	FOUR PANEL FIBER GLASS
4P-MDF	FOUR PANEL MDF MOLDED
APH	ALARMED PANIC HARDWARE
AL	ALUMINUM
AUTO	AUTOMATIC DOOR OPERATOR
BB	BALL BEARING
CARD	CARD KEY ACCESS
CL	CLOSER
CLR ANOD	CLEAR ANODIZED
COORD	COORDINATOR
CYL	CYLINDER LOCK
FF	FACTORY FINISH
FG	FIBER GLASS
GL	GLASS
HC	HOLLOW CORE
HD	HEAVY DUTY
HM	HOLLOW METAL
IL	INTERCONNECTED LOCK SET
MAG HOLD	MAGNETIC HOLD OPEN
PH	PANIC HARDWARE
PFS	PRE-FINISHED STEEL FRAME
PT	PAINT
S	SAFETY GLAZING
SC	SOLID CORE
SM	SMOKE SEAL
TEMP	TEMPERED GLASS 1/4"
THRES	THRESHOLD
VIEW	VIEW PORT
VIN	VINYL
WD	WOOD
WIRED	WIRED GLASS 1/4"
WS	WELDED STEEL FRAME

### WINDOW NOTES:

- FIRE RESISTANT GLAZING SHALL BE TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 283.
- PROVIDE SAFETY GLAZING PER CBC 2406.4 TO MEET ALL OF THE FOLLOWING CONDITIONS:
  - EXPOSED BOTTOM EDGE LESS THAN 18 IN ABOVE THE FLOOR.
  - EXPOSED TOP EDGE IS GREATER THAN 36 IN ABOVE THE FLOOR
  - WITHIN 24" OF A DOORWAY AND LESS THAN 60" ABOVE A WALKWAY.
  - WITHIN 60" VERTICALLY AND 36" HORIZONTALLY OF STAIRWAYS + LANDINGS.
- WINDOWS SHALL BE NFRC LABELED WITH MINIMUM: U-FACTOR = 0.29 / SHGC = 0.22 / VT= 0.50
- STOREFRONT - PERFORMANCE WITH MINIMUM: U-FACTOR = 0.55/ SHGC = 0.67 / VT= 0.88
- ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH INSECT SCREENS.
- FIRE RATED GLAZING. PER ASTM E119, UL263 FIRELITE OR EQUIVALENT PER TABLE CBC 716.6 FOR TYPICAL WINDOW FLASHING REFER TO DETAILS.

## WINDOW LEGEND

IRVING GLENDALE  
MULTIFAMILY APTS

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E N E I O N I A 2 0

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ESIGN DEVELOPME T

DOOR & WINDOW  
SCHEDULES & TYPES

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