



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – COMMERCIAL / INDUSTRIAL / MIXED USE

<b>August 10, 2023</b> <i>Hearing Date</i>	<b>1900 Riverside Drive</b> <i>Address</i>
<b>Design Review Board (DRB)</b> <i>Review Type</i>	<b>5625-031-008</b> <i>APN</i>
<b>PDR-000210-2022</b> <i>Case Number</i>	<b>Richard Dell, RED Architecture</b> <i>Applicant</i>
<b>Vista Ezzati</b> <i>Case Planner</i>	<b>Rene Karapedian, PRI Properties, LLC</b> <i>Owner</i>

#### Project Summary

The applicant is proposing to demolish the existing commercial stable buildings and associated structures (originally developed in 1939) and construct three new buildings with 15 surface parking spaces for a commercial stable and kennel on a 44,682 square-foot (SF) corner lot (pending alley vacation approval), located in the CE (Commercial Equestrian) Zone. The project includes a new one-story, 4,224 SF barn with 16 stables, a one-story, 4,793 SF building to be used as a kennel, an outdoor corral, and a 630 SF accessory building. Development of the project site includes:

- A new kennel located along the easterly portion of the site with frontage on both Riverside Drive and the unimproved portion of Allen Avenue.
- A new barn located along the westerly portion of the site that extends to the rear of the property.
- An approximately 6,600 SF outdoor corral will be located in the center of the site, separating the barn and kennel buildings.
- New landscaping and a remodeled and expanded parking lot will separate this building from Riverside Drive.
- A 1-story accessory building (support offices) for the use is located directly behind the corral with three additional parking spaces, as well as a 20'-0" wide secondary driveway to access the parking and provide necessary fire department access.

The project site is currently 39,985 SF, however, the project scope includes a future application to vacate an existing alley located at the rear of the site. The total lot size will be 44,682 SF pending alley vacation approval.

## **Environmental Review**

The project is exempt from CEQA review as a Class 32 “Infill Development” exemption pursuant to Section 15332 of the State CEQA Guidelines because the project meets all of the conditions for an in-fill development as noted in Attachment 6.

## **Existing Property/Background**

The property is an approximately 39,985 SF corner lot with frontage on Riverside Drive and Allen Avenue. The project site is relatively flat and is located at the city’s border with Burbank to the west, and City of Los Angeles to the south, with commercial and multi-family residential uses in the immediate area. Towards the rear of the project site is a 20-foot-wide alley at the terminus of Allen Avenue that abuts the Los Angeles Equestrian Center. The property was originally developed in 1939 with various additions and other site improvements made over time. Currently, there are three stable buildings on-site, an existing one-story house (originally built in 1942) that is currently vacant, and a one-story barn originally built in 1939 that is located toward the center of the site.

On March 7, 2023, the Glendale City Council held a public hearing regarding Appeal Case No. PAPP-000522-2022 and voted to reverse the Director of Community Development’s determination that, pursuant to Section 15064 of the State CEQA Guidelines, preparation of an Environmental Impact Report (EIR) would be required for demolition of the existing stable and accessory buildings. Council determined that based on the evidence in the record, the subject property is not a historic resource under CEQA. The property has no associations with events or people significant in history and it is not a distinct or exemplary representative of its architectural style, type, or period. The property does not appear to meet any criteria for listing on any National, State, or local register for historic resources, and is not considered a historic resource under CEQA. Accordingly, this project is exempt from CEQA as an infill development exemption (Attachment 6).

## **Staff Recommendation**

Approve with Conditions

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## **Last Date Reviewed / Decision**

First time submittal for final review.

**Zone:** CE - Commercial Equestrian

**Height District:** N/A

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

## **Active/Pending Permits and Approvals**

Development of the project site will require the existing 20-foot wide alley located at the rear of the site at the terminus of Allen Avenue to be vacated. The alley vacation application will be submitted separately.

## **Site Slope and Grading**

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

## DESIGN ANALYSIS

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### Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

#### Building Location

☒ yes   ☐ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Located at or near front property line
- ☐ Conforms to prevailing setbacks on the street
- ☐ Maintains appropriate sidewalk width

#### Usable Open Space

☒ yes   ☐ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Incorporates outdoor pedestrian space
- ☐ Integrated with design and overall context
- ☐ Appropriate relationship with adjoining properties

#### Access and Parking

☐ yes   ☐ n/a   ☒ no

*If "no" select from below and explain:*

- ☐ Parking location is appropriate to the site and its neighborhood context
- ☐ Appropriate pedestrian and vehicle access points
- ☐ Appropriate service and loading locations
- ☐ Landscape screening for street-facing parking
- ☐ Techniques employed to reduce stormwater runoff
- ☒ Decorative or colored paving to delineate pedestrian areas

The drawings indicate that the existing asphalt parking area at the front will be maintained, the new parking area at the rear will feature new stamped concrete paving, and the pedestrian walkways will be concrete. No other information is provided on the plans about these areas. Staff is recommending a condition of approval that the parking areas and pedestrian walkways be redesigned to include decorative paving materials with consideration given to permeable paving options to help reduce stormwater runoff.

#### Landscape Design

☒ yes   ☐ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Complementary to building design
- ☐ Appropriately sized and located

**Walls, Fences, and Retaining Walls**

☒ yes   ☐ n/a   ☐ no

*If “no” select from below and explain:*

- ☐ Minimize use whenever possible
- ☐ Use decorative material to complement building and/or landscape design
- ☐ Provide landscaping to minimize visual impact

**Screening**

☒ yes   ☐ n/a   ☐ no

*If “no” select from below and explain:*

- ☐ Mechanical equipment appropriately screened
- ☐ Trash bins appropriately located and screened

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- There are a limited number of stable and kennel uses located in the City, and the proposed stable/kennel is an appropriate re-use/redevelopment of the existing stable .The proposed site planning is driven by the operational necessities of the use, the City’s Design Guidelines for suburban commercial corridors, and the development standards for the CE zone, which unlike other commercial zones, includes a minimum 25’-0” street-front setback requirement.
- The proposed building locations comply with the City’s Design Guidelines where, in suburban commercial corridors, buildings can be located near the front of the lot with parking behind (stable and accessory building), or toward the back of the lot with parking in front (kennel).
- The subject property is a corner lot with the kennel sited as near the corner as possible while still complying with the street-front setback requirement. New landscaping along Riverside Drive and the unimproved portion of Allen Avenue provides an appropriate buffer from the public right-of-way.
- The project includes two surface parking areas that are appropriately screened with landscaping and have a total of 15 parking spaces. As noted above, staff is recommending a condition of approval that the parking areas and pedestrian walkways include decorative paving materials.
  - Similar to the existing corner condition, there is a surface parking area with 12 parking spaces that is located at the front of the site with an entrance that is accessed from Riverside Drive and exits onto Allen Avenue.
  - An additional three parking spaces are located at the rear of the lot and accessed from Allen Avenue.
- New drought-tolerant landscaping is proposed along both street frontages, as well as in the rear parking lot area. At the center of the lot is a new 6,604 SF outdoor corral that will be surfaced in decomposed granite.



## Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

### Building Relates to its Surrounding Context

☒ yes   ☐ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Appropriate proportions and transitions
- ☐ Articulation, solid/void balance, and open space relate to predominant pattern

### Building Relates to Existing Topography

☐ yes   ☒ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope to minimize height

### Consistent Architectural Concept

☒ yes   ☐ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Concept governs massing and height

### Scale and Proportion

☒ yes   ☐ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located

### Massing

☐ yes   ☐ n/a   ☒ no

*If "no" select from below and explain:*

- ☐ Larger masses broken into separate volumes
- ☒ Long, unbroken street walls avoided
- ☐ Visual impact of larger building minimized

The project features long, continuous segments of building walls facing Allen Avenue that are not broken up in terms of massing or detailing; this treatment is discouraged in the City's Comprehensive Design Guidelines. However, the commercial design guidelines are geared towards the more common types of commercial uses, such as office buildings and retail stores, and do not account for these more unique

circumstances. The building design and site planning is based on the proposed use as a stable and kennel where the elongated and rectangular building forms are common for these types of uses and will be consistent with similar buildings in the surrounding neighborhood.

### **Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The nearby residential buildings range from one to two stories in height and, with the exception of 1820 Riverside Drive located one block to the south, the equestrian-use related buildings are primarily one-story, with multiple buildings on-site. The proposed project fits within this neighborhood massing context.
- The project design is driven by the needs of the proposed use as a stable and kennel. As noted above, while the design guidelines discourage long, continuous segments of building walls along the street, for this project, the elongated rectangular buildings for the animals are appropriate and consistent with the use and the surrounding neighborhood.
- All of the proposed buildings will be one-story, and range in height from 14 feet to 20 feet, which is compatible to the surrounding neighborhood.
- The design incorporates building forms with varied roof heights that range from 14 to 20 feet, with cupolas appropriately incorporated into the design of the new buildings.

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### **Design and Detailing**

Are the following items satisfactory and compatible with the project site and surrounding area?

#### **Overall Design and Detailing**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

#### **Entryway**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Well integrated into design
- ☐ Location promotes pedestrian activity
- ☐ Design provides appropriate focal point

#### **Storefronts and Windows**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If "no" select from below and explain:*

- ☐ Maximize transparency at ground floor
- ☐ 12-15' floor-to-floor height at ground-floor is encouraged
- ☐ Coordinate design with overall style of building
- ☒ Use durable materials for windows, such as aluminum or steel
- ☐ Locate security gates/grilles inside commercial spaces, preferably set back from storefront

This project is proposing black vinyl windows with external grids. In the past, the Board has allowed some residential projects to feature colored vinyl windows based on a case-by-case basis. Staff recommends that the window material be revised to be of a higher quality, such as fiberglass or wood, though the Board can consider allowing the window material to remain vinyl, based on past determinations for some residential projects. The frame type (e.g., block frame, nail-on) and edge details for the new windows are not identified on the window schedules and details. A staff recommended condition of approval will require the window schedules to be revised to identify the window frame type and edge details, and vertical and horizontal window section details to be provided that illustrate the installation, recess, sill, and frame for the different window types, and external grids as applicable.

### **Awnings and Canopies**

☐ yes   ☒ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Integrate awnings and canopies into overall building design
- ☐ Avoid long treatments spanning multiple openings
- ☐ Back-lit awnings are not allowed

### **Lighting**

☐ yes   ☐ n/a   ☒ no

*If "no" select from below and explain:*

- ☒ Light fixtures are appropriate to the building design
- ☒ Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- ☒ Utilize shielded fixtures to avoid light spillover onto adjacent properties

The drawings do not identify exterior lighting. A staff recommended condition of approval will require submittal of a lighting plan to include exterior lighting details for the new building with fixtures that are consistent with the style.

### **Finish Materials and Color**

☐ yes   ☐ n/a   ☒ no

*If "no" select from below and explain:*

- ☐ Textures and colors reinforce design
- ☒ High-quality, durable materials used, especially facing the street
- ☐ Materials appropriately enhance articulation and façade hierarchies
- ☐ Wrap corners and terminate cladding appropriately

☒ Cladding is well detailed, especially at junctions between materials

☐ Foam trim, finished on site, is prohibited

As noted above, staff is recommending conditions of approval related to the window material and detailing. The drawings also identify new vinyl cupolas, where high-quality materials are encouraged by the design guidelines. As such, a staff recommended condition of approval will require this to be revised. Additionally, the drawings do not illustrate how the cladding will wrap the corners (e.g., mitered, corner board, etc.). Staff is recommending a condition of approval that corner details be provided.

### **Paving Materials**

☐ yes    ☐ n/a    ☒ no

*If "no" select from below and explain:*

☒ Decorative material at entries/driveways

☐ Permeable paving when possible

☐ Material and color related to design

As discussed in the site planning section, staff is recommending a condition of approval that the parking areas and pedestrian walkways be redesigned to include decorative paving materials with consideration given to permeable paving options to help reduce stormwater runoff.

### **Roof Forms**

☒ yes    ☐ n/a    ☐ no

*If "no" select from below and explain:*

☐ Configure roofline to provide visual interest and deemphasize mass

☐ Roof forms are consistent with overall design

☐ Continue roofs and parapets around building or terminate in logical manner

## **Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the finish materials reinforce the architectural concept of the new buildings and are compatible with the surrounding neighborhood.
- The exterior finish materials consist of horizontal wood siding for the stable, board and batten hardie panel siding for the kennel and support building, standing seam metal roofing. As detailed above, staff is recommending a condition of approval that the window material be revised from vinyl to a higher quality material.
- While the design of the stable differs from the other buildings, the materials are similar, with the buildings are tied together through the use of the same color palette of primarily off-white buildings, gray metal roofing, and black detailing (window trim, railings, gutters, fascia, wood posts, etc.).
- Walkways are proposed within the interior of the site that appropriately connect the new buildings, with the primary entrance to the site taken from Riverside Drive.

## **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

### **Conditions**

1. The applicant shall obtain approval of an Alley Vacation prior to the issuance of a building permit.
2. The window material shall be revised to a higher quality material such as fiberglass or wood with the window frame type identified in the schedule.
3. The window frame type and edge detail shall be identified on the window schedules with vertical and horizontal window section details provided for each window type that shows recess, sill, and frame, and external grids as applicable.
4. The parking areas and pedestrian walkways shall include decorative paving materials with consideration given to permeable paving options to help reduce stormwater runoff.
5. The applicant shall submit an exterior lighting proposal with fixtures that are consistent with the style of the development for review by staff prior to plan check submittal.
6. The applicant shall provide corner details that illustrate how the different cladding wraps the building corners.
7. The proposed vinyl cupolas shall be revised to a higher quality material such as wood or metal.

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### **Attachments**

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Interdepartmental Comments
6. Categorical Exemption Findings
7. City Council Motion for Appeal Case PAPP-000522-2022, dated March 7, 2023

*The staff report and exhibits are available online, Item 9a:*

<https://glendaleca.primegov.com/Portal/Meeting?meetingTemplateId=34470>

ADDRESS	1900 RIVERSIDE DRIVE, GLENDALE CA 91201
EXISTING PROPERTY TYPE:	STABLES
LEGAL DESCRIPTION:	TRACT # 9792 1/2 VAC ALLEY ON SW
APN :	562-5031-008
REGION / CLUSTER:	24 / 24632
BUILT:	1939-1940 1942
ZONING :	CE
GROSS LOT W/O VACATION:	39,985 SF
VACATION AREA:	<u>3,190 SF (EASEMENT NEXT TO CHANNEL)</u>
LOT AREA AFTER VACATION:	43,175 SF
EXIST BUILDING AREA:	536 SF + 9,104 SF + 1,422 SF + 3,224 SF = 14,286 SF
FAR ALLOWED:	NONE
FAR EXISTING:	14,286 SF / 39,985 SF = 0.357
LOT COVERAGE ALLOWED:	N/A (TABLE 30.15-B)
LOT COVERAGE EXISTING:	14,286 SF / 39,985 SF = 0.357 X 100% = 35.7%

## KEY NOTES

- |    |                              |    |                            |
|----|------------------------------|----|----------------------------|
| 1  | (E) CONCRETE SIDEWALK        | 12 | (E) DIRT-UNIMPROVED STREET |
| 2  | (E) METAL FENCE              | 13 | (E) PEDESTRIAN CURB CUT    |
| 3  | (E) CONCRETE CURB AND GUTTER | 14 | (E) LANDSCAPE              |
| 4  | (E) METAL GATE               | 15 | (E) CMU WALL               |
| 5  | (E) TRAFFIC LIGHT            | 16 | (E) DECOMPOSED GRANITE     |
| 6  | (E) WATER VAULT FS SERVICE   |    |                            |
| 7  | (E) TREE                     |    |                            |
| 8  | (E) CONCRETE APRON           |    |                            |
| 9  | (E) ASPHALT DRIVEWAY         |    |                            |
| 10 | (E) FENCE WOOD RAIL CORRAL   |    |                            |
| 11 | (E) PARKING STALLS           |    |                            |

EXISTING PARKING STALLS #

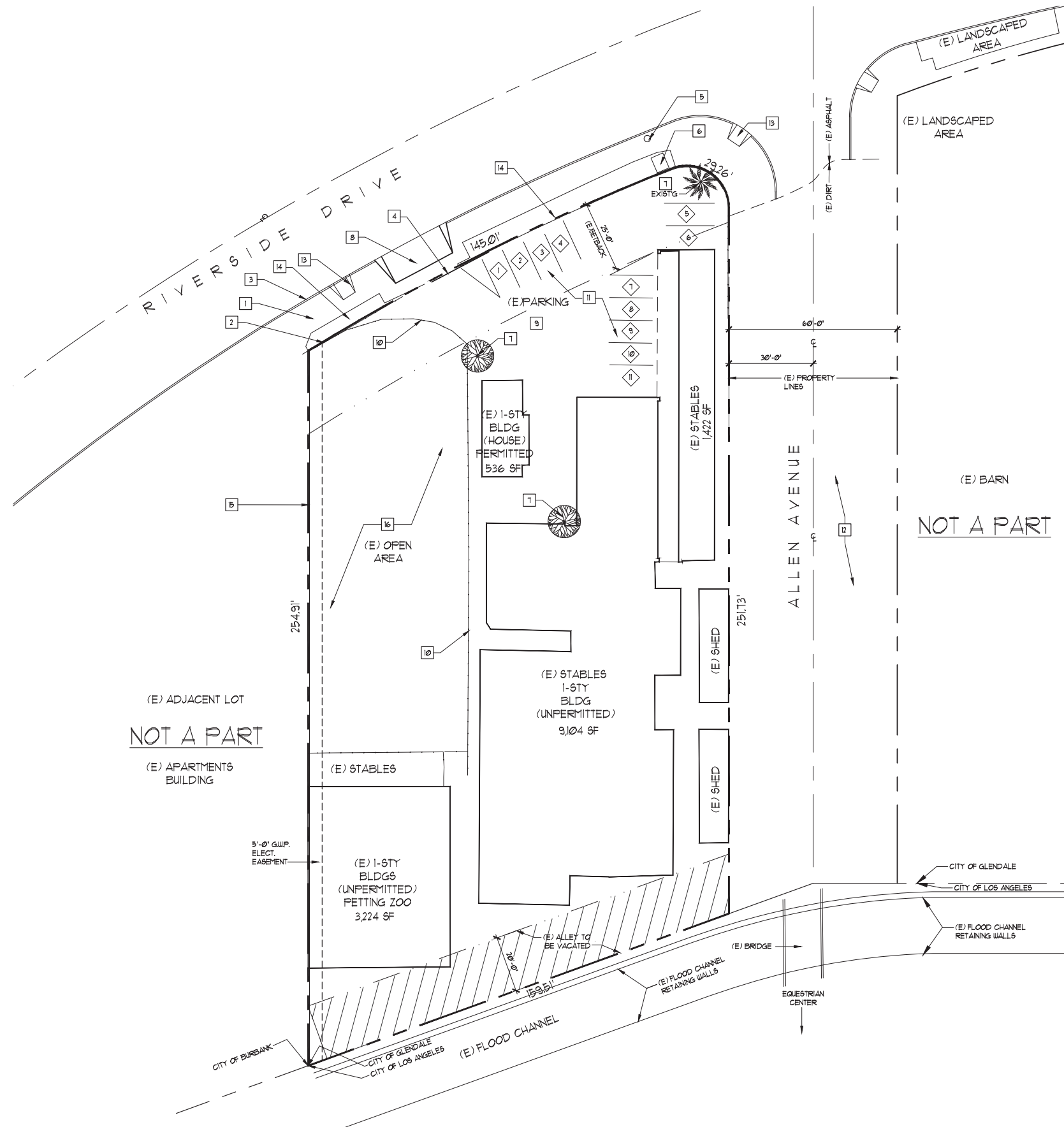
NOTE: INFORMATION ON THIS SHEET IS FOR  
REFERENCE ONLY. REFER TO SURVEY  
PREPARED BY / SEABOARD ENGINEERING  
CO. SURVEY DATED: 12/15/2021



DESIGN | ARCHITECTURE | PLANNING

**RED**  
Architectural Group

3436 N. VERDUGO ROAD, SUITE 200, GLENDALE, CA 91208  
P 818.957.7765 | [www.red-arch.com](http://www.red-arch.com)



DATE: 1/20/2023

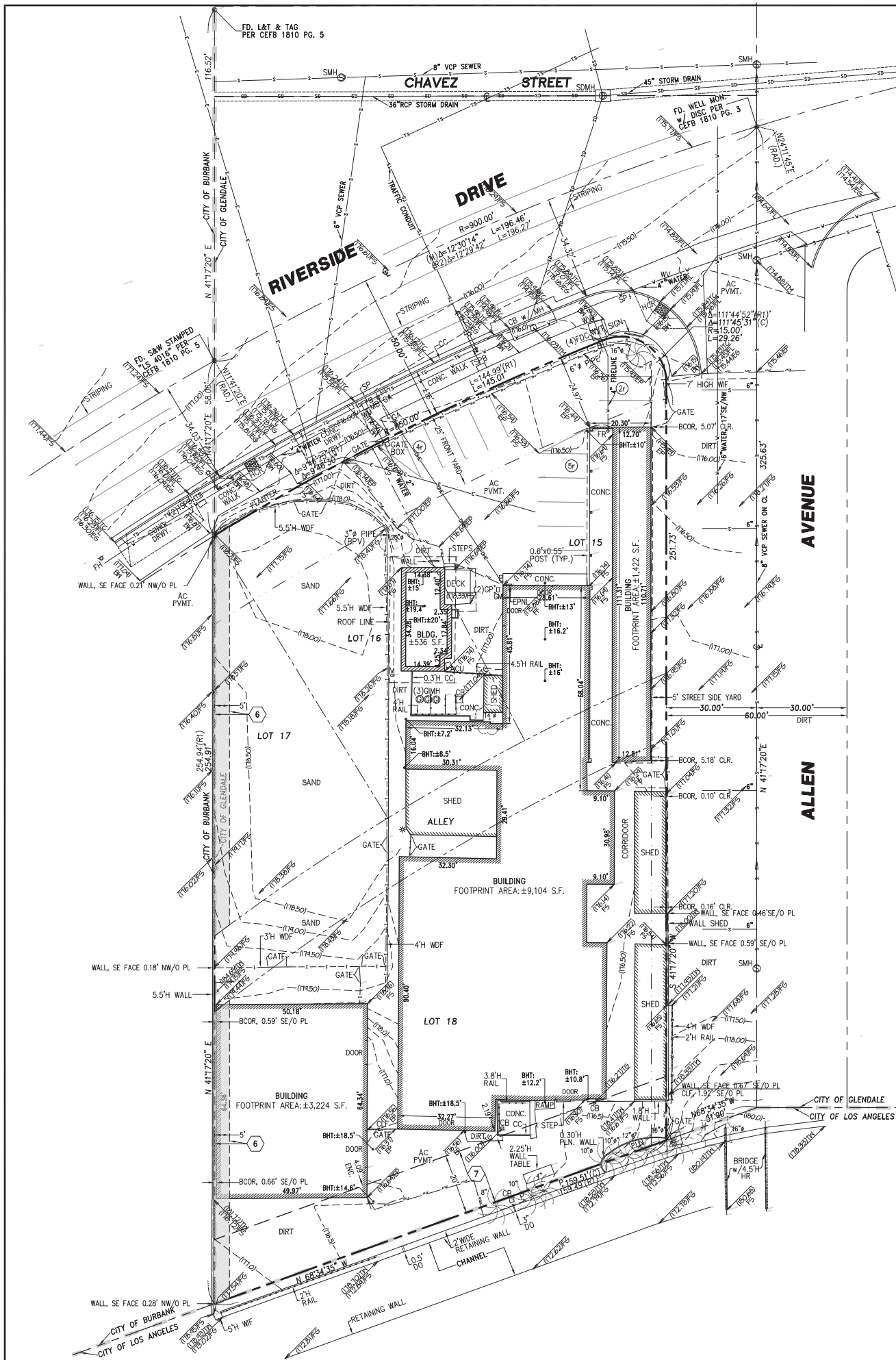
PROJECT NUMBER 558.2101.03

## KARAPEDIAN FAMILY RANCH

**1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201**

A-0



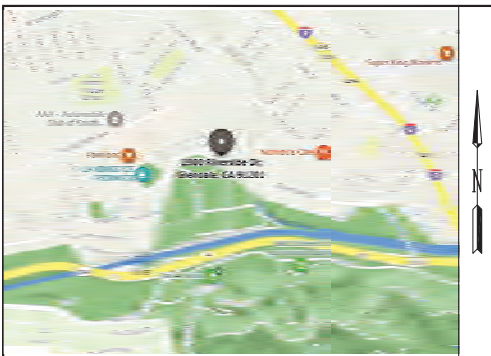
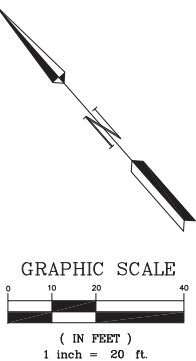


LEGEND:

- AC - ASPHALT CONCRETE  
BCOR - BUILDING CORNER  
BHT - BUILDING HEIGHT  
BPV - BACKFLOW PRESSION VALVE  
BW - BACK OF WALK  
CC - CONCRETE CURB  
CEFB - CITY ENGINEER'S FIELD BOOK  
CF - CURB FACE  
CFD - CURB FACE DRAIN  
C/L - CENTERLINE  
CLF - CHAIN LINK FENCE  
CLR - CLEAR/CLEARANCE  
CONC - CONCRETE  
ELEC - ELECTRIC  
EPNL - ELECTRIC PANEL  
EP - EDGE OF PAVEMENT  
FD - FOUND  
GR - GUARD RAIL  
H - HIGH  
HC - HANDICAP  
HCR - HANDICAP RAMP  
HR - HAND RAIL  
L.S. - LAND SURVEYOR  
L&T - LEAD & TACK  
MB - MAIL BOX  
MH - MANHOLE  
MON. - MONUMENT  
E/PL - PROPERTY LINE  
PLV - PLANTER  
P.V.M.T. - PAVEMENT  
(R1) - INDICATES RECORD PER TRACT NO. 9792, MB 138/59-60  
(R2) - INDICATES RECORD PER TRACT NO. 33726, MB 891/64-65  
RET. - RETAINING WALL  
R/W - RIGHT OF WAY  
S&W - SPIKE & WASHER  
TYP. - TYPICAL  
WIF - WROUGHT IRON FENCE  
WVT - WATER VAULT  
(J)H - BACK OF WALK  
(J)E - EDGE OF GUTTER  
(J)P - EDGE OF PAVEMENT  
(J)G - FINISH GRADE  
(J)L - FLOW LINE  
(J)S - FINISH SURFACE  
(J)W - INVERT  
(J)TC - TOP OF CURB  
(J)TP - TOP OF PAD  
(J)TM - TOP OF MANHOLE

SYMBOLS:

- SP - SIGN POST  
GP - GUARD POST  
P - POST  
FH - FIRE HYDRANT  
SL - STREET LIGHT  
AL - AREA LIGHT  
PP - POWER POLE  
GA - GUY ANCHOR  
GM - GAS METER  
WM - WATER METER  
FDC - FIRE DEPARTMENT CONNECTION  
FR - FIRE RISER  
V - VALVE  
WV - WATER VALVE  
GB - GRATE INLET  
DO - DRAIN OUTLET  
TSB - TRAFFIC SIGNAL PULL BOX  
GMH - GREASE INTERCEPTOR MANHOLE  
SMH - SEWER MANHOLE  
T - TREE  
PT - PALM TREE  
N - NUMBER OF MARKED PARKING STALLS  
ITEM NO. PER TITLE REPORT  
--- - PROPERTY LINE  
--- - CENTERLINE  
--- - LOT/PARCEL LINE  
--- - BUILDING LINE  
--- - WALL  
--- - CHAIN LINK FENCE  
--- - WOOD FENCE  
--- - WROUGHT IRON FENCE  
--- - GUARD RAIL  
--- - HAND RAIL  
--- - OVERHEAD ELECTRIC LINE  
--- - UNDERGROUND ELECTRIC LINE  
--- - UNDERGROUND GAS LINE  
--- - UNDERGROUND SEWER LINE  
--- - UNDERGROUND STORM DRAIN LINE  
--- - UNDERGROUND TRAFFIC CONDUIT  
--- - UNDERGROUND WATER DRAIN LINE



VICINITY MAP  
NOT TO SCALE

LEGAL DESCRIPTION:

THE REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOTS 15, 16, 17 AND 18 OF TRACT NO. 9792, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 138 PAGES 59 AND 60 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ALSO THE 20 FOOT WIDE ALLEU VACATED LYNN BETWEEN SAID LOTS.

LAND AREA:

GROSS AREA: 39,985 SQ. FT. OR 0.918 ACRES (FEE-TITLE BOUNDARY)  
NET AREA: 36,795 SQ. FT. OR 0.845 ACRES (EXCLUSIVE OF PUBLIC ROAD EASEMENT)

ASSESSOR'S PARCEL NUMBER:

A.P.N. 5625-031-008

BASIS OF BEARING:

THE BEARING NORTH 41°17'20" EAST OF THE CENTERLINE OF ALLEN AVENUE AS SHOWN ON TRACT NO. 33726, AS PER MAP FILED IN BOOK 891 PAGE 65, RECORDS OF LOS ANGELES COUNTY, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

REFERENCE DOCUMENT:

CHICAGO TITLE INSURANCE COMPANY'S PRELIMINARY TITLE REPORT TITLE NO. 112117093-JT BEARING AN EFFECTIVE DATE OF JULY 19, 2021.

EASEMENT SCHEDULE:

ITEM NO.	GRANTEE	PURPOSE	REFERENCE	REMARKS
6	CITY OF GLENDALE	DISTRIBUTION OF ELECTRICAL ENERGY	BOOK 7534 PAGE 227 REC. 6/18/1927, O.R.	SHOWN HEREON (5' WIDE)
7	CITY OF GLENDALE	R/W FOR PUBLIC ROAD, HIGHWAY & ALLEY	BOOK 16759 PAGE 309 REC. 7/28/1939, O.R.	SHOWN HEREON (20' WIDE)

ZONING:

THE PRESENT ZONING FOR THE SUBJECT PROPERTY IS "CE" (COMMERCIAL EQUESTRIAN SERVICES), PER ZONING MAP OF CITY OF GLENDALE, PLANNING DEPARTMENT.

DEVELOPMENT STANDARDS:

MINIMUM SITE SIZE:	N/A
RESIDENTIAL DENSITY MAXIMUM:	N/A
LOT COVERAGE (2):	N/A
MINIMUM SETBACKS REQUIRED (2):	
STREET FRONT:	25 FEET
STREET SIDE:	5 FEET
INTERIOR NOT ADJACENT TO RESIDENTIAL ZONES:	NONE
INTERIOR ADJACENT TO RESIDENTIAL ZONES:	NONE
MAXIMUM HEIGHT LIMIT (1)(2):	35 FEET
(1) FOR EXCEPTIONS TO HEIGHT LIMITS FOR WIRELESS TELECOMMUNICATIONS FACILITIES, SEE CHAPTER 30.48	
(2) FOR LOT COVERAGE, SETBACK, HEIGHT, AND LANDSCAPING REQUIREMENTS RELATED TO SOLAR ENERGY EQUIPMENT, SEE SECTION 30.30.050.	

FLOOD ZONE:

THE PROPERTY IS LOCATED IN FLOOD ZONE "X", DESCRIBED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER FEDERAL EMERGENCY MANAGEMENT AGENCY'S (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) NO. 06037C1345F, IN THE CITY OF GLENDALE, COMMUNITY NO. 065030 PANEL NO. 1345 SUFFIX F, BEARING AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

SURVEYOR'S CERTIFICATE:

TO RENE KARAPEDIAN  
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO "CERTIFY" (AS DEFINED IN AND LIMITED BY SECTION 6735.5 & SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA)\*\* THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6, 7(a), 7(b)(1), 7(c), 8, 9, 11, 14, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 30, 2021.

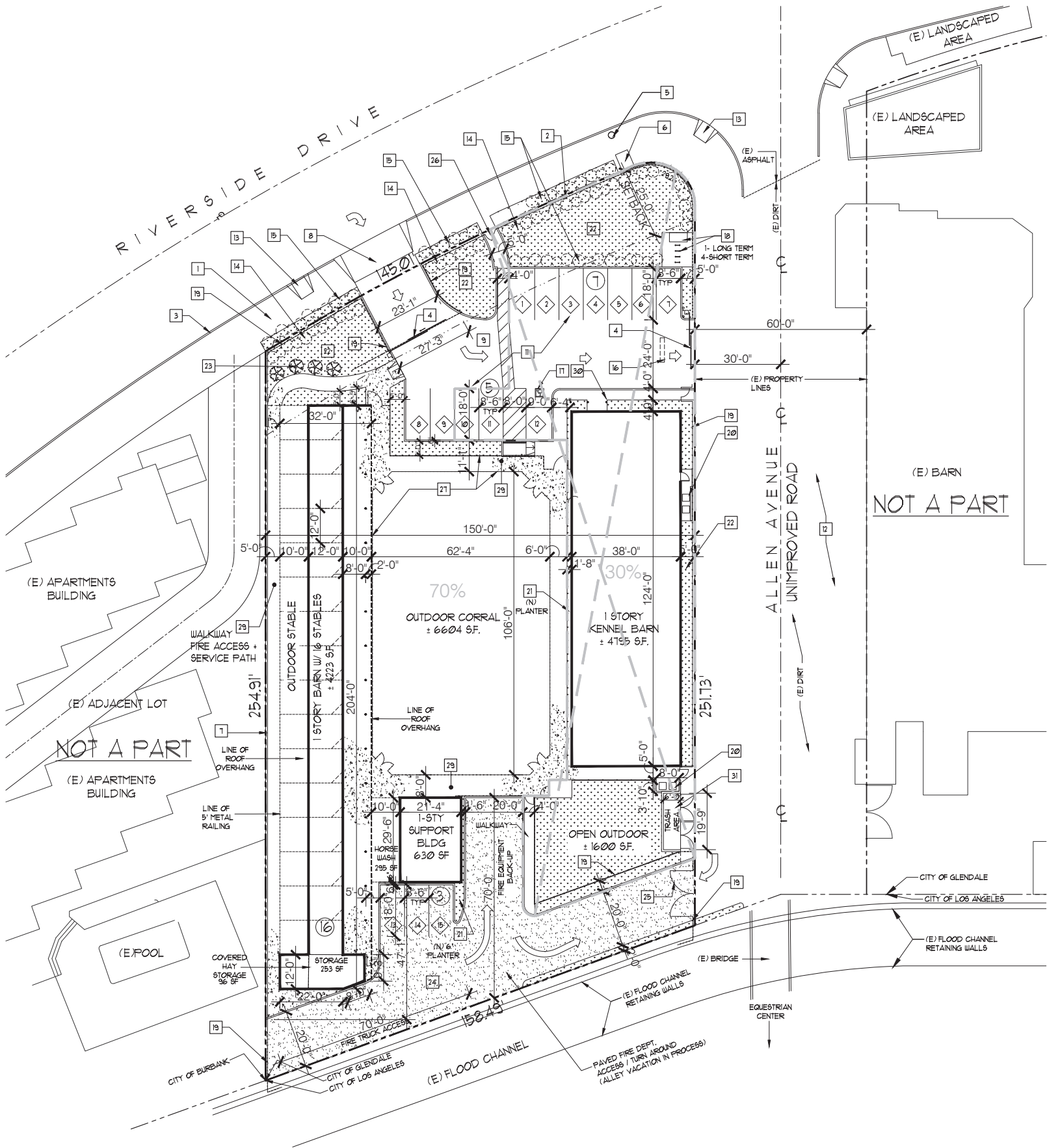
DATE OF PLAT OR MAP: 12/15/2021

BY: MARITES A. DIZON PLS 9246



\*\* 6735.5 THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A REGISTERED PROFESSIONAL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.  
\*\* 8770.6 THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

TITLE <b>A.L.T.A./N.S.P.S. LAND TITLE SURVEY and TOPOGRAPHIC SURVEY</b> 1900 RIVERSIDE DRIVE, GLENDALE, CA 91201			
CLIENT RENE KARAPEDIAN			
SCALE 1"=20'	SEABOARD ENGINEERING CO. 1415 E. COLORADO STREET, STE 205 GLENDALE, CALIFORNIA 91205 TEL. (310)277-7337 (818)550-0337 FAX (818)550-0339 SEABOARD@SEABOARDENGINEERING.COM BY: <i>Marites A. Dizon</i> PLS 9246	JOB NO.	21-75
SURVEY BY N.A.		DATE	12/15/2021
PREPARED BY E.P.		SHEET	1
CHECKED BY M.D.		OF 1 SHEETS	



PROPOSED PROJECT SUMMARY:

ADDRESS: 1900 RIVERSIDE DRIVE, GLENDALE CA 91201  
EXISTING PROPERTY TYPE: STABLES  
LEGAL DESCRIPTION: TRACT # 9792 1/2 VAC ALLEY ON SW  
APN: 562-5031-008  
TRACT NO: 9792  
REGION / CLUSTER: 24 / 24632  
BUILT: 1939-1940 1942  
ZONING: CE  
FIRE HAZARD: N/A  
HILLSIDE: N/A

GROSS LOT W/O VACATION: 39,985 SF  
VACATION AREA (ALLEY): 3,190 SF (EASEMENT NEXT TO CHANNEL)  
LOT AREA AFTER VACATION: 44,682 SF

TOTAL BLDG AREA: 9997 SF  
CALCULATED FAR: 9,997 / 44,682 = 0.22  
LOT COVERAGE REQUIRED: N/A (TABLE 30.15-B)  
LOT COVERAGE CALCULATED: 9,997 / 44,682 = 0.22 X 100% = 22%

STABLES BARN (UNDER ROOF): 4223 SF

STORAGE: 253 SF

COVERED HAY STORAGE: 96 SF

OPEN HORSE WASH: 295 SF

OUTDOOR CORRAL: 6604 SF

KENNEL BARN: 4795 SF

OPEN OUTDOOR AREA: 1600 SF

SUPPORT BUILDING: 630 SF

LANDSCAPE: 10%  
PARKING REQUIRED:  
STABLES: 1 SPACE PER 4 HORSES (16 HORSES) 4  
KENNEL: 2 SPACES PER 1,000 (4,750) 10  
SUPPORT BLDG: 2 SPACE PER 1,000 (630) 2  
TOTAL: 16 STALLS

PARKING REQUIRED: 16  
PARKING PROVIDED: 16 (1 HC INCLUDED) + 1 STALL (FOR 5 BIKES)

BIKE PARKING REQ: 5  
BIKE PARKING PROVIDED: 5 (4 SHORT TERM, 1 - LONG TERM)

REQUIRED LANDSCAPE: CE- NOT APPLICABLE (TABLE 30.31-A)  
PROVIDED LANDSCAPE: 4,800 SF

EQUESTRIAN USE AREA: 70%  
KENNEL USE AREA: 30%

NOTE: INFORMATION ON THIS SHEET IS FOR  
REFERENCE ONLY PROVIDED AND  
PREPARED BY: SEABOARD ENGINEERING  
CO. SURVEY DATED: 12/15/2021

KEY NOTES

- |   |   |
|---|---|
| 1 (E) CONCRETE SIDEWALK   | 17 (N) HC PARKING   |
| 2 (E) METAL FENCE TO REMAIN   | 18 (N) BIKE RACKS   |
| 3 (E) CONCRETE CURB AND GUTTER  | 19 (N) DECORATIVE METAL FENCE TO MATCH EXISTING PROFILE AND CONFIGURATION |
| 4 (N) MOTORIZED SLIDING METAL GATE TO MATCH (E) FENCING PROFILE AND CONFIGURATION | 20 (N) CONDENSING UNITS   |
| 5 (E) TRAFFIC LIGHT   | 21 (N) PLANTER  |
| 6 (E) WATER VAULT (FS SERVICE)  | 22 (N) LANDSCAPE  |
| 7 (E) CMU WALL @ ADJACENT PROPERTY  | 23 (N) TREE   |
| 8 (E) CONCRETE APRON  | 24 (N) STAMPED CONCRETE PAVING  |
| 9 (E) ASPHALT DRIVEWAY  | 25 (N) MOTORIZED SWING GATE TO MATCH EXISTING PROFILE AND CONFIGURATION   |
| 10 (E) FENCE  | 26 (N) ENTRY WALKWAY  |
| 11 (E) PARKING STALLS   | 27 (N) 5' HIGH 3-RAIL WOOD FENCE & POSTS                                  |
| 12 (E) DIRT   | 28 (N) DECOMPOSED GRANITE   |
| 13 (E) PEDESTRIAN CURB CUT  | 29 (N) CONCRETE WALKWAY   |
| 14 (N) HIGH LANDSCAPE   | 30 (N) POSTS AT ENTRY   |
| 15 (N) LOW LANDSCAPE  | 31 (N) TRASH ENCLOSURE (SEE ELEV. @A-42)                                  |
| 16 (N) EXIT ONLY LOOP   |   |

LEGENDS

1 PROPOSED PARKING STALLS #

PROPOSED SITE PLAN  
SCALE: 1" = 20' - 0"



DESIGN | ARCHITECTURE | PLANNING

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DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

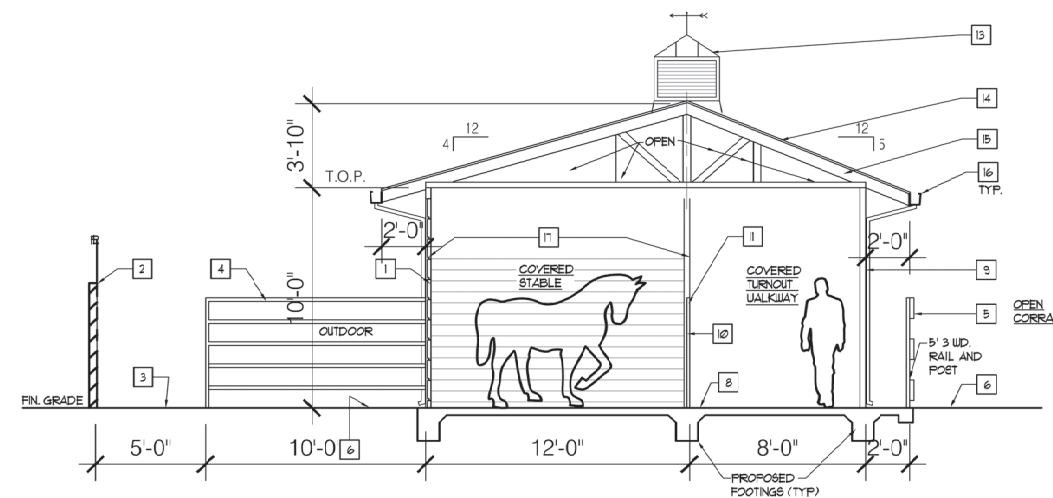
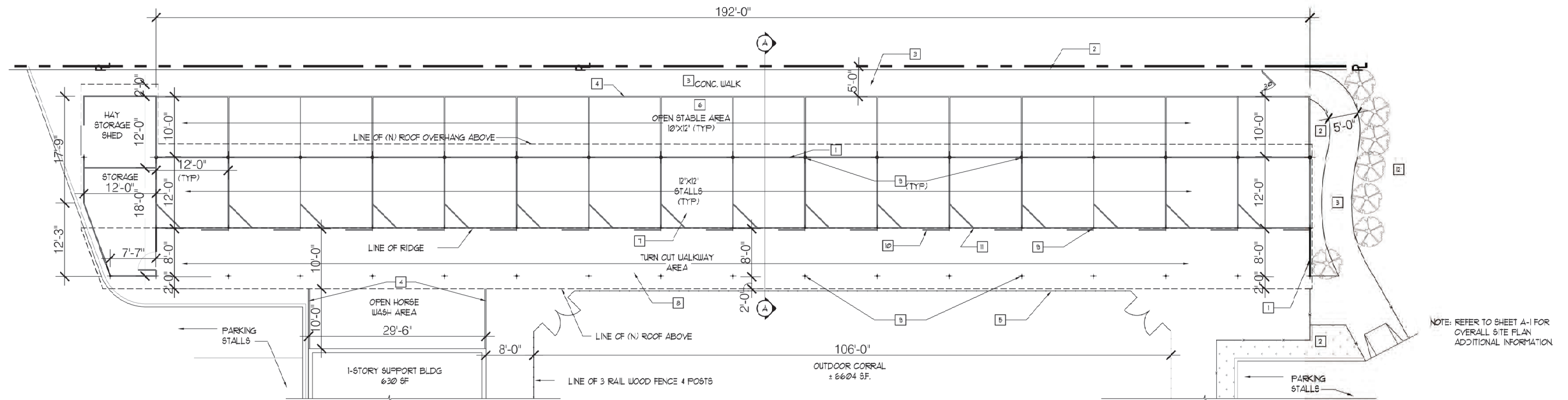
KARAPEDIAN FAMILY RANCH

1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201

A-1







- ## KEY NOTES

- |    |  |
|----|--|
| 1  | (N) FULL HEIGHT STABLE WALL BY CASTLE BROOK                |
| 2  | (E) 6' H. CMU WALL ADJ. PROPERTY                           |
| 3  | (N) CONC. WALK   |
| 4  | (N) 5' HIGH METAL RAIL STABLE FENCE                        |
| 5  | (N) 5' HIGH (3) RAIL WOOD CORRAL FENCE                     |
| 6  | (N) DECOMPOSED GRANITE                                     |
| 7  | (N) 12'x12' PRE-FAB STABLE STALLS<br>BY CASTLEBROOK BARN\$ |
| 8  | (N) CONCRETE SLAB  |
| 9  | (N) ROOF OVERHANG STEEL POSTS (TYP) BY CASTLEBROOK         |
| 10 | (N) SLIDING GATE (TYP) BY CASTLEBROOK                      |
| 11 | (N) LOW HEIGHT WALL BY CASTLEBROOK                         |
| 12 | (N) LANDSCAPE  |
| 13 | (N) 3' X 3' METAL CUPOLA                                   |
| 14 | (N) METAL STANDING SEAM ROOF BY CASTLEBROOK                |
| 15 | (N) METAL TRUSS BY CASTLEBROOK                             |
| 16 | (N) GALV. G.I. GUTTER AND DOWNSPOUT - PAINT FINISHED       |
| 17 | (N) STEEL FRAME W/ WOOD PANEL SIDING<br>BY CASTLEBROOK     |

DESIGN | ARCHITECTURE | PLANNING

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## DESIGN REVIEW

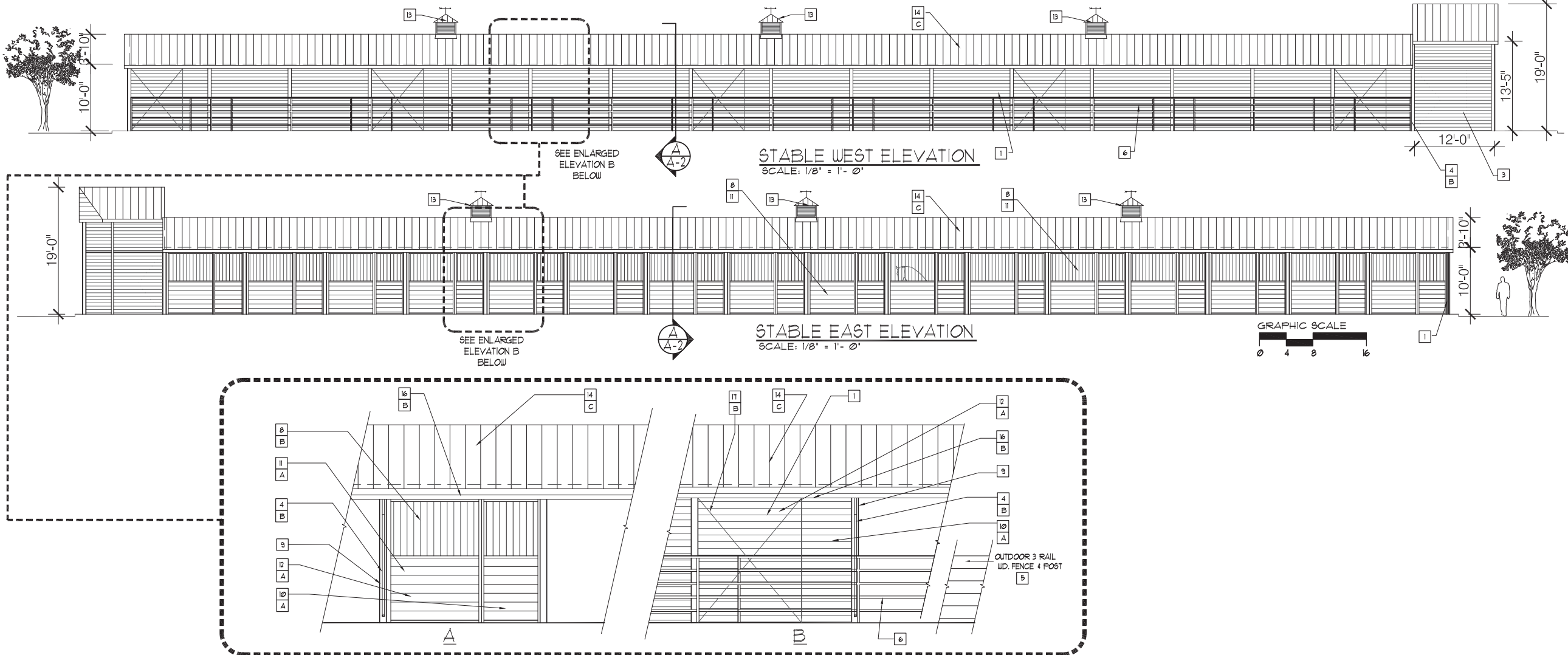
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## KARAPEDIAN FAMILY RANCH

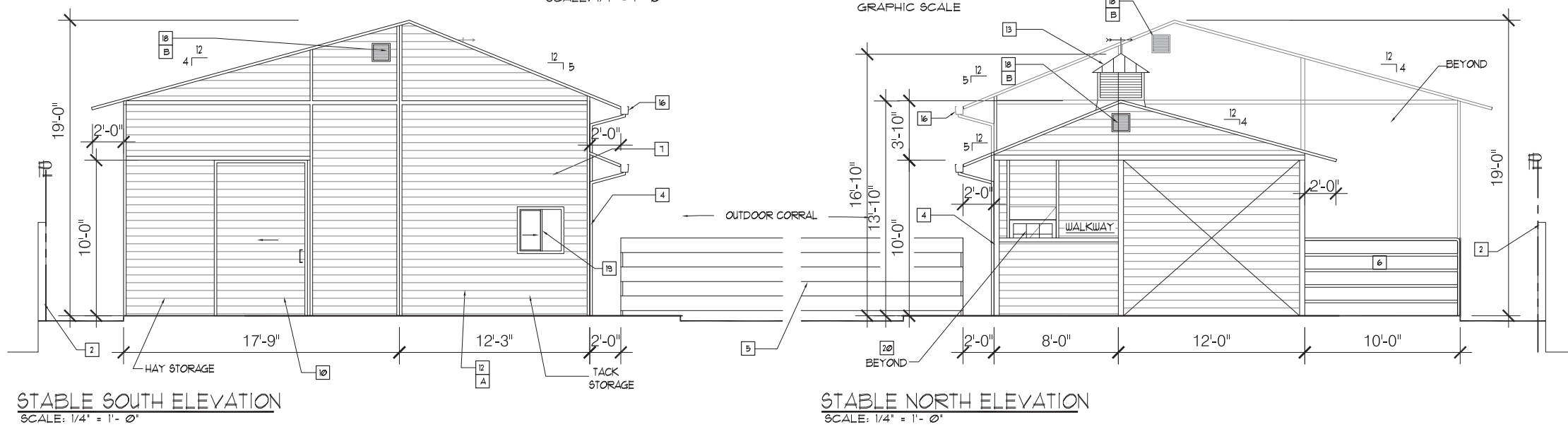
**1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201**

A-2



- KEY NOTES**
- 1 (N) FULL HEIGHT STABLE WALL BEYOND
  - 2 (E) 6' H. CMU WALL ADJ. PROPERTY
  - 3 (N) COVERED HAY STORAGE
  - 4 (N) DOWN SPOUT
  - 5 (N) 5' HIGH (3) RAIL WOOD FENCE
  - 6 (N) 5' HIGH FENCE METAL STABLE FENCE
  - 7 (N) 12'x12' PRE-FAB STABLE STALLS BY CASTLEBROOK BARN5
  - 8 (N) OPEN RAILING ABOVE WALL TO CEILING
  - 9 (N) STEEL POSTS (TYP) BY CASTLEBROOK
  - 10 (N) STEEL FRAME WOOD SLIDING GATE (TYP) BY CASTLEBROOK
  - 11 (N) LOW HEIGHT WALL
  - 12 (N) TREATED WOOD BRACED 4 BRACKET
  - 13 (N) 3' X 3' METAL CUPOLA
  - 14 (N) METAL STANDING SEAM ROOF BY CASTLEBROOK
  - 15 (N) METAL TRUSS BY CASTLEBROOK
  - 16 (N) GALV. G.I. GUTTER, PAINTED
  - 17 (N) STEEL CROSS BRACE
  - 18 (N) VENT
  - 19 (N) 3'x3' WINDOW BY CASTLEBROOK
  - 20 (N) 3' X 1' WOOD DOOR BY CASTLEBROOK

- COLOR LEGEND**
- A OFF-WHITE
  - B BLACK
  - C GRAY



**STABLE ELEVATIONS**  
DESIGN REVIEW

DATE: 1/20/2023  
PROJECT NUMBER 558.2101.03

**KARAPEDIAN FAMILY RANCH**  
**1900 RIVERSIDE DRIVE**  
**GLENDALE, CA 91201**

A-2.1

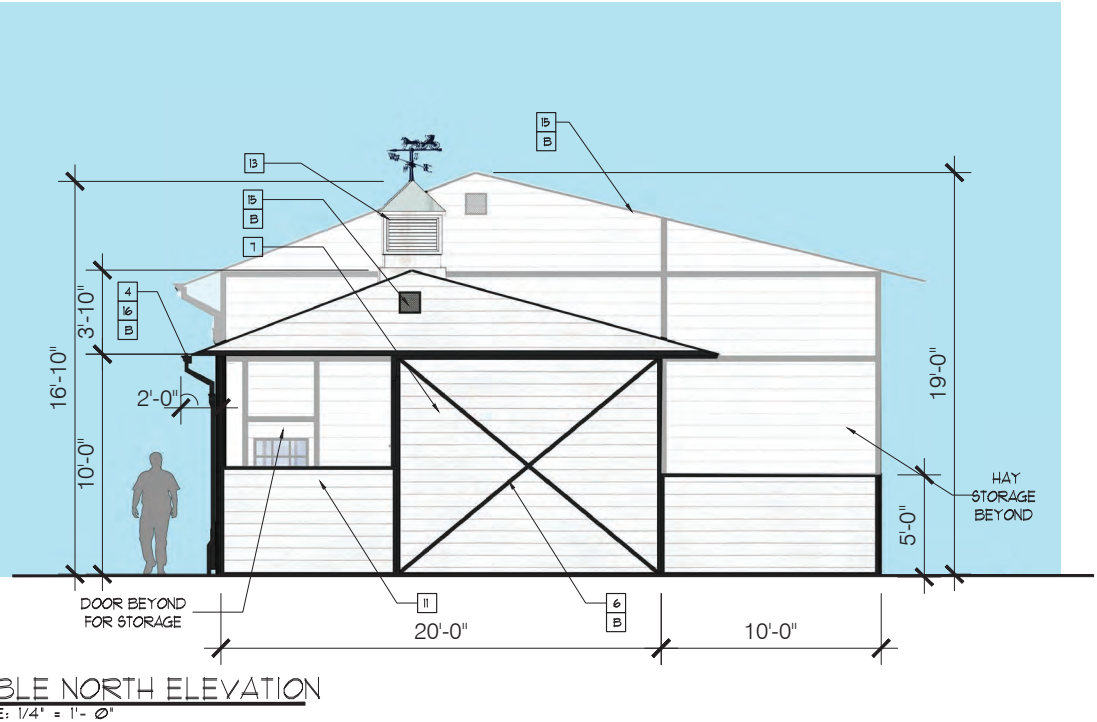
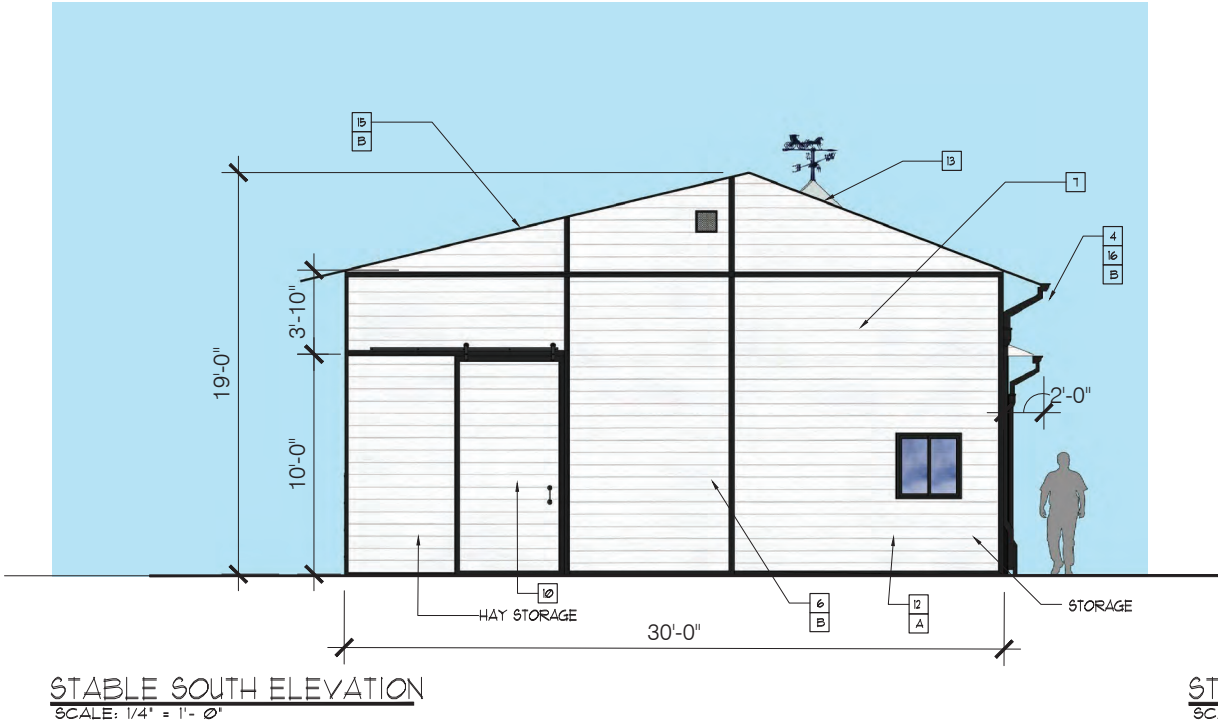
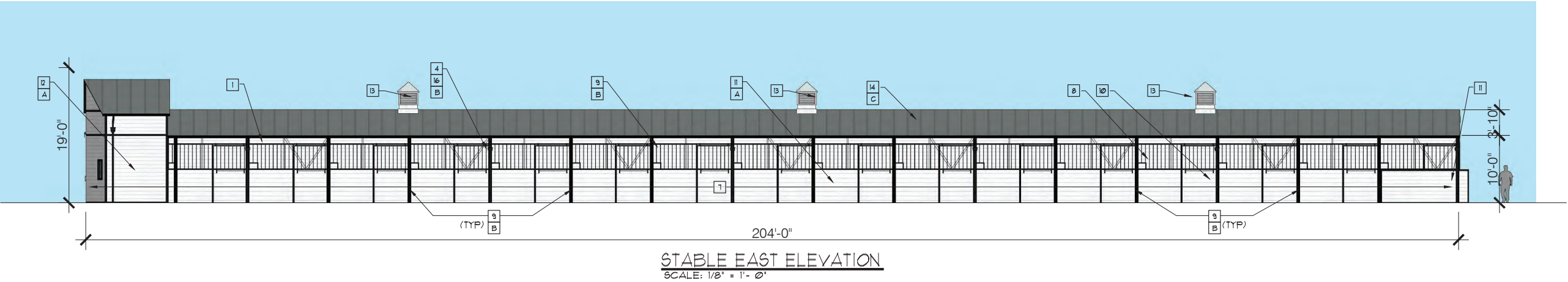
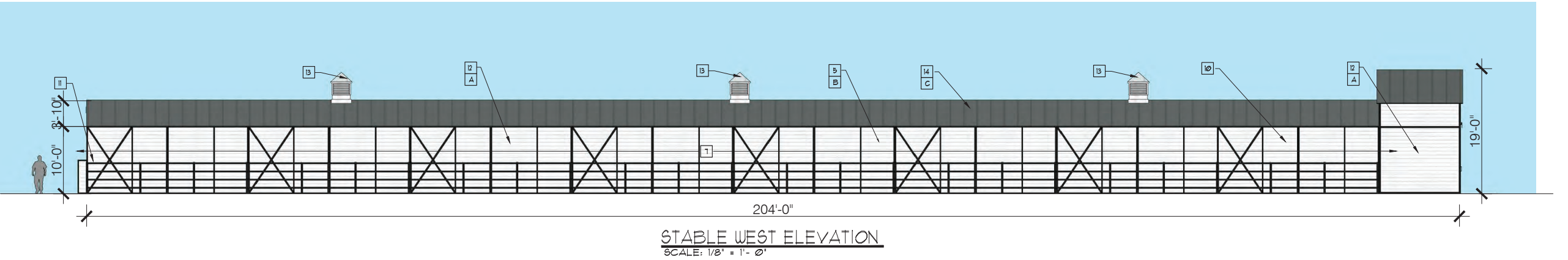


KEY NOTES

- 1 (N) FULL HEIGHT WALL
- 2 (E) 6' H. CMU WALL ADJ. PROPERTY
- 3 (N) HAY STORAGE
- 4 (N) DOWN SPOUT
- 5 (N) 5' HIGH (3) RAIL WOOD FENCE
- 6 (N) STEEL CROSS BRACE
- 7 (N) 12'X12' PRE-FAB STABLE STALLS BY CASTLEBROOK BARN
- 8 (N) OPEN RAILING ABOVE WALL TO CEILING
- 9 (N) STEEL POSTS (TYP)
- 10 (N) STEEL FRAME WOOD SLIDING GATE (TYF
- 11 (N) LOW HEIGHT WALL
- 12 (N) TREATED WOOD BRACED 4 BRACKET
- 13 (N) 3' X 3' METAL CUPOLA
- 14 (N) METAL STANDING SEAM ROOF
- 15 (N) VENT
- 16 (N) GALV. G.I. GUTTER, PAINTED

COLOR LEGEND

- A OFF-WHITE
- B BLACK
- C GRAY



STABLE COLORED ELEVATIONS

DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

KARAPEDIAN FAMILY RANCH

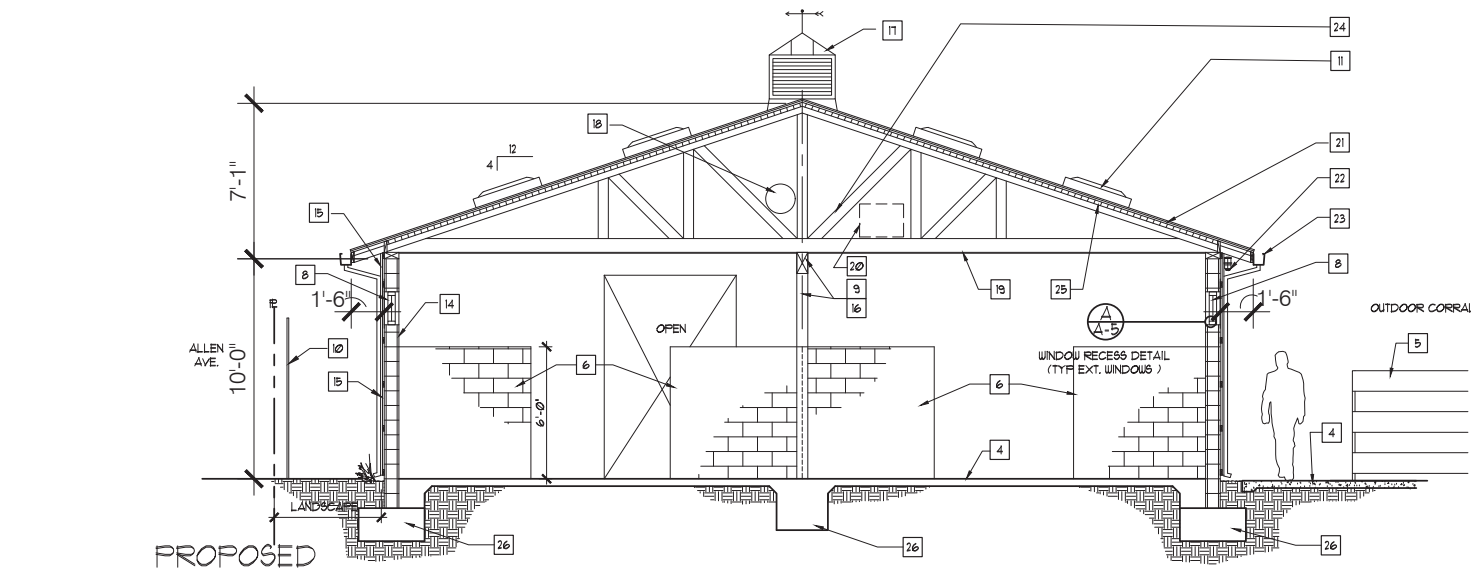
1900 RIVERSIDE DRIVE  
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A-2.2

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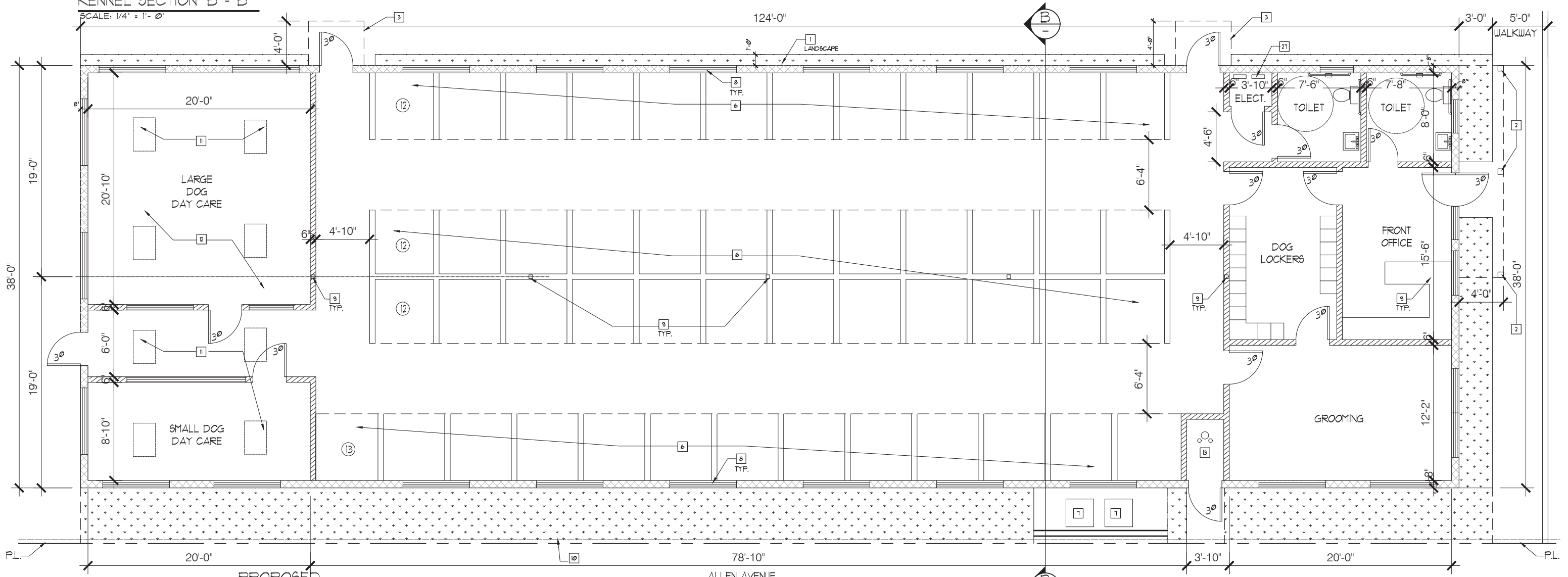


KEY NOTES

- |  |   |
|--|---|
| 1 (N) LANDSCAPE  | 16 (N) BEAM                               |
| 2 (E) 6"x6" WOOD POSTS   | 17 (N) 3' X 3' METAL CUPOLA               |
| 3 (N) 4' ROOF OVERHANG   | 18 (N) EXHAUST DUCT                       |
| 4 (N) CONC. SLAB   | 19 (N) DENS GLASS GYPSUM, PAINTED         |
| 5 (N) 5' HIGH (3) WOOD FENCE RAIL  | 20 (N) FAN COIL UNIT                      |
| 6 (N) 6"x6" O.C. PENS (TYP)  | 21 (N) 3/4" HIGH STANDING SEAM METAL ROOF |
| 7 (N) CONDENSING UNITS ABOVE CEILING                                       | 22 (N) EXTERIOR LED LIGHT FIXTURE         |
| 8 (N) FIXED HIGH WINDOW DOUBLE PANE GLASS, LOW E (TYP) (SEE DETAIL # A-42) | 23 (N) GALV. G.I. GUTTER, PAINTED         |
| 9 (N) PROPOSED COLUMNS (TYP)   | 24 (N) PRE-FAB 'GANG NAILED' WOOD TRUSS   |
| 10 (N) 1" METAL FENCE TO MATCH EXISTING PROFILE AND CONFIGURATION          | 25 (N) 2" RIGID INSULATION                |
| 11 (N) 2'X 4' FIXED WHITE ACRYLIC DOME SKYLIGHT ABOVE                      | 26 (N) PROPOSED FOOTINGS                  |
| 12 (N) VAULTED CEILING   | 27 (N) ELECTRIC PANEL                     |
| 13 (N) FIRE RISER SHUT-OFF VALVE   |   |
| 14 (N) PAINTED 8' SOLID GROUTED CMU (TYP)                                  |   |
| 15 (N) HARDIEWOOD PLANK BOARD & BATTEN WALL FINISH OVER CMU WALL           |   |

LEGEND

- |  |   |
|--|---|
|  | 8' SOLID GROUTED CMU EXTERIOR WALL, PAINTED         |
|  | 6' SOLID GROUTED CMU INTERIOR WALL, PAINTED         |
|  | 6' SOLID GROUTED 6' HIGH CMU INTERIOR WALL, PAINTED |



PROPOSED  
KENNEL GROUND PLAN  
SCALE: 1/4" = 1'-0"



DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

KARAPEDIAN FAMILY RANCH

1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201

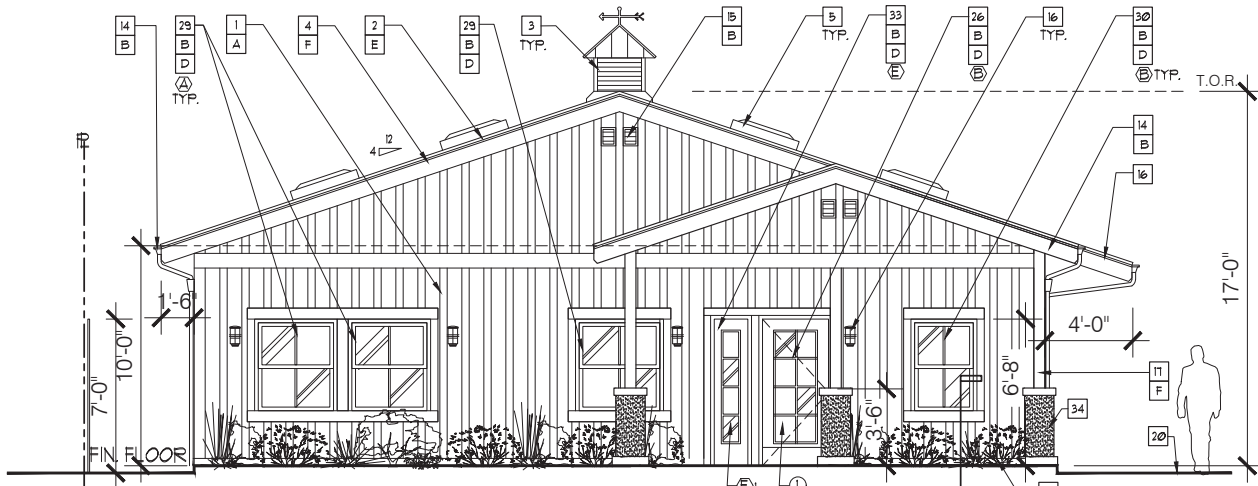
A-3

DESIGN | ARCHITECTURE | PLANNING

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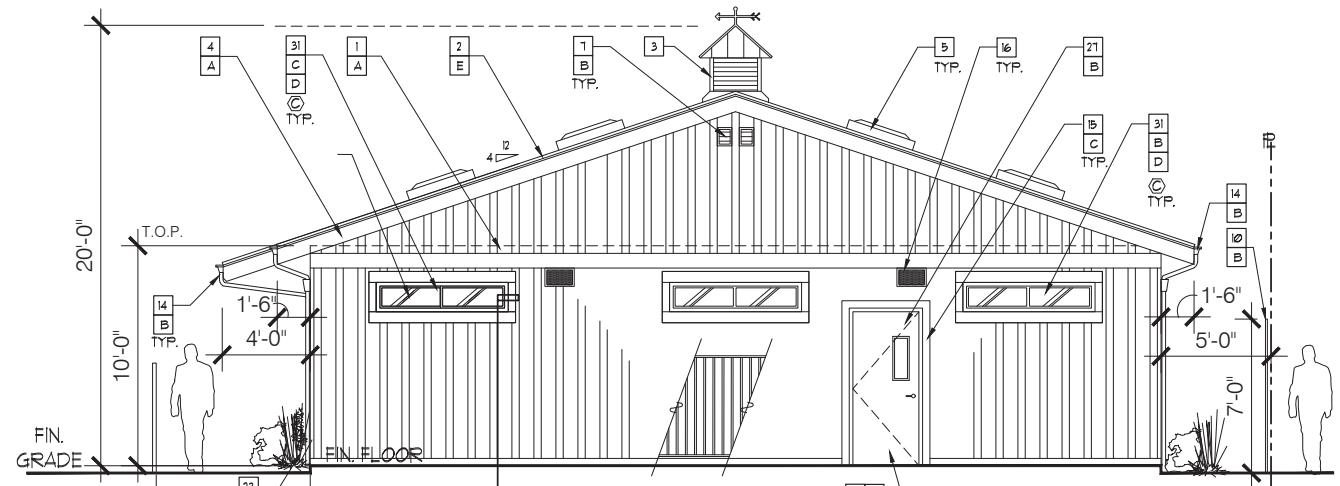
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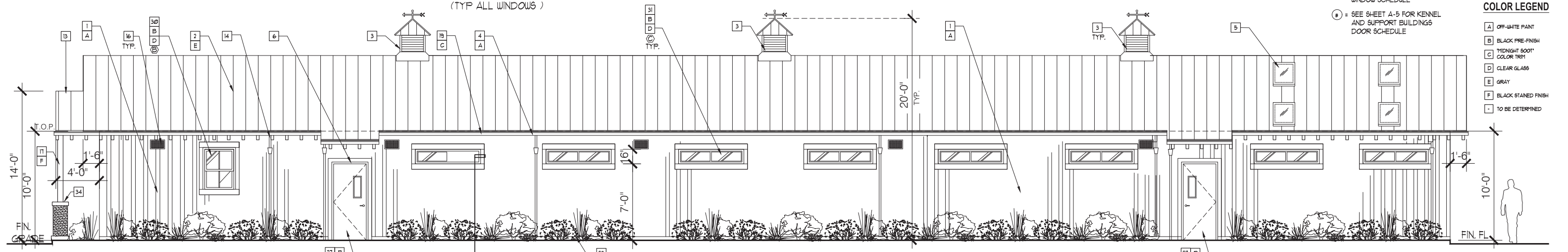


NORTH ELEVATION  
SCALE: 1/4" = 1'- 0"

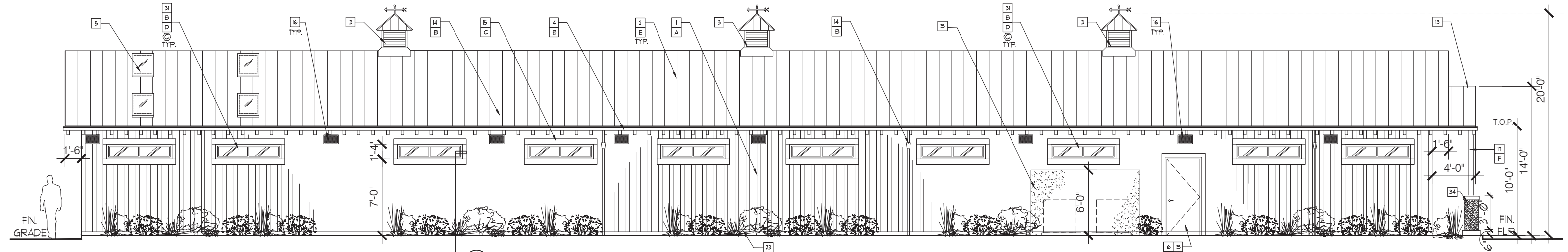
WINDOW RECESS DETAIL  
(TYP ALL WINDOWS)



SOUTH ELEVATION  
SCALE: 1/4" = 1'- 0"



WEST ELEVATION  
SCALE: 1/4" = 1'- 0"



EAST ELEVATION  
SCALE: 1/4" = 1'- 0"

KEYNOTES

- |   |  |
|---|--|
| 1 HARDWOOD PLANKS BOARD + BATTEN<br>FINISH OVER CHU | 18 N/A   |
| 2 3/4" STANDING SEAM METAL ROOF                     | 19 6" CONC. CURB   |
| 3 3' X 3' METAL CURPOLA                             | 20 WHEEL STOP  |
| 4 WOOD FASCIA                                       | 21 5' HIGH METAL (B) RAIL STABLE FENCE   |
| 5 2' X 4' FIXED ACRYLIC WHITE SKYLIGHT              | 22 EXTERIOR CEMENT PLASTER WITH HARD<br>TROUCEL SMOOTH FINISH OVER<br>CHU WALL PAINTED.  |
| 6 EXTERIOR METAL DOOR                               | 23 LANDSCAPE   |
| 7 VENT  | 24 FIN. FLOOR  |
| 8 VINYL WINDOW                                      | 25 CONC. SLAB  |
| 9 FIXED WINDOW                                      | 26 36" X 80" 8-LITE DOOR   |
| 10 FIN. GRADE                                       | 27 36" X 80" HOLLOW METAL DOOR WITH<br>VISION PANEL                                      |
| 11 ROOF OVERHANG                                    | 28 36" X 80" 4-LITE DOOR   |
| 12 G.I. DOWNSPOUT + LEADER, PAINTED                 | 29 36" X 42" DOUBLE HUNG VINYL WINDOW  |
| 13 4" ROOF OVERHANG                                 | 30 30" X 42" DOUBLE HUNG VINYL WINDOW  |
| 14 1" WIDE COLUMN                                   | 31 12" X 18" VINYL FIXED WINDOW  |
| 15 WOOD TRIM  | 32 32" X 18" FIXED VINYL WINDOW  |
| 16 EXTERIOR LED LIGHT FIXTURE                       | 33 28" X 80" FIXED 8-LITE VINYL WINDOW   |
| 17 6"x6" POSTS                                      | 34 16" SQ. X 42" HIGH COL. PEDESTAL<br>(PLASTERED + PAINTED)<br>ON 6" HIGH BASE + 4" CAP |

⊙ = SEE SHEET A-5 FOR KENNEL  
AND SUPPORT BUILDINGS  
WINDOW SCHEDULE

⊙ = SEE SHEET A-5 FOR KENNEL  
AND SUPPORT BUILDINGS  
DOOR SCHEDULE

COLOR LEGEND

- |   |                             |
|---|-----------------------------|
| A | OFF-WHITE PAINT             |
| B | BLACK PRE-FINISH            |
| C | MIDNIGHT BOO™<br>COLOR TRIM |
| D | CLEAR GLASS                 |
| E | GRAY                        |
| F | BLACK STAINED FINISH        |
| - | TO BE DETERMINED            |

KENNEL ELEVATIONS  
DESIGN REVIEW

DATE: 1/20/23  
PROJECT NUMBER 558.2101.03

KARAPEDIAN FAMILY RANCH  
1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201

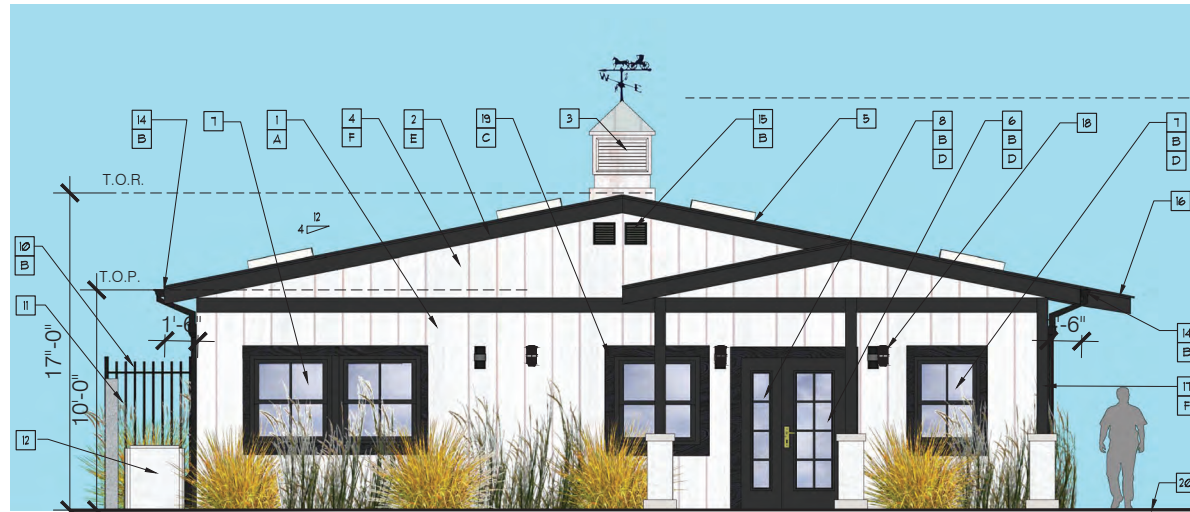
A-3.1

DESIGN | ARCHITECTURE | PLANNING



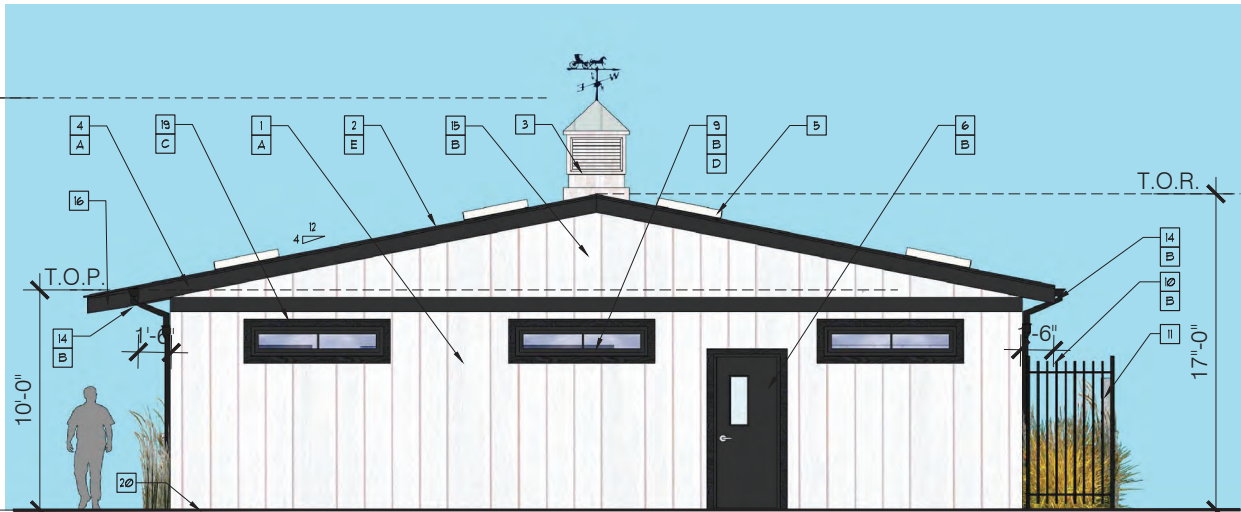
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NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

- KEYNOTES**
- |  |  |
|--|--|
| 1 HARDIE WOOD BOARD AND BATTEN FINISH OVER CMU | 11 CONCRETE WALL BARRIER   |
| 2 3" STANDING SEAM METAL ROOF                  | 12 AC. UNIT  |
| 3 3' X 3' METAL CUPOLA                         | 13 18" ROOF OVERHANG   |
| 4 WOOD FASCIA                                  | 14 G.I. DOWNSPOUT & LEADER   |
| 5 2'X4' FIXED SKYLIGHT ACRYLIC WHITE           | 15 VENT  |
| 6 EXTERIOR DOOR                                | 16 4' ROOF OVERHANG  |
| 7 DOUBLE HUNG WINDOW                           | 17 6X6 POST W/ 16" SQ. X 42" HIGH COL. PEDESTAL (PLASTERED & PAINTED) ON 6" HIGH BASE & 4" STONE CAP |
| 8 SIDELIGHT WINDOW                             | 18 WALL SCONCE LIGHT FIXTURE (TYP)   |
| 9 FIXED WINDOW                                 | 19 HARDIE WOOD TRIM  |
| 10 DECORATIVE METAL FENCE                      | 20 FIN. GRADE  |

**COLOR LEGEND**

- |   |  |
|---|--|
| A | OFF-WHITE PAINT FINISH                           |
| B | BLACK COLOR PRE-FINISH                           |
| C | BLACK PRE-FINISH "MIDNIGHT SOOT" BY JAMES HARDIE |
| D | CLEAR GLASS                                      |
| E | GRAY   |
| F | BLACK STAINED FINISH                             |



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



**KENNEL ELEVATIONS**

DESIGN REVIEW

DATE: 1/20/23

PROJECT NUMBER 558.2101.03

**KARAPEDIAN FAMILY RANCH**

**1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201**

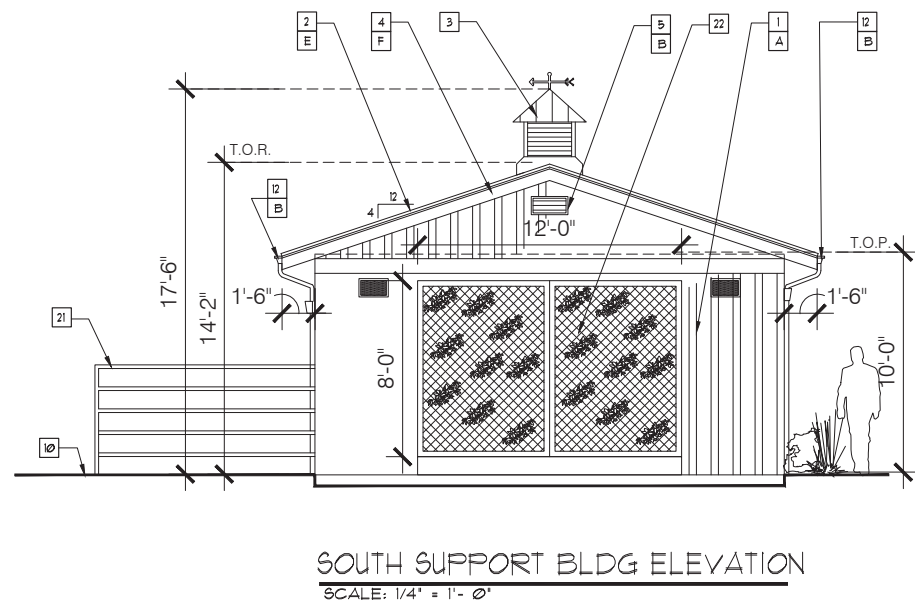
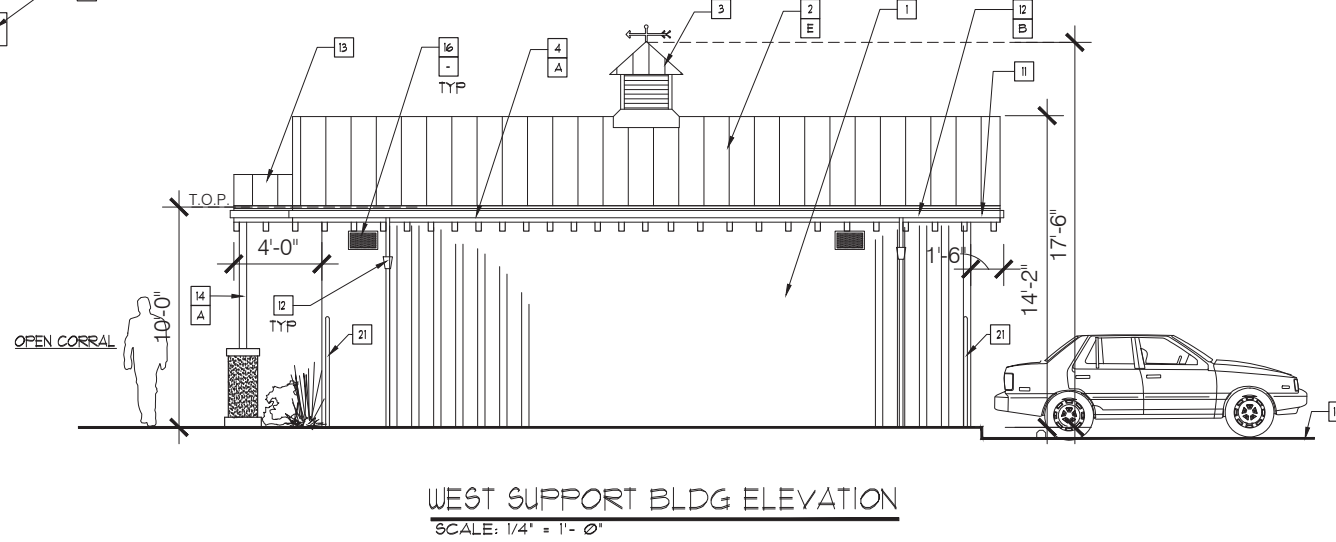
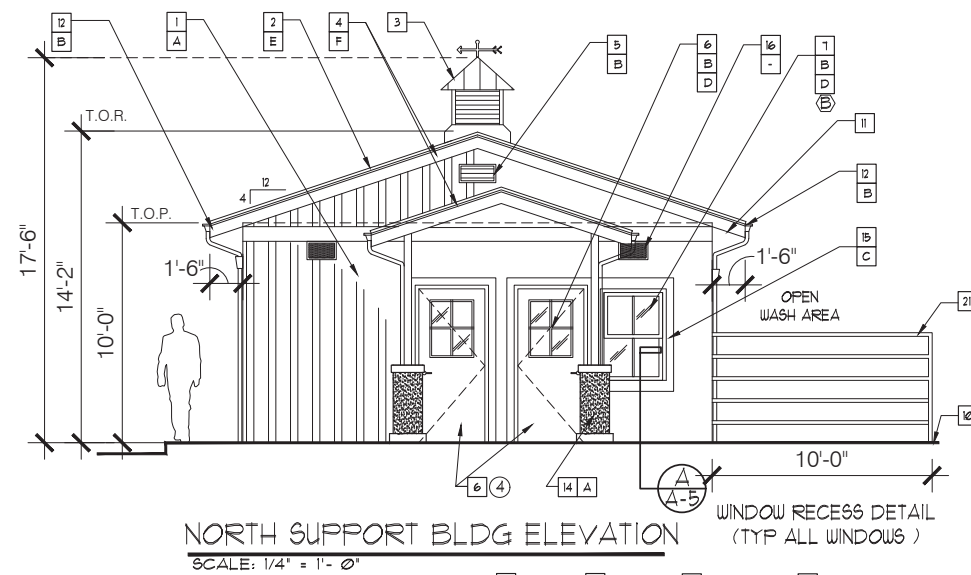
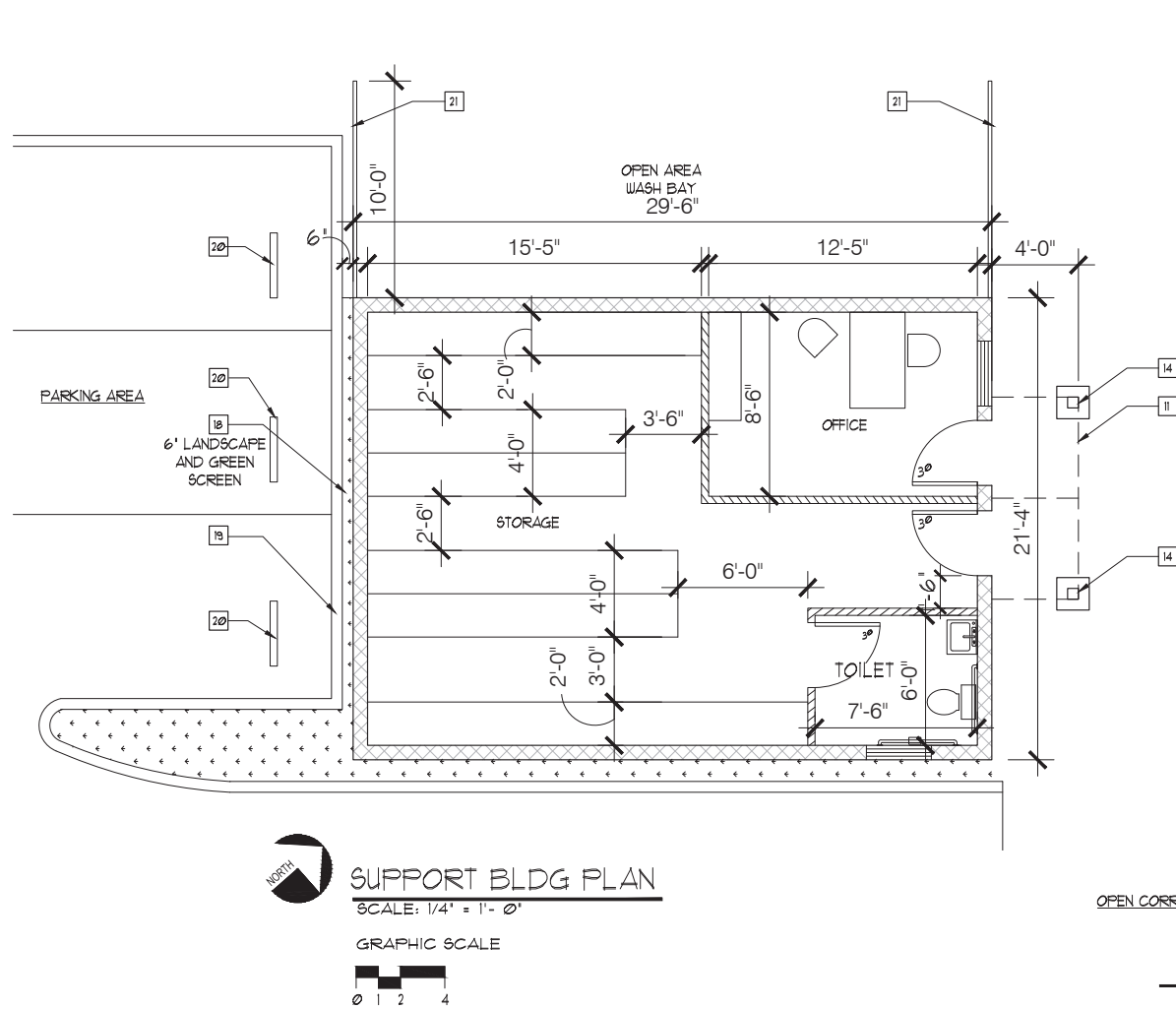
A-3.2

DESIGN | ARCHITECTURE | PLANNING

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## KEYNOTES

- |   |  |
|---|--|
| 1 HARDIE PLANK WOOD BOARD AND BATTEN FINISH OVER WOOD FRAME | 11 ROOF OVERHANG   |
| 2 3/4" STANDING SEAM METAL ROOF                             | 12 G.I. DOWNSPOUT & LEADER, PAINTED  |
| 3 3' X 3' METAL CUPOLA                                      | 13 4' ROOF OVERHANG  |
| 4 WOOD FASCIA   | 14 6" X 6" POSTS W/ 1/6" SQ. X 42" HIGH COL. FEDESTAL (PLASTERED & PAINTED) ON 6" HIGH BASE & 4" CAP |
| 5 VENT  | 15 WOOD TRIM   |
| 6 EXTERIOR DOOR   | 16 EXTERIOR LED LIGHT FIXTURE  |
| 7 DOUBLE HUNG WINDOW  | 17 EXTERIOR LED LIGHT FIXTURE  |
| 8 SLIDING WINDOW  | 18 LANDSCAPE   |
| 9 FIXED WINDOW  | 19 6" CONC. CURB   |
| 10 FIN. GRADE   | 20 WHEEL STOP  |
|   | 21 5' HIGH METAL (5) RAIL STABLE FENCE   |
|   | 22 GREEN SCREEN  |

## COLOR LEGEND

- |                              |  |
|------------------------------|--|
| A OFF-WHITE FINISH           | ⊙ = SEE SHEET A-5 FOR KENNEL AND SUPPORT BUILDINGS WINDOW SCHEDULE |
| B BLACK FINISH               |  |
| C MIDNIGHT SOOT BLACK FINISH | ⬡ = SEE SHEET A-5 FOR KENNEL AND SUPPORT BUILDINGS DOOR SCHEDULE   |
| D CLEAR GLASS                |  |
| E GRAY                       |  |
| F BLACK STAINED FINISH       |  |
| - TO BE DETERMINED           |  |

## LEGEND

- |  |  |
|--|--|
|  | NEW EXTERIOR WALL W/ 2"x6" WOOD STUDS @ 16" O.C. W/ HARDIEWOOD PLANKS & 3/4" PLYWOOD, WATERPROOFING & VAPOR BARRIER ON THE OUTSIDE & 3/8" GBFC 60 & INSULATION ON THE INSIDE |
|  | NEW PARTITION W/ 2"x4" WOOD STUDS @ 16" O.C. & 3/8" GBFC 60 ON BOTH SIDES  |

## SUPPORT BUILDING

DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

## KARAPEDIAN FAMILY RANCH

**1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201**

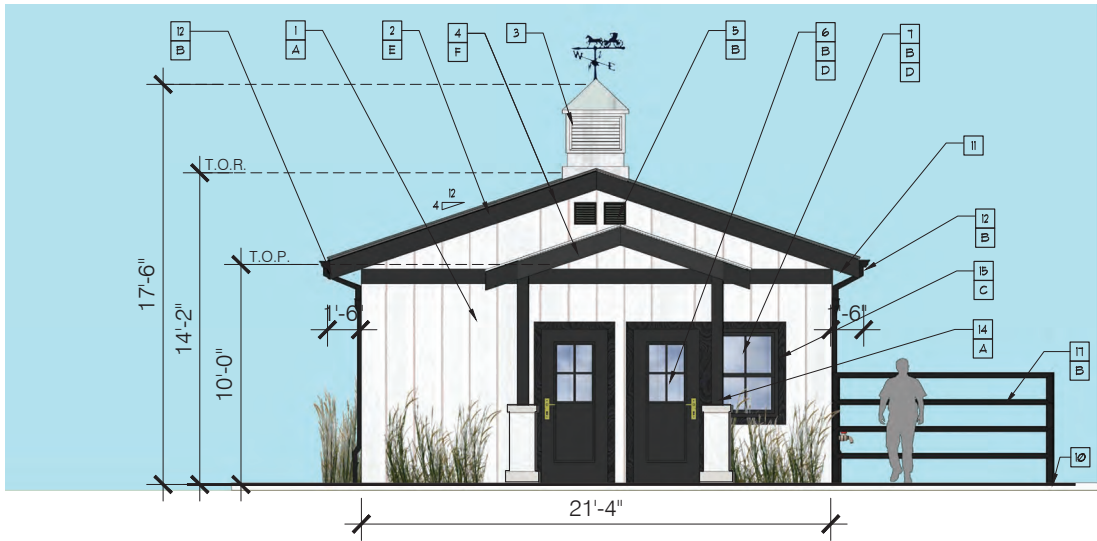
A-4

DESIGN | ARCHITECTURE | PLANNING

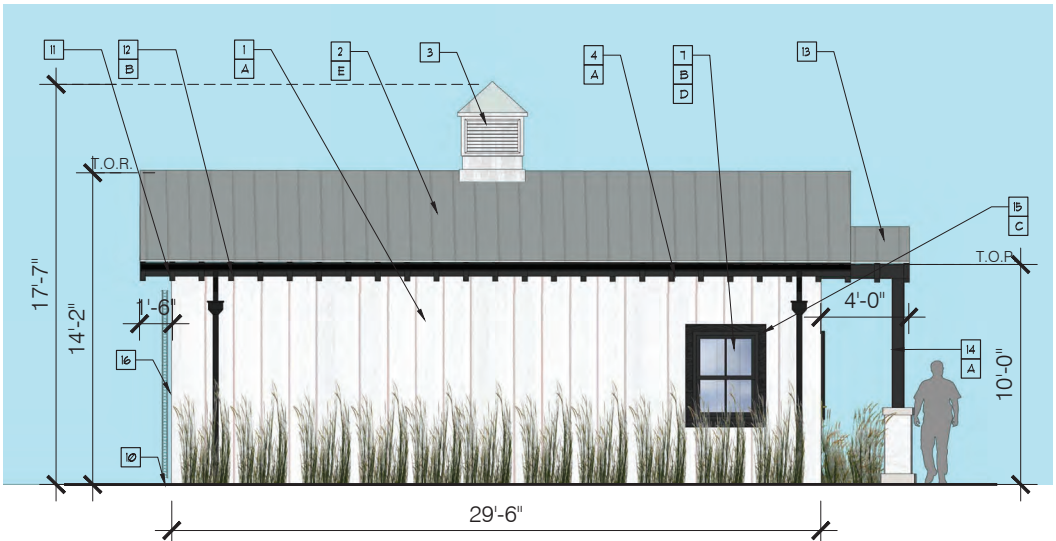
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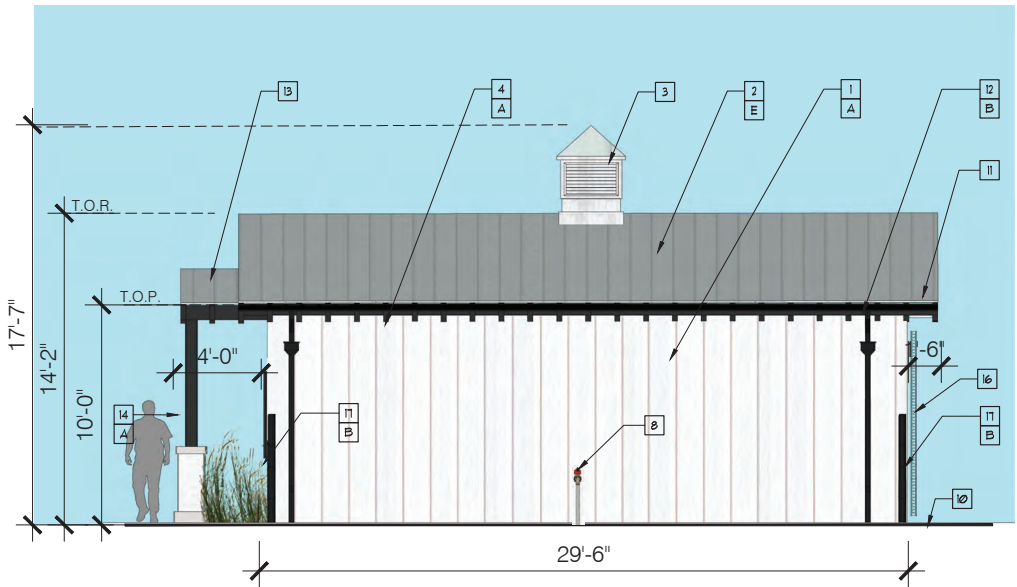




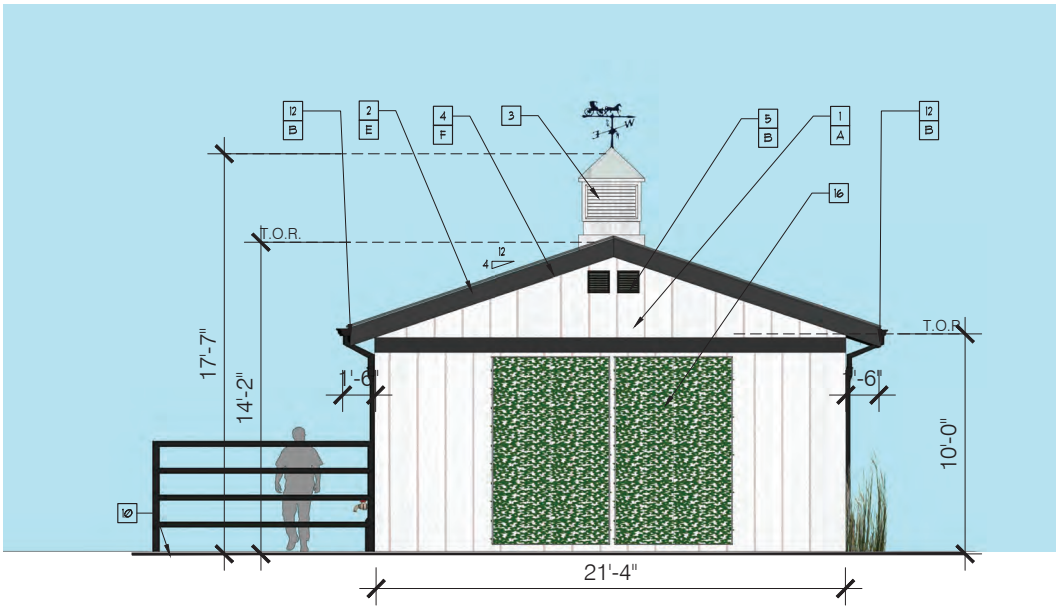
NORTH ELEVATION  
SCALE: 1/4" = 1'- 0"



EAST ELEVATION  
SCALE: 1/4" = 1'- 0"



WEST ELEVATION  
SCALE: 1/4" = 1'- 0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'- 0"

KEYNOTES

- |  |   |
|--|---|
| 1 HARDIE PLANK WOOD BOARD AND BATTEN<br>FINISH O/ WOOD FRAME | 11 10' ROOF OVERHANG  |
| 2 3" STANDING SEAM METAL ROOF                                | 12 G.I. DOWNSPOUT & LEADER  |
| 3 3' X 3' VINYL CUPOLA                                       | 13 4' ROOF OVERHANG   |
| 4 WOOD FASCIA  | 14 4" STONE CAP ON 6X6 POST W/ 16" SQ. X 42" HIGH<br>CONC. BLOCK PEDESTAL BASE (PLASTERED &<br>PAINTED) ON 6" HIGH BASE & |
| 5 VENT   | 15 HARDIE WOOD TRIM   |
| 6 EXTERIOR DOOR  | 16 GREEN SCREEN   |
| 7 DOUBLE HUNG WINDOW   | 17 5' H. METAL FENCE  |
| 8 EXTERIOR FAUCET  |   |
| 9 FIXED WINDOW   |   |
| 10 FIN. GRADE  |   |

COLOR LEGEND

- |   |
|---|
| A OFF WHITE FINISH                            |
| B BLACK FINISH                                |
| C BLACK "MIDNIGHT SOOT" FINISH<br>HARDIE TRIM |
| D CLEAR GLASS                                 |
| E GRAY  |
| F BLACK STAINED FINISH                        |



SUPPORT BUILDING ELEVATIONS

DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

KARAPEDIAN FAMILY RANCH

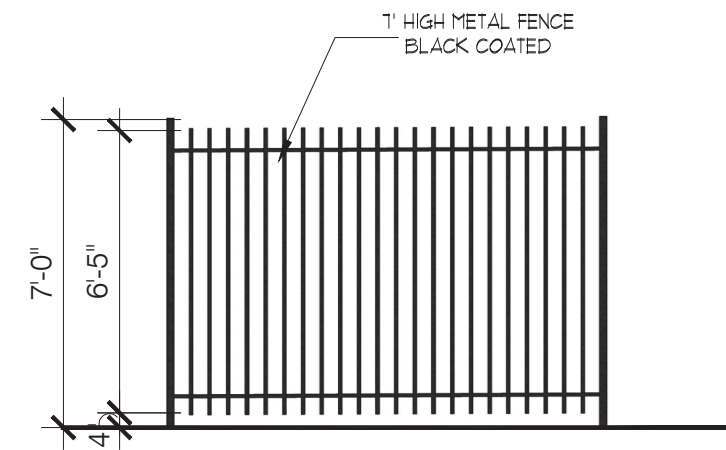
1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201

A-4.1

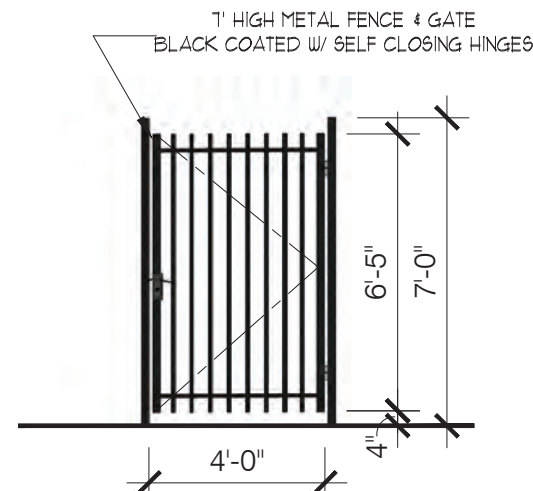
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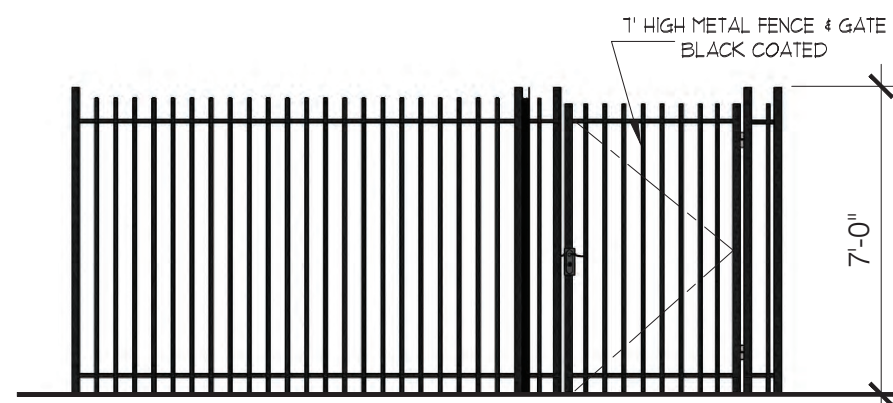
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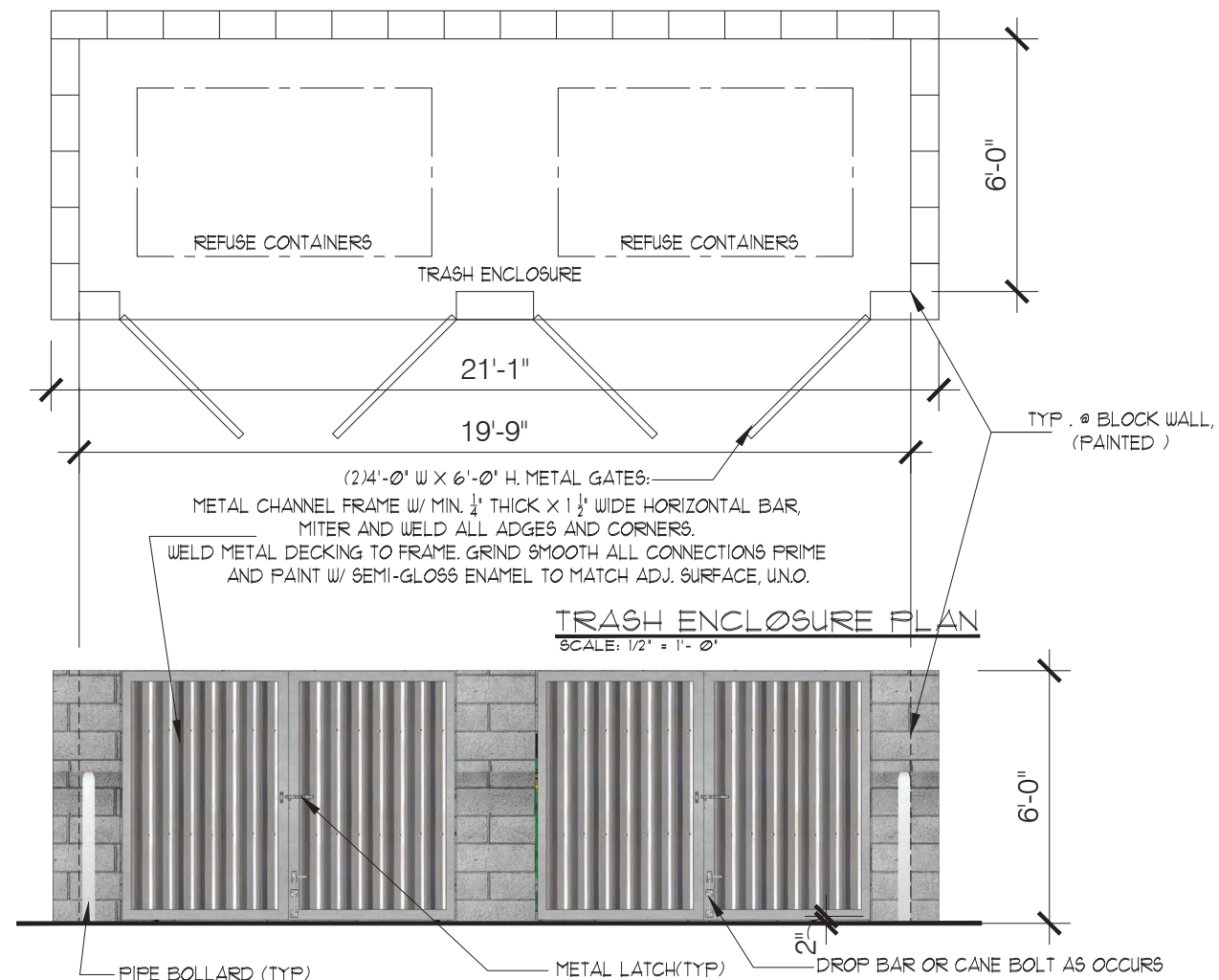
**TYPICAL METAL FENCE ELEVATION**  
SCALE: 1/2" = 1'-0"



**TYPICAL METAL GATE ELEVATION**  
SCALE: 1/2" = 1'-0"

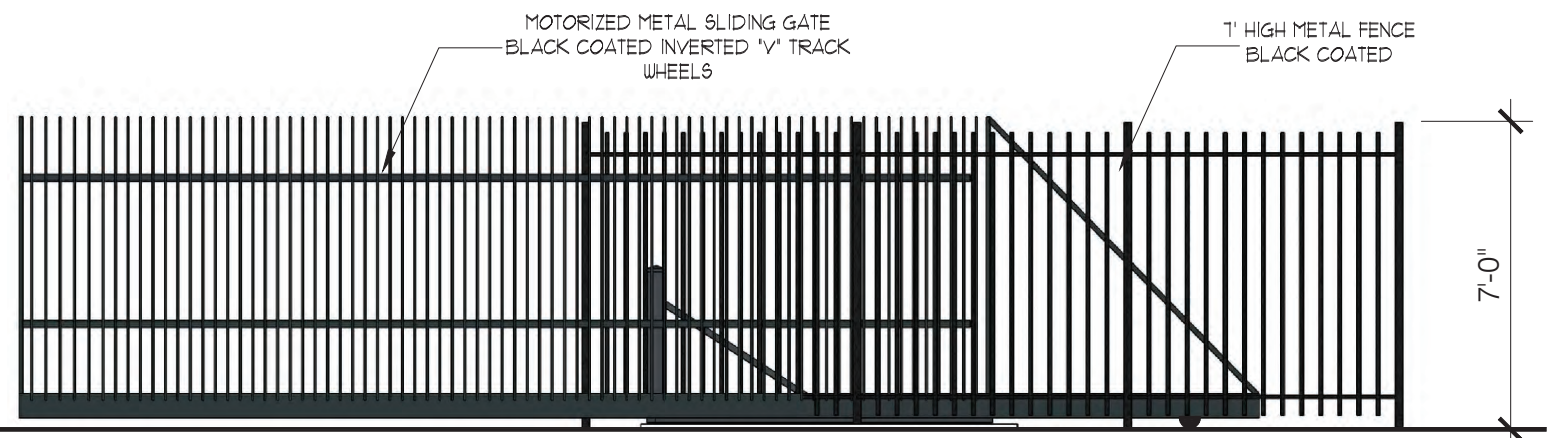


**TYPICAL METAL SLIDING GATE ELEVATION**  
SCALE: 1/2" = 1'-0"



**TRASH ENCLOSURE PLAN**  
SCALE: 1/2" = 1'-0"

**TRASH AREA ELEVATION**  
SCALE: 1/2" = 1'-0"



## TRASH AREA , TYPICAL FENCE , GATES ELEVATIONS

DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

**KARAPEDIAN FAMILY RANCH**

**1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201**

A-4.2

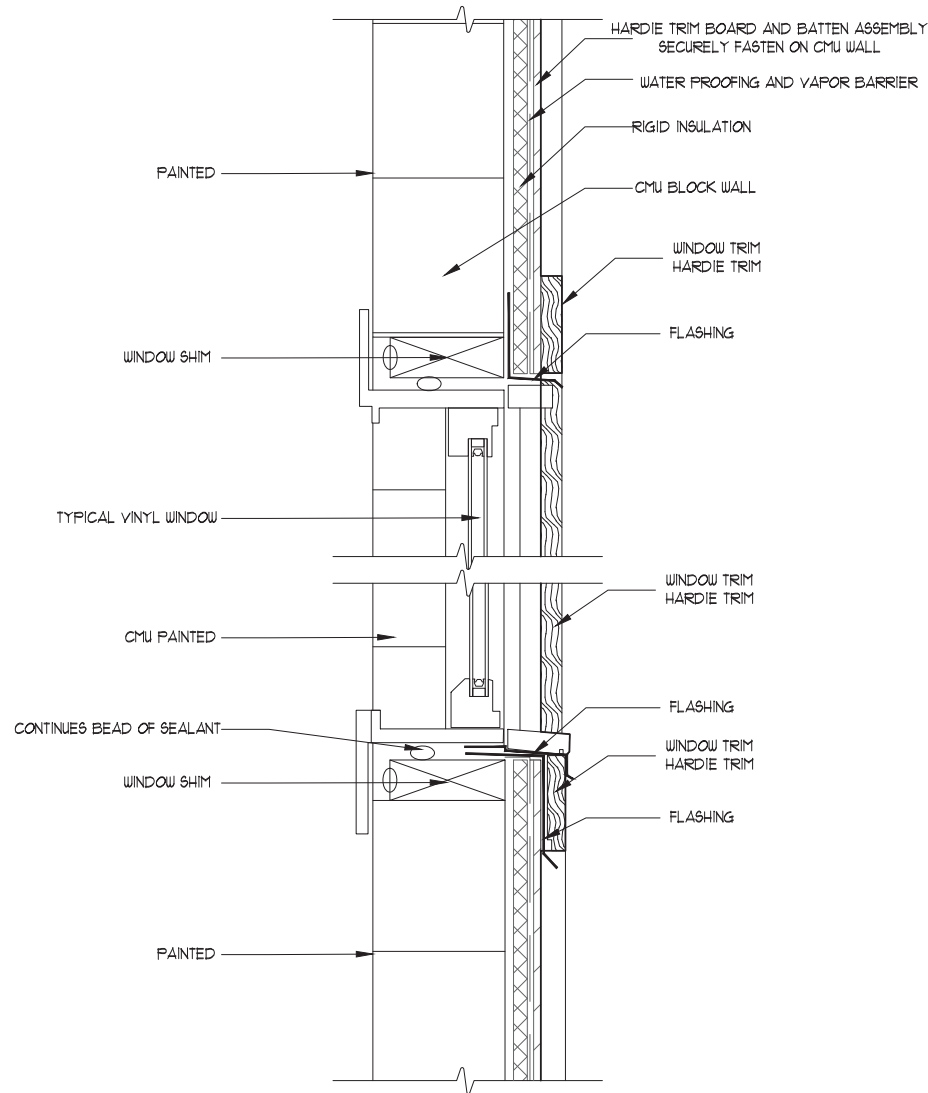
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A WINDOW SECTION DETAIL

KENNEL AND SUPPORT BUILDING																			
WINDOW SCHEDULE KARAPEDIAN FAMILY RANCH 1900 RIVERSIDE DRIVE GLENDALE, CA																			
WINDOW NUMBER	QUANTITY	CLEAR OR OBSCURE GLASS C/O	NEW EXISTING WIDTH X HEIGHT	EXISTING NUMBER		VISIBLE FROM THE STREET Y/N	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SGL) Y/N		BUILD NEW SILL & FRAME		NEW EDGE DETAIL *	BEDRM Y/N	ENERGY EFFICIENT Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE1 Y/N	WINDOW WITH IN 18" OF FLOOR OR 48" OF DOOR
A	3	C	36"x42"		VINYL	Y		DBL HUNG	VINYL	Y		Y		Y	N	Y	N	-	N
B	3	O	30x42		VINYL	Y		DBL HUNG	VINYL	Y		Y		Y	N	Y	N		N
B	3	C	30x42		VINYL	Y		DBL HUNG	VINYL	Y		Y		Y	N	Y	N		N
C	21	C	60x12		VINYL	Y		FIXED	VINYL	N		Y		Y	N	Y	N		N
D	1	C	28x84		VINYL	Y		FIXED SIDE-LITE	VINYL	Y		Y		Y	N	Y	N		Y

\* REFER TO WINDOW SECTION A

KENNEL AND SUPPORT BUILDING																			
DOOR SCHEDULE KARAPEDIAN FAMILY RANCH 1900 RIVERSIDE DRIVE GLENDALE, CA																			
DOOR NUMBER	QUANTITY		NEW EXISTING WIDTH X HEIGHT		MATERIAL	VISIBLE FROM THE STREET Y/N		LITES NUMBER	NEW FRAME TYPE	EXTERNAL GRID (SCL) Y/N				NEW EDGE DETAIL		ENERGY EFFICIENT LITES Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE1 Y/N	WINDOW WITH OR 48" OF DOOR
①	1		36"X36'			Y		8	Y	Y				-		Y	N	-	N
②	3		36"X84'		METAL	N		VISION PANEL	Y					-		Y	N		N
③	1		30X42		METAL	N		-	Y					-		-	N		N
④	2		60X12		METAL	N		4	Y					-		Y	N		N

STABLE BUILDING																				
WINDOW SCHEDULE KARAPEDIAN FAMILY RANCH 1900 RIVERSIDE DRIVE GLENDALE, CA																				
WINDOW NUMBER	QUANTITY	EXISTING WIDTH X HEIGHT	NEW EXISTING WIDTH X HEIGHT		NEW NUMBER	VISIBLE FROM THE STREET Y/N		NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID Y/N		BUILD NEW SILL & FRAME		NEW EDGE DETAIL	BEDRM Y/N	ENERGY EFFICIENT Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE1 Y/N	WINDOW WITH IN 8" OF FLOOR OR 40" OF DOOR	
F			36'X36'		VINYL	N		SLIDER	VINYL			Y		N	N	Y	N	-	N	
STABLE BUILDING																				
DOOR SCHEDULE KARAPEDIAN FAMILY RANCH 1900 RIVERSIDE DRIVE GLENDALE, CA																				
DOOR NUMBER	QUANTITY		NEW EXISTING WIDTH X HEIGHT		MATERIAL	VISIBLE FROM THE STREET Y/N		LITES NUMBER	NEW FRAME TYPE	EXTERNAL GRID AT LITES Y/N				NEW EDGE DETAIL		ENERGY EFFICIENT LITES Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE1 Y/N	WINDOW WITH OR 40" OF DOOR	
5	1		36"X84"		METAL	N		6	METAL	Y				-		Y	N		N	

WINDOW AND DOOR SCHEDULE  
FOR KARAPEDIAN FAMILY  
RANCH

WINDOW AND DOOR SCHEDULES  
FOR ALL BUILDINGS AND STREET VISIBLE  
WINDOW PROFILE DETAIL  
DESIGN REVIEW

DATE: 1/12/2023  
PROJECT NUMBER 558.2101.03

KARAPEDIAN FAMILY RANCH  
1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201

A-5

DESIGN | ARCHITECTURE | PLANNING

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NORTHEAST PERSPECTIVE  
NOT TO SCALE



NORTHWEST PERSPECTIVE  
NOT TO SCALE



NORTH PERSPECTIVE  
NOT TO SCALE



ALLEN AVE. PERSPECTIVE  
NOT TO SCALE



SOUTHWEST PERSPECTIVE  
NOT TO SCALE

## RENDERED PERSPECTIVES DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

## KARAPEDIAN FAMILY RANCH

**1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201**

A-7

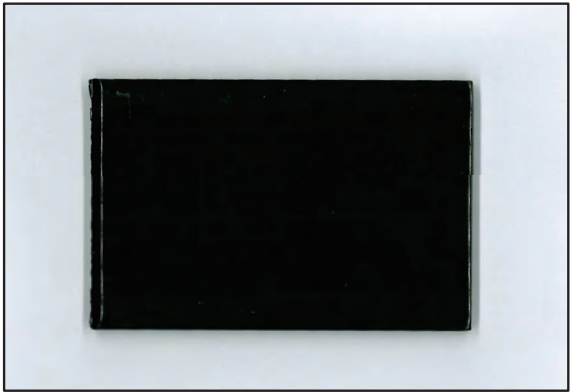
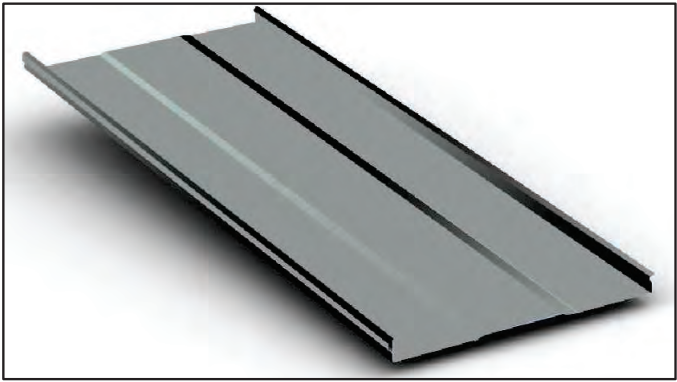
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Ⓑ STABLE ROOFING :  
McELROY METAL, STANDING SEAM 'INSTALOC PLANK'  
BY 'CASTLEBROOK BARNS' COLOR: 'NUNTUCKET'  
- 26-GAUGE HIGH TENSILE ZINCALUME COATED STEEL  
- CASTLE-TEK XL STANDARD SYSTEM COLORS

Ⓒ RAILING & STEEL FRAME ( COATED PAINT)  
GUTTER, DOWNSPOUT, STEEL POST, ETC.  
COLOR: 'BROWN' BY CASTLEBROOK BARNS  
- COLUMNS : STRUCTURAL STEEL ASTM SPECIFICATIONS A36 AND A500 3/4" WALLS  
- FRAMEWORK : 1-1/2" TO 2-1/2" X 0.65 TO 180 ALL SQUARE TUBING ASTM SPECIFICATION A500  
- DOORS : 2' X 3/4" A36 FRAMEWORK WITH 3/4" SQUARE TUBE GRILLED TOP



Ⓐ STABLE WALLS:  
TREATED WOOD T&G WOOD PANELS :  
- SELECT KILN-DRIED TONGUE AND GROOVE 2"x6" BOARDS  
- PREMIUM J GRADE SPRUCE, PINE OR FIR  
PAINT BY DUNN-EDWARDS  
COLOR : OFF-WHITE 'DROPLETS DEW381'

**STABLES**  
**COLOR & MATERIAL BOARD**

DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

**KARAPEDIAN FAMILY RANCH**

**1900 RIVERSIDE DRIVE**  
**GLENDALE, CA 91201**

A-8

DESIGN | ARCHITECTURE | PLANNING

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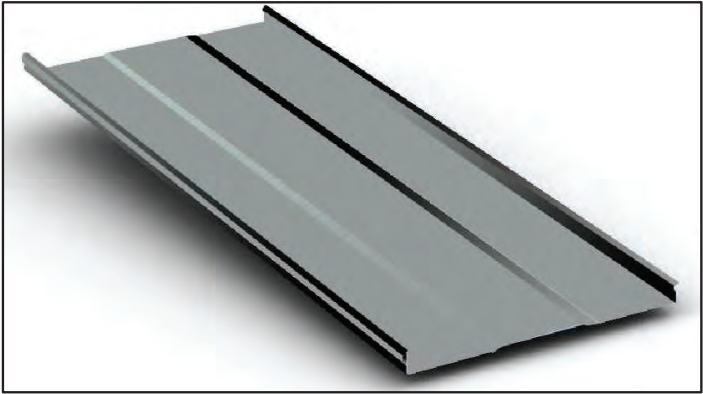
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A EXTERIOR WALL FINISH (KENNEL & SUPPORT BLDG.):  
HARDIE® PANEL VERTICAL SIDING (BOARD AND BATTEN)  
SIERRA 8 (PRIMED FOR PAINT) BY JAMES HARDIE



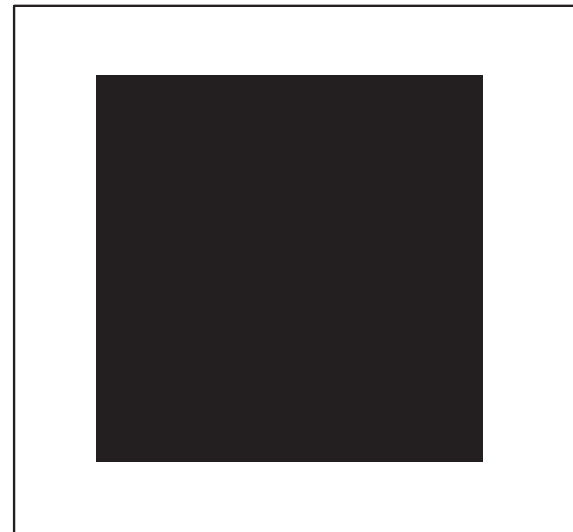
C KENNEL & SUPPORT BLDG PAINT  
EXTERIOR WALLS FOR BOARD AND BATTEN & PLASTER FINISH  
COLOR: OFF-WHITE 'DROPLETS DEW 381'  
BY DUN-EDWARDS



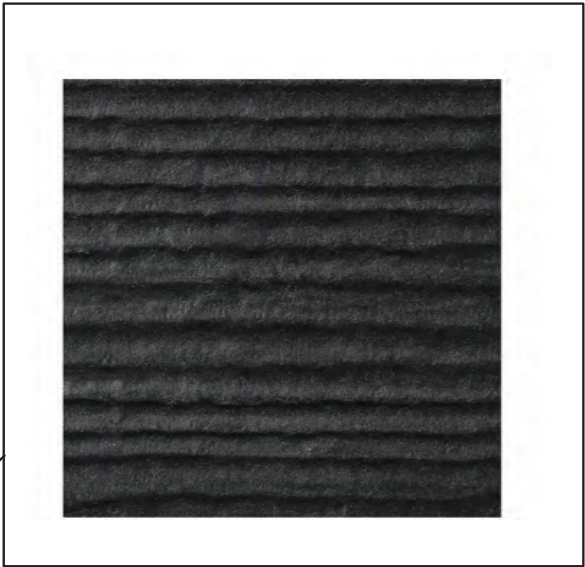
B KENNEL & SUPPORT BLDG ROOFING :  
McELROY METAL, STANDING SEAM 'INSTALOC PLANK'  
COLOR:(TO MATCH NUNTUCKET')



E TYPICAL MILGARD DOUBLE HUNG VINYL WINDOW ,  
SINGLE GRID



D MILGARD ALL WINDOW FRAMES  
&DOORS  
COLOR: 'BRONZE'



F WINDOW TRIM ,  
HARDIEPLANK® LAP SIDING  
BY JAMES HARDIE MAGNOLIA SERIES  
COLOR: BLACK 'MIDNIGHT SOOT'



I FRONT FASCIA, WOOD POSTS, ETC.  
( KENNEL & SUPPORT BLDG) TREATED WOOD  
COLOR: BLACK STAIN



G MILGARD : ¾" THK INSULATED GLASS



H RAILING & STEEL FRAME ( COATED PAINT)  
GUTTER, DOWNSPOUT, STEEL POST, ETC.  
COLOR:'BLACK'

# KENNEL & SUPPORT BLDG COLOR & MATERIAL BOARD

DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

KARAPEDIAN FAMILY RANCH

1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201

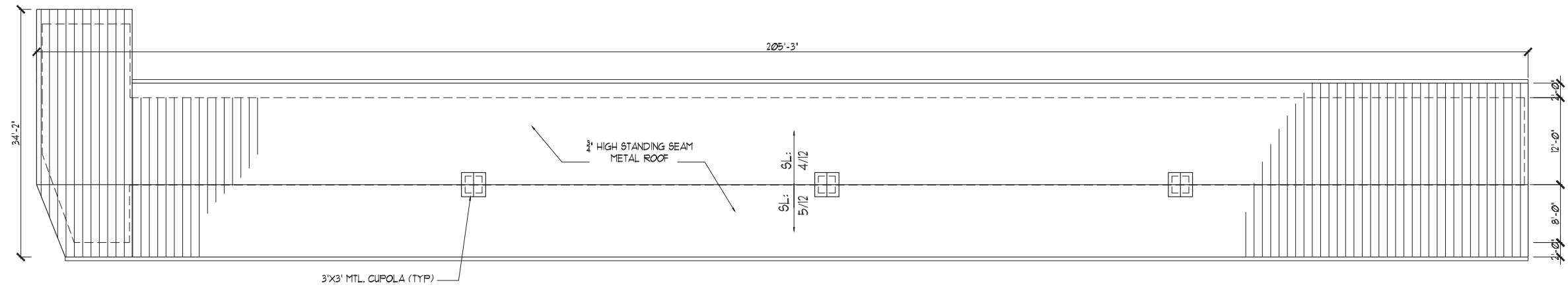
A-8.1

DESIGN | ARCHITECTURE | PLANNING

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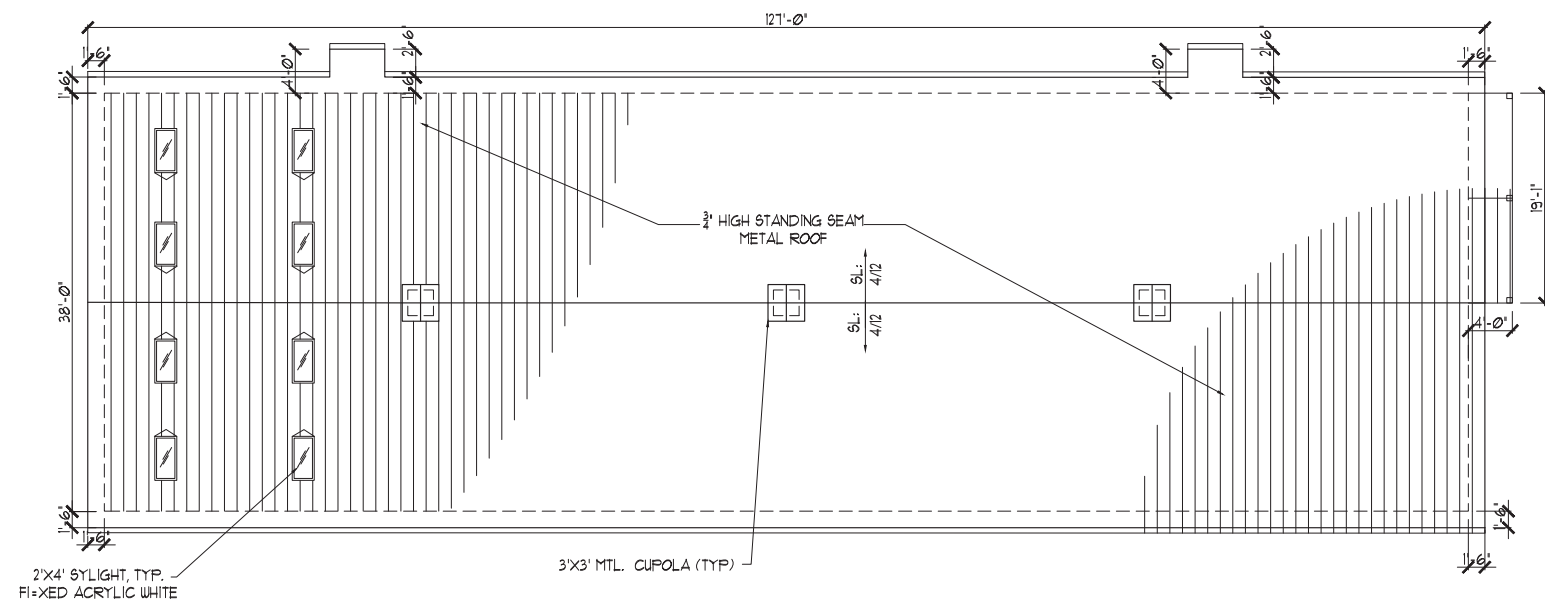
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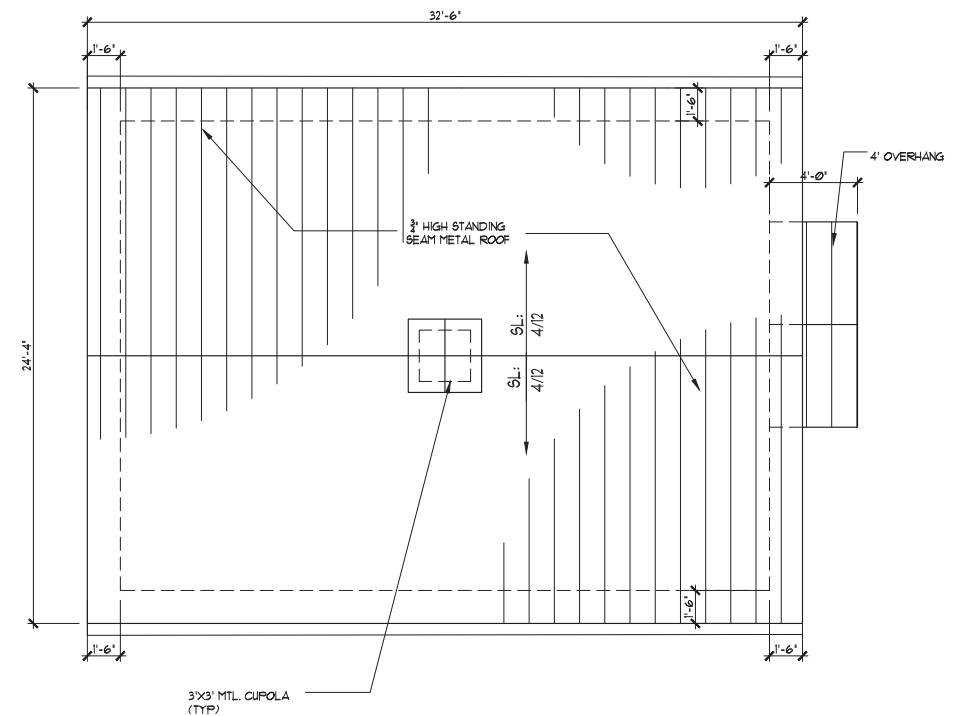
**PROPOSED  
STABLE ROOF PLAN**  
SCALE: 1/8" = 1'-0"

0 4 8 16



**PROPOSED  
KENNEL ROOF PLAN**  
SCALE: 1/8" = 1'-0"

0 4 8 16



**PROPOSED  
SUPPORT BLDG ROOF PLAN**  
SCALE: 1/4" = 1'-0"

GRAPHIC SCALE

0 4 8 12

DESIGN REVIEW

DATE: 1/20/2023

PROJECT NUMBER 558.2101.03

**KARAPEDIAN FAMILY RANCH**

**1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201**

A-10

DESIGN | ARCHITECTURE | PLANNING

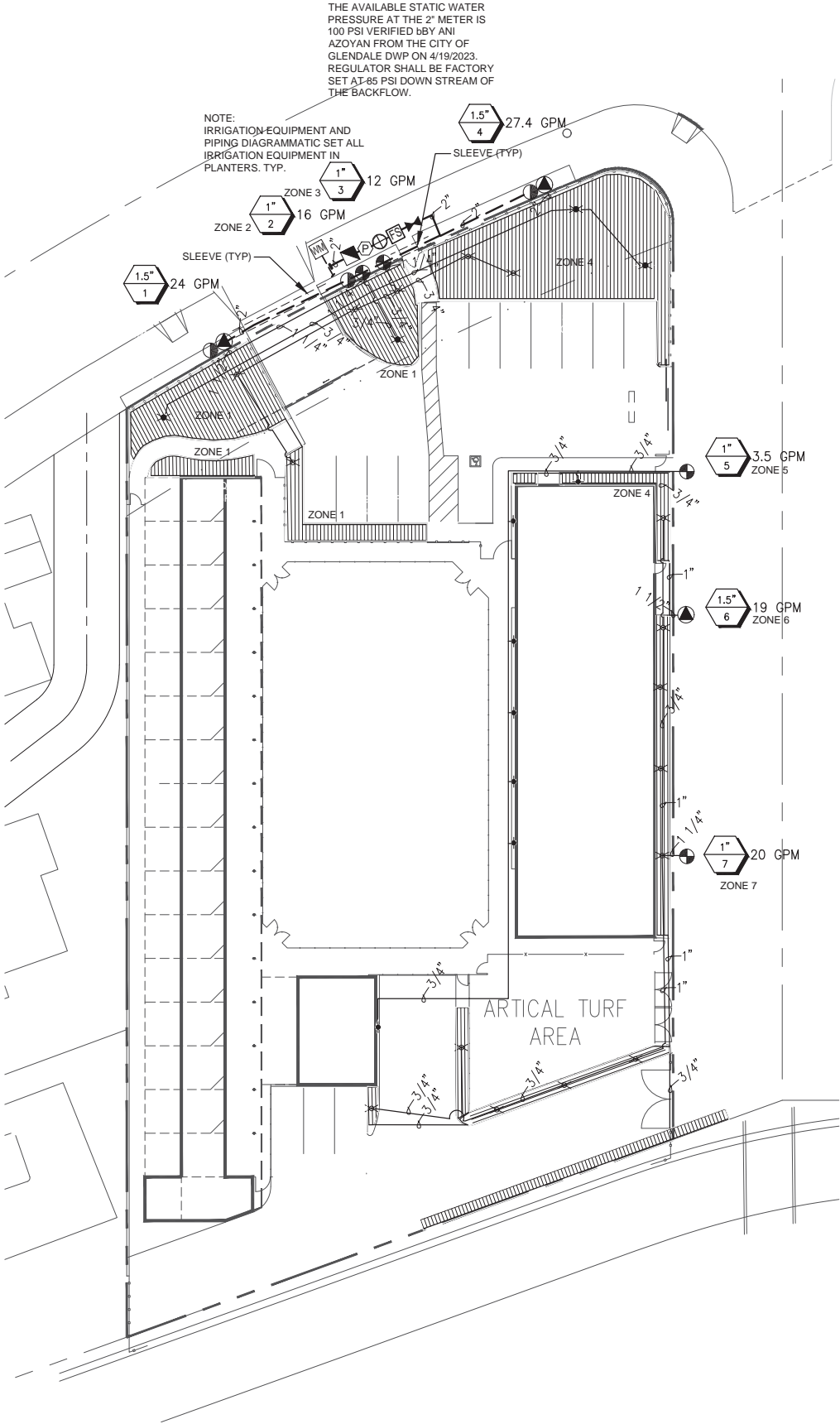
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IRRIGATION NOTES

1. THE IRRIGATION DRAWING IS DIAGRAMMATIC. DUE TO THE SCALE OF THE CONTRACT DRAWINGS, IT IS NOT POSSIBLE TO INDICATE OFFSETS, FITTINGS, SLEEVES AND OTHER ITEMS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL FURNISH ANY ITEM REQUIRED TO PROVIDE A COMPLETE IRRIGATION SYSTEM AT NO ADDITIONAL COST TO THE CLIENT. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
2. THE CONTRACTOR IS REQUIRED TO WALK THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL FAMILIARIZE THEMSELV WITH THE GRADE DIFFERENCES, LOCATION OF WALLS AND UTILITIES. THE CONTRACTOR SHALL NOT COMMENCE THE CONSTRUCTION OF THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DISCREPENCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE CLIENT AND LANDSCAPE ARCHITECT IN WRITING PRIOR TO SUBMITTING A BID. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
3. THE IRRIGATION SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 85 P.S.I. AND A MAXIMUM FLOW DEMAND OF 35.4 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE CLIENT REPRESENTATIVE.
4. CONTRACTOR SHALL PROVIDE A SUBMITTAL OF ALL IRRIGATION MATERIALS AND EQUIPMENT TO THE CLIENT REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
5. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-227-2600. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
6. AT THEIR OWN EXPENSE, THE CONTRACTOR SHALL REPAIR OR REPLACE ALL PROPERTY OR ITEMS DAMAGED BY THIER WORK TO ITS ORIGINAL CONDITION. THEY SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
7. SET ALL VALVES NEXT TO WALKS OR PAVED SURFACES. INSTALLATION FOR THE CONTROL WIRES SHALL INCLUDE TRACER WIRE AND FOLLOW MAINLINE ROUTING. THE CONTRACTOR SHALL INSTALL TWO SPARE CONTROL WIRES FROM THE CONTROLLER TO THE FARTHEST VALVE ON EACH LEG OF THE MAINLINE AND PASS THROUGH EACH VALVE BOX. THESE WIRES SHALL BE A DIFFERENT COLOR AND LABELED AS "SPARE" AT THE CONTROLLER CABINET AND IN ALL VALVE BOXES.
8. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
9. THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION PIPE UNDER PAVED AREAS UNLESS OTHERWISE REQUESTED. SLEEVING SHALL BE 2 TIMES THE PIPE DIAMETER, MINIMUM SCHEDULE 40 P.V.C., 18" MINIMUM DEPTH TO TOP OF LINE.
10. ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS AND SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE NOTED ON PLANS.
11. IT IS THE INTENT OF THE DRAWING(S) TO PROVIDE HEAD-TO-HEAD, UNIFORM COVERAGE. THE CONTRACTOR SHALL ADD OR REMOVE HEADS, NOZZLES, LATERAL LINES & NECESSARY EQUIPMENT TO MEET THIS REQUIREMENT AT NO ADDITIONAL COST TO THE CLIENT. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH NO OVER SPRAY ONTO WALKS, STREETS, IMPERMEABLE SURFACES, ETC. THE IRRIGATION SYSTEM IS SUBJECT TO PERIODIC INSPECTIONS BY THE CLIENT REPRESENTATIVE FOR ACCEPTANCE.
12. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
13. DURING CONSTRUCTION, THE CONTRACTOR SHALL KEEP A SET OF RECORD DRAWINGS ON SITE TO RECORD ALL CHANGES TO THE IRRIGATION PLAN FOR THE DEVELOPMENT OF THE 'AS-BUILT' DRAWINGS. AT THE TIME OF FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE CLIENT WITH ALL THE NECESSARY TOOLS, KEYS, ETC. AND PROVIDE A REDUCED AND LAMINATED VALVE CHART FOR PLACEMENT IN CONTROLLER.
14. GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER. FAILURE TO REPAIR OR CORRECT WITHIN 10 WORKING DAYS, THE OWNER HOLDS THE RIGHT TO HIRE AN OUTSIDE PARTY TO COMPLETE THE WORK, AND CHARGE THE CONTRACTOR FOR PAYMENT.
15. PROTECT IN PLACE EXISTING IRRIGATION AS NOTED ON CONTRACT DRAWINGS/PLANS.
16. PLANTING SHALL NOT COMMENCE UNTIL THE IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND PROVIDES 100% UNIFORM COVERAGE.
17. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY THE THE LANDSCAPE ARCHITECT OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
18. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.



KARAPEDIAN FAMILY RANCH

1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201

IRRIGATION LEGEND				
DESCRIPTION	SYM.	DETAIL REF.	P.S.I.	RAD. GPM & GPH
'RAINBIRD' RWS-B-C-1404-SOCK (FOUR PER TREE)	☒	H	30	- 4 GPM
'RAINBIRD' RWS-B-C-1404-SOCK TWO PER TREE	☒	H	30	- 2 GPM
'RAINBIRD' 1402 BUBBLER FOR VINES-SET ON A RISER	☒		30	- .5 GPM
'RAINBIRD' XFS-09-12 W/ HEAVY DUTY CHECK VALVE LANDSCAPE DRIPLINE WITH 0.90 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART; WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL FLUSH VALVE AT FURTHEST POINT AND LOWEST ELEVATION		N,O,P,Q,R,S		
'RAINBIRD' DRIP LINE 3/4" AIR RELIEF VALVE	⦿	M		INSTALL AT HIGH PT. PER 1,000' OF DRIPLINE
'RAINBIRD' DRIP LINE FLUSH POINT	⦿	L		INSTALL AT LOW PT. OF EACH PLANTER AND AT EVERY CHANGE OF DIRECTION
'RAINBIRD' CONTROL VALVE XCZ-150-LCS	⦿	D		1 1/2" PESB-PRESSURE REGULATOR
'NIBCO' GATE VALVE T-136-LINE SIZE NON-RISING STEM	⦿	C		SET IN CARSON PLASTIC BOX IN PLANTERS
'RAINBIRD' QUICK COUPLER VALVE No.44-LRC -OR EQUAL	⦿	E		
'RAINBIRD' PEB-PRS-D -OR EQUAL	⦿	G		SEE PLAN FOR VALVE SIZE
'BROOKS' VALVE BOX SERIES 1419 -OR EQUAL	⦿			
RAINBIRD ESP-LXME/30 STATION-WITH RSD-RAINGUARD	⦿	J		MUST HAVE INTERNET ACCESS
'SUPERIOR' X-#3200 NORMALLY CLOSED MASTER VALVE-LINE SIZE	⦿	A		SEE PLAN FOR VALVE SIZE
'RAINBIRD' FLOW SENSOR #FS150B	⦿	F		SET IN BROOKS VALVE BOX AND STAMP FS
SLEEVING SCH 40 PVC	---			TWICE LINE SIZE (MIN.)
PRESSURE LINE CLASS 315 PVC 2" AND LARGER, SCH40 1 1/2" AND SMALLER	---			SEE PLAN FOR SIZE & LOCATIONS.
EXISTING METER	⦿			
EXISTING WATER SERVICE LINE	---			VERIFY EXACT LOCATION IN THE FIELD
'WILKINS' BACKFLOW PREVENTER 975XL LINE SIZE	⦿	F		
'WILKINS' PRESSURE REGULATOR MODEL #500HR	⦿	H		SET IN ACCESS BOX SIMILAR TO DETAIL
NON-PRESSURE LINE SCH. 40 PIPE	⦿			SEE PLAN FOR SIZE
P.O.C. - POINT OF CONNECTION	⦿			VERIFY LOCATION ON SITE

SIZE NO. GPM

NOTE:  
THIS PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE CITY OF GLENDALE MUNICIPAL CODE AND THE STATE WATER EFFICIENT LANDSCAPE ORDINANCES. FOR MORE INFORMATION YOU CAN EMAIL GWP: WATERENGINEERING@GLENDALECA.GOV TO GET THEIR REQUIREMENTS ,FORMS AND INSPECTION REQUIREMENTS.

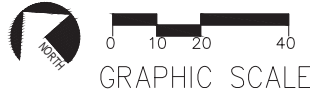
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE PACKAGE..

LANDSCAPE ARCHITECT SIGNATURE

DATE

DESIGN REVIEW BOARD APP-PDR-000210-2022  
APN 562-5031-008  
TRACT #9792

IRRIGATION PLAN  
SCALE: 1" = 20'- 0"



4/11/2023



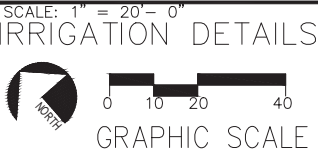
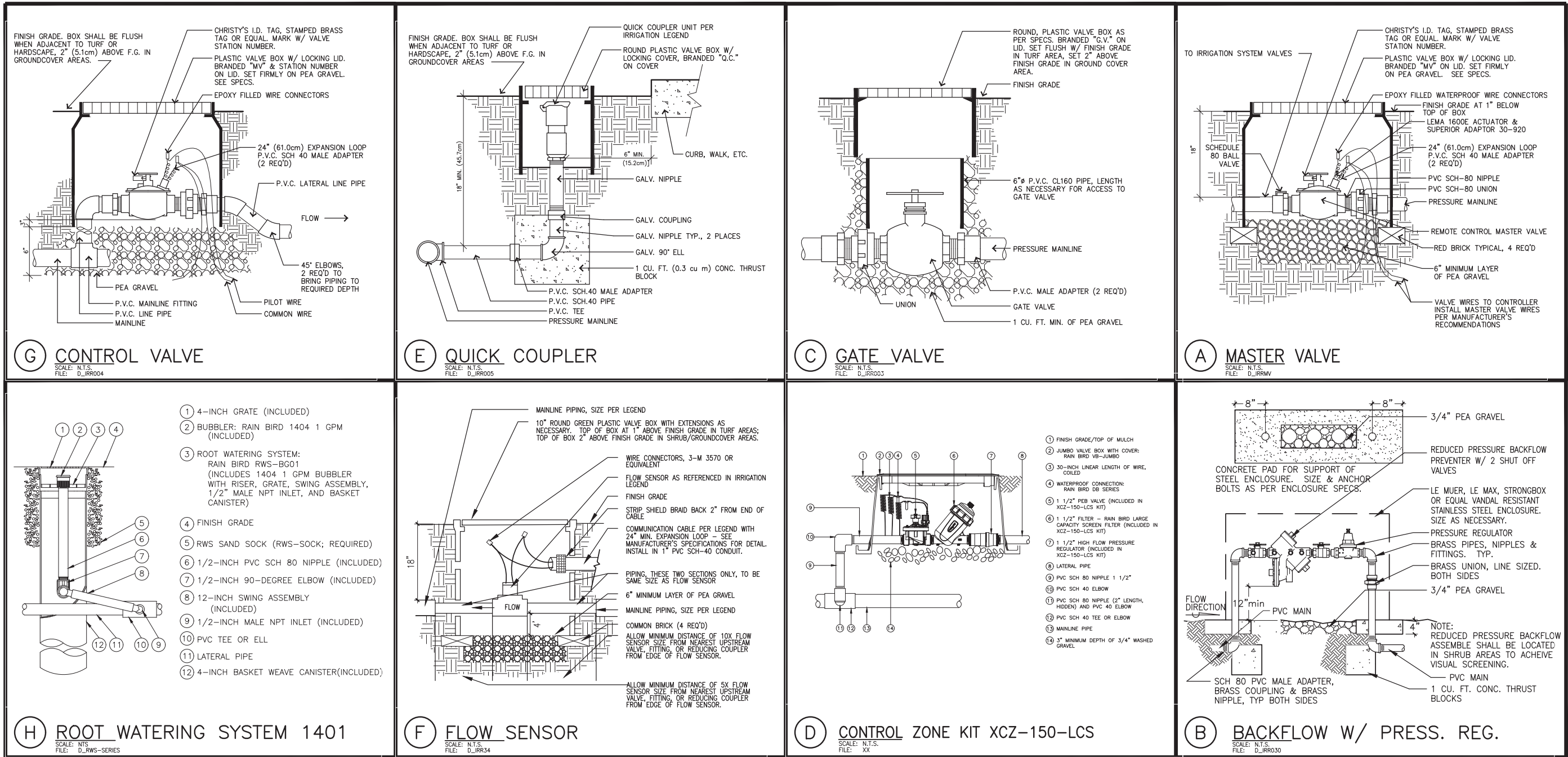
DESIGN | ARCHITECTURE | PLANNING

RED

Architectural Group

3436 N. VERDUGO ROAD, SUITE 200, GLENDALE, CA 91208  
P 818.957.7765 | www.red-arch.com

DATE: 4/24/2023  
PROJECT NUMBER 558.2101.03



KARAPEDIAN FAMILY RANCH

1900 RIVERSIDE DRIVE

GLENDALÉ, CA 91201

L102

DATE: 4/24/2023

PROJECT NUMBER 558.2101.03

DESIGN | ARCHITECTURE | PLANNING

LRM

ASSOCIATES INC.

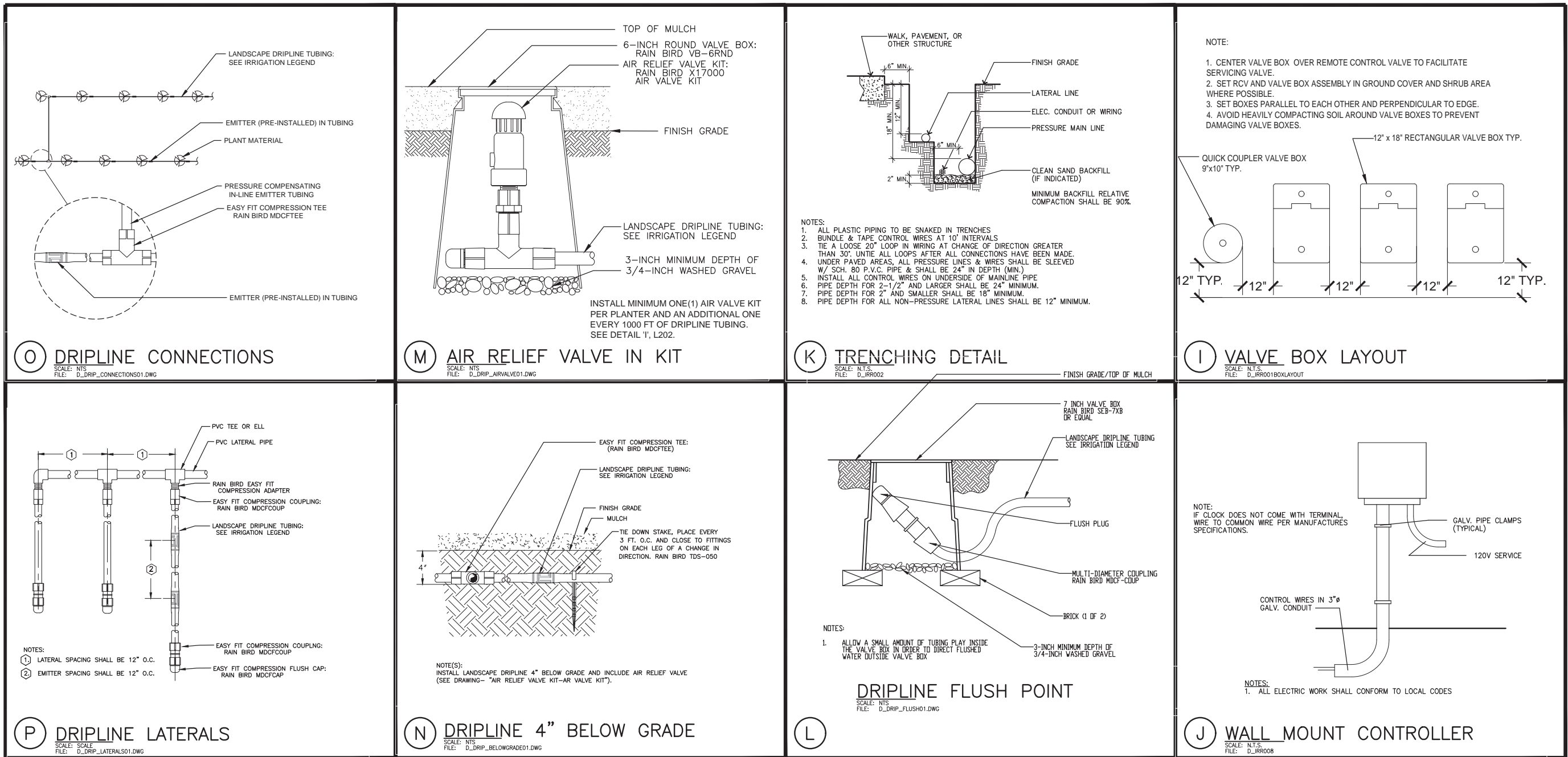
LRM ASSOCIATES, INC. ASLA  
3458 OCEAN VIEW BLVD  
GLENDALÉ, CA 91208  
618 248 5200  
LANDSCAPE ARCHITECTURE  
LIC. 4016

RED

Architectural Group

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IRRIGATION DETAILS  
SCALE: 1" = 20'- 0"



DESIGN
ARCHITECTURE
PLANNING

# RED

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3436 N. VERDUGO ROAD, SUITE 200, GLENDALE, CA 91208  
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DATE: 4/24/2023  
PROJECT NUMBER 558.2101.03

**KARAPEDIAN FAMILY RANCH**  
**1900 RIVERSIDE DRIVE**  
**GLENDALE, CA 91201**

L103



MONTHLY WATERING SCHEDULE FOR THE YEAR

PROJECT NAME: Riverside Shaders and Kennels											
PROJECT LOCATION: Glendale											
TOTAL LANDSCAPE AREA: 5,138 sq.ft.											
ETa: Los Angeles (available through											
jan.	feb.	mar.	apr.	may	june	july	aug.	sep.	oct.	nov.	dec.
1	2	3	4	5	6	7	8	9	10	11	12

value no.	value size	flow (gpm)	int. effcy. (%)	int. type	area (sq.ft.)	plant type	precip rate (in./min.)	plant factor (PF)	runtime (min.)	nos. of cycles per day	frequency per month	total monthly gallons	
IRRIGATION SCHEDULE FOR LAWN:													
note: column 6 is applicable to the project													
value no.	value size	flow (gpm)	int. effcy. (%)	int. type	area (sq.ft.)	plant type	precip rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	8	80	128.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	8	80	128.0
4	1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	8	80	128.0
6	1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	8	480	780.0
Total Runtime per day: 3.7 Hours										Total Monthly ETWU: 2518.8			

IRIGATION SCHEDULE FOR FZB:			(see comments as applicable to the project)											
value no.	value size	flow (GPM)	int. effcy. (%)	int. type	area (sq. ft.)	plant type	precip. rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (min.)	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	128.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	128.0
4	1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day: 3.7 Hours									Total Monthly ETWU: 3100.5					

irrigation SCHEDULE FOR MAR:														
Use column as applicable to the project														
value no.	value size	flow (GPM)	int. effcy. (%)	int. type	area (sq. ft.)	plant type	precip rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (mins.)	frequency per month	monthly runtime (mins.)	total ETWU Gallons
1	1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	290.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	290.0
4	1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day: 3.7 Hours										Total Monthly ETWU: 2887.5				

irrigation SCHEDULE for APRIL														
use (column as applicable to the project)														
value no.	value size	flow (GPM)	int. effcy. (%)	int. type	area (sq. ft.)	plant type	precip. rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (min.)	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	128.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	128.0
4	1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day:									3.7	Hours	Total Monthly ETWU:		5517.5	

IRRIGATION SCHEDULE FOR FARMY:			(see comments as applicable to the project)											
value no.	value size	flow (GPM)	int. effcy. (%)	int. type	area (sq. ft.)	plant type	precip rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (min.)	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	128.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	128.0
4	1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day: 3.7 Hours										Total Monthly ETWU: 6801.5				

IRRIGATION SCHEDULE FOR LINE:			(see comments as applicable to the project)											
value no.	value size	flow (GPM)	int. effcy. (%)	int. type	area (sq. ft.)	plant type	precip. rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (min.)	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1/2"	24	81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	128.0
3	1"	12	81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	128.0
4	1/2"	27.4	81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1/2"	19	81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day: 3.7 Hours									Total Monthly ETWU: 8881.5					

irrigation schedule for July:														
(see columns as applicable to the project)														
station no.	valve size	flow (GPM)	int. effcy. (%)	int. type	area (sq. ft.)	plant type	precip. rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (min.)	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	128.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	128.0
4	1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day: 3.7 Hours									Total Monthly ETWU: 10881.5					

SCHEDULING SCHEDULE FOR AUGUST:			(see columns as applicable to the project)											
value no.	value size	flow (GPM)	int. effcy. (%)	int. type	area (sq.ft.)	plant type	precip. rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (min.)	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1 1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	128.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	128.0
4	1 1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1 1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day: 3.7 Hours										Total Monthly ETWU: 12881.5				

SCHEDULE CHART FOR SCHEDULE 1			(use columns as applicable to the project)											
value no.	valve size	flow (GPM)	int. effcy. (%)	int. type	area (sq. ft.)	plant type	precip. rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (min.)	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	128.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	128.0
4	1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day: 3.7 Hours										Total Monthly ETWU: 14881.5				

value no.	value size	flow (GPM)	int. effcy. (%)	int. type	area (sq.ft.)	plant type	precip rate (in./min.)	plant factor (PF)	daily runtime (min.)	nos. of cycles per day	indiv. runtimes (min.)	frequency per month	monthly runtime (min.)	total ETWU Gallons
1	1/2"	24	0.81	subsurface	1077	shrubs	0.70	0.3	60	1	60	8	480	780.0
2	1"	10	0.81	bubbler	256	trees	0.25	0.4	10	1	10	8	80	128.0
3	1"	12	0.81	bubbler	80	trees	0.25	0.3	10	1	10	8	80	128.0
4	1/2"	27.4	0.81	subsurface	1825	shrubs	0.70	0.3	60	1	60	8	480	780.0
5	1"	3.5	0.81	subsurface	24	shrubs	0.25	0.3	10	1	10	8	80	128.0
6	1/2"	19	0.81	subsurface	1216	shrubs	0.25	0.3	10	1	10	8	80	128.0
7	1"	20	0.81	bubbler	180	shrubs	0.25	0.3	60	1	60	8	480	780.0
Total Runtime per day: 3.7 Hours										Total Monthly ETWU: 16881.5				

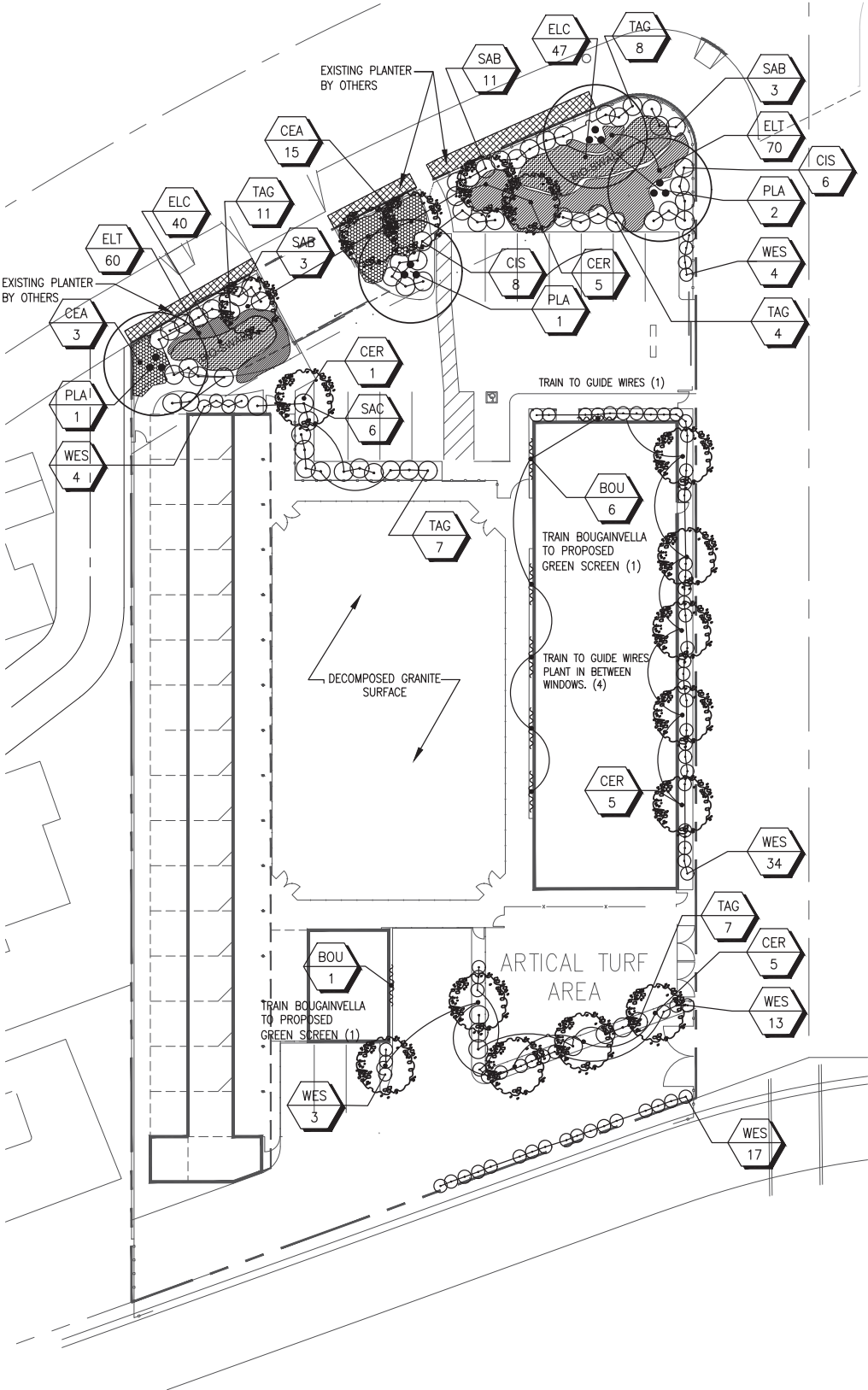
WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (Eto)	52.3					
Hydrozone#/Planting Description	Plant Factor PF	Irrigation Method	Irrigation Efficiency IE*	ETAF (PF/IE)	Landscape Area SQ. FT.	ETAF x Area Estimated Total Water use (ETWU)
Zone 1-Low water use	0.3	Drip	0.81	0.37	1,577	584
Zone 2-Mod water use	0.4	Bubblers	0.81	0.49	256	126
Zone 3-Low water use	0.3	Bubblers	0.81	0.37	80	30
Zone 4-Low water use	0.3	Drip	0.81	0.37	1,825	676
Zone 5-Low water use	0.3	Drip	0.81	0.37	24	9
Zone 6-Low water use	0.3	Drip	0.81	0.37	1,216	450
Zone 7-Low water use	0.3	Drip	0.81	0.37	160	59
				Totals	5,138	1935
						62730

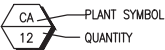


PLANTING NOTES

1. THE PLANTING DRAWING IS DIAGRAMMATIC. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES, LOCATIONS AND CONDITIONS OF THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH ALL APPLICABLE POLICIES/GUIDELINES OF THE OWNER UNLESS NOTED OR DIRECTED OTHERWISE BY THE CLIENT REPRESENTATIVE. ANY AND ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE CLIENT AND LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
2. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-227-2600. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
3. AT THEIR OWN EXPENSE, THE CONTRACTOR SHALL REPAIR OR REPLACE ALL PROPERTY OR ITEMS DAMAGED BY THEIR WORK TO ITS ORIGINAL CONDITION.
4. THE CONTRACTOR SHALL PROVIDE A SUBMITTAL OF ALL PLANTING RELATED MATERIALS TO THE CLIENT REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. THIS INCLUDES, BUT IS NOT LIMITED TO: TREE PROTECTION MATERIALS, SOIL REPORT FOR EXISTING SOIL, SOIL REPORT FOR ALL IMPORTED SOIL, SOIL AMENDMENTS, FERTILIZERS, HERBICIDES, PESTICIDES, MULCH, STAKING/GUYING MATERIALS, ROOT BARRIERS AND NURSERY RECEIPTS.
5. NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
6. PRIOR TO PLANTING, ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6". NOTE: BASED ON SOIL REPORT DATA, ADDITIONAL SOIL AMENDMENTS MAY BE REQUIRED.
- \*150 LBS. GRO-POWER  
\*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK OR REDWOOD SHAVINGS  
\*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX  
\*PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:  
2=1 GALLON; 5=5 GALLON; 10=15 GALLON; 14=24"+BOX. PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS.
- \*CONTRACTOR SHALL PROVIDE SOIL SAMPLES TO BE TESTED FOR AGRICULTURAL SUITABILITY. CONTRACTOR WILL TAKE A MINIMUM OF FIVE EQUALLY SPACED THROUGHOUT THE SITE, AND MAP SAMPLE TAKEN FOR REFERENCE. THE SOIL AGRICULTURAL SUITABILITY TEST REPORT WILL SUPERCEDE THESE PLANTING AMENDMENTS. CONTRACTOR SHALL SUBMIT ALL SOIL IMPORT DOCUMENTATION IN ORDER TO VERIFY SPECIFIED AMENDMENTS BEING USED.
7. PRIOR TO PLANTING EXCAVATION, THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE PLANT MATERIAL AND LOCATION. THE CONTRACTOR SHALL "STAGE" THE PLANTS IN THEIR PROPOSED PLANTING LOCATION STILL IN THE NURSERY CONTAINER FOR INSPECTION AND APPROVAL BY THE CLIENT REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE NURSERY RECEIPTS FOR ALL PLANT MATERIAL AT THE TIME OF INSPECTION ON THE PROJECT SITE.
8. PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% WITH 60% APPROVED SOIL MATERIAL AND 40% NITROGENIZED COMPOST MATERIAL, PER SPECIFICATIONS, UNLESS OTHERWISE NOTED.
9. LINEAR TYPE (NOT CIRCULAR) "DEEP ROOT" BARRIERS ARE TO BE USED FOR ALL TREES LOCATED WITHIN 5 FT. OF PAVING. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
10. FINISH GRADE TO BE 1" BELOW ALL WALKS, CURBS, AND PAVING.
11. ALL PLANTING AREAS ARE TO RECEIVE A MINIMUM 2" LAYER OF MULCH AS NOTED IN CONTRACT DOCUMENTS, UNLESS OTHERWISE DIRECTED. THE TOP OF MULCH SURFACE SHALL ALSO BE 1" BELOW ALL WALKS, CURBS AND PAVING AS STATED IN NOTE #11. MULCH THROUGHOUT ALL PLANTERS.
12. AFTER PLANTING, ALL PROPOSED SHRUB AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
13. THE CONTRACTOR SHALL WARRANTY ALL SHRUB AND GROUND COVER PLANT MATERIAL FOR 90 DAYS AND TREES FOR 1 YEAR FROM THE DATE OF ACCEPTANCE BY CLIENT REPRESENTATIVE. THE CLIENT REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE CONDITIONS OF ACCEPTABILITY. THE CONTRACTOR SHALL REPLACE ALL VEGETATION NOT DISPLAYING A HEALTHY, VIGOROUS CONDITION OF ACTIVE GROWTH DURING THIS WARRANTY PERIOD AT THEIR OWN EXPENSE.
14. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION ON THIS SECTION OF WORK.



KEY	BOTANICAL NAME/COMMON NAME	QUANTITY	SETBACK	PLANT FACTOR	SIZE	REMARKS
TREES						
CER	CERCIS OCCIDENTALIS / WESTERN REDBUD	16	10' O.C.	L	24" BOX	MULTI
PLA	PLATANUS RACEMOSA / WESTERN SYCAMORE	4	20' O.C.	M-L	48" BOX	MULTI
SHRUBS						
CIS	CISTUS PURPUREUS / ORCHID ROCKROSE	14	4' O.C.	VL	5 GAL	BUSHY
ELC	ELYMUS CONDENSATUS 'CANYON PRINCE	87	3'O.C.	L	1 GAL	PLANT 3' O.C.
SAB	SALVIA 'BEES BLISS'	17	5'O.C.	L	1 GAL	PLANT 4" O.C.
SAC	SALVIA CLEVELANDII / CLEVELAND SAGE	6	5' O.C.	L	5 GAL	BUSHY
TAG	TAGETES LEMONII / COPPER CANYON DAISY	37	5' O.C.	L	5 GAL	BUSHY
WES	WESTRINGIA FRUTICOSA 'MORNING LIGHT'/ COAST ROSEMARY	75	4' O.C.	L	5 GAL	BUSHY
GROUND COVERS						
CEA	CEANOTHUS GRIESUS HORIZONTALIS / CARMEL CREEPER	18	6' O.C.	L	1 GAL	PLANT @ 5' O.C.
ELT	ELYMUS TRITICOIDES / CREEPING WILD RYE	130	3' O.C.	L	1 GAL	PLANT @ 30" O.C.
VINES						
BOU	BOUGAINVILLEA SPECIES / VARIETIES TO BE SELECTED	7	10' O.C.	L	5 GAL	SEE DETAIL 'D' SHEET L2.02 TRAIN TO WALL



\*PF=PLANT FACTOR; WUCOLS (REGION#3): VL=VERY LOW; L=LOW; M=MODERATE; H=HIGH /SB=SETBACK FT  
\*\*CORRESPONDING QUANTITY SHOWN DENOTES INDIVIDUAL PLANT/PLUG. SEE SHEET L101 FOR HYDROZONE MAP.

NOTE:  
THIS PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE CITY OF GLENDALE MUNICIPAL CODE AND THE STATE WATER EFFICIENT LANDSCAPE ORDINANCES. FOR MORE INFORMATION YOU CAN EMAIL GWP: WATERENGINEERING@GLENDALECA.GOV TO GET THEIR REQUIREMENTS ,FORMS AND INSPECTION REQUIREMENTS.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE PACKAGE..

LANDSCAPE ARCHITECT SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PLANTING PLAN  
SCALE: 1" = 20'- 0"



DESIGN | ARCHITECTURE | PLANNING

RED

Architectural Group

3436 N. VERDUGO ROAD, SUITE 200, GLENDALE, CA 91208  
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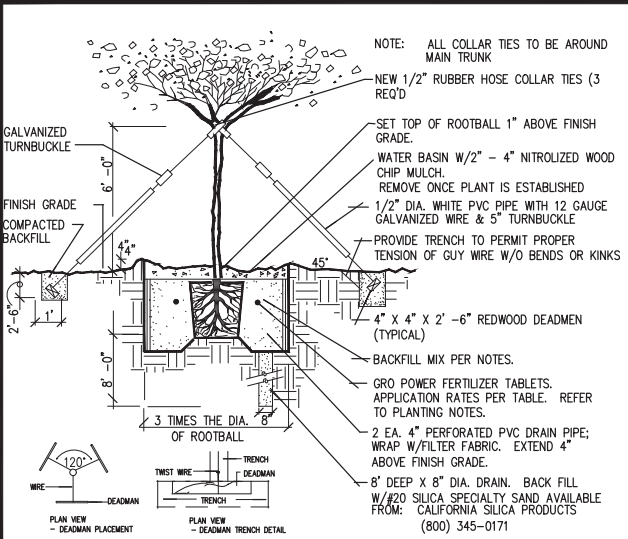
DATE: 4/24/2023  
PROJECT NUMBER 558.2101.03

KARAPEDIAN FAMILY RANCH  
1900 RIVERSIDE DRIVE  
GLENDALE, CA 91201

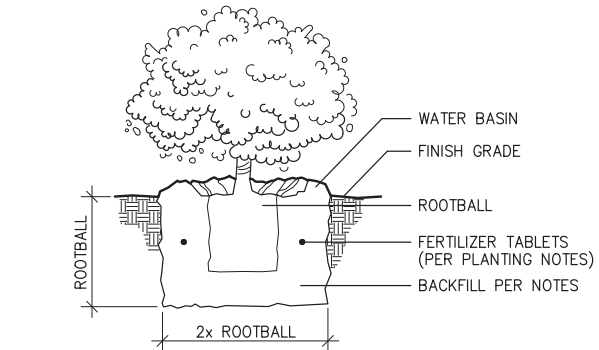
L201

Irrigation & Planting Maintenance Schedule

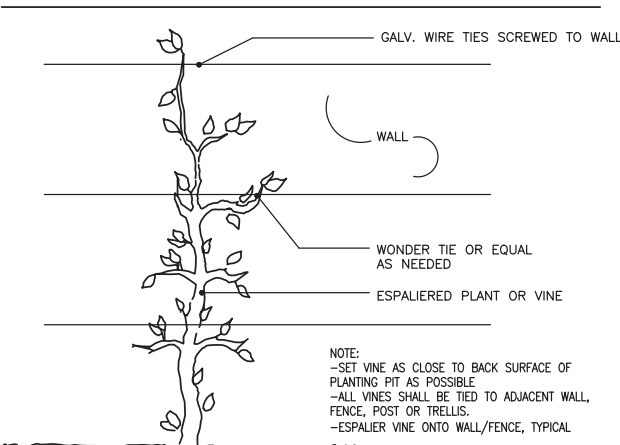
	Weekly	Bi-Weekly	MONTHLY	SPRING	SUMMER	FALL	WINTER	AS NEEDED
IRRIGATION SYSTEM MAINTENANCE & WATER CONSERVATION								
Monitor to correct for coverage, adjustments, patterns, height of heads, clogging of lines, etc	●							●
Repair all leaking or defective valves, heads and lines								
Monitor and adjust irrigation controllers			●					
Monitor any irregularities in the backflow Prevention device	●							●
Respond to complaints for repairs to the irrigation system as soon as possible and in all cases within 24 hrs								
SHRUB AND GROUNDCOVER MAINTENANCE								
Selective Pruning								●
Trimming (no hedging)								●
Weeding of shrub and ground cover areas	●							
Fertilizie Shrub and Groundcover Areas (Not Native Plants)								●
Cultivate (till) bare soil areas including high traffic areas			●					●
Replaced damaged, diseased or dead shrubs, groundcover with equal type and size.				●		●		
Mulch all bare soil areas, including traffic areas a minimum of 3"								
TREE CARE								
Remove dead and damaged tree branches								●
Prune and thin canopy to allow proper shaping, growth and air ventilation								●
Remove branches lower than 7' under walks and lower than 14' over roadways/parking lot								●
Fertilizie Trees (Not Native Plants)				●				
COntrol pests and diseases of trees								●
Replace damaged broken tree stakes								●
Remove stakes from self-supporting trees								●
GROUND MAINTAINANCE								
Clean-off all walkways	●							
Remove all debris and foreign objects such as gum, grease, paint graffiti, etc. from all walks, coutyards, receptacles and benches.	●							
Remove weeds from expansion joints and planters	●							
Remove trash and debris from parking lots and trash enclosures	●							
Power wash parking lots and concrete grounds and trash receptacles.			●					
Remove debris from drains and catch basins	●							
Leaf, litter, grass, tree and shrub branches pick up	●							
EXTRAORDINARY MAINTENANCE, REPAIRS AND REPLACEMENTS								
Replace damaged, diseased or dead shrubs, groundcovers and tree with equal type and size								●
Replace repair inoperable irrigation equipment								●
Repair erosion damage								●
								●
RODENT CONTROL								
COntrol Rodents								



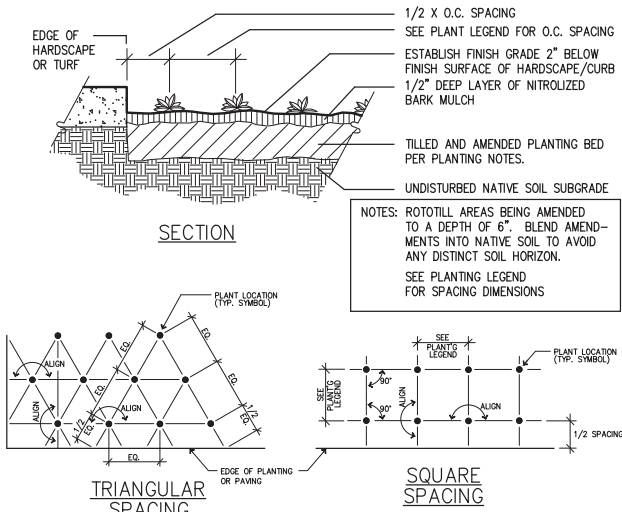
C TREE GUYING  
SCALE: N.T.S.  
FILE: D\_PLA009



A SHRUB PLANTING  
SCALE: N.T.S.  
FILE: D\_PLA001



D VINE PLANTING  
SCALE: N.T.S.  
FILE: D\_PLA006



B GROUNDCOVER PLANTING  
SCALE: N.T.S.  
FILE: D\_PLA002

PLANTING DETAILS & NOTES  
SCALE: 1" = 20'- 0"



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