

PROPOSED 2 - STORY SINGLE FAMILY HOUSE  
W/ ATTACHED 2 CAR GARAGE  
589 ARCH PLACE, GLENDALE, CA. 91206

GENERAL NOTES :

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 CBC, CRC, CPC, CMC, CEC, CEnC, CGSBC, AND 2020 GBSC (GLENDALE BUILDING STANDARD CODE)
3. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
4. "NO MATERIALS" SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
5. NO NEW ROOF TOP EQUIPMENT IS ALLOWED.
6. INSTALL 6" SISALKRAFT FLASHING AT EXTERIOR OPENING.
7. ALL DIMENSIONS ARE GIVEN FROM FACE TO FACE OF STUDS U.N.O.
8. CONTRACTOR TO MAINTAIN CITY STREET AND SIDEWALKS CLEAR OF DIRT AND DEBRIS AT ALL TIMES.
9. PROVIDE TWO LAYERS OF GRADE 'D' PAPER OVER ALL WOOD BASED SHEATHING PRIOR TO EXTERIOR LATH APPLICATION.
10. PROVIDE 7/8" STUCCO OVER PLYWOOD AT EXTERIOR WALL OF THE GARAGE AREA EXT. REAR DOOR LOCATED AT THE WEST & MAN DOOR LOCATED AT THE SOUTH SIDE OF GARAGE (TO SEAL THE OPENING AFTER DOORS REMOVED)
11. THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCES OR STATE LAW.
12. ALL WALLS TO BE 1-HOUR RATED U.N.O.
13. ALL WORKS SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THIS PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTOR TO INSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
14. THE FOLLOWING LOCATION SHALL BE PROVIDED WITH SAFETY GLAZING ( 2406.4 VOL. 1, CBC 2013 ).
  - A. ALL GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOL, SAUNAS, STEAM ROOM, BATH TUBS & SHOWER EDGE OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE OR DRAIN INLET
  - B. ALL GLAZING WITHIN 24" INCHES OF A DOOR AND WITHIN 60" INCHES OF THE FLOOR.
  - C. ALL GLASS OVER 9 SQ. FT. IN AREA WITHIN 18" OF THE FLOOR OR 36" INCHES OF GRADE AND GLASS DOOR AND WALL PANELS.
15. ALL WINDOW GLASS ARE TO BE DUAL TYPE UNLESS OTHERWISE STATED
16. ☒ S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACKUP. SMOKE DETECTORS SHALL BE WIRED TO THE BLDG ELECTRICAL SYSTEM AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND SHALL BE CAPABLE OF SOUNDING AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE HOUSE (PROVIDE INTERCONNECTION) PROVIDE SMOKE DETECTORS IN :
  - EACH SLEEPING ROOM
  - IN THE ADJACENT AREA OR HALLWAY GIVING ACCESS TO THE BEDROOMS
  - ON EACH LEVEL AND IN THE BASEMENT
  - AT THE TOP AND BOTTOM OF THE STAIRWELLS
  - WHERE CEILING HEIGHTS OF ROOMS OPEN TO THE HALLWAY SERVING A ROOM EXCEEDS 8'0" (CEILING HEIGHTS 8'0" OR MORE, SMOKE DETECTOR SHALL ALSO BE PROVIDED IN THE ADJACENT ROOM.
17. SEPARATE PERMIT MAYBE REQUIRED FOR MECHANICAL, ELECTRICAL PLUMBING SHORING, GRADING AND DEMOLITION.
18. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDING HAVE BEEN INDICATED ON THIS SITE PLAN.
19. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA AND SHALL BE INSTALLED PRIOR TO EXCAVATION AND /OR FOUNDATION TRENCHING.
20. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-1-3305).
21. THE FINISH GRADE SHALL SLOPE A MIN. OF 5% TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALE SHALL SLOPE A MINIMUM OF 2% (CRC 4001.3)
22. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CRC R403.1.7.3)
23. SMOKE DETECTOR SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMANS. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR A PERMIT FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
24. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS & ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
25. A COPY OF THE VALID EVALUATION REPORT AND / OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
26. FENCES, PLANTERS & RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF (3.5') FT. ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED (FRONT) YARD. (12.22200(f))
27. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
28. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
29. EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
30. ENTRY & EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD. EXCEPTION : PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING, LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AN EXTERIOR DOOR ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)
31. PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSET. TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
32. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
33. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS PIPING". (PER ORDINANCE 170,158) SEPARATE PLUMBING PERMIT IS REQUIRED).
34. FINISH MATERIAL POLLUTANT CONTROL SEC. 4.504.2  
FINISH MATERIAL POLLUTANT CONTROL - THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTION 4.504 THROUGH 4.504.5.
  - ADHESIVES, SEALANTS AND CAULKS, PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND ADHESIVES, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
35. DOORS, WINDOWS, GLASS & GLAZING :
  - WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED.
  - GLAZINGS IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3 (6)) WITHIN 18" IN 60" OF TUB OR SHOWER FLOOR (CBC 2406.3(5)), OR WITHIN 5' OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10)) SHALL BE TEMPERED.
36. GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3(6)) WITHIN 18" OF FLOOR FLOOR (CBC 2406.3(5)) OR WITHIN 5' OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10)) SHALL BE TEMPERED.
37. COMPLY WITH THE LOS ANGELES BUILDING AND SAFETY CODE & THE NEW 2013 CBC.
38. ALL NEW WINDOW GLAZED SHALL BE DUAL TYPE UNLES OTHERWISE STATED SEE SCHED. OF WINDOWS.
39. PROVIDE NO. 24 GALV. W/VEED SHEET GAGE WEEP SCREED WITH 3-1/2" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4-INCHES ABOVE EARTH OR 2-INCHES ABOVE PAVED AREAS. (CMC. 2512.1.2)
40. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY, A AREA GIVING ACCESS TO SLEEPING ROOMS AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARMS WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERYUP AND LOW BATTERY SIGNAL. (R314)
41. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
42. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE - FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWE POLES, PULL BOXES, TRANSFORMERS, PUMPS, VALVES, METERS, APPURTEANANCES, ETC. OR TO THE LOCATION OF THE HOOR - UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE THE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.
43. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
44. KITCHEN SINKS, LAVATORIES, BATH TUBS, SHOWERS, BIDET, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
45. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
  - a. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.
  - b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 - INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
  - c. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
    - 1.) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
    - 2.) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
    - 3.) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
    - 4.) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
  - d. GLAZING IN ENCLOSURES.
  - e. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
  - f. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER EDGE.
  - g. GLAZING WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHT OF STAIRS AND RAMPS.
  - h. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.
46. PROTECTION OF WOOD AND WOOD BASE PRODUCTS FROM DECAY SHALL BE PROVIDED IN LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE - TREATED IN CORDANCE WITH A WPA UI FOR THE SPECIFIC PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED ON SECTION 2 OF A WPA UI.
47. FOR STEPS / STAIR, TREAD AND RISER DIMENSIONS (7.75" MAX. RISER / 10" MIN. TREAD) (CRC R311.7.4 ) )
48. EXTERIOR DOOR SHALL MEET ONE OF THE FOLLOWING :
  - a. NONCOMBUSTIBLE CONSTRUCTION OR
  - b. SOLID WOOD JOINTING STYLE AND RISER SHALL NOT LESS THAN 1-3/8-IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4-IN. THICK. OR
  - c. MINIMUM 20-MINS. RATED OR
  - d. MEET SFM 12-7A-1
49. ATTIC VENTILATION SHALL NOT BE LOCATED IN SOFFITS, IN EAVE OVERHANG, BETWEEN RAFTERS AT THE GABLE ENDS, OR BANNER VENTILATION. GABLE VENTILATION SHALL BE LOCATED AT LEAST 10 FEET FROM PROPERTY LINES. UNDERFLOOR VENTILATION OPENINGS SHALL BE LOCATED AS CLOSE AS TO GRADE AS POSSIBLE.
50. BATHTUB AND SHOWER FLOORS, WALL ABOVE BATHTUB WITH A SHOWER HEAD, AND SHOWER ENCLOSURE SHALL BE CONSTRUCTED WITH A NONABSORBENT SURFACE. ALL WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
51. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
52. PROVIDE IN THE IMMEDIATE VICINITY OF THE ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE". (R309)
53. FOR CLOTHES DRYER A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.2).
54. FOR CLOTHES DRYER A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6 FT. AND CANNOT BE CONCEALED (CMC 504.3.2.1).
55. GAS WATER HEATER INSTALLED IN A GARAGE SHALL BE ELEVATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR. GAS WATER HATER INSTALLED ON THE GROUND SHALL REST ON LEVEL CONCRETE OR OTHER APPROVED BASE NOT LESS THAN 3-INCHES ABOVE THE ADJOINING GROUND. (CMC 508.14; 508.3; CMC 307.1)
56. PROVIDE SEISMIC STRAPPING TO WATER HEATER. (CPC 508.2) WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
57. FOR WATER HEATER A T & P RELIEF VALVE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS SHALL BE PROVIDED. (CPC 509.6)
58. WATER HEATERS WITH OUTDOOR COMBUSTION AIR SHALL PROVIDE TWO OPENINGS WITHIN 12 INCHES OF THE TOP AND BOTTOM OF THE ENCLOSURE. EACH OPENING SHALL BE SIZED AT 1 SQUARE INCH/4000BTU/H IF THE COMBUSTION AIR IS DIRECTLY FROM OUTDOOR WITHOUT DUCTS (CPC 507.4) FOR ALL OTHER INSTALLATION, COMBUSTION AIR SHALL COMPLY WITH CPC 507.
59. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 ° F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
60. PROVIDE FULLY FIRE SPRINKLER SYSTEM THROUGHOUT THE HOUSE
61. THERE ARE NO OAK, BAY OR SYCAMORE TREES ON OR WITHIN 20 FEET OF THE SITE.

FIRE DEPARTMENT NOTES :

1. ADDRESS NUMBERS :  
APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS, A MINIMUM OF 4 - INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR), NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
2. FIRE SPRINKLERS :  
PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS OF THE GLENDALE FIRE DEPARTMENT. FIRE SPRINKLER PLAN SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT.
3. SMOKE DETECTORS :  
SMOKE DETECTORSS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARM SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER ALARMS.
4. CARBON MONOXIDE DETECTORS :  
SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS WITHIN 10' OF THE BEDROOM(S) SHALL BE INSTALLED. 2013 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SECTION R315
5. FUEL MODIFICATION / LANDSCAPING FOR HIGH FIRE HAZARD AREAS (HFHA) :  
ALL FUEL MODIFICATION / LANDSCAPING SHALL COMPLY WITH FIRE DEPARTMENT APPROVED / PERMITTED LANDSCAPE PLAN.
  - A. FUEL MODIFICATION / LANDSCAPING PLANS MUST BE APPROVED BY FIRE ENGINEER PRIOR TO APPROVAL OF ARCHITECTURAL PLANS, OBTAIN A FIRE PERMIT FOR LANDSCAPING.
  - B. FUEL MODIFICATION . LANDSCAPING MUST COMPLY WITH THE LANSCAPE GUIDELINES FOR HILLSIDE DEVELOPMENT.
  - C. PROVIDE A MINIMUM 100 FOOT FUEL MODIFICATION ZONE PER THE LANDSCAPE GUIDELINES FOR HILLSIDE DEVELOPMENT FOR ALL PROPOSED AND EXISTING STRUCTURES.
6. FIRE PERMITS :  
THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE DEPARTMENT :
  - ☐ FIRE SPRINKLER
  - ☐ FUEL MODIFICATION / LANDSCAPING
7. REQUIRED FIRE DEPARTMENT INSPECTIONS :  
FOR ALL INSPECTIONS, REQUEST ONLINE AT <http://glendale.gov/gfdinspreq> OR CALL 818-548-4810. FIRE INSPECTIONS REQUIRED ARE :
  - ☐ FIRE SPRINKLER OVERHEAD / UNDERGROUND ROUGH AND FLUSH (BEFORE COVERING ANY PIPING)
  - ☐ FIRE SPRINKLER FINAL
  - ☐ FUEL MODIFICATION / LANDSCAPING
  - ☐ FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT ACCESS, SMOKE DETECTORS, FUEL MODIFICATION, ETC.)

SCOPE OF WORK

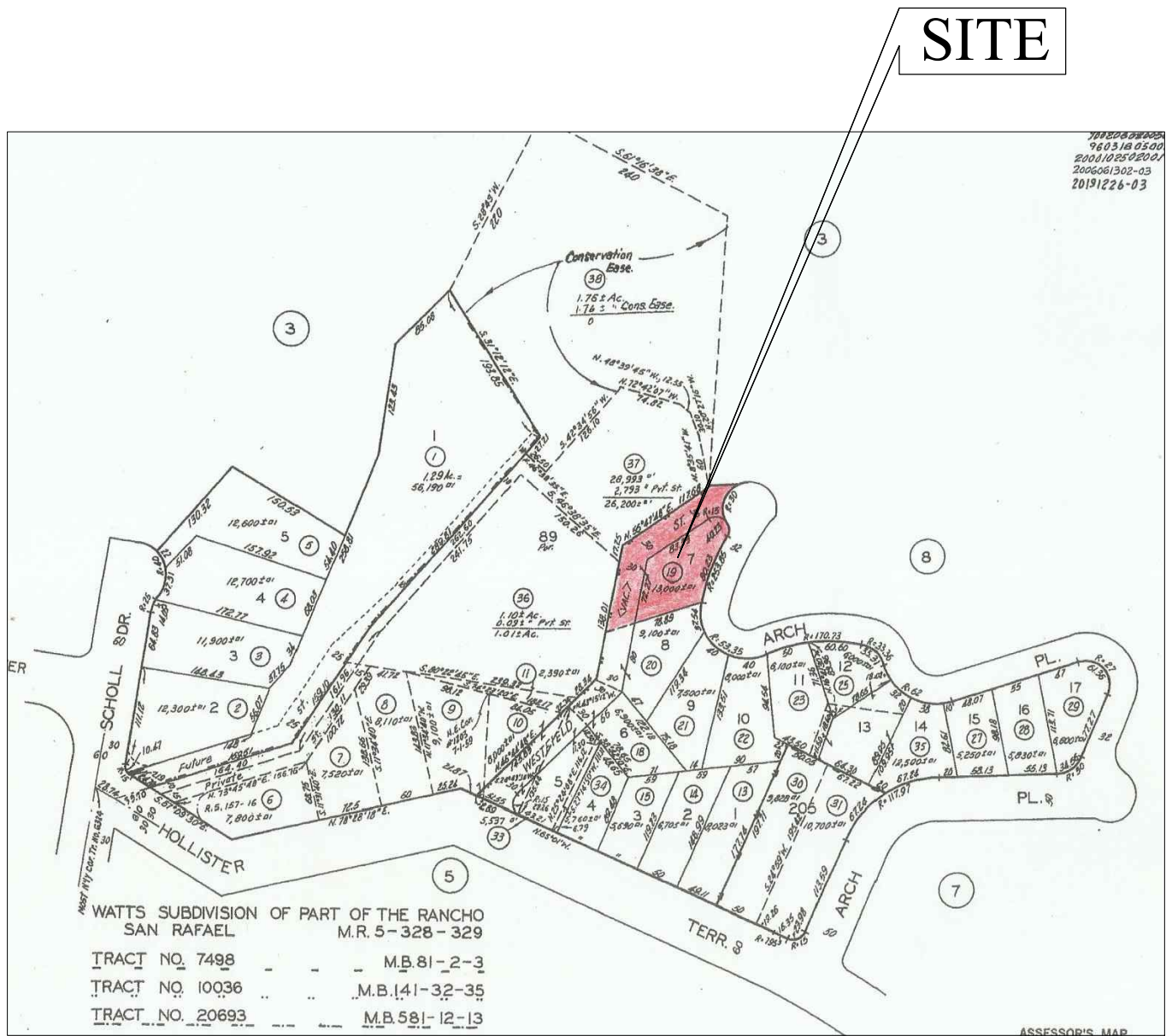
1. CONSTRUCT NEW 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE PER DRAWINGS, SEE SITE DEV'T. PLAN @ 1/A-1, PROPOSED FIRST FLOOR PLAN @ 1/A-2 & BASEMENT FLOOR PLAN @ 1/A-3.

ADDITIONAL NOTES :

1. NEW ROOF TOP EQUIPMENT IS PROHIBITED IN THIS ZONE.
2. RETAINING WALLS, SPAS, JACCUZZIS, FENCES AND PATIO COVERS REQUIRE SEPARATE PERMITS.



1 VICINITY MAP  
NOT TO SCALE



2 LOCATION MAP  
NOT TO SCALE

PROJECT DESCRIPTION

PROJECT TITLE : PROPOSED 2 -STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE

ADDRESS : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN

LOT AREA : 13,053 SQ. FT. ± (0.30 ACRES)

BUILDING CODE : COMPLY W/ 2022 CBC, CRC, CPC,CMC, CEC, CEnC, CGSBC, AND 2023 GBSC (GLENDALE BUILDING STANDARD CODE)

PROJECT DATE : YEAR 2023

TOTAL AREA OF EACH OCCUP. BLDG. STRUCTURE :  
PROPOSED :  
PROPOSED FIRST FLOOR : 2,046 SQ. FT.  
PROPOSED SECOND FLOOR : 1,239 SQ. FT.  
TOTAL FIRST & SECOND : 3,285 SQ. FT.  
FLOOR AREA  
PROPOSED 2 CAR GARAGE : 519 SQ. FT.(500 SQ. FT. EXEMPT) = 19 SQ. FT.  
PROPOSED SECOND FLR. ENTY PORCH : 42.5 SQ. FT.  
PROPOSED SECOND FLR. REAR BALCONY : 269 SQ. FT.  
PROPOSED FIRST FLR. BALCONY / DECK : 335 SQ. FT.  
FLR. AREA RATIO REQUIRED :  
TOTAL LOT AREA : 13,053 SQ. FT.  
1ST 10,000 SQ. FT. (30%) = 3,000 SQ. FT.  
2ND 3,053 SQ. FT. (10%) = 305.3 SQ. FT.  
TOTAL ALLOWABLE FLR. AREA RATIO : 3,305.3 SQ. FT.

PROPOSED FLR. AREA : 2,046 SQ. FT. + 1,239 SQ. FT. + 19 SQ. FT. = 3,304 SQ. FT.  
RATIO (F. A. R.) = 3,304 / 13,053 SQ. FT. = 25.31 % (SEE SHEET A-1.1)

PROPOSED LOT COVERAGE : 2,628 SQ. FT. SQ. FT. / 13,053 SQ. FT. = 20.13 % (SEE SHEET A-1.1)

PROPOSED NOS. OF STORY : 2 - STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE  
ZONING : R1R-II  
TYPE OF CONSTRUCTION : TYPE V B  
BUILDING HEIGHT : 33'-10.75" MAX. PROPOSED 2-STORY HOUSE  
REQUIRED : FIRE SPRINKLER THROUGHOUT (TO BE INSTALLED)  
NFPA 13D, SEPARATE PERMIT REQUIRED. THE FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.

PROPOSED LANDSCAPE AREA : 10,311 SQ. FT. / 13,053 SQ. FT. = 79 %  
(SEE DET. DIAGRAM CALCS. @ SHEET 1/A-1.2)

EXISTING LANDSCAPE AREA : 13,053 SQ. FT. (VACANT LOT)  
TYPE OF OCCUPANCY : R  
ARCHITECTURAL STYLE : CONTEMPORARY

NOTE :  
AVERAGE CALCULATIONS :  
A = 13,147 SQ. FT. = 0.3018 AC  
L = 9,736.6'  
S = 0.00229 x 1 x 1 / A = 0.00229 x 1' x 9,736.6' / 0.3018 = 73.88 %

APPROVED PER VARIANCE PVAR-001654-2023 ALLOW 5 FT. STREET FRONT SETBACK AND DRIVEWAY LENGHT OF 6'-3.25", SEE SHEET AD-1 FOR DECISION LETTER

LEGAL DESCRIPTION

ASSESSORS PARCEL NO. :5666 - 004 -019  
LOT 7 AND VACATED STREET OF TRACT NO. 10036,  
MAP BOOK 141, PAGE 32

CONSULTANT

BLDG. DESIGNER : V J & ASSOCIATES  
ADDRESS : 1224 E. BROADWAY, SUITE 105, GLENDALE, CA. 91205  
TEL. : 818 - 956 - 0570 FAX : 818 - 956 - 0571 Email : varjtan2@gmail.com

SHEET INDEX

DRWG. NO.	DRAWING TITLE
A-0	PROJECT DESCRIPTION, LEGAL DESC., CONSULTANT, SHEET INDEX
A-1	SCOPE OF WORKS, NOTES, VICINITY MAP & LOCATION PLAN
A-1A	SITE DEV'T. PLAN, LEGENDS & NOTES
A-1B	(COLORED) SITE DEV'T. PLAN W/ SURVEY . LEGENDS & NOTES (COLORED GARDING & UNGRADED AREA) SITE DEV'T. PLAN W/ SURVEY, LEGENDS & NOTES
A-1.1	PROPOSED FLOOR AREA DIAGRAM & CALCULATIONS
A-1.2	PROPOSED LANDSCAPE DIAGRAM & CALCULATION
A-2	(PROPOSED) SECOND FLOOR PLAN, LEGENDS & NOTES
A-2.1	(PROPOSED) SECOND FLOOR PLAN W/ SURVEY, LEGENDS & NOTES
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A-3.1	(PROPOSED) FIRST FLOOR PLAN W/ SURVEY, LEGENDS & NOTES
A-4	(PROPOSED) ROOF PLAN, LEGENDS & NOTES
A-5	PROPOSED BUILDING ELEVATION, LEGENDS & NOTES, SCHEDULE OF FINISHES
A-5.1	COLORLED BUILDING ELEVATION, LEGENDS & NOTES
A-6	PROPOSED BUILDING ELEVATION, LEGENDS & NOTES, SCHEDULE OF FINISHES
A-6.1	COLORLED BUILDING ELEVATION, LEGENDS & NOTES, SCHEDULE OF FINISHES
A-7	PROPOSED BUILDING ELEVATION, LEGENDS & NOTES, SCHEDULE OF FINISHES
A-7.1	COLORLED BUILDING ELEVATION, LEGENDS & NOTES
A-8	PROPOSED BUILDING ELEVATION, LEGENDS & NOTES, SCHEDULE OF FINISHES
A-8.1	COLORLED BUILDING ELEVATION, LEGENDS & NOTES
A-9	PROPOSED BUILDING SECTION, LEGENDS & NOTES
A-9.1	PROPOSED BUILDING SECTION, LEGENDS & NOTES
A-9.2	PROPOSED / SITE BUILDING SECTION, LEGENDS & NOTES
A-10	SCHEDULE OF DOORS & WINDOWS, LEGENDS & NOTES
A-11	DETAILS & SAMPLE MATERIALS
A-12	(ADJ. PROPERTIES MAP) NEIGHBORING WINDOW PLAN, FIRST & SECOND FLR. (WINDOW LOCATION), LEGENDS
A-12a	SATELLITE MAP
A-12a	TOPOGRAPHIC SURVEY MAP
L-1	LANDSCAPE / PLANTING PLAN, PLANT LIST
L-2	LEGENDS & NOTES
L-2	IRRIGATION PLAN, SPRINKLER HEADS, LEGENDS & NOTES
L-3	LANDSCAPE DETAILS & SPECIFICATIONS
AD-1	VARIANCE CASE NO. PVAR-001654-2023

Revisions	By

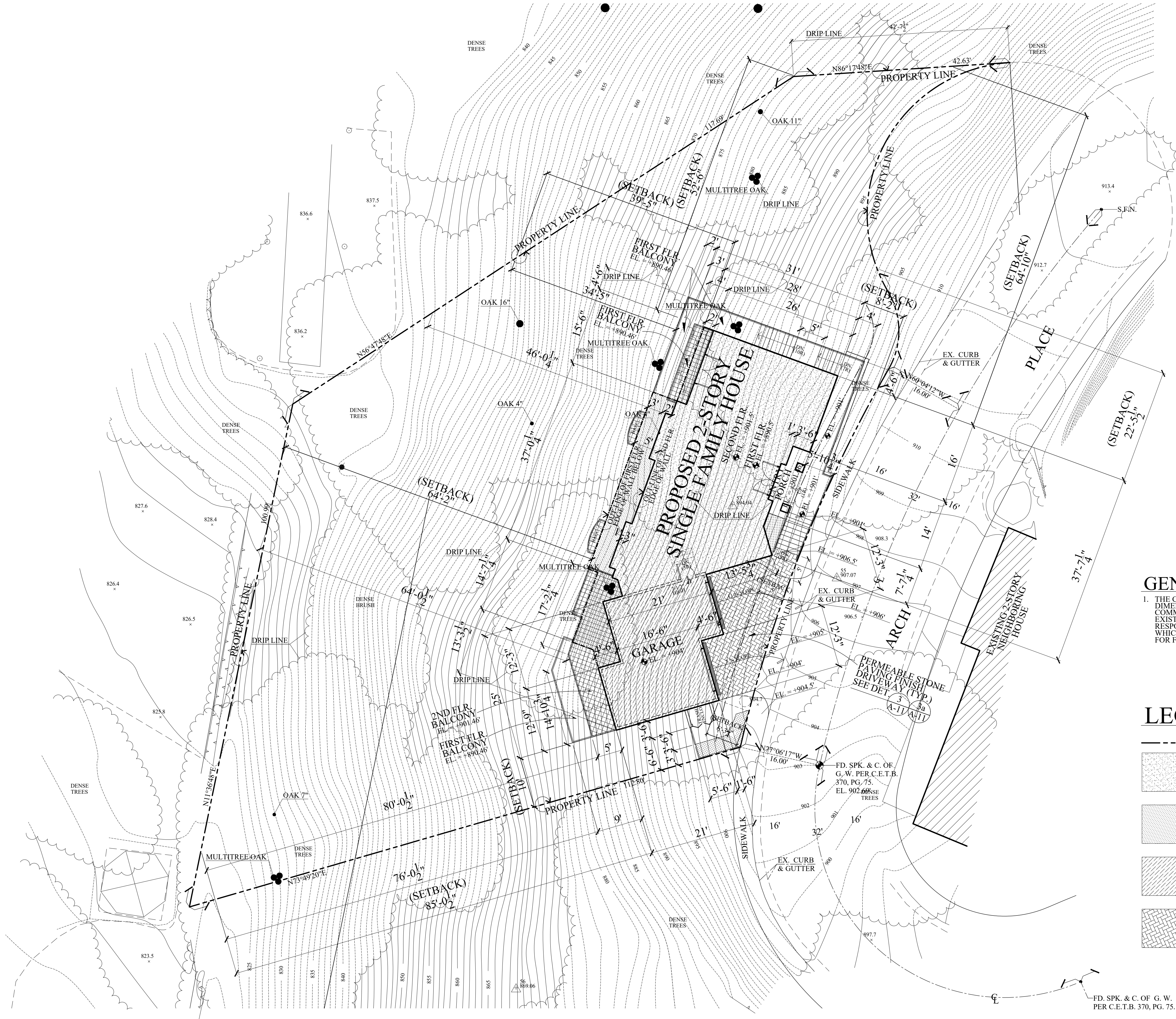
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building design • planning • interior  
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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE  
PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206  
OWNER : ARSEN AGAJANIAN  
PROJ. ARCHITECT : VJ & ASSOCIATES  
PROJ. LEGAL DESC. : LEGAL DESC. CONSULT. SHT. INDEX, VICINITY MAP, & LOCATION MAP. SCOPE OF WORKS, GEN. NOTES

Drawn by  
NEIL A.  
Checked by  
V. J.  
Date  
JULY 3, 2024  
Scale  
N. T. S.  
Job No.  
Sheet No.  
A-0  
of Sheets





GENERAL NOTES :

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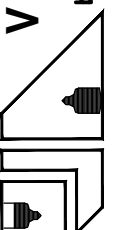
LEGENDS :

- PROPERTY LINE
- HATCHED AREA SHOW SINGLE FAMILY HOUSE SECOND FLOOR
- HATCHED AREA SHOW SINGLE FAMILY HOUSE PART OF FIRST FLOOR
- HATCHED AREA SHOW 2 CAR GARAGE
- HATCHED AREA SHOW PERMEABLE STONE PAVING FINISH SEE DET.

1 SITE DEVELOPMENT PLAN W/ SURVEY  
SCALE : 1" = 10'-0"

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**PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

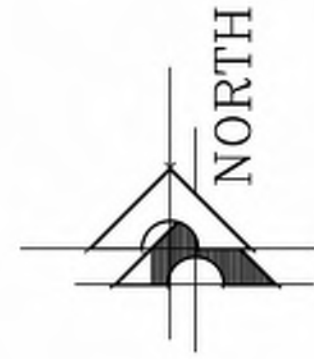
PROJ. TITLE :  
PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206  
OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE : SITE DEVELOPMENT PLAN WITH SURVEY, LEGENDS & NOTES

Drawn by  
**NEIL A.**  
Checked by  
**V. J.**  
Date  
**AUG. 15, 2023**  
Scale  
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Job No.

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**A-1**  
of  
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GENERAL NOTES :


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LEGENDS :

- PROPERTY LINE
- HATCHED AREA SHOW SINGLE FAMILY HOUSE SECOND FLOOR AND PART OF FIRST FLOOR
- HATCHED AREA SHOW HARDSCAPE
- HATCHED AREA SHOW LANDSCAPE

FD. SPK. & C. OF G. W. PER C.E.T.B. 370, PG. 75.

Revisions	By



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(818) 956-0570

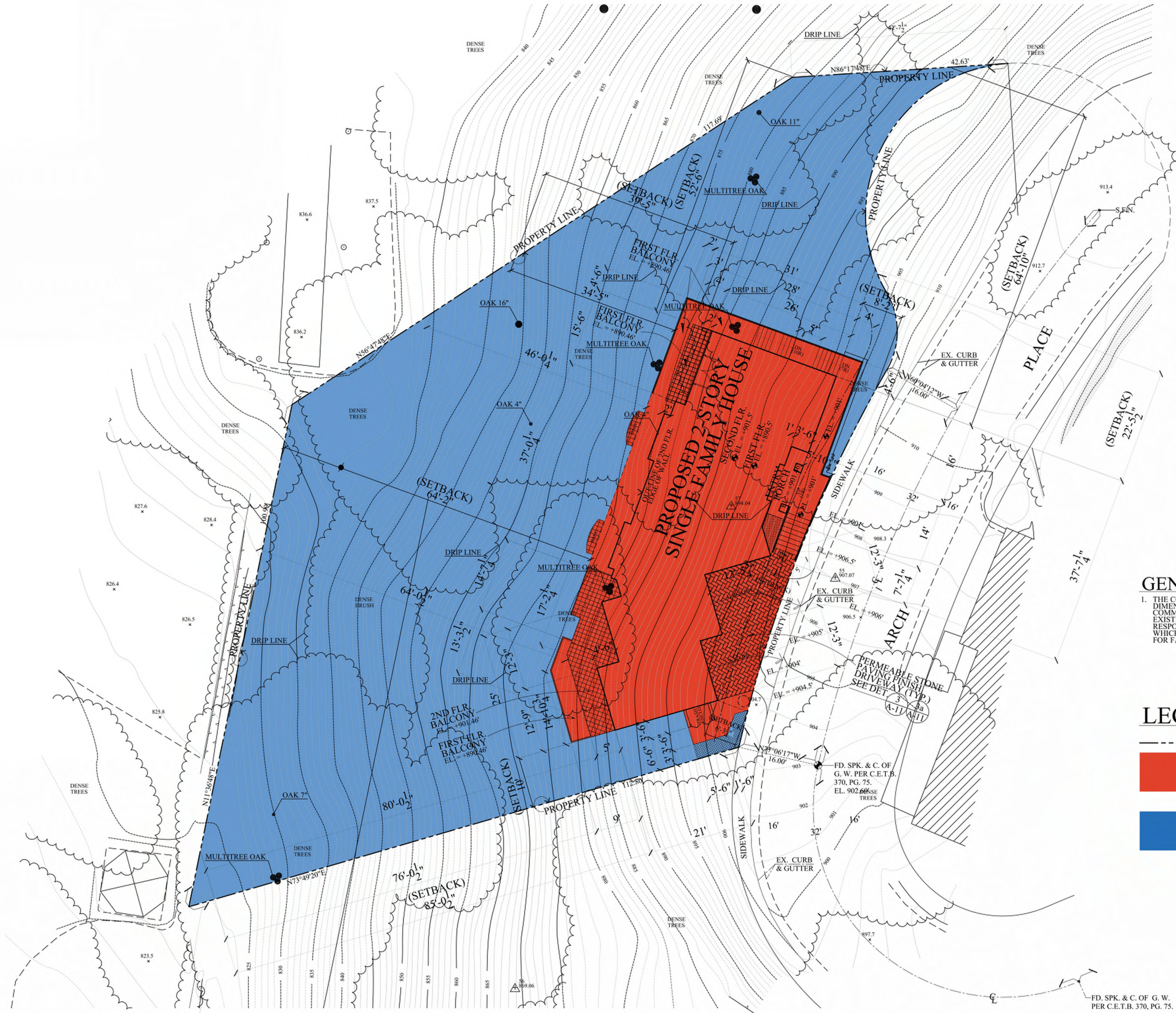
PROJ. TITLE : PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE : SITE DEVELOPMENT PLAN WITH SURVEY, LEGENDS & NOTES





### GENERAL NOTES :

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### LEGENDS :

- PROPERTY LINE
- GRADING AREA 23.8% OF THE LOT
- UNGRADED AREA 76.2% OF THE LOT

NOTE:  
CUT AND FIL 800 CU.YD.

FD. SPK. & C. OF G. W.  
PER C.E.T.B. 370, PG. 75.

1 SITE DEVELOPMENT PLAN W/ SURVEY  
SCALE : 1" = 10'-0"

Revisions	By

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**PROJ. TITLE : PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

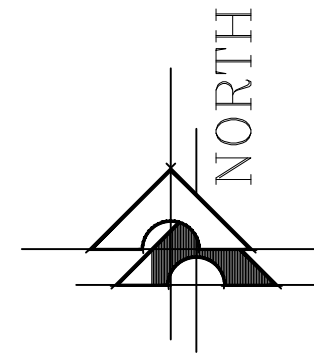
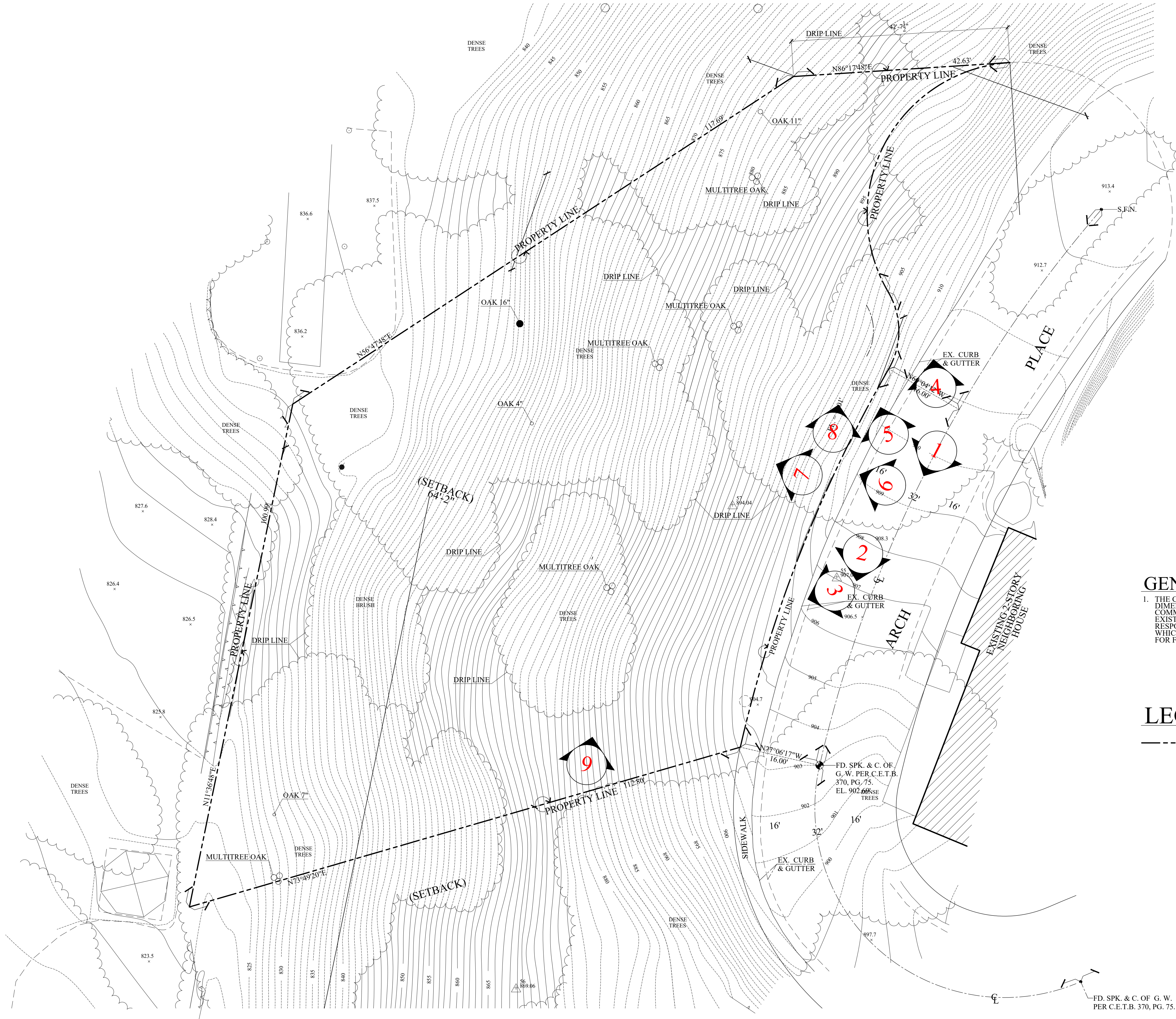
PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206  
OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE : SITE DEVELOPMENT PLAN WITH SURVEY, LEGENDS & NOTES

Drawn by  
**NEIL A.**  
Checked by  
**V. J.**  
Date  
**APRIL 4, 2023**  
Scale  
**1" = 10'-0"**  
Job No.

Sheet No.  
**A-1B**  
of  
Sheets





GENERAL NOTES :

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LEGENDS :


----- PROPERTY LINE

1

KEY MAP FOR PHOTOGRAPHS

SCALE : 1" = 10'-0"

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(818) 956-0570

PROJ. TITLE : PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA 91206.

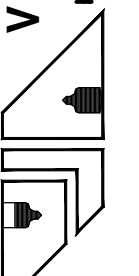
DRWG. TITLE : KEYMAP FOR PHOTOGRAPHS

Drawn by NEIL A.
Checked by V. J.
Date JULY 3, 2024
Scale 1" = 10'-0"
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Sheet No. A-1c
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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE: **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER: ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE: **FLOOR AREA & LOT COVERAGE DIAGRAM & CALCULATIONS**

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**AUG. 11, 2023**

Scale  
**N. T. S.**

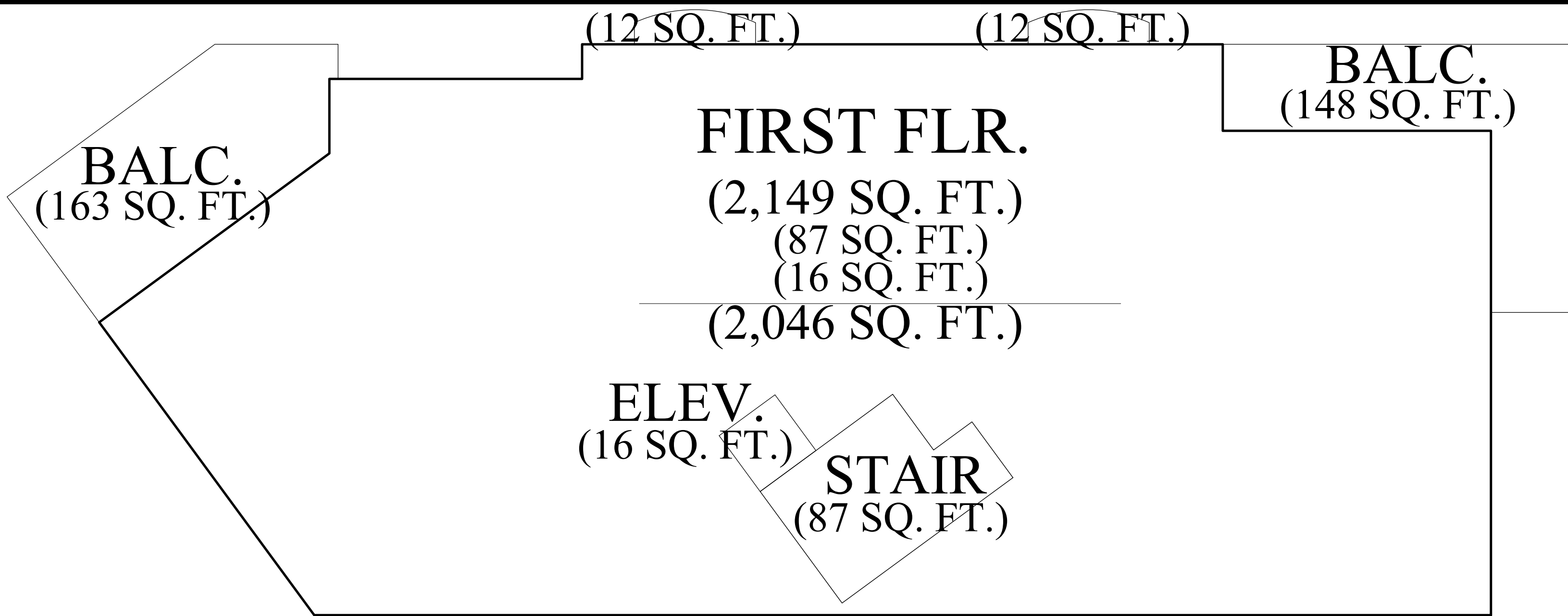
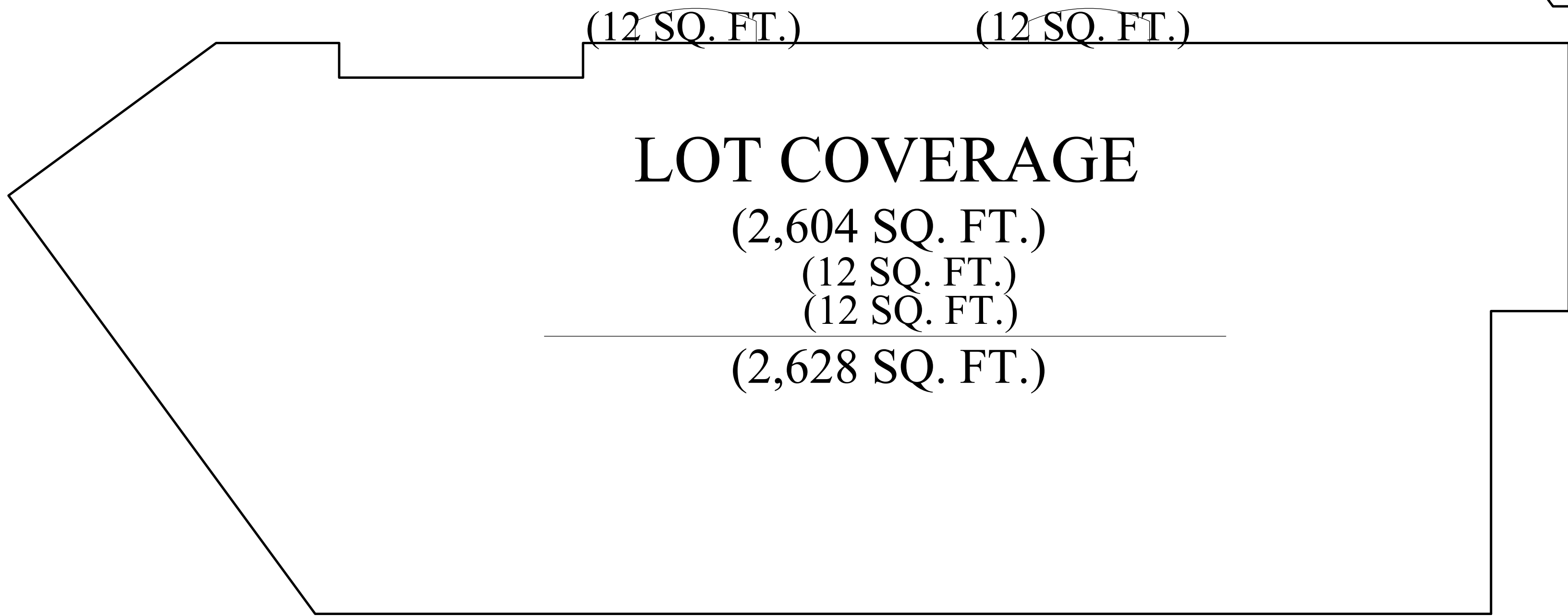
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**A-1.1**

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Sheets

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**FLOOR AREA & LOT COVERAGE  
DIAGRAM & CALCULATION**  
SCALE : 3/16" = 1'-0"



**TOTAL FIRST FLR. AREA : (2,046 SQ. FT.)**

**AREA SUMMARY :**

LOT AREA : 13,053 SQ. FT.

FIRST FLR. AREA : (2,046 SQ. FT.)  
SECOND FLOOR AREA : + (1,239 SQ. FT.)  
OVERALL TOTAL AREA : (3,285 SQ. FT.)

2 CAR GARAGE : 519 SQ. FT. (500 SQ. EXEMPT) = 19 SQ. FT.

TOTAL F.A.R. = 2,046 SQ. FT. + 1,239 SQ. FT. + 19 SQ. FT. =  
3,304 SQ. FT. / 13,053 SQ. FT. = 25.31 %

TOTAL LOT COVERAGE : 2,628 SQ. FT. / 13,053 SQ. FT. = 20.13 %  
FOOTPRINT OF NEW (SFD) : 2,469 SQ. FT. / 13,053 SQ. FT. = 18.91 %

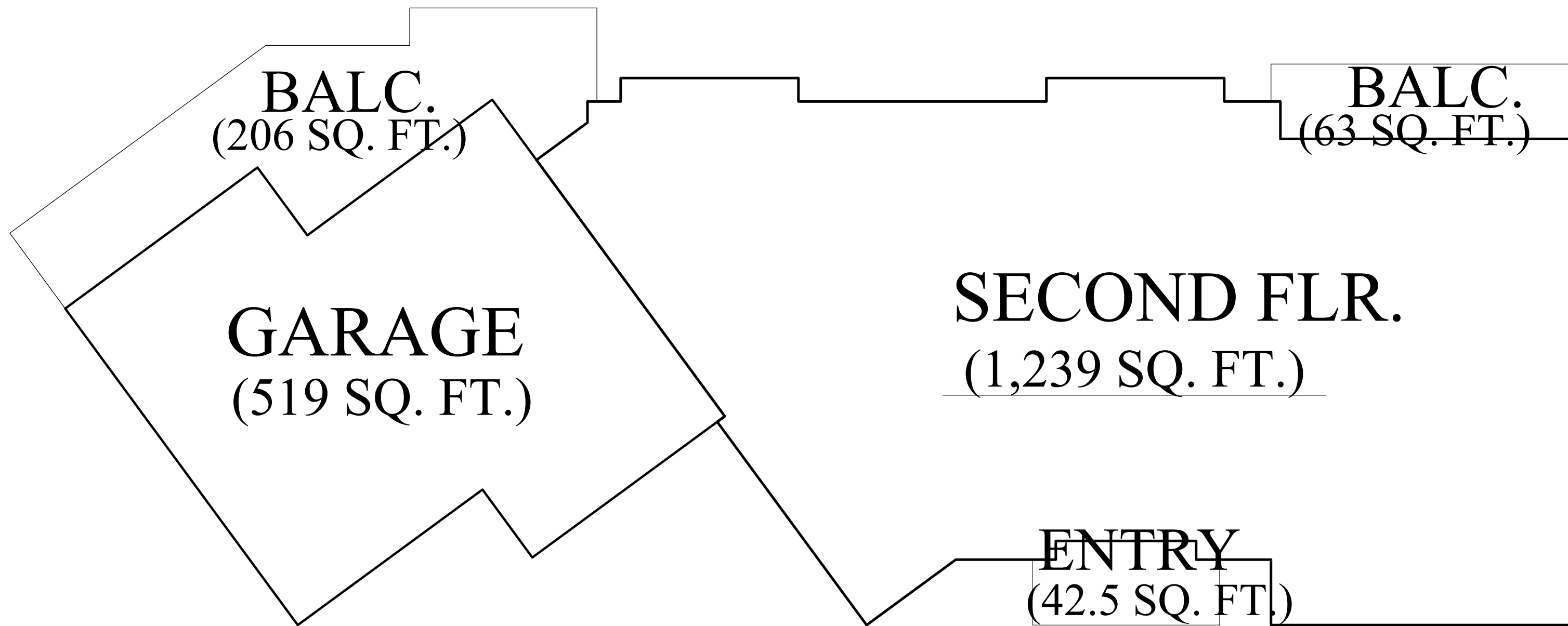
ENTRY PORCH : (42.5 SQ. FT.)

FIRST FLR. BALCONY : (148 SQ. FT.)  
(163 SQ. FT.)  
(12 SQ. FT.)  
(12 SQ. FT.)

TOTAL FIRST FLR. BALC. : (335 SQ. FT.)

SECOND FLR. BALCONY : (206 SQ. FT.)  
(63 SQ. FT.)

TOTAL 2ND FLR. BALC. : (269 SQ. FT.)



**TOTAL SECOND FLR. AREA : (1,239 SQ. FT.)**





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- LEGENDS :**
- PROPERTY LINE
  - HATCHED AREA SHOW LANDSCAPE AREA
  - HATCHED AREA SHOW GRADING AREA

**SUMMARY :**

LOT AREA :	13,053 SQ. FT.
LANDSCAPE AREA :	
A	(1,963 SQ. FT.)
B	(1,898 SQ. FT.)
C	(3,306 SQ. FT.)
D	(2,847 SQ. FT.)
E	(318 SQ. FT.)
F	(18 SQ. FT.)

(10,353 SQ. FT.) TOTAL LANDSCAPE AREA  
 $10,353 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 79.31 \%$

TOTAL HOUSE & PAVING AREA : 2,694 SQ. FT.  
 $2,694 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 20.64 \%$

TOTAL GRADING AREA : 2,694 SQ. FT.  
 $2,694 \text{ SQ. FT.} / 13,053 \text{ SQ. FT.} = 20.64 \%$

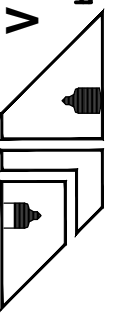
**NOTE :**  
AVERAGE CALCULATIONS :  
A = 13,147 SQ. FT. = 0.3018 AC  
I = 1'  
L = 9,736.6'  
S =  $0.00229 \times 1 \times 1 / A = 0.00229 \times 1' \times 9,736.6' / 0.3018 = 73.88 \%$

**GRADING CUT & FILL WORK :**  
APPROX. TOTAL = 800 CY.

**LANDSCAPE & GRADING AREA  
DIAGRAM & CALCULATION**

SCALE : 1/8" = 1'-0"

Revisions	By

**V J & ASSOCIATES**  
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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE: **PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE**

PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER: ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE: LANDSCAPE & GRADING AREA DIAGRAM & CALCULATION

Drawn by NEIL A.
Checked by V. J.
Date AUG. 11, 2023
Scale 1" = 10'-0"
Job No.
Sheet No. <b>A-1.2</b>
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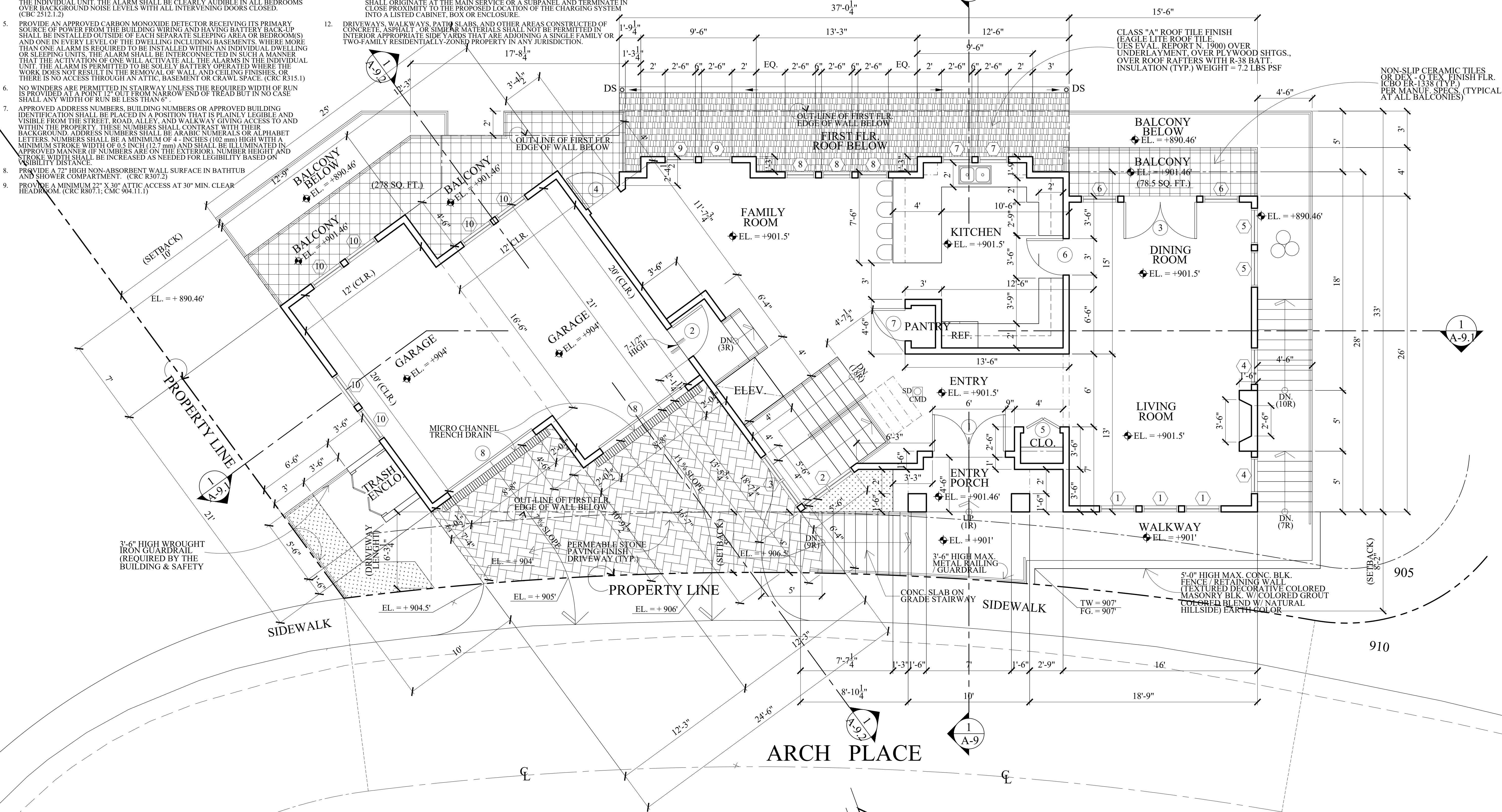
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2. EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
3. FLUSH VOLUMES FOR LOW-CONSUMPTION AND WATER SAVER WATER CLOSURES SHALL BE PROVIDED WITH A MAXIMUM 1.28 GALLONS OF WATER PER FLUSHED. (CPC 402.1, 402.2)
4. 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
5. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
6. NO WINDERS ARE PERMITTED IN STAIRWAY UNLESS THE REQUIRED WIDTH OF RUN IS PROVIDED AT A POINT 12" OUT FROM NARROW END OF TREAD BUT IN NO CASE SHALL ANY WIDTH OF RUN BE LESS THAN 6".
7. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR), NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
8. PROVIDE A 72" HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB AND SHOWER COMPARTMENT. (CRC R307.2)
9. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM. (CRC R807.1, CMC 904.11.1)

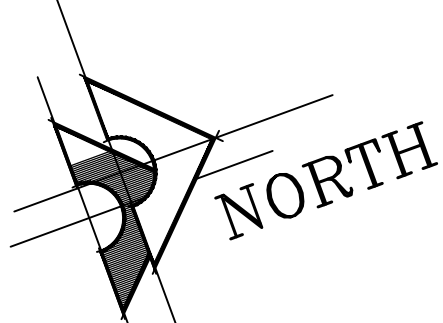
10. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325
11. FOR FUTURE ELECTRIC VEHICLE CHARGING STATION IN ONE OR TWO FAMILY DWELLINGS AND TOWNHOUSES, PROVIDE :
- a. ONE 208 / 240 V 40AMP, GROUNDED AC OUTLET, FOR EACH DWELLING UNIT; OR 40 AMP GROUNDED AC OUTLET FOR EACH DWELLING UNIT.
- THE ELECTRIC OUTLET OR CONDUIT TERMINATION SHALL BE LOCATED WITHIN THE PARKING AREA. (4.106.6)
- c. SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED
- d. A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND NEXT TO THE RACEWAY TERMINATION POINT.
- e. PROVIDE MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY INSTALLED TO ACCOMMODATE A DEDICATED 208 / 240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
12. DRIVEWAYS, WALKWAYS, PATIO SLABS, AND OTHER AREAS CONSTRUCTED OF CONCRETE, ASPHALT, OR SIMILAR MATERIALS SHALL NOT BE PERMITTED IN INTERIOR APPROPRIATE SIDE YARDS THAT ARE ADJOINING A SINGLE FAMILY OR TWO-FAMILY RESIDENTIALLY-ZONED PROPERTY IN ANY JURISDICTION.

LEGENDS :

- CMD CO / CM DETECTOR (CARBON MONOXIDE DETECTOR)  
SEE NOTE NO. 5 BELOW
- SD SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4 BELOW).
- SHADED AREA SHOW NON SLIP CERAMIC FLOOR TILES OR DEX-OTEX FINISH FLR. @ BALCONY / DECK
- SHADED AREA SHOW CLASS "A" ROOF TILES FINISH
- PERMEABLE STONE PAVING FINISH
- STUD WALL (2" X 6" @ 16" O.C. STUDS) SEE STRUCT'L.



1 SECOND FLOOR PLAN  
SCALE : 1/4" = 1'-0"



Revisions	By

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V J & ASSOCIATES  
building design • planning • interior

1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by  
NEIL A.

Checked by  
V. J.

Date  
AUG. 15, 2023

Scale  
1/4" = 1'-0"

Job No.

Sheet No.  
A-2

of Sheets





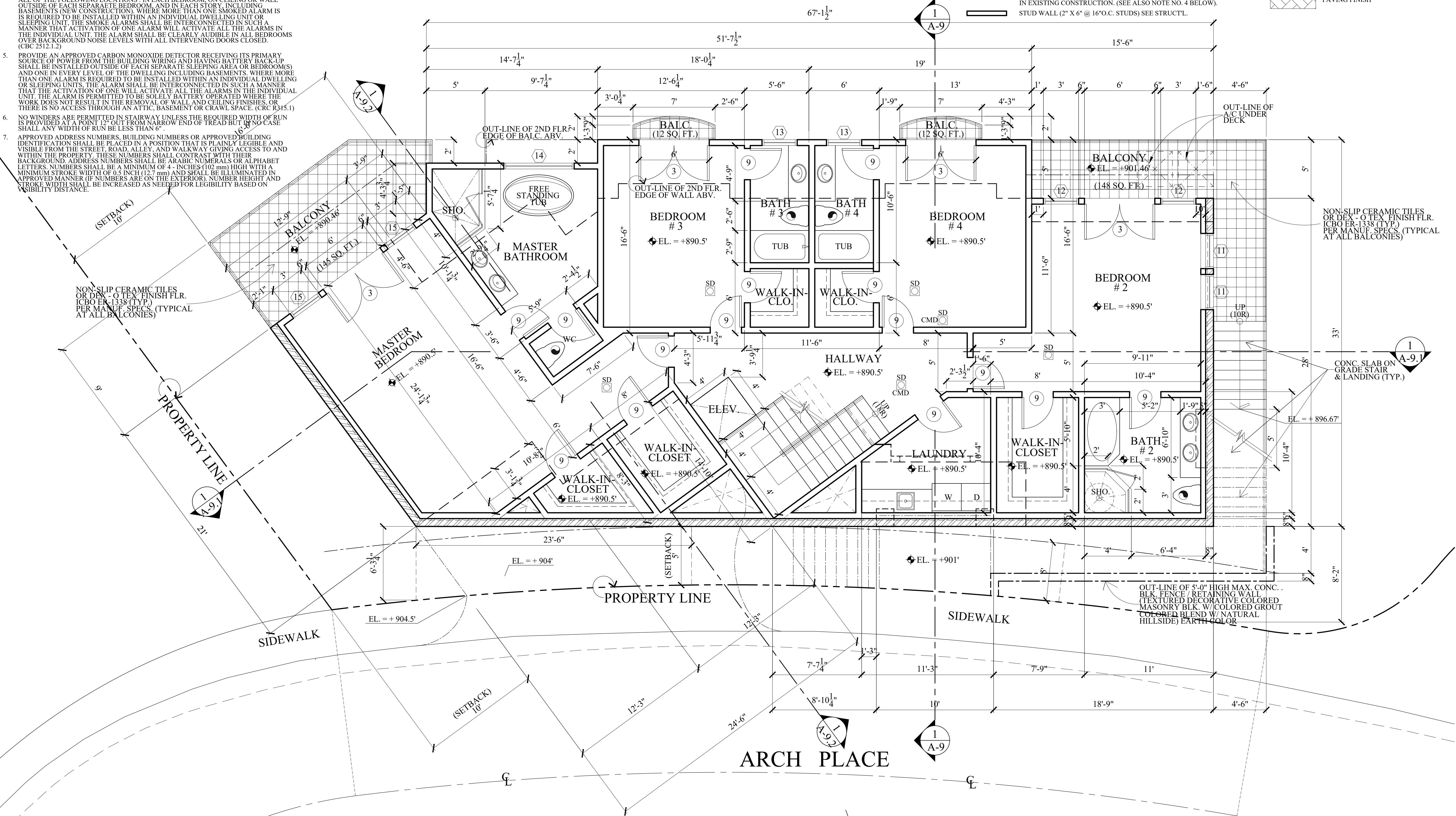


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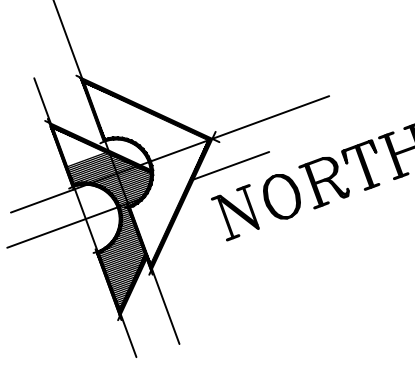
1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
2. EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
3. FLUSH VOLUMES FOR LOW CONSUMPTION AND WATER SAVER WATER CLOSURES SHALL BE PROVIDED WITH A MAXIMUM 1.28 GALLONS OF WATER PER FLUSHED. (CPC 402.1, 402.2)
4. 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT. THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
5. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R345.1)
6. NO WINDERS ARE PERMITTED IN STAIRWAY UNLESS THE REQUIRED WIDTH OF RUN IS PROVIDED AT A POINT 12" OUT FROM NARROW END OF TREAD BUT IN NO CASE SHALL ANY WIDTH OF RUN BE LESS THAN 6".
7. APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAY GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
8. PROVIDE A 72" HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB AND SHOWER COMPARTMENT. (CRC R307.2)
9. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS AT 30° MIN. CLEAR HEADROOM. (CRC R807.1; CMC 904.11.1)

LEGENDS :

- CMD CO / CM DETECTOR (CARBON MONOXIDE DETECTOR)  
SEE NOTE NO. 5 BELOW
- SD S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 4 BELOW).
- STUD WALL (2" X 6" @ 16" O.C. STUDS) SEE STRUCT.
- SHADED AREA SHOW NON SLIP CERAMIC FLOOR TILES OR DEX-OTEX FINISH FLR. @ BALCONY / DECK
- SHADED AREA SHOW CLASS "A" ROOF TILES FINISH
- PERMEABLE STONE PAVING FINISH



1 FIRST FLOOR PLAN  
SCALE : 1/4" = 1'-0"



Revisions	By

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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : FIRST FLOOR PLAN, LEGENDS & NOTES

Drawn by  
NEIL A.

Checked by  
V. J.

Date  
AUG. 15, 2023

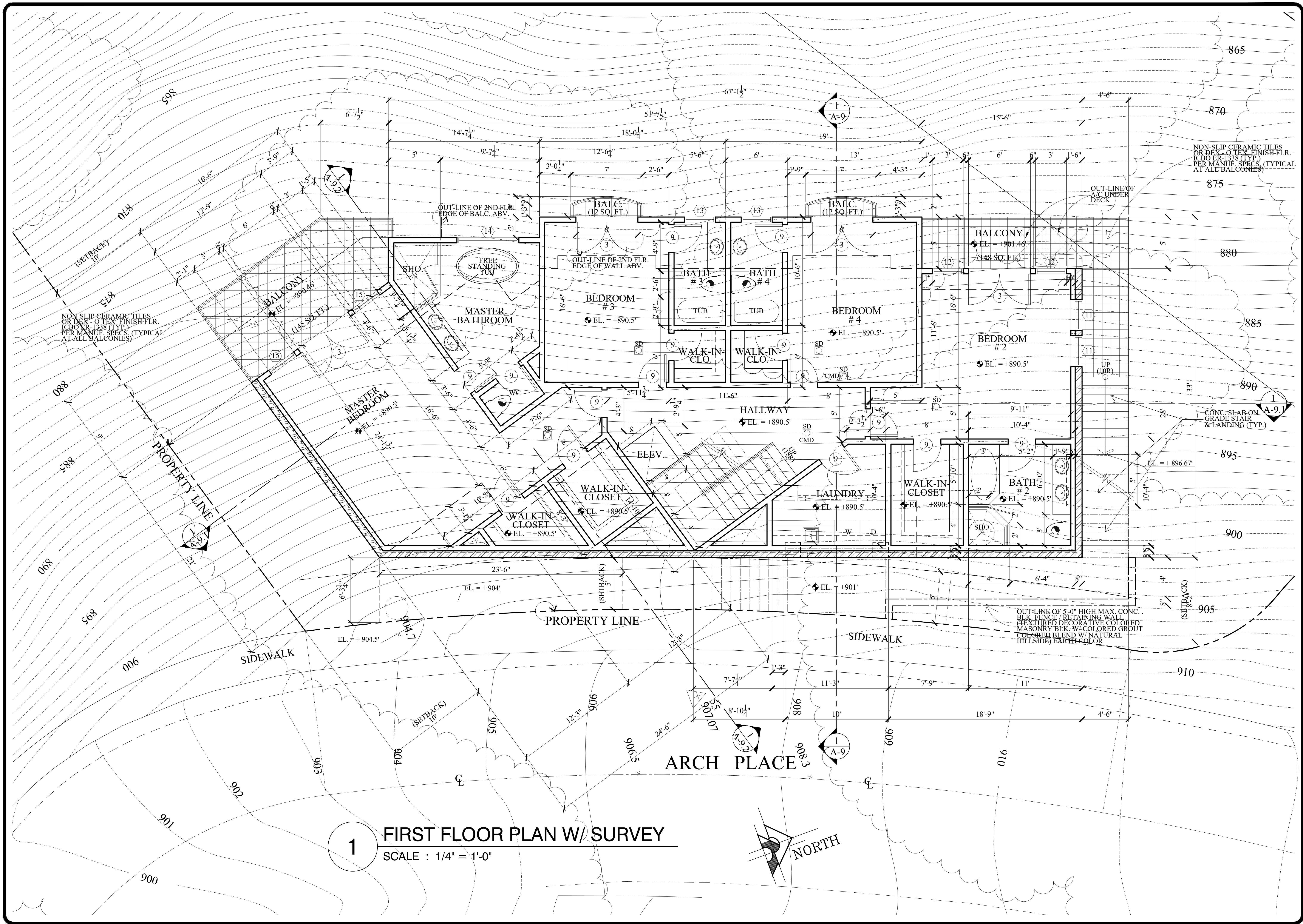
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1/4" = 1'-0"

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Sheet No.  
**A-3**

of  
Sheets





1 FIRST FLOOR PLAN W/ SURVEY  
SCALE : 1/4" = 1'-0"

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OWNER : ARSEN AGAJANIAN  
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DRWG. TITLE : FIRST FLOOR PLAN W/ SURVEY, LEGENDS & NOTES

Drawn by  
NEIL A.

Checked by  
V. J.

Date  
AUG. 15, 2023

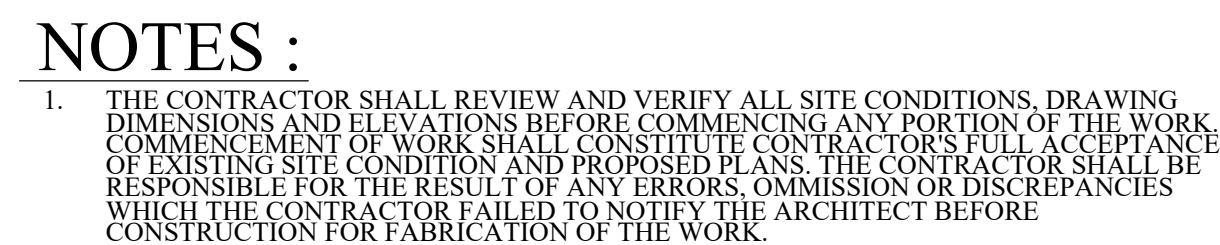
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PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE

OWNER: ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

## FIRST FLOOR PLAN, LEGENDS & NOTES

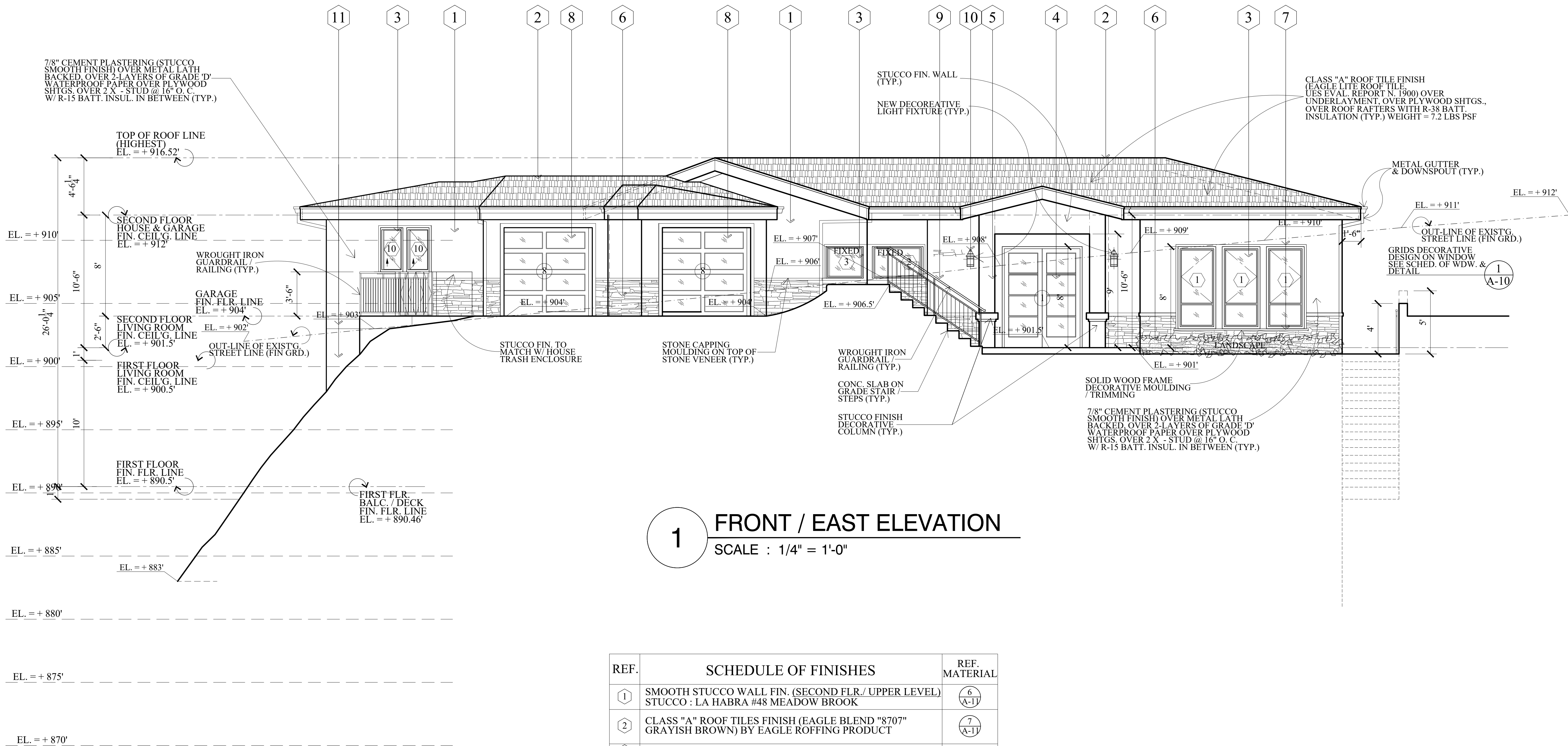
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Checked by V. J.
Date G. 15, 2023
Scale 1" = 1'-0"
Job No.

Sheet No.

A-4

Sheets





REF.	SCHEDULE OF FINISHES	REF. MATERIAL
①	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	⑥ A-11
②	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	⑦ A-11
③	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
④	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
⑤	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	⑥ A-11
⑥	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	⑧ A-11
⑦	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	① A-11
⑧	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
⑨	WROUGHT IRON GUARDRAIL / RAILING	④ A-11
⑩	DECORATIVE WALL LIGHT	⑤ A-11
⑪	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	⑥a A-11

NOTES :

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(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V J**

Date  
**JULY 3, 2024**

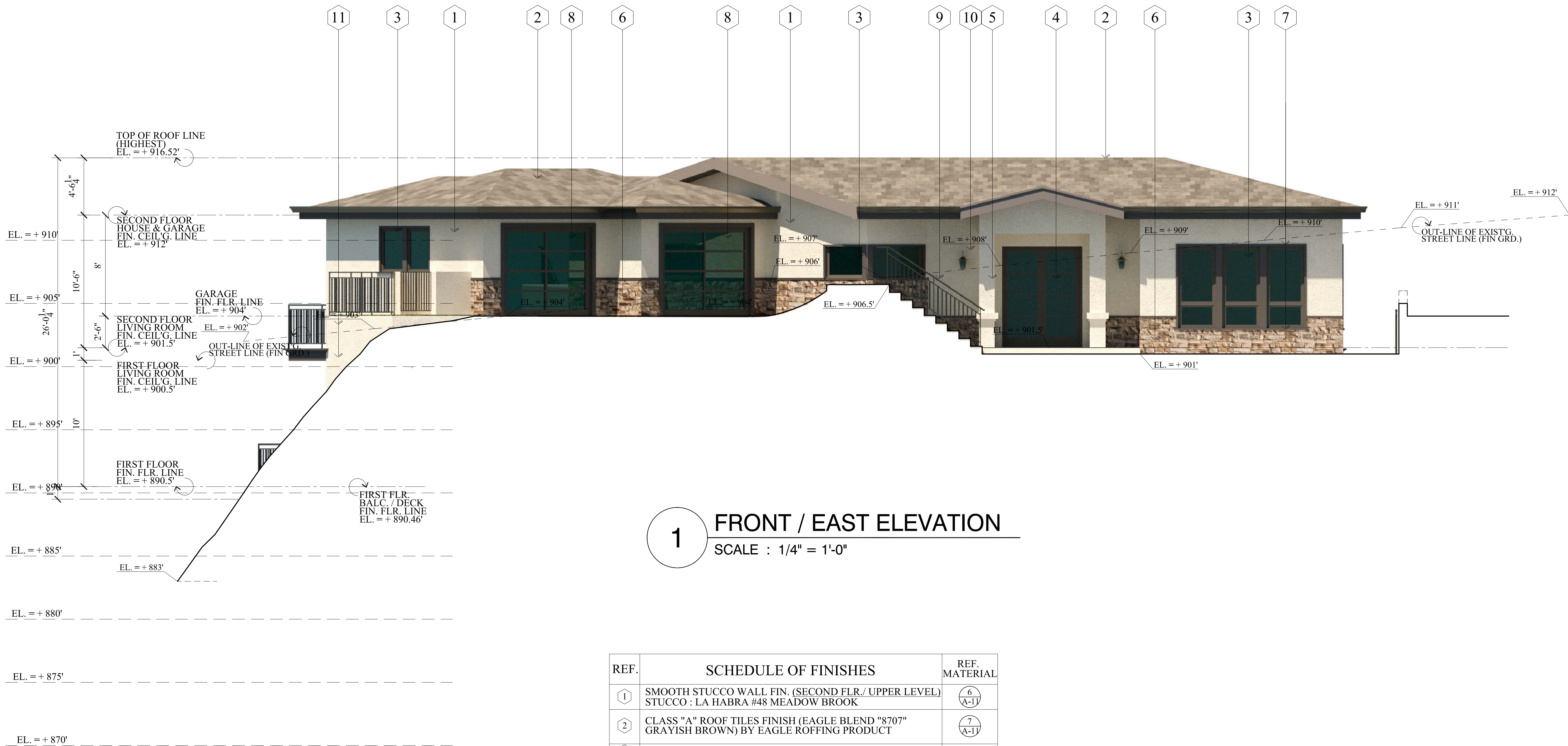
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**A-5**

of  
Sheets





# 1 FRONT / EAST ELEVATION

SCALE : 1/4" = 1'-0"

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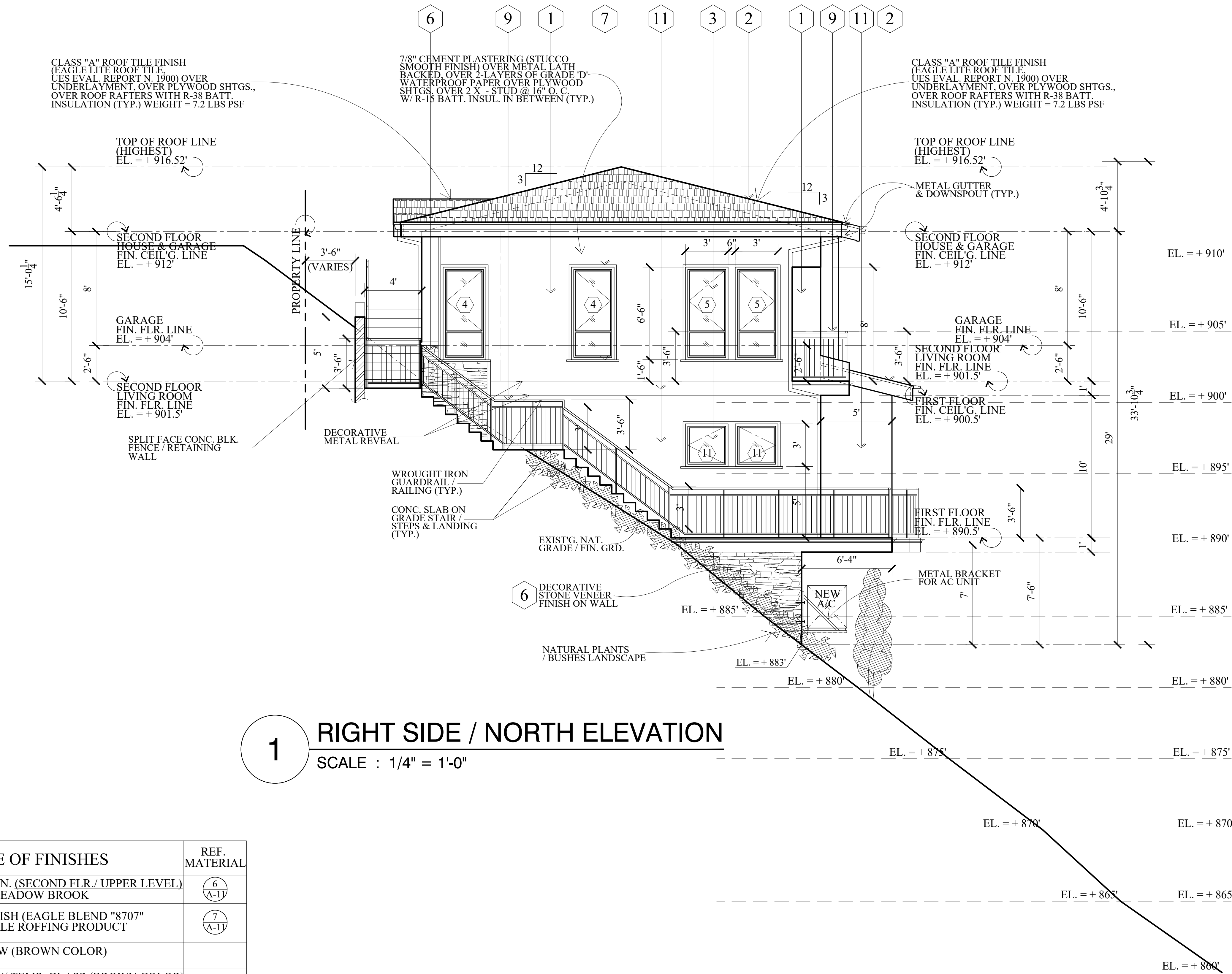
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(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**  
PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206  
OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206  
DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by <b>NEIL A.</b>
Checked by <b>V J</b>
Date <b>AUG. 15, 2023</b>
Scale <b>1/4" = 1'-0"</b>
Job No.
Sheet No. <b>A-5.1</b>
of Sheets



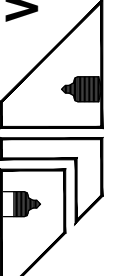


REF.	SCHEDULE OF FINISHES	REF. MATERIAL
1	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
2	CLASS "A" ROOF TILES FINISH (EAGLE BLEND "8707" GRAYISH BROWN) BY EAGLE ROFFING PRODUCT	7 (A-1)
3	FIBERGLASS TYPE WINDOW (BROWN COLOR) W/ TEMPERED GLASS	
4	FIBERGLASS TYPE DOOR W/ TEMP. GLASS (BROWN COLOR) W/ TEMPERED GLASS	
5	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
6	DECORATIVE STONE VENEER FINISH ON WALL (CLASSIC SERIES COUNTRY LEDGESTONE " SHALE COUNTRY LEDGESTONE (CSV 20044) BY OWENS CORNING	8 (A-1)
7	SOLID WOOD MOULDING TRIMMING PAINTED FIN.	1 (A-1)
8	REMOTE CONTROL METAL GARAGE DOOR W/ FROSTED TEMPERED GLASS	
9	WROUGHT IRON GUARDRAIL / RAILING	4 (A-1)
10	DECORATIVE WALL LIGHT	5 (A-1)
11	SMOOTH STUCCO WALL FIN. (FIRST FLR. / LOWER LEVEL) STUCCO : LA HABRA # 434 FALLBROOK	6a (A-1)

## NOTES :

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1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE**

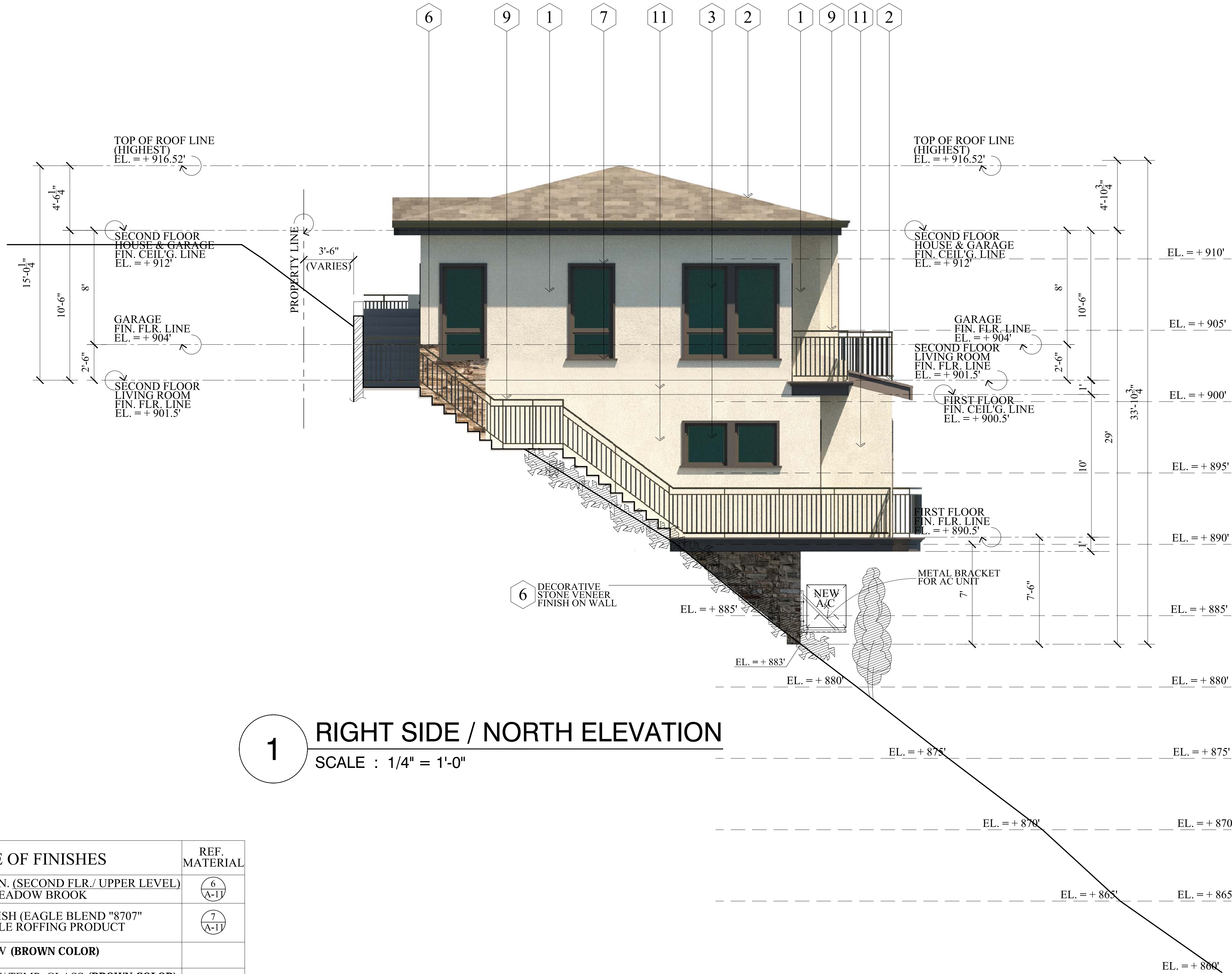
PROJ. ADD : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by <b>NEIL A.</b>
Checked by <b>V J</b>
Date <b>JULY 3, 2024</b>
Scale <b>1/4" = 1'-0"</b>
Job No.
Sheet No. <b>A-6</b>
of Sheets





REF.	SCHEDULE OF FINISHES	REF. MATERIAL
1	SMOOTH STUCCO WALL FIN. (SECOND FLR./ UPPER LEVEL) STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
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3	FIBERGLASS TYPE WINDOW ( <b>BROWN COLOR</b> ) W/ TEMPERED GLASS	
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5	SMOOTH STUCCO COLUMN FINISH STUCCO : LA HABRA #48 MEADOW BROOK	6 (A-1)
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9	WROUGHT IRON GUARDRAIL / RAILING	4 (A-1)
10	DECORATIVE WALL LIGHT	5 (A-1)
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PROJ. TITLE : **PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE**

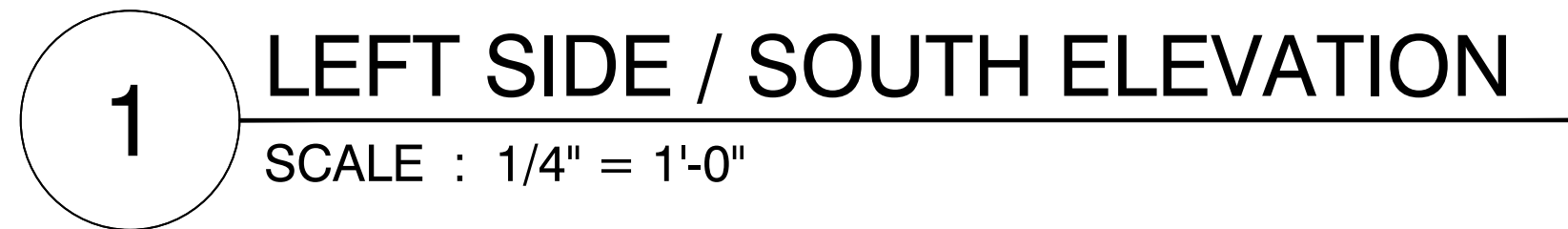
PROJ. ADDR : ARSEN AGAJANIAN  
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OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING ELEVATION, LEGENDS & NOTES

Drawn by <b>NEIL A.</b>
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of 
Sheets





1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF FIELD EXAMINATION AND DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

[illegible]

**V & ASSOCIATES, INC.**  
 building design • planning • interior

**PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE**

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

BUILDING ELEVATION, LEGENDS &amp; NOTES

Drawn by  
NEIL A.  
Checked by  
V J

Date  
JULY 3, 2024

Scale  
1" = 1'-0"

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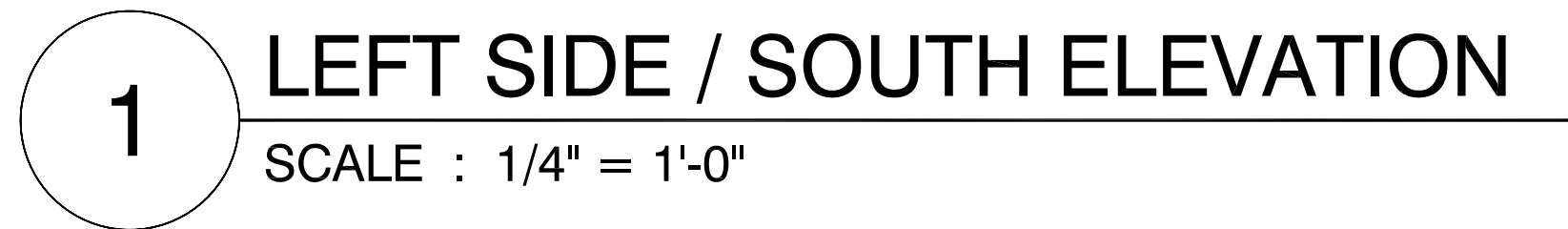
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Sheet No.

A-7

Sheets





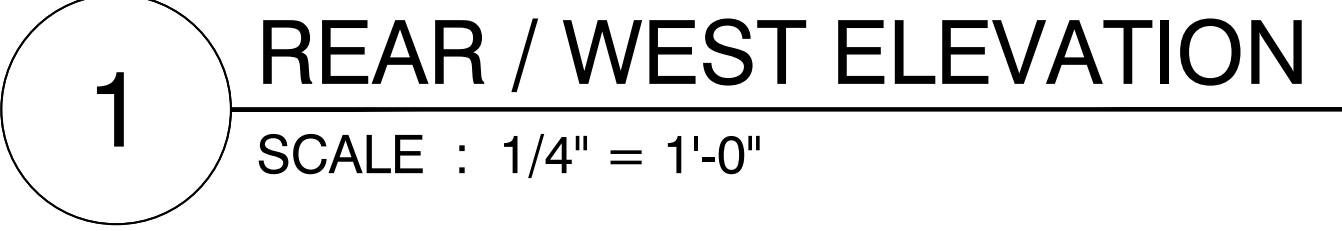

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[illegible]

PROJ. TITLE:	<b>PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE</b>
PROJ. ADD:	589 ARCH PLACE, GLENDALE, CA. 91206
OWNER:	ARSEN AGAJANIAN 589 ARCH PLACE, GLENDALE, CA. 91206
DRAWG. TITLE:	<b>BUILDING ELEVATION, LEGENDS &amp; NOTES</b>

Drawn by <b>NEIL A.</b>
Checked by <b>V J</b>
Date <b>AUG. 15, 2023</b>
Scale <b>1/4" = 1'-0"</b>
Job No.
Sheet No. <b>A-7.1</b>
of
Sheets



[illegible]

**V & ASSOCIATES, INC.**  
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OWNER: ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE: BUILDING ELEVATION, LEGENDS & NOTES

Drawn by <b>NEIL A.</b>
Checked by <b>V J</b>
Date <b>JULY 3, 2024</b>
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Sheet No. <b>A-8</b>
Sheets





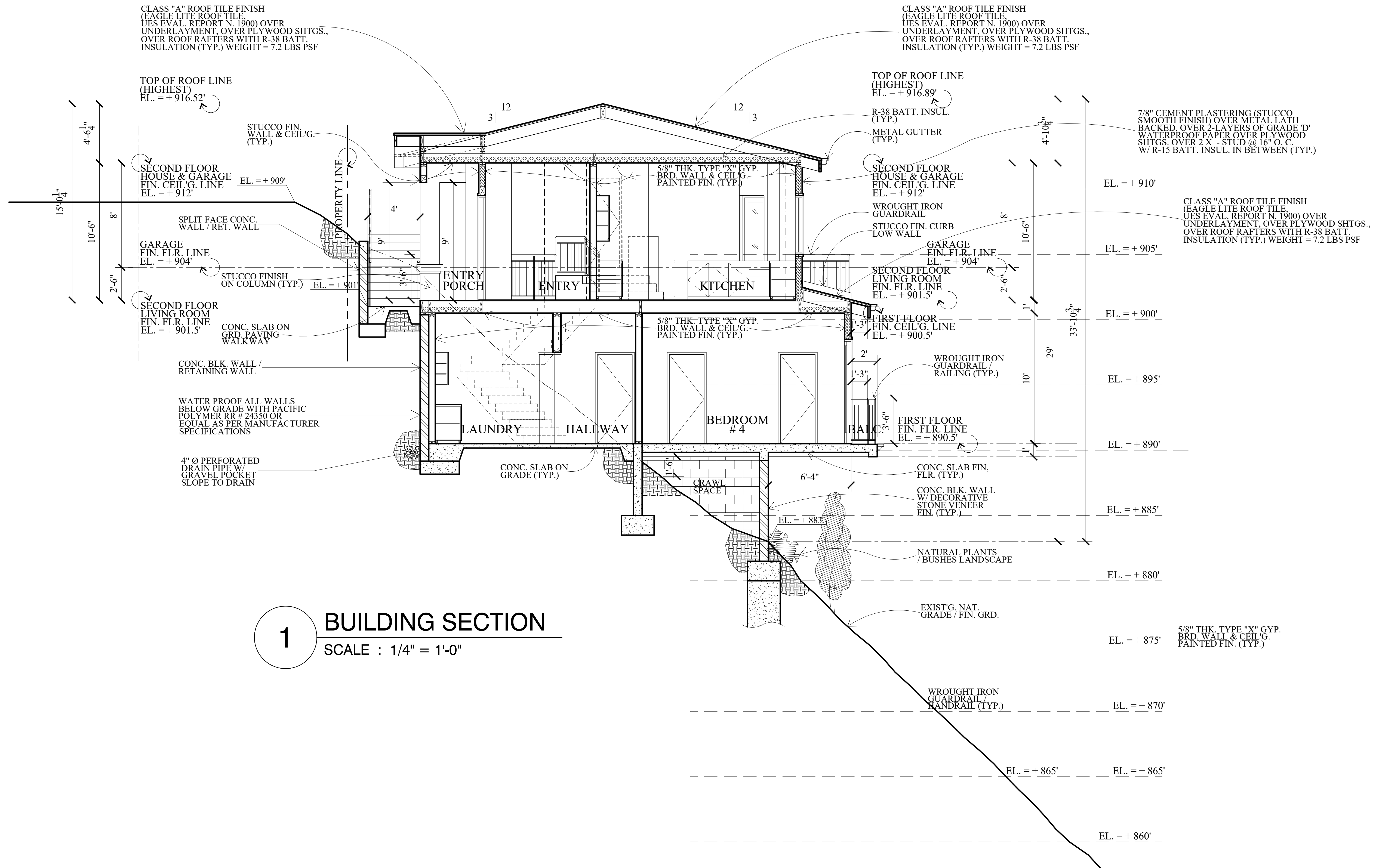
1 REAR / WEST ELEVATION  
SCALE : 1/4" = 1'-0"

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PROJ. TITLE:	<b>PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE</b>
PROJ. ADDR:	<b>589 ARCH PLACE, GLENDALE, CA. 91206</b>
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DRAWG. TITLE:	<b>BUILDING ELEVATION, LEGENDS &amp; NOTES</b>

Drawn by <b>NEIL A.</b>
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## NOTES :

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Revisions	By

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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : **PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE**

PROJ. ADD : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE : BUILDING SECTION, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V J**

Date  
**AUG. 15, 2023**

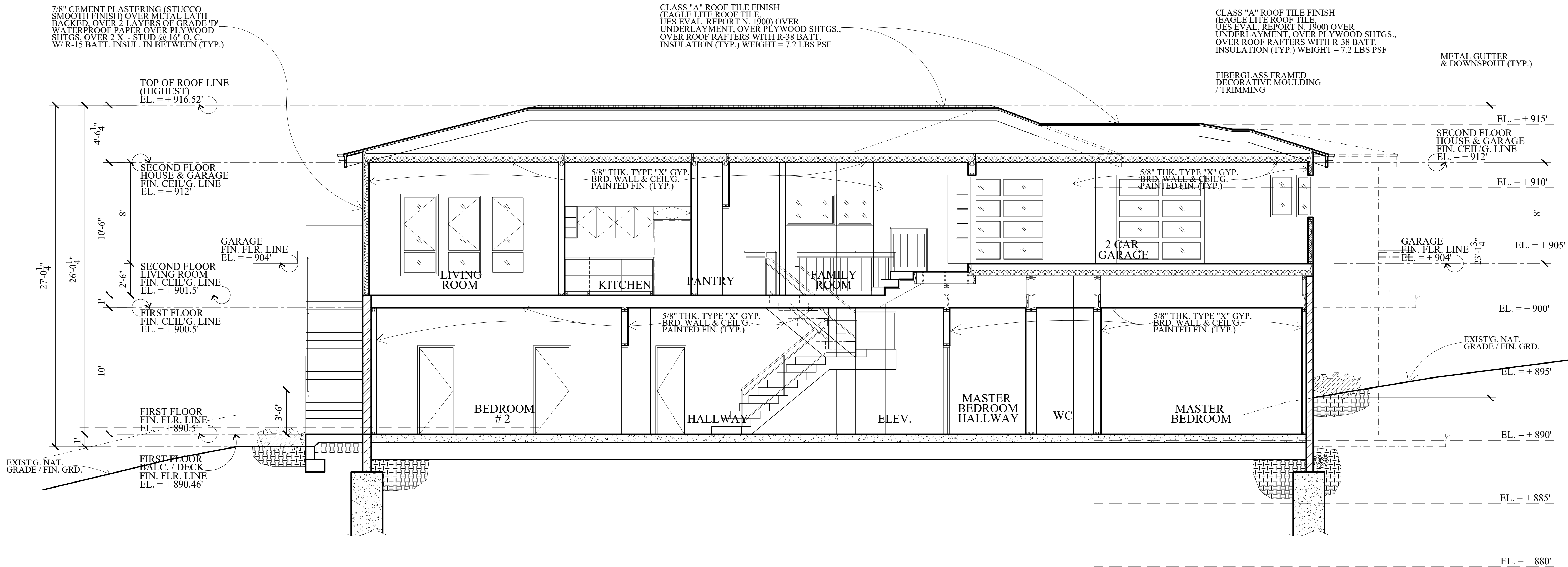
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Job No.

Sheet No.  
**A-9**

of  
Sheets





1 BUILDING SECTION  
SCALE : 1/4" = 1'-0"

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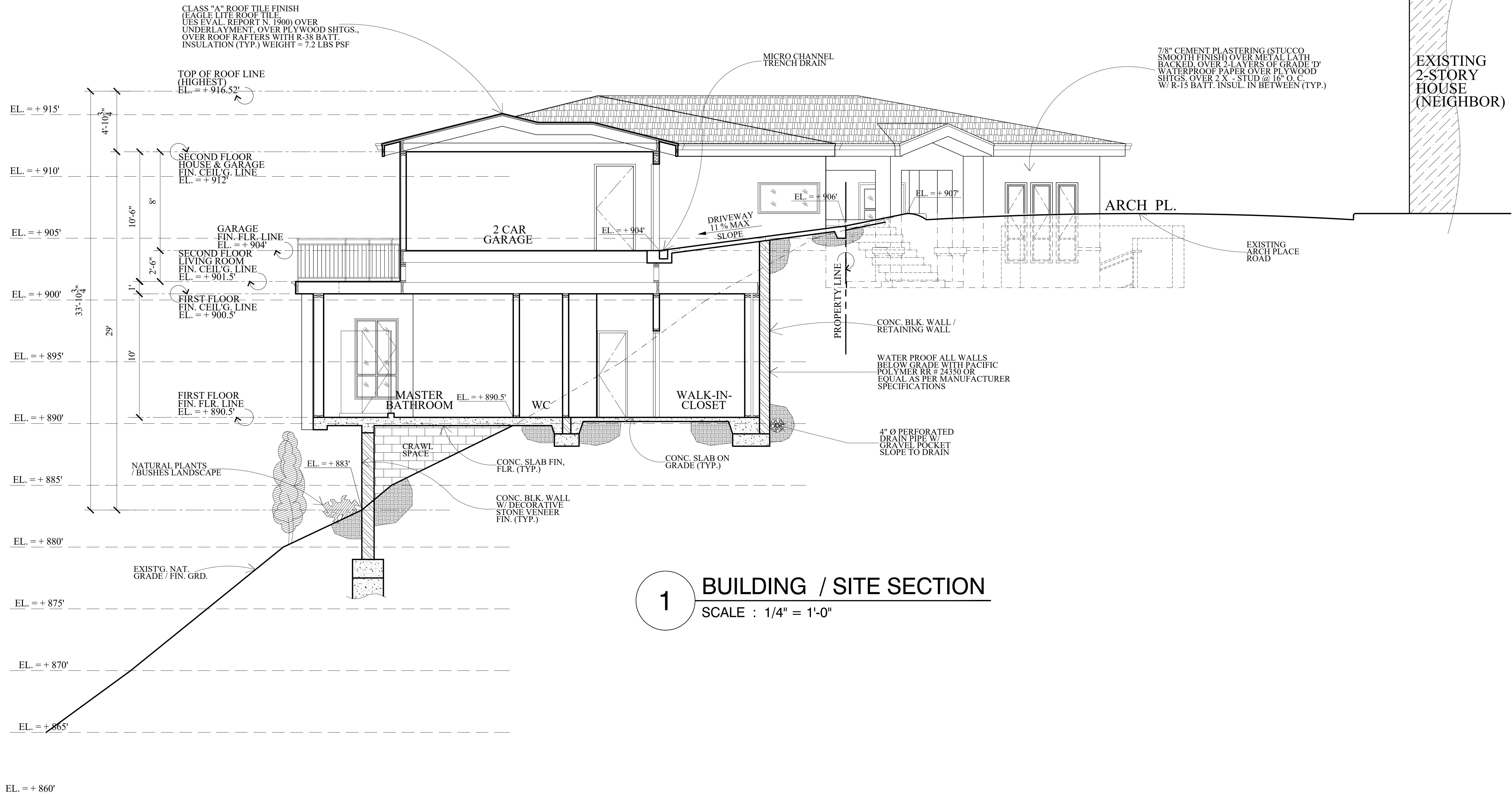
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DRWG. TITLE : BUILDING / SITE SECTION, LEGENDS & NOTES

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Checked by  
**V J**

Date  
**AUG. 15, 2023**

Scale  
**1/4" = 1'-0"**

Job No.

Sheet No.  
**A-9.2**

of  
Sheets



DOOR SCHEDULE							
DOOR NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
①	6'-0"	7'-10"	PER MANUF.	DOUBLE LEAF SWING	FIBERGLASS	ENTRY (SECOND FLOOR) FRONT / EAST OF THE HOUSE	FRONT / EAST ELEV. @ 1/A-5, & SECOND FLOOR PLAN @ 1/A-2 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
②	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	SOLID WOOD W/ 20 MINS. FIRE RATED	HOUSE ACCESS TO 2 CAR GARAGE (FIRST FLOOR)	SELF CLOSING & LATCHING. SECOND FLOOR PLAN @ 1/A-2
③	6'-0"	7'-10"	PER MANUF.	DOUBLE LEAF SWING	FIBERGLASS W/ TEMP. GLASS	DINING ROOM @ FIRST FLR. (SECOND FLOOR) MASTER BEDRM. BEDRM. #3 & #4 @ (FIRST FLR.)	REAR / WEST ELEV. @ 1/A-8, & FIRST & SECOND FLR. PLAN @ 1/A-2 & 1/A-3 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
④	3'-0"	7'-10"	PER MANUF.	SINGLE SWING	FIBERGLASS W/ TEMP. GLASS	FAMILY ROOM (SECOND FLR.) REAR / WEST OF THE HOUSE	REAR / WEST ELEV. @ 1/A-8, & SECOND FLR. PLAN @ 1/A-2 (U-FACTOR = 0.30 NFRC) (SHGC = 0.22 NFRC)
⑤	3'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H. C WOOD	CLOSET ALONG ENTRY (SECOND FLR.)	SECOND FLOOR PLAN @ 1/A-2
⑥	3'-0"	6'-10"	PER MANUF.	SINGLE SWING	H. C WOOD	KITCHEN ACCESS TO DINING (SECOND FLR.)	SECOND FLOOR PLAN @ 1/A-2
⑦	2'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD	PANTRY. (SECOND FLOOR)	SECOND FLOOR PLAN @ 1/A-2
⑧	8'-8"	7'-0"	PER MANUF.	LIFT-UP / REMOTE CONTROL	METAL / ALUM.	GARAGE (SECOND FLOOR)	SECOND FLOOR PLAN @ 1/A-2
⑨	2'-8"	7'-10"	PER MANUF.	SINGLE SWING	H. C WOOD	ALL BEDROOMS ENTRY, BATHRMS WC @ MASTER BATHRM., WALK-IN CLOSETS & LAUNDRY (FIRST FLOOR)	FIRST FLOOR PLAN @ 1/A-3

[illegible]

1. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS & SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE WINDOW UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
2. ALL WINDOWS & DOORS GLAZINGS SHALL BE TEMP. GLASS.
3. FOR WINDOWS & DOORS U-FACTOR & SHGC SEE T24 SHEET
4. PROVIDE CODE COMPLIANT RESCUE WINDOWS IN ALL SLEEPING ROOMS.
5. ALL DOOR HARDWARES SHALL BE METAL & RATING WITH CODE COMPLIANT
6. ALL BATHROOM'S WINDOWS TO BE OBTSCURED TEMP. GLASS TYPE
7. ALL WINDOWS SHALL MEET THE CITY OF GLENDALE'S SECURITY ORDINANCE

37. SINGLE- AND MULTIPLE-STATION ALARMS SHALL BE LISTED TO COMPLY WITH LISTED CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH LISTED CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH NFPA 720 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

38. A COPY OF ANY EVALUATION REPORT AND /OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

39. ALL INTERIOR FINISHES, INTERIORS, AND ENCLOSURES SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN EXTERIOR WALLS OR PARTITIONS. THE GLAZING SHALL BE OF A MINIMUM ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDELS (FC) PER SQUARE FOOT OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R301.1)

40. SMOKE ALARMS INSTALLED SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE CANNOT BE DETERMINED. (R314.3.2)

41. BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:

- 42. EXHAUST FANS SHALL BE INSTALLED AND BE DIRECTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- 43. EXHAUST FANS SHALL NOT BE CONNECTED TO A WHOLEHOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

44. REPLACEMENT EXISTING WINDOW IN SIMILAR SIZED MATERIAL PER PROPOSED FLOOR PLAN IN ALUMINUM FRAMED, SEE SCHEDULE OF WINDOWS AND GLAZING ARE TO BE IN DUAL GLAZED, UNLESS OTHERWISE STATED.


20. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE REQUIREMENTS OF SECTION 93.01.01 OF THE 2015 IBC:

- a. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIPOLO DOOR ASSEMBLIES.
- b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE THE GLAZING IS NOT FULLY WITHIN THE SWING OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- c. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
  - 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
  - 2) BOTTOM EDGE OF PANEL IS 18 INCHES OR ABOVE THE FLOOR.
  - 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
  - 4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
- d. GLAZING IN ENCLOSURES FOR SAUNAS, FISHING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, HOT TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- e. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- f. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- g. GLAZING IN A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

21. PROTECTION OF EXISTING GLAZING AND BASE COAT SHALL BE PROVIDED AS FOLLOWS: SPECIFIED PER SECTION 93.01.03 BY THE USE OF CURTAIN WALLS, WOOD OR WOOD THAT IS PRESERVATIVE - TREATED IN CONCORDANCE WITH AWWA U1 OR OTHER SPECIES OF WOOD THAT IS PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED ON SECTION 2 OF AWWA U1.

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2. EGRESS DOORS MUST BE READILY OPENABLE FROM THE EGRESS SIDE OF THE DOOR OF A KEY OR KNOWN LOCATION. (CBC 2406.3.1)
3. ENTRY & EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 5" BELOW THE LANDING. EXCEPTION - WHERE THE DOOR DOES NOT SWING OVER THE LANDING, THERE SHALL BE A HANDRAIL OR RAILING BELOW THE THRESHOLD. FORM AN SCREEN DOOR IS PERMITTED TO SWING OVER ALL EXISTING HANDRAILS OR RAILINGS.
4. PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSURE, TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
5. EXISTING GAS SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS LINE. (CALIF. PLUMB. CODE 410.1.5)
6. FINISH MATERIAL POLLUTANT CONTROL SEC. 4.504.2
7. FINISH MATERIAL POLLUTANT CONTROL - THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE POLLUTANT LIMITS SET FORTH IN CALGREEN SECTION 4.504 THROUGH 4.504.5:
  - a. FLOORS, SEALANTS AND CAULKS, PAINTS AND COATINGS, CARPET SYSTEMS, ADHESIVES AND ADHESIVES, RESILIENT FLOORING, AND COMPOSITE WORK PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
8. DOORS AND GLAZING SHALL BE:
  - a. WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED.
  - b. GLAZINGS IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3.6), WITHIN 18" OF FLOOR, WITHIN 6" OF THE TOP OF THE DOOR (CBC 2406.3.5), OR WITHIN 5" OF STAIRS AND STAIR LANDINGS (CBC 2406.3.10) SHALL BE TEMPERED.
9. GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3.6), WITHIN 18" OF FLOOR, WITHIN 6" OF TUB OR SHOWER FLOOR (CBC 2406.3.5), OR WITHIN 5" OF STAIRS AND STAIR LANDINGS (CBC 2406.3.10) SHALL BE SHOCK RESISTANT.
10. COMPLY WITH THE CITY OF GLENDALE BUILDING AND SAFETY CODE & THE NEW 2013 CBC. ALL NEW WINDOW GLAZED SHALL BE TEMPERED GLASS REQUIRED (HIGH FIRE HAZARD).
11. SEPARATE PERMIT FOR MECHTL., PLUMBING & ELECTRICAL.
  - a. NO NEW ROOF TOP EQUIPMENT.
12. PROVIDE NO. 26 GALVANIZED SHEET GAGE WEEP SCREED WITH 1-1/2" FLANGE AT 5' ON CENTER. PROVIDE NO. 26 MINIMUM 6" x 4" INCHES ABOVE EARTH OR 2" INCHES ABOVE PAVED AREAS. (CMC 2512.1.2)
13. PROVIDE WAREHOUSE TYPE BATTERY BACK-UP SHALL BE INSTALLED IN EACH ONE OF THE FOLLOWING LOCATIONS - IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BATHROOMS (NEW CONSTRUCTION). WAREHOUSE TYPE BATTERY BACK-UP ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR BATTERY BACK-UP UNIT. THE BATTERY BACK-UP ALARM SHALL BE ACTIVATED IN A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS AND BATHROOMS. (GROUNDSIDE NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED) (CBC 2512.1.2)
14. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY POWER FROM THE POWER SUPPLY OF THE BUILDING.
  - a. SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) WITHIN EACH FLOOR LEVEL OF THE BUILDING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THE REMOVAL OF GROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC R315.1)
15. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE - FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POW. POLES, PLUG BOXES, ETC.) OR TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POW. HOT AND COLD WATER AND CONNECTION TO AN APPROVED WATER SUPPLY) (R306.4)
16. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. THE COST OF SMOKE DETECTORS, INCLUDING INSTALLATION, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

[illegible]

<p><b>PROJ. TITLE :: PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE</b></p> <p><b>PROJ. ADDR :: ARCH PLACE, GLENDALE, CA.</b></p> <p><b>OWNER :: ARCH PLACE, GLENDALE, CA.</b></p> <p><b>DRWG. TITLE (HOUSE ADDITION) SCHED. OF DOORS &amp; WINDOWS, NOTES</b></p>	<div style="text-align: center;">  <p><b>V J &amp; ASSOCIATES</b> building design • planning • interior</p> </div> <p><b>1224 E. BROADWAY, SUITE 202, Glendale, CA 91205 (818) 956-0570</b></p>
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Drawn by <b>NEIL A.</b>
Checked by <b>V. J.</b>
Date <b>MARCH 15, 2023</b>
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LEGENDS :

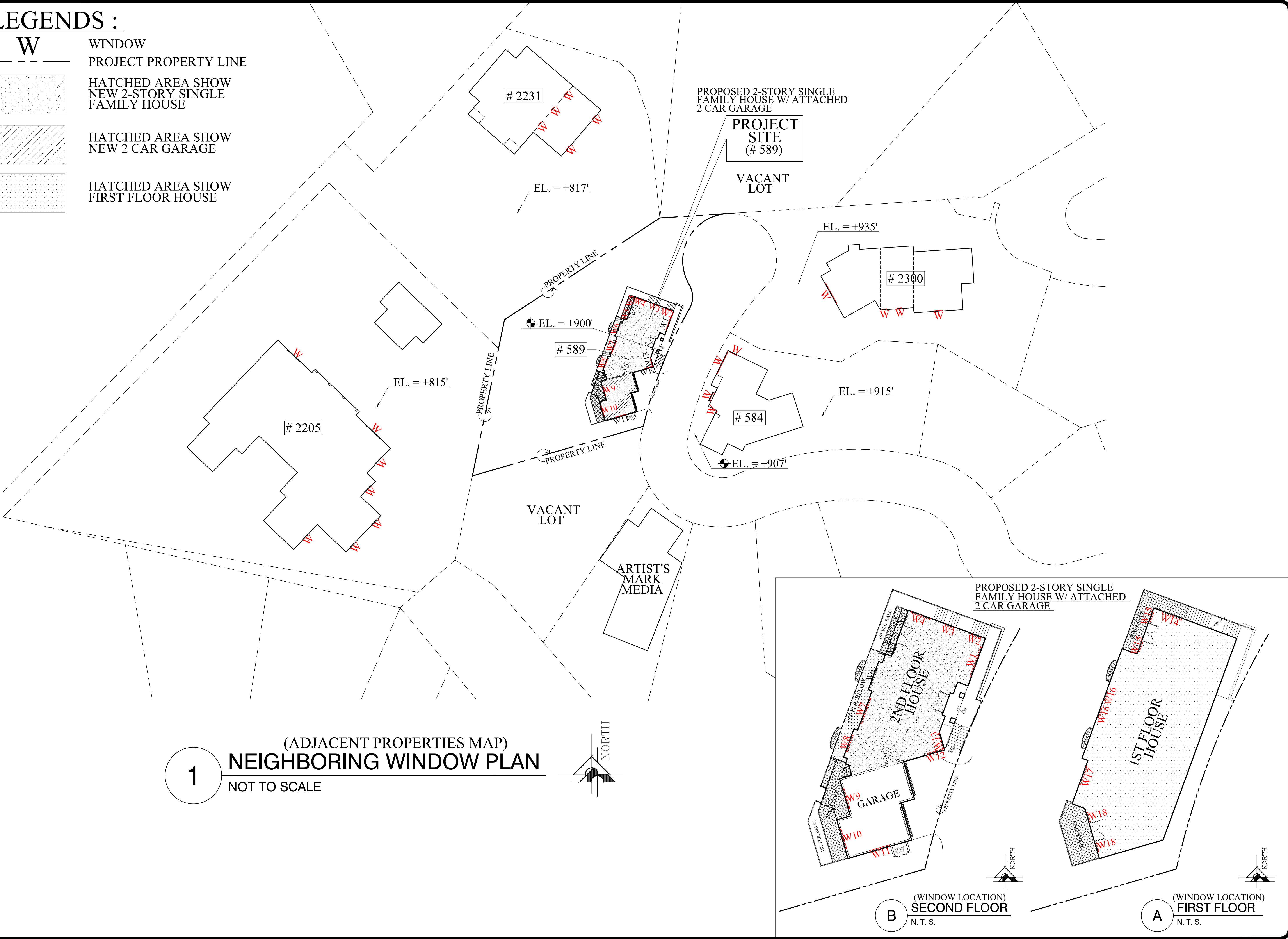
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PROJECT PROPERTY LINE

HATCHED AREA SHOW  
NEW 2-STORY SINGLE  
FAMILY HOUSE

HATCHED AREA SHOW  
NEW 2 CAR GARAGE

HATCHED AREA SHOW  
FIRST FLOOR HOUSE



Revisions	By

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE THE SOLE PROPERTY OF V J & ASSOCIATES. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF V J & ASSOCIATES. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF V J & ASSOCIATES. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION.

V J & ASSOCIATES  
building design • planning • interior

PROJ. TITLE : PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE

PROJ. ADDR : 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER : 589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE : (ADJACENT PROPERTIES MAP) NEIGHBORING WINDOW PLAN,  
(WINDOW LOCATION) FIRST & SECOND FLR., LEGENDS

1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

Drawn by  
NEIL A.

Checked by  
V. J.

Date  
APRIL 4, 2023

Scale  
N. T. S.

Job No.

Sheet No.

A-12

of

Sheets



589 ARCH PLACE - GLENDALE, CA



Disclaimer:  
This Drawing is neither a legally recorded map nor a survey,  
and is not intended to be used as such. The information  
displayed is a compilation of records, information and data  
obtained from various sources, including the City of Glendale  
which is not responsible for its accuracy or timeliness.

Sources:  
Base Map: City of Glendale PW ENG  
Planimetric: City of Glendale PW ENG  
Topo: LA County - 2017  
Aerial Photography: LA County - 2020

Map Prepared by  
Mapping & Real Property  
W.F. A'Hearn, Sr GIS Proj Mgr  
22 March 2023

Scale  
0 10 20 40  
Feet

**LEGEND**

589 Arch Place (Yellow Line)

City Boundary (Black Line)

ROW-Track Lines (Red Line)

Lot Lines (Blue Line)

City Lot Split Lines (Dashed Blue Line)

County Lot Split Lines (Dashed Blue Line)

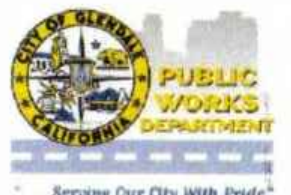
Street Centerline (Red Line)

2022 Aerial Photo

Red: NONE

Green: NONE

Blue: NONE




1

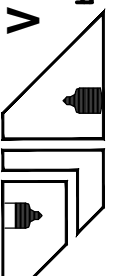
SATELLITE MAP

NOT TO SCALE

PUBLIC WORKS . ENG'G. CONDITIONS :

PUBLIC WORKS ENGINEERING Land Development Section	
<input checked="" type="checkbox"/> Comments/Conditions	<input type="checkbox"/> No Comments
<p>1. The project shall comply with all National Pollutants Discharge Elimination System (NPDES) requirements.</p> <p>2. Drainage from roof and on-site improvements shall be conveyed to the street via sheet flow/gravity flow through the driveway apron or cast-iron pipes/parkway drains from the property line and exiting through the curb. Show how onsite drainage will be discharged into the street. No concentrated drainage shall be allowed downstream from the site.</p> <p>3. The proposed concrete sidewalk and driveway apron may need to be supported with piles and retaining walls. Additional guard rails may need to be installed along the street frontage of the property.</p> <p>4. Show the limits of construction in the public right-of-way. Label all proposed improvements in the public right-of-way. Additional comments may be forthcoming once this is confirmed.</p> <p>5. Provide street cross-sections across the proposed driveway apron and additional cross-sections above and below the driveway apron. Additional comments may be forth coming upon submittal of the cross sections.</p> <p>6. Street improvement plans shall be required for this project. Broken street pavements, curb, and gutter may need to be replaced. Plan check fees shall apply.</p> <p>7. All retaining walls and/or lateral support systems supporting the street, sidewalk, and driveway apron, shall be constructed on private property, and maintained by the applicant or owner.</p> <p>8. Submit a topographic map showing additional surface items (with labels) in the public right-of-way that includes existing guardrails, pavement, edge of pavement, street signs, curb and gutter on both sides of the street, fire hydrant, street signs, utilities, manholes, utility valves, rectangular concrete vault, trees, etc. Label the type of trees in the right-of-way to verify if they are indigenous trees or not. Additional comments may be forth coming after the submittal of the topographic map.</p> <p>9. The wastewater shall discharge by gravity flow through the sewer lateral from the property towards the existing sewer main on Arch Place.</p> <p>10. The proposed driveway apron shall be constructed per SPPWC Standard Plan No. 110-2. The driveway apron shall slope downwards from the property line towards the street.</p> <p>11. The roadway pavement within the vicinity of the property shall be inspected after the completion of the project. In the event of damage, because of construction-related activities, the applicant may be required to perform additional street improvement repairs, up to the reconstruction of the asphalt concrete pavement.</p> <p>12. The applicant shall bear all costs involved in the relocation/reconstruction and/or adjustment to new finished grade of all utilities (underground and overhead) within the public right-of-way and easement that may be affected by the project and shall coordinate all such work with the respective utility companies.</p> <p>13. All existing street appurtenances including traffic striping, street signs, curb paintings, tree wells, utilities, and all other improvements within the public right-of-way and easement that were damaged, removed, or relocated during construction shall be restored to the satisfaction of the Director of Public Works.</p> <p>14. Separate permits are required for all work within the public-right-of-way. The applicant shall bear all fees for the necessary permits and construction inspections for work within the public right-of-way.</p> <p>15. Comments from Traffic Section shall be provided separately.</p> <p>16. Additional requirements may apply after the submittal of engineering plans for building plan check.</p>	
Page 1 of 2	
Case No.: <b>PVAR-001654-2023</b>	
Address: <b>589 Arch Place</b>	
Case Planner: <b>Aileen Babakhani</b>	
Signature:  Date: <b>8/8/23</b>	
Yazdan T. Emrani, P.E. Director of Public Works	
Page 2 of 2	


Revisions	By

 <b>V J &amp; ASSOCIATES</b> building design • planning • interior	<b>1224 E. BROADWAY, SUITE 105, Glendale, CA 91205 (818) 956-0570</b>
	<b>PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE</b> PROJ. ADD: 589 ARCH PLACE, GLENDALE, CA. 91206 OWNER: ARSEN AGAJANIAN 589 ARCH PLACE, GLENDALE, CA 91206 DRWG. TITLE: SATELLITE MAP, PUBLIC WORKS ENG'G. CONDITIONS

Drawn by <b>NEIL A.</b>
Checked by <b>V. J.</b>
Date <b>AUG. 15, 2023</b>
Scale <b>N. T. S.</b>
Job No.
Sheet No. <b>A-12a</b>
of Sheets



CCAM LEGEND	
	Horizontal / Vertical Control
	Flag Pole Post
	Light Pole
	Post
	Power Pole Anchor
	Power Pole
	Traffic Signal
	Street Lights
	Large Sign
	Small Sign
	Callbox
	Catch Basin
	Left Turn Arrow
	Right Turn Arrow
	Misc Valve Cover
	Water Valve
	Water Meter
	Handicap Parking
	Fire Hydrant
	Manhole
	Utility Box
	Transmission Tower
	Rail Road Signal
	Palm
	Tree
	Tree Line
	Brush Line
	Dirt Road
	Edge of Asphalt
	Concrete
	Waterline
	Trail
	Curb
	Gutter

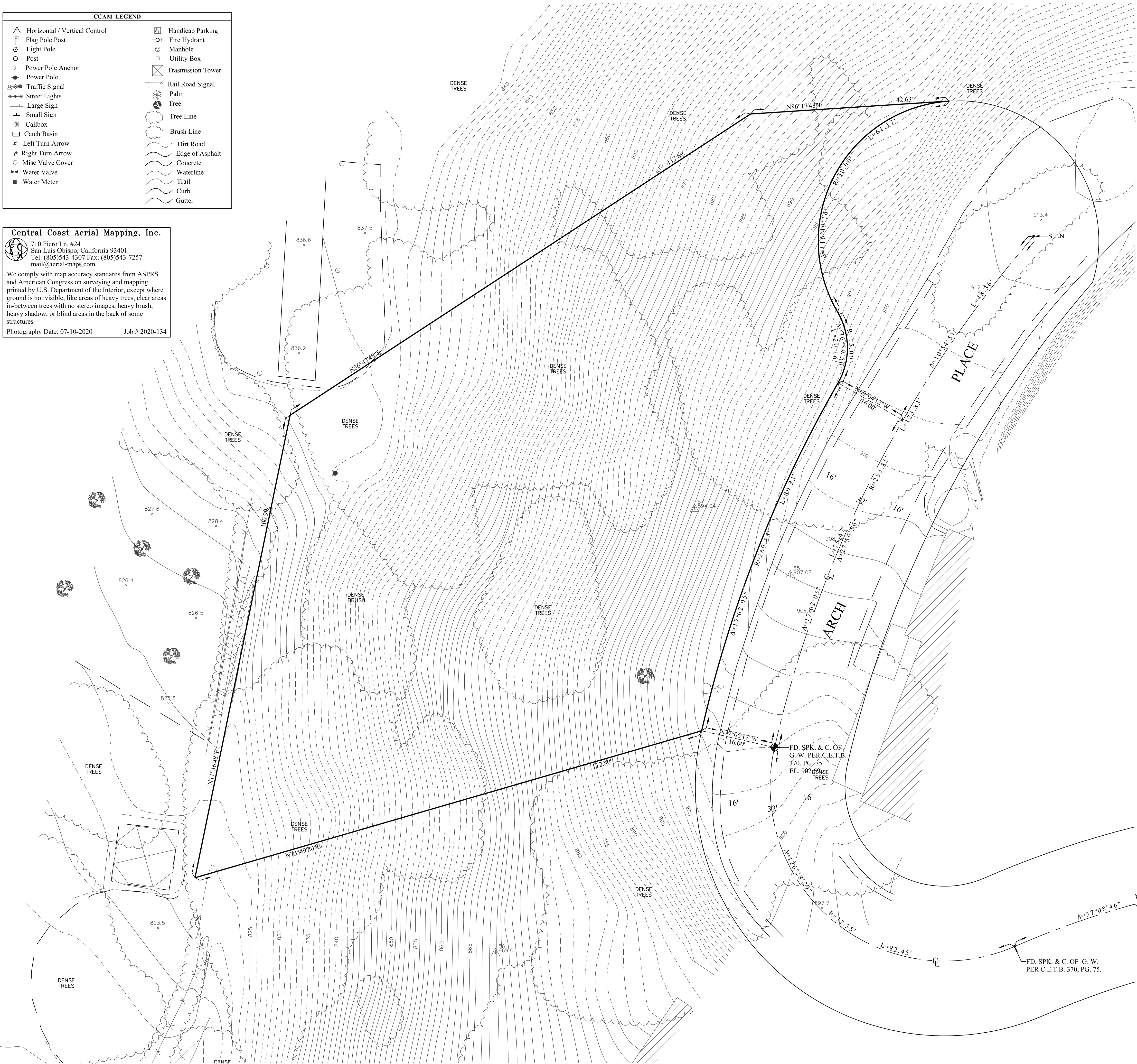


Central Coast Aerial Mapping, Inc.

710 Fiero Ln. #24  
San Luis Obispo, California 93401  
Tel: (805)543-4307 Fax: (805)543-7257  
mail@acrial-maps.com

We comply with map accuracy standards from ASPRS and American Congress on surveying and mapping printed by U.S. Department of the Interior, except where ground is not visible, like areas of heavy trees, clear areas in-between trees with no stereo images, heavy brush, heavy shadow, or blind areas in the back of some structures

Photography Date: 07-10-2020      Job # 2020-134



LEGEND:	
	CONCRETE WALL
	BLOCK WALL
	STONE WALL
	STUCCO WALL
	CHAIN LINK FENCE
	WOODEN FENCE
	CENTER LINE
	LOT LINE
	CONCRETE
	TREE
	BEGIN OF CURVE
	END OF CURVE
	EDGE OF GUTTER
	EDGE OF PAVEMENT
	FLOWLINE
	NATURAL GRADE
	POINT ON CURVE
	POINT ON LINE
	TOP OF WALL
	TOP OF SLOPE
	MAIL BOX
	WATER METER
	ELECTRICAL METER
	ELECTRICAL BOX
	PULL BOX
	MEASURED DISTANCE
	COMPUTED DISTANCE
	RECORDED DISTANCE

**NOTES:**

A. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

B. IN PROVIDING THIS SURVEY NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY EXISTED ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.

C. NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. ALL DOCUMENTS OF RECORD REVIEWED ARE NOTED HEREON. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL OF LAND.

D. THE PROFESSIONAL SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.


**LEGAL DESCRIPTION:**

LOT 7 OF TRACT NO. 10036, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 141, PAGES 32 THROUGH 35 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY AND A PORTION OF VACATED LILAH PLACE.

A.P.N. 5666-004-019.

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING N73°38'E OF A COURSE IN THE SOUTHERLY LINE OF ARCH PLACE, AS SHOWN ON THE MAP OF TRACT NO. 10036, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 141, PAGES 32 THROUGH 35 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**BENCHMARK:**  FD. SPK. & C. OF G. W. PER C.E.T.B. 370, PG. 75. EL. 902.69'.

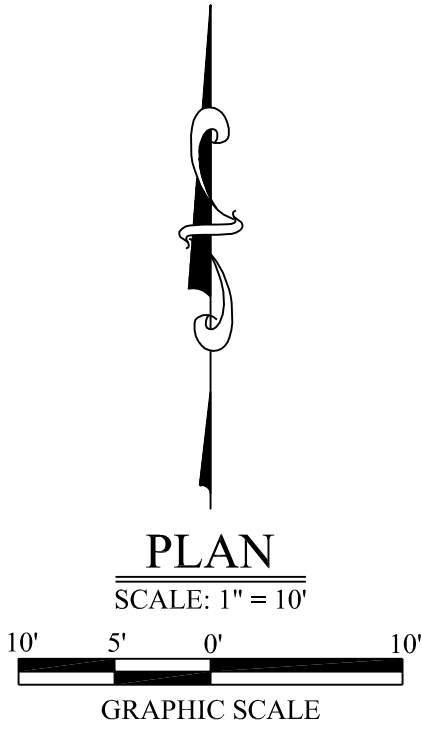
**DATE OF SURVEY:**  
JULY 2, 2020.

**SITE ADDRESS:**  
ADDRESS NOT ASSIGNED,  
GLENDALE, CA 91206.

COPIES OF THIS PLAN WITHOUT AN ORIGINAL SIGNATURE AND WITHOUT WET SEAL ARE NOT VALID.

**AVERAGE SLOPE CALCULATIONS:**

A=13,147 SQ. FT. = 0.3018 AC  
1 = 1'  
L = 9736.6'  
S = 0.00229 x 1 x L / A = 0.00229 x 1' x 9,736.6' / 0.3018 = 73.88 %




PREPARED EXCLUSIVELY FOR:

SHEET TITLE  
TOPOGRAPHIC SURVEY MAP



Revisions	By

ALL DATA, DESIGN, AND PLANS SHOWN OR REPRESENTED BY THIS SET OF PLANS ARE THE PROPERTY OF LARRY G. TISON & ASSOCIATES, LANDSCAPE ARCHITECTURE, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LARRY G. TISON & ASSOCIATES, LANDSCAPE ARCHITECTURE, INC. ANY VIOLATION OF THIS AGREEMENT SHALL BE SUBJECT TO LEGAL ACTION. THIS SET OF PLANS IS THE PROPERTY OF LARRY G. TISON & ASSOCIATES, LANDSCAPE ARCHITECTURE, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LARRY G. TISON & ASSOCIATES, LANDSCAPE ARCHITECTURE, INC. ANY VIOLATION OF THIS AGREEMENT SHALL BE SUBJECT TO LEGAL ACTION.



**VJ & ASSOCIATES**  
building design • planning • interior

1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

**PROJ. TITLE:** PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE

**PROJ. ADD:** 589 ARCH PLACE, GLENDALE, CA. 91206

**OWNER:** ARSEN AGAJANIAN

**DRWG. TITLE:** 589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE:

Drawn by  
**NEIL A. LATT**

Checked by  
**EL**

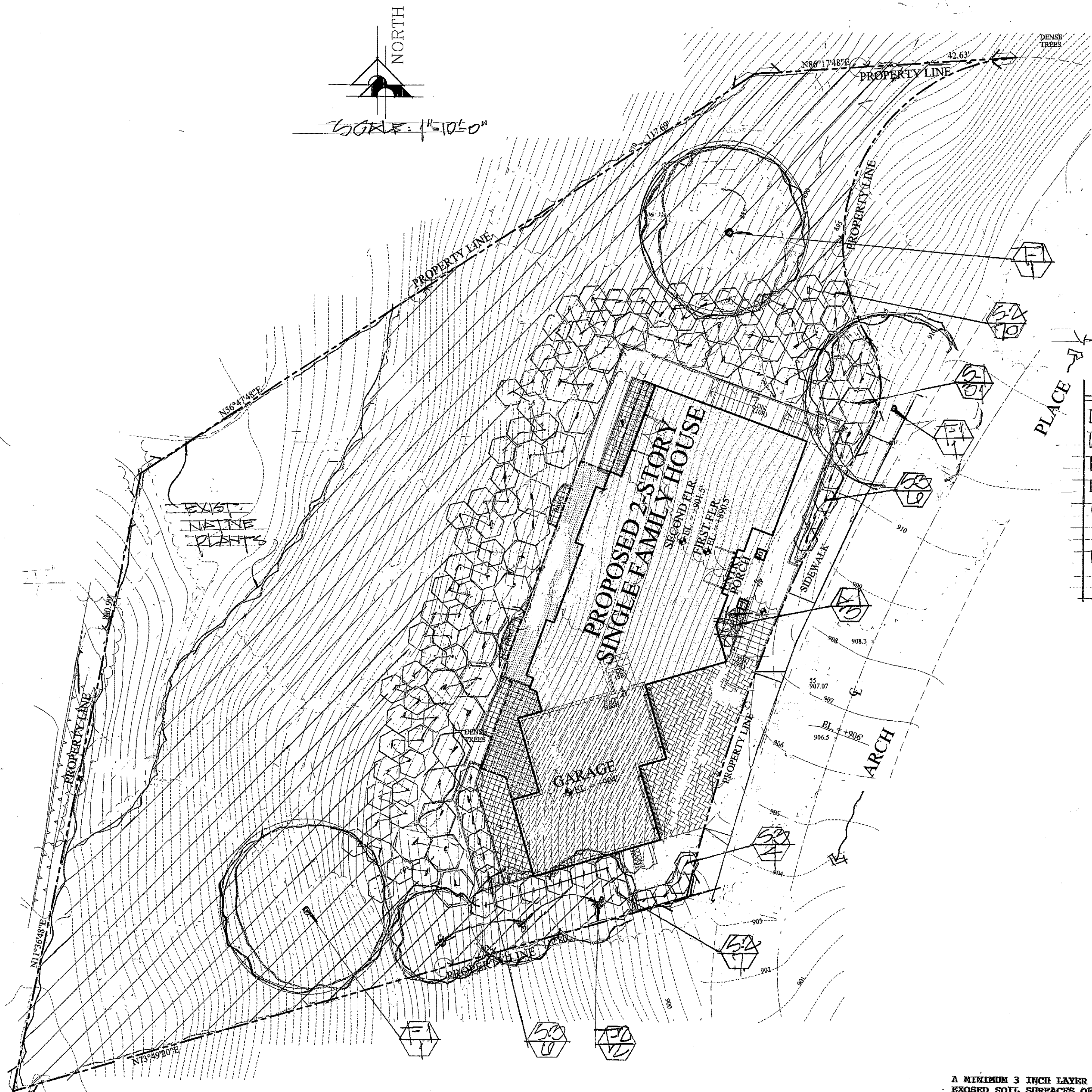
Date  
**8-14-83**

Scale  
**1" = 10'-0"**

Job No.  
—

Sheet No.  
**1-1**

of  
1  
Sheets



WATER USAGE (HUGGLES)


PLACE

**PLANT LIST**


SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
T-1	QUERCUS AEGIFOLIA	COAST LINEAR	24"X 3'	3	—
T-2	HETEROPHEUS ARENIFOLIA	TOYON/ NINE	24"X 3'	3	—
S-1	PHACELIA CALIFORNICA	CALIF. CLOVER	56"X 3'	31	8' O.C.
S-2	CENOTHEUS PROSTRATA	CARPET CREEPER	56"X 3'	77	4' O.C.
S-3	CISTUS X PURPURA	ORCHID BUSH	56"X 3'	10	3' O.C.
A-1	FESTUCA CALIFORNICA	CALIF. FESCUE	56"X 3'	3	RANDOM
GC	GROUNDCOVER = RAGGARDIS TWIN-PEAKS	COYOTE BUSH	FLATS	16	2' O.C.

- 1. LVA = LOW WATER USAGE / P.F. = 3
- 2. INSTALL FIVE RETARDANT JUTE MESH ON ALL SLOPE AREAS TO BE PLANTED
- 3. LANDSCAPE AREA = 49,705 SQ. FT.


**LEGEND**




PROPOSED TREE




PROPOSED SHRUB



PROPOSED ACCENT



PROPOSED GROUNDCOVER

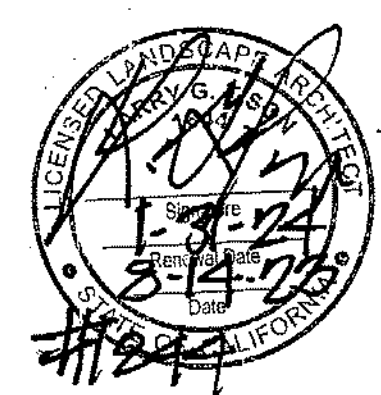


PLANT SYMBOL QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS; EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

MELLO COMPLIANCE

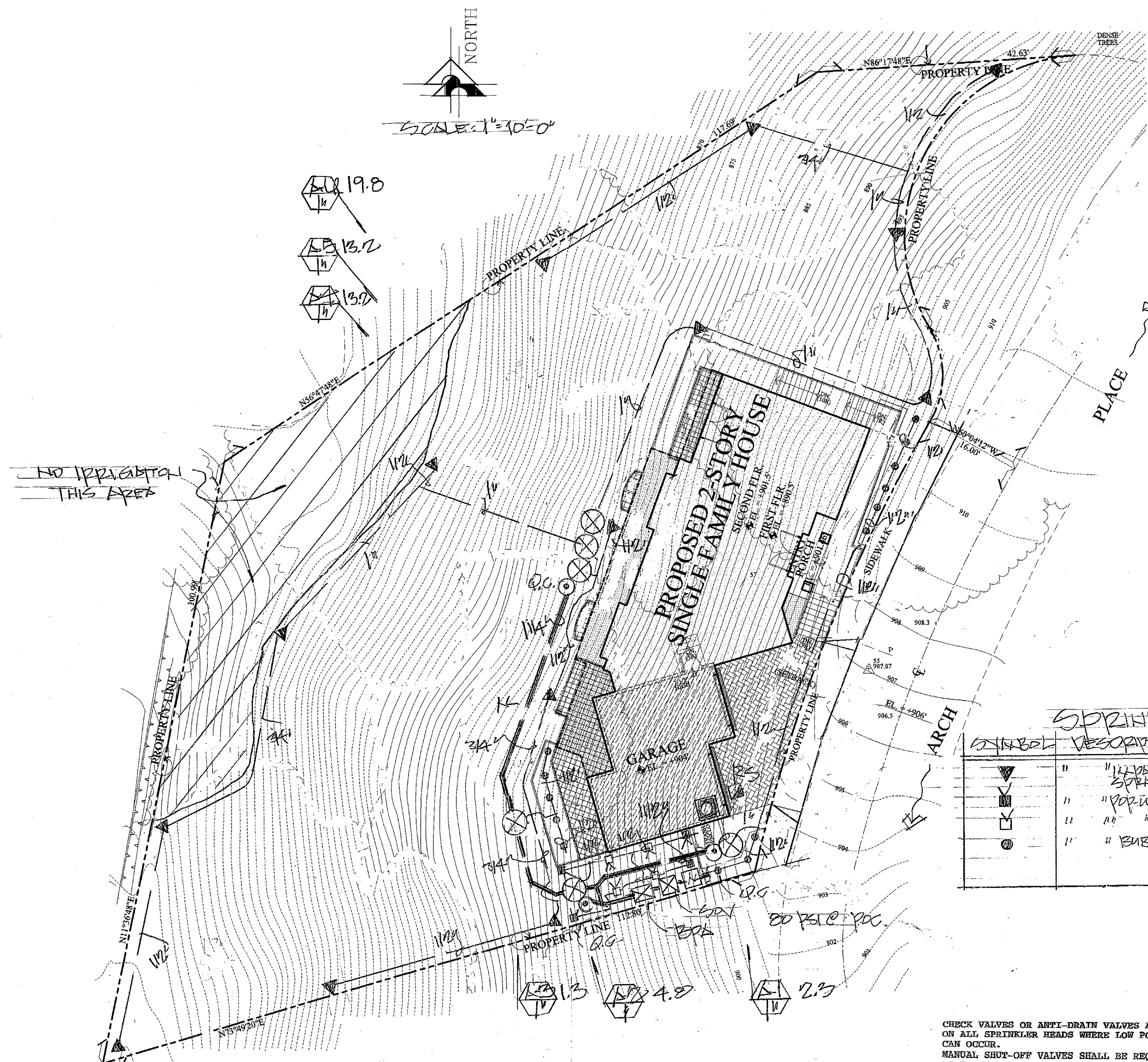
I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES  
LARRY G. TISON, A.S.L.A.  
LANDSCAPE ARCHITECTURE  
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205  
818-241-9169

# PLANTING PLAN





Reference Evapotranspiration (ET<sub>o</sub>) / 43.7

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF x IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Areas</b>							
1-1/2" W	3	B	.81	.37	145	52.7	1,455
1-1/2" W	3	B	.75	.37	750	280	2,495
1-1/2" W	3	B	.81	.37	80	29.2	2,002
1-1/2" W	3	B	.75	.37	2,000	750	21,100
1-1/2" W	3	B	.75	.37	1,150	425	24,585
1-1/2" W	3	B	.75	.37	4,000	1,500	21,180
Totals							72,487
<b>Special Landscape Areas</b>							
[Redacted]							145
Totals							72,487
ETWU Total							72,487
Maximum Allowed Water Allowance (MAWA)							99,912

Hydrozone #/Planting Description E.g.  
 1) front lawn  
 2) low water use plantings  
 3) medium water use plantings

Irrigation Method  
 (S) overhead spray  
 or drip  
 (B) BUBBLER

Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

ETWU (Annual Gallons Required) = ET<sub>o</sub> x 0.62 x ETAF x Area  
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

MAWA (Annual Gallons Allowed) = (ET<sub>o</sub>) { 0.62 [ (ETAF x LA) + (S-ETAF) x SLA ] }  
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

(43.7) (0.62) (.55) (0.125) + (0)  
 MAWA = 99,912 GPY  
 ETWU = 72,487 GPY

SPRINKLER HEADS

SYMBOL	DESCRIPTION	MODEL NO.	SPACING	DEPTH	PSI
[Symbol]	"1/2" POP SPRAY	2045P-144PWH	3.5	38"	35
[Symbol]	"1/2" POP W/ 1/4" T	1812-104PWH	3.9	10'	30
[Symbol]	"1/4" HAIF	1812-104PWH	7.9	10'	30
[Symbol]	"BUBBLER	1812-1401	.85	-	30

- LEGEND
- WEATHER BASED CONTROLLER (RAINBIRD ESP-LINE 8 STATION)
  - RAIN SENSOR (RAINBIRD RSD-BEX)
  - BACKFLOW PREVENTER (FERCO 825-Y-13")
  - QUICK-COUPLER (RAINBIRD 44LC)
  - VALVE (RAINBIRD PEB SERIES)
  - VALVE NO. / GPM  
VALVE SIZE
  - LATERAL LINE / SCHED 40 PVC
  - MAINLINE / SCHED 40 PVC
  - SHUT-OFF VALVE
  - IRRIGATION METER

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.  
 MANUAL SHUT-OFF VALVES SHALL BE REQUIRED; AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY. TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.  
 PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.  
 A DIAGRAM OF THE IRRIGATION PLAN; SHOWING HYDROZONES SHALL BE KEPT WITHIN THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.  
 A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS; IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.  
 AT THE TIME OF THE FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.  
 RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.



# IRRIGATION PLAN

LARRY G. TISON & ASSOCIATES  
 LARRY G. TISON, A.S.L.A.  
 LANDSCAPE ARCHITECTURE  
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205  
 818-241-9169

Revisions	By

VJ & ASSOCIATES  
 building design • planning • interior

1224 E. BROADWAY, SUITE 105,  
 Glendale, CA 91205  
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PROJ. TITLE: PROPOSED 2-STORY SINGLE FAMILY HOUSE W/ ATTACHED 2 CAR GARAGE

PROJ. ADDR: 589 ARCH PLACE, GLENDALE, CA. 91206

OWNER: ARSEN AGAJANIAN  
 589 ARCH PLACE, GLENDALE, CA 91206

DRWG. TITLE:

Drawn by  
 NEIL A. LUT

Checked by

Date  
 8-14-23

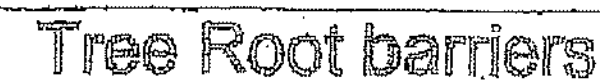
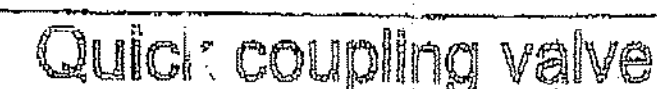
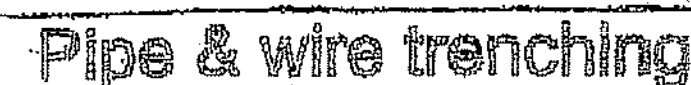
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Job No.

Sheet No.  
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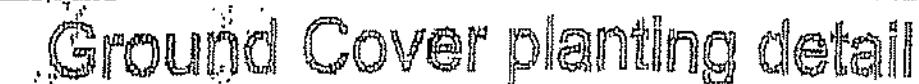
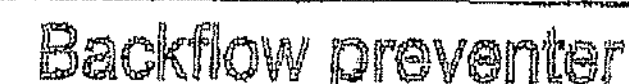
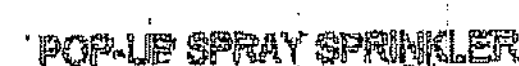
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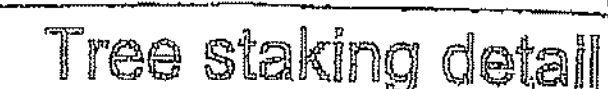
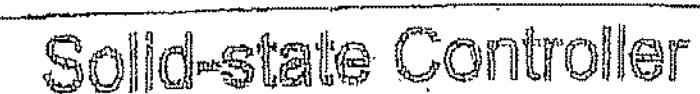
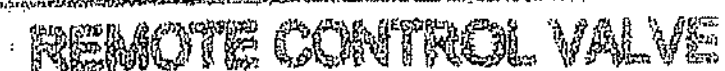
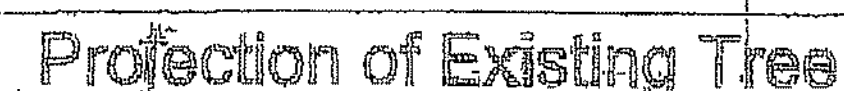
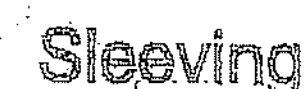
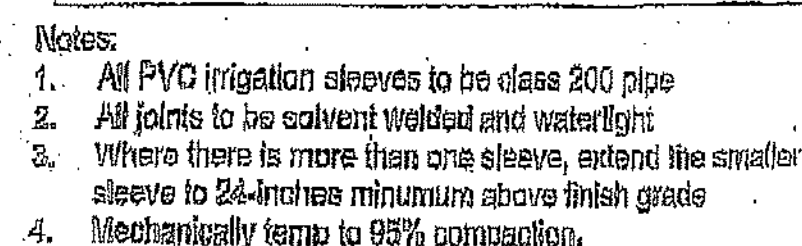
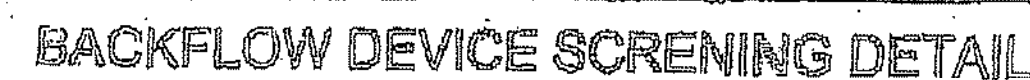


- ## Landscape Notes

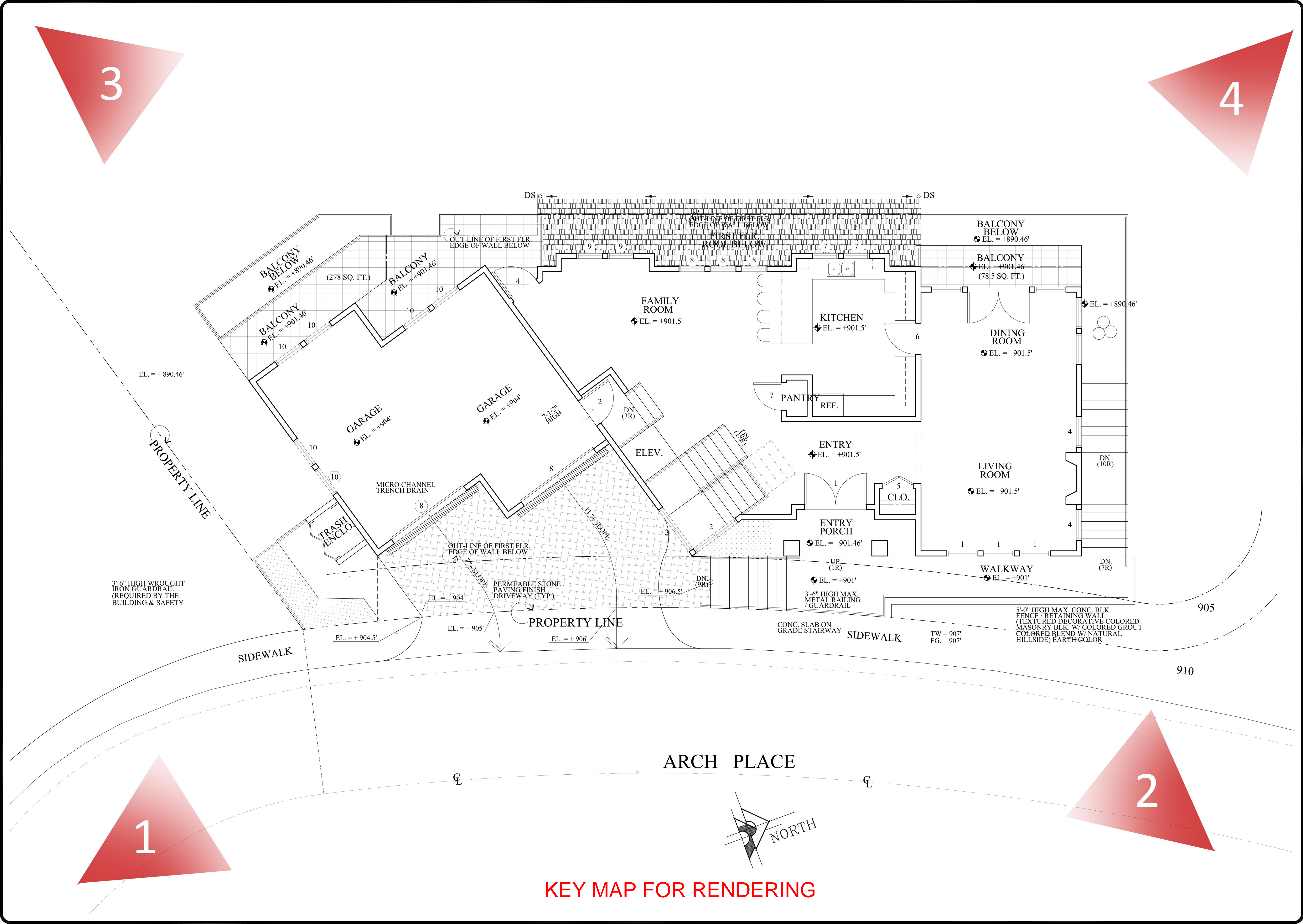
## Soil characteristics



- ### Irrigation notes

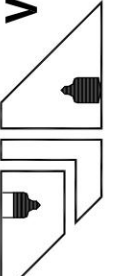






Revisions	By

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building design • planning • interior

1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

**PROJ. TITLE: PROPOSED 2-STORY SINGLE  
FAMILY HOUSE W/ ATTACHED  
2 CAR GARAGE**

PROJ. ADD: 589 ARCH PLACE, GLENDALE, CA. 91206  
OWNER: ARSEN AGAJANIAN  
589 ARCH PLACE, GLENDALE, CA. 91206

DRWG. TITLE: SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by NEIL A.
Checked by V. J.
Date AUG. 15, 2023
Scale 1/4" = 1'-0"
Job No.
Sheet No.
of Sheets





**RENDERING #1**



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**RENDERING #2**



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**RENDERING #3**





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**RENDERING #4**