

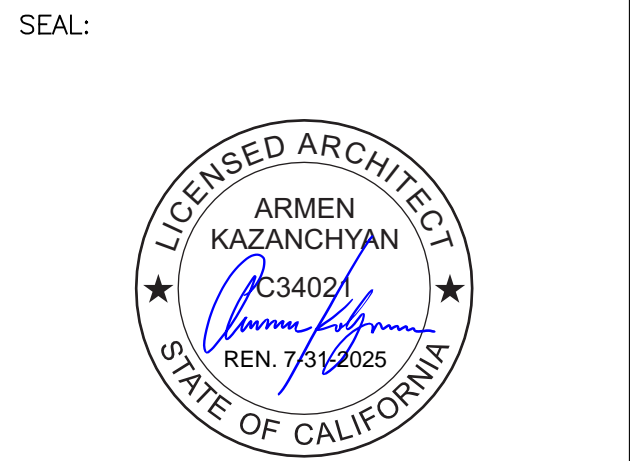






304 N. VERDUGO RD.  
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office@kazrch.com

**ARCHITECT OF RECORD:**  
ARMEN KAZANCHYAN  
C: 818-395-2686  
armen.k@kazrch.com



PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**  
**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011  
CLIENT/OWNER:

PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	—
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
A		
B		
C		
△		
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REV	BY: 5.24.2023	DATE:

SHEET DESCRIPTION:  
FIRST FLOOR PLAN AVERAGE  
SETBACK CALCULATIONS

SHEET NUMBER:

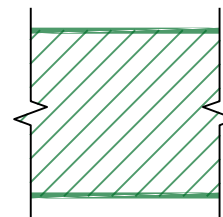
G-501

PROPOSED FIRST FLOOR

SCALE:  
1/8"=1'-0" 1

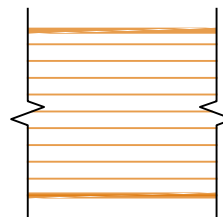
AVERAGE SETBACK (INTERIOR NORTH):

TOTAL FRONTAGE: 101' - 5 1/2"  
REQUIRED FIRST FLOOR SETBACK 8'-0" MIN., 11'-0" AVERAGE  
PROVIDED MINIMUM SETBACK: 10'-0" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 2,550 SQ.FT. / 102'-9" = 24'-10" (MEETS REQ'D)



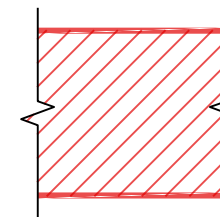
AVERAGE SETBACK (INTERIOR WEST):

TOTAL FRONTAGE: 41' - 11"  
REQUIRED SETBACK 5'-0" MIN. & 8'-0" AVERAGE  
PROVIDED MINIMUM SETBACK: 8'-0" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 454 SQ.FT. / 41'-11" = 10'-10" (MEETS REQ'D)



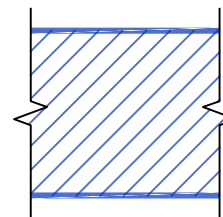
AVERAGE SETBACK (STREET SIDE GLENWOOD DR.):

TOTAL FRONTAGE: 115'-8" (115.6')  
REQUIRED SETBACK 5'-0" MIN., 8'-0" AVERAGE  
PROVIDED MINIMUM SETBACK: 5'-0" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 926 SQ.FT. / 115.6' = 8'-0" (MEETS REQ'D)



AVERAGE SETBACK (STREET FRONT PACIFIC AVE.):

TOTAL FRONTAGE: 90' - 4 1/2"  
REQUIRED FRONT SETBACK 20'-0" MIN. & 23'-0" AVERAGE  
PROVIDED MINIMUM SETBACK: 15'-6" (INCENTIVE/CONCESSION)  
PROVIDED AVERAGE SETBACK: 2,648 SQ.FT. / 90'-4 1/2" = 29'-4" (MEETS REQ'D)





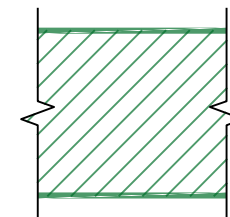


PROPOSED SECOND FLOOR

SCALE: 1/8"=1'-0" 1

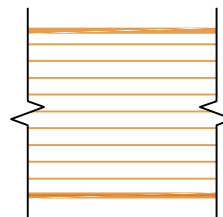
AVERAGE SETBACK (INTERIOR NORTH):

TOTAL FRONTAGE: 98'-5"  
REQUIRED SETBACK 11'-0" MIN. & 14'-0" AVERAGE  
PROVIDED MINIMUM SETBACK: 13'-6" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 2,895 SQ.FT. / 102'-9" = 28'-2" (MEETS REQ'D)



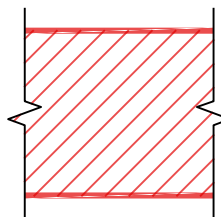
AVERAGE SETBACK (INTERIOR WEST):

TOTAL FRONTAGE: 34'-9"  
REQUIRED SETBACK 8'-0" MIN. & 11'-0" AVERAGE  
PROVIDED MINIMUM SETBACK: 8'-9" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 451 SQ.FT. / 39'-5" = 11'-6" (MEETS REQ'D)



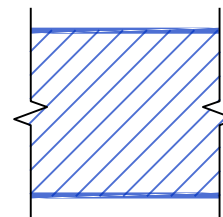
AVERAGE SETBACK (STREET SIDE GLENWOOD DR.):

TOTAL FRONTAGE: 115'-2"  
REQUIRED SETBACK 8'-0" MIN. & 11'-0" AVERAGE  
PROVIDED MINIMUM SETBACK: 8'-0" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 1,315 SQ.FT. / 115'-2" = 11'-5" (MEETS REQ'D)



AVERAGE SETBACK (STREET FRONT PACIFIC AVE.):


TOTAL FRONTAGE: 82'-7"  
REQUIRED FRONT SETBACK 23'-0" MIN. & 26'-0" AVERAGE  
PROVIDED MINIMUM SETBACK: 20'-5 1/2" (INCENTIVE/CONCESSION)  
PROVIDED AVERAGE SETBACK: 2,554 SQ.FT. / 82'-7" = 30'-11" (MEETS REQ'D)



PROJECT TITLE:		14 UNIT APARTMENT UNIT
PROPERTY OWNER:		HAMID ABRARI 1096 INVERNESS DR. LA CANADA FLINTRIDGE, CA 91011
CLIENT/OWNER:		
PROJECT ADDRESS:		1301 N. PACIFIC AVE GLENDALE, C 91202
JOB NO.:	-	
DRAWN BY:	J.N.	
CHECKED BY:	A.K.	
DATE:	2-2-2024	

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A		
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C		
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REV	BY: 05.24.2023	DATE:

SHEET DESCRIPTION:		SECOND FLOOR PLAN AVERAGE SETBACK CALCULATIONS
SHEET NUMBER:		G-502



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CORPORATION

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SEAL:

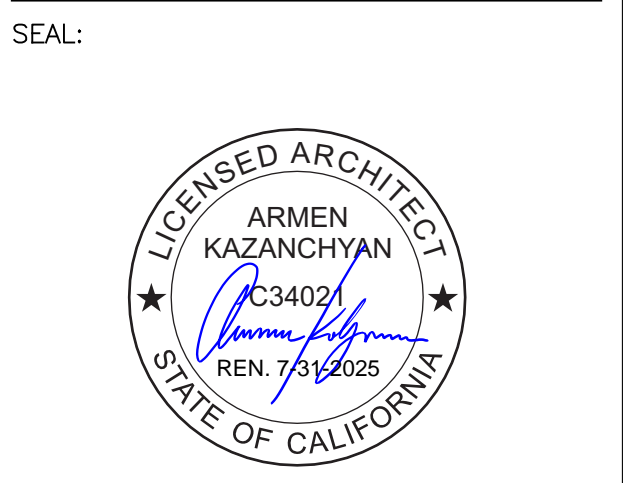






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PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**  
**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011  
CLIENT/OWNER:

PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	—
DRAWN BY:	J.N.
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DATE:	2-2-2024

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△		
△		
△		
REV	BY: 05.24.2023	DATE:

SHEET DESCRIPTION:  
**THIRD FLOOR PLAN AVERAGE SETBACK CALCULATIONS**

SHEET NUMBER:  
**G-503**

PROPOSED THIRD FLOOR

SCALE:  
1/8"=1'-0" 1

AVERAGE SETBACK (INTERIOR NORTH):

TOTAL FRONTAGE: 97'-5"  
REQUIRED SETBACK 14'-0" MIN. & 17'-0" AVERAGE

PROVIDED MINIMUM SETBACK: 16'-11" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 3,041 SQ.FT. / 96'-9" = 30'-9" (MEETS REQ'D)

AVERAGE SETBACK (INTERIOR WEST):

TOTAL FRONTAGE: 36'-1"  
REQUIRED SETBACK 11'-0" MIN. & 14'-0" AVERAGE

PROVIDED MINIMUM SETBACK: 11'-0" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 674 SQ.FT. / 36'-1" = 18'-8"

AVERAGE SETBACK (STREET SIDE GLENWOOD DR.):

TOTAL FRONTAGE: 108'-8"  
REQUIRED SETBACK 11'-0" MIN. & 14'-0" AVERAGE

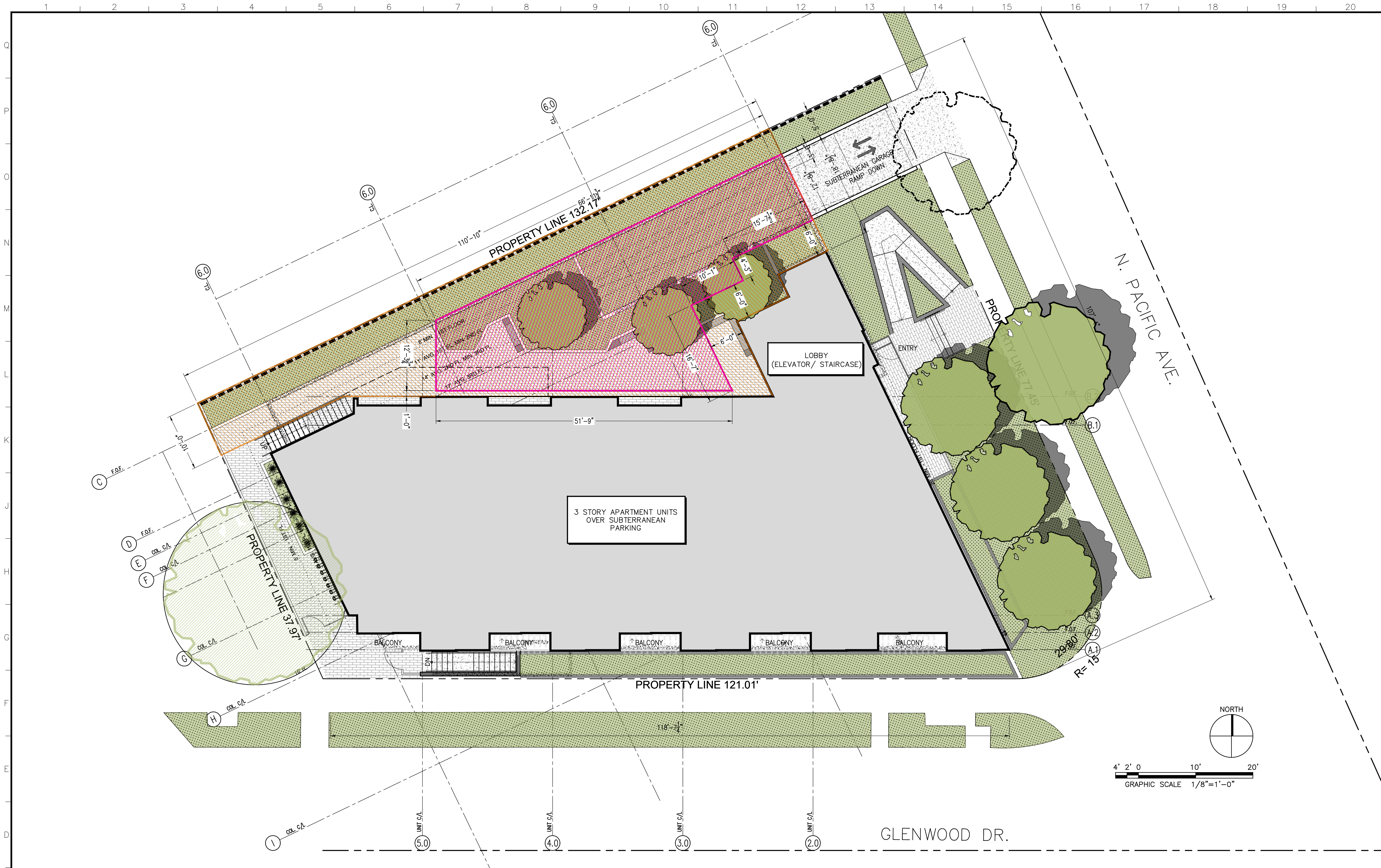
PROVIDED MINIMUM SETBACK: 11'-0" (MEETS REQ'D)  
PROVIDED AVERAGE SETBACK: 1,530 SQ.FT. / 108'-8" = 14'-2" (MEETS REQ'D)

AVERAGE SETBACK (STREET FRONT PACIFIC AVE.):

TOTAL FRONTAGE: 69'-5"  
REQUIRED FRONT SETBACK 23'-0" MIN. & 26'-0" AVERAGE

PROVIDED MINIMUM SETBACK: 16'-6" (INCENTIVE/CONCESSION)  
PROVIDED AVERAGE SETBACK: 2,036 SQ.FT. / 69'-5" = 29'-4" (MEETS REQ'D)





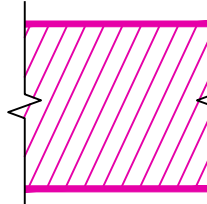
SITE PLAN COMMON OPEN SPACE

SCALE:  
1/8"=1'-0" 1

ADDITIONAL OPEN SPACE PER 30.31.020.7

REQUIRED:  $900 + (20 \times 18) = 1,260$  SQ.FT.

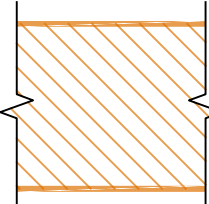
PROVIDED: 1,380 SQ.FT.



COMMON OPEN SPACE PER 30.11.050.C

REQUIRED:  $200 \times 14 = 2,800$  SQ.FT.

TOTAL SQ.FT = 2,522 SQ.FT. (INCENTIVE/CONCESSION)



PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**

**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

**PROJECT ADDRESS:**  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	—
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
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REV	BY: 05.24.2023	DATE:

SHEET DESCRIPTION:  
PROPOSED COMMON OPEN SPACE

SHEET NUMBER:

**G-504**

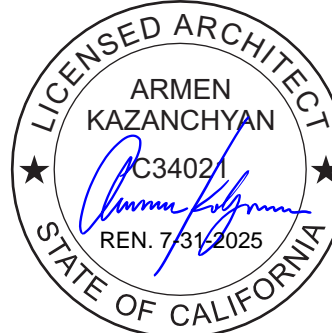


ARMEN KAZANCHYAN  
ARCHITECTURE  
CORPORATION

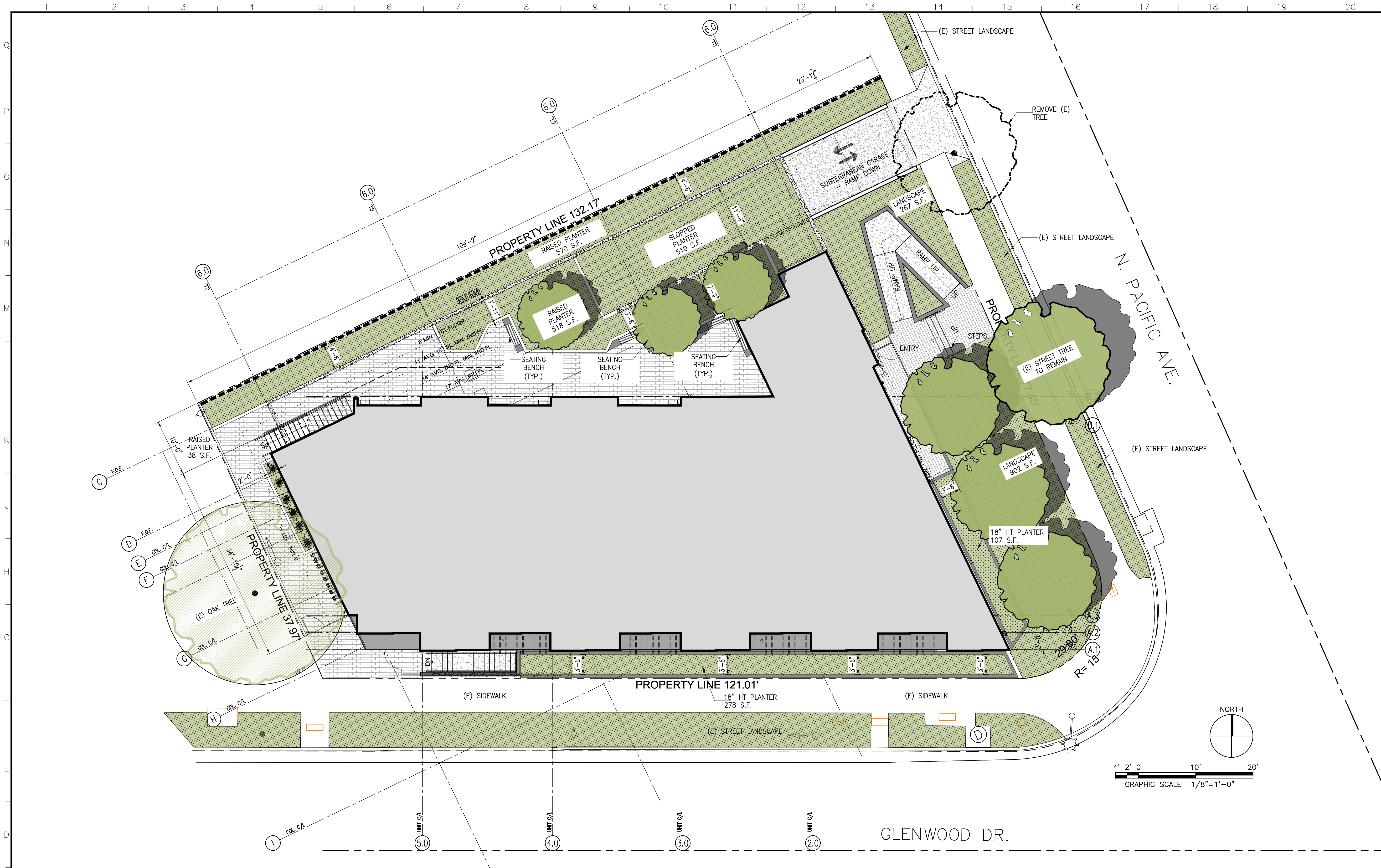
304 N. VERDUGO RD.  
GLENDALE, CA 91206  
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office@kazrch.com

**ARCHITECT OF RECORD:**  
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SEAL:





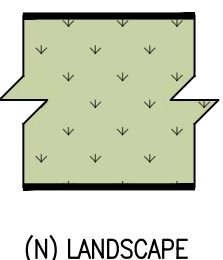
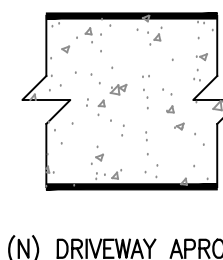
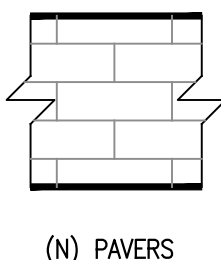


PROPOSED LANDSCAPE SITE

LANDSCAPE CALCULATIONS:

TWO TYPES OF LANDSCAPE:  
1) RAISED PLANTER = 1,451 SQ.FT.  
2) IN-GROUND LANDSCAPE = 1,739 SQ.FT.  
  
TOTAL LANDSCAPE = 3,190  
3,210/10,700 (LOT AREA) = 29.8%

LEGEND:



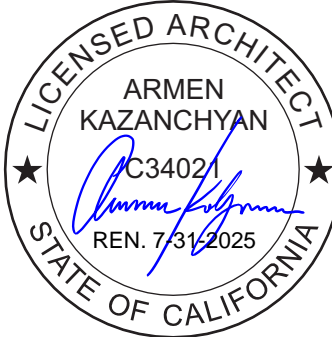
SCALE:  
1/8"=1'-0"

AS INSTRUMENT OF SERVICE, ALL DESIGN, DESIGN AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF KAZANCHYAN DESIGN. NO PART HEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE FIRST PREPARED AND REDUCED WITHOUT THE WRITTEN CONSENT OF KAZANCHYAN DESIGN. NO PART HEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE FIRST PREPARED AND REDUCED WITHOUT THE WRITTEN CONSENT OF KAZANCHYAN DESIGN. NO PART HEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE FIRST PREPARED AND REDUCED WITHOUT THE WRITTEN CONSENT OF KAZANCHYAN DESIGN.



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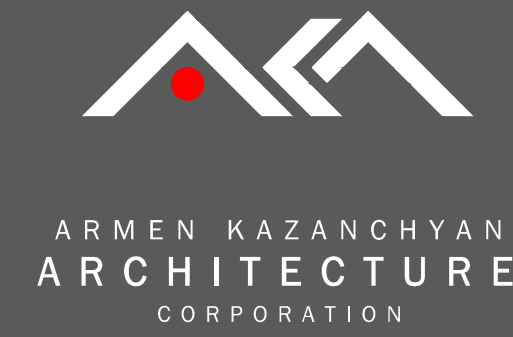
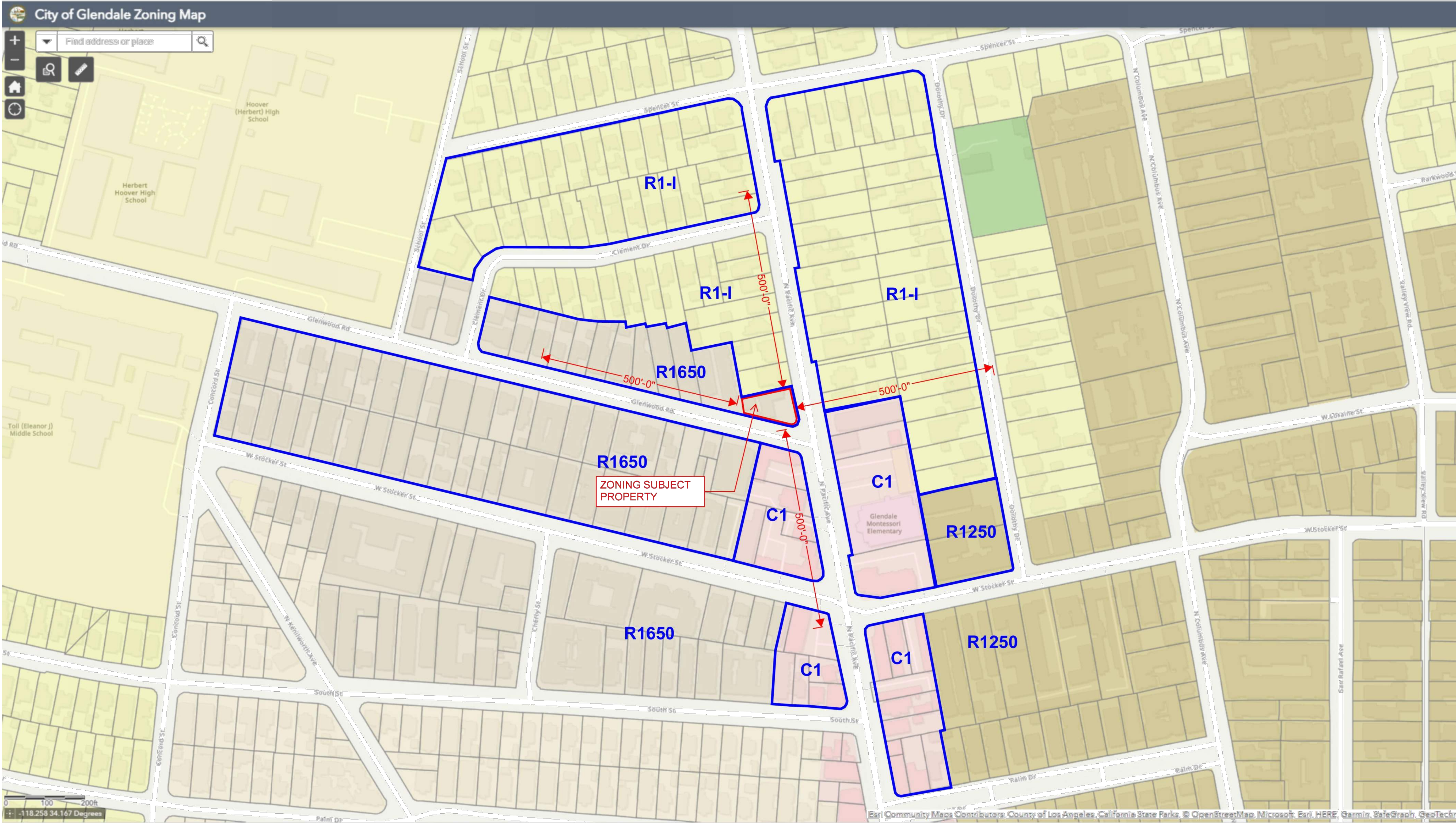
PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**  
**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011  
  
CLIENT/OWNER:

PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, CA 91202  
  
JOB NO.:  
DRAWN BY: J.N.  
CHECKED BY: A.K.  
DATE: 2-2-2024

NO.	ISSUED FOR:	DATE:
A		
B		
C		
REV	BY: 05.24.2023	DATE:

SHEET DESCRIPTION:  
PROPOSED LANDSCAPE SITE  
  
SHEET NUMBER:  
**G-505**





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SEAL:



PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**  
**PROPERTY OWNER:**  
HAMID ABRARI  
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LA CANADA FLINTRIDGE, CA 91011

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REV	BY: 05.24.23	DATE:

SHEET DESCRIPTION:  
LOCATION AND ZONING MAP

SHEET NUMBER:

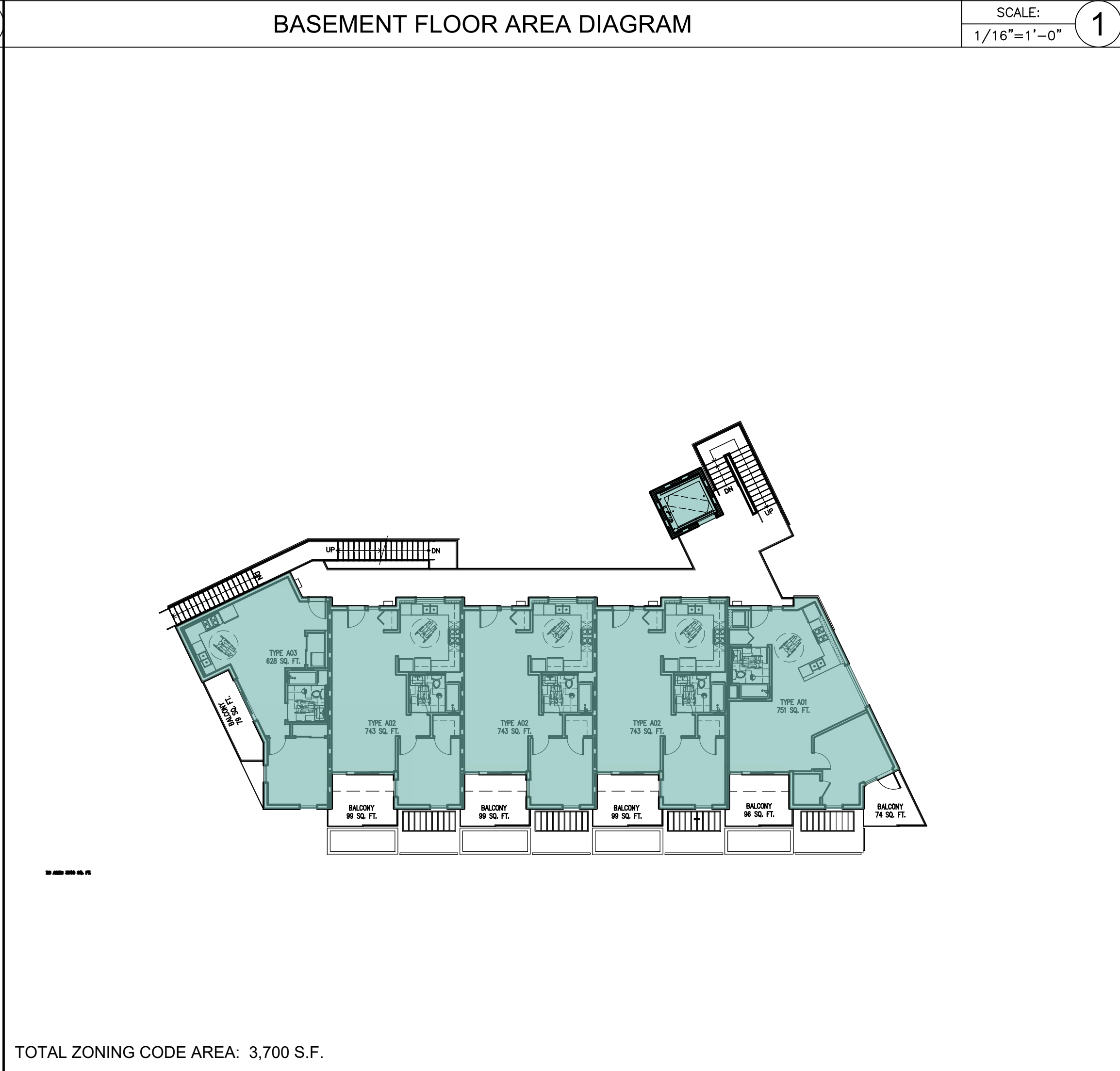
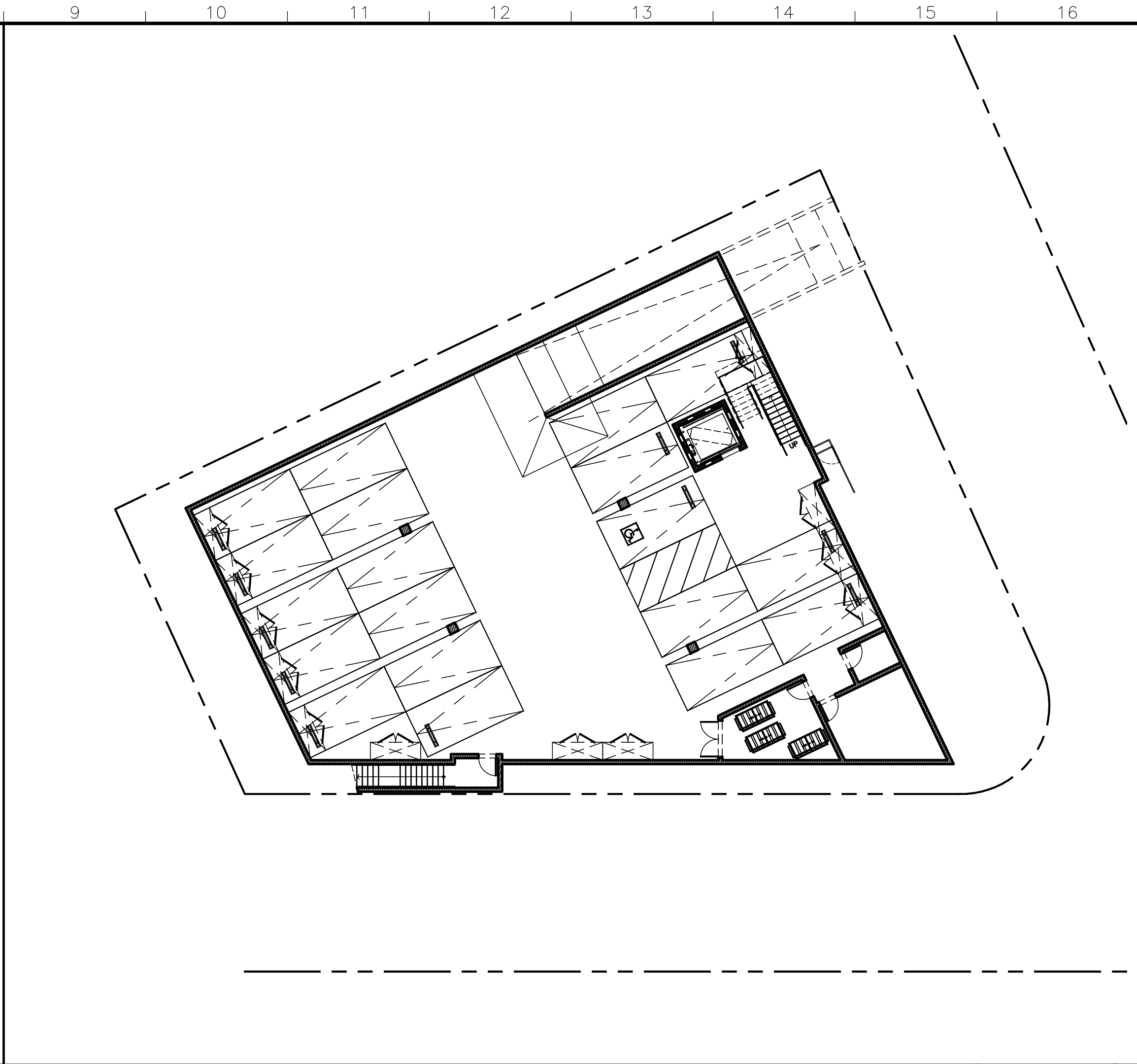
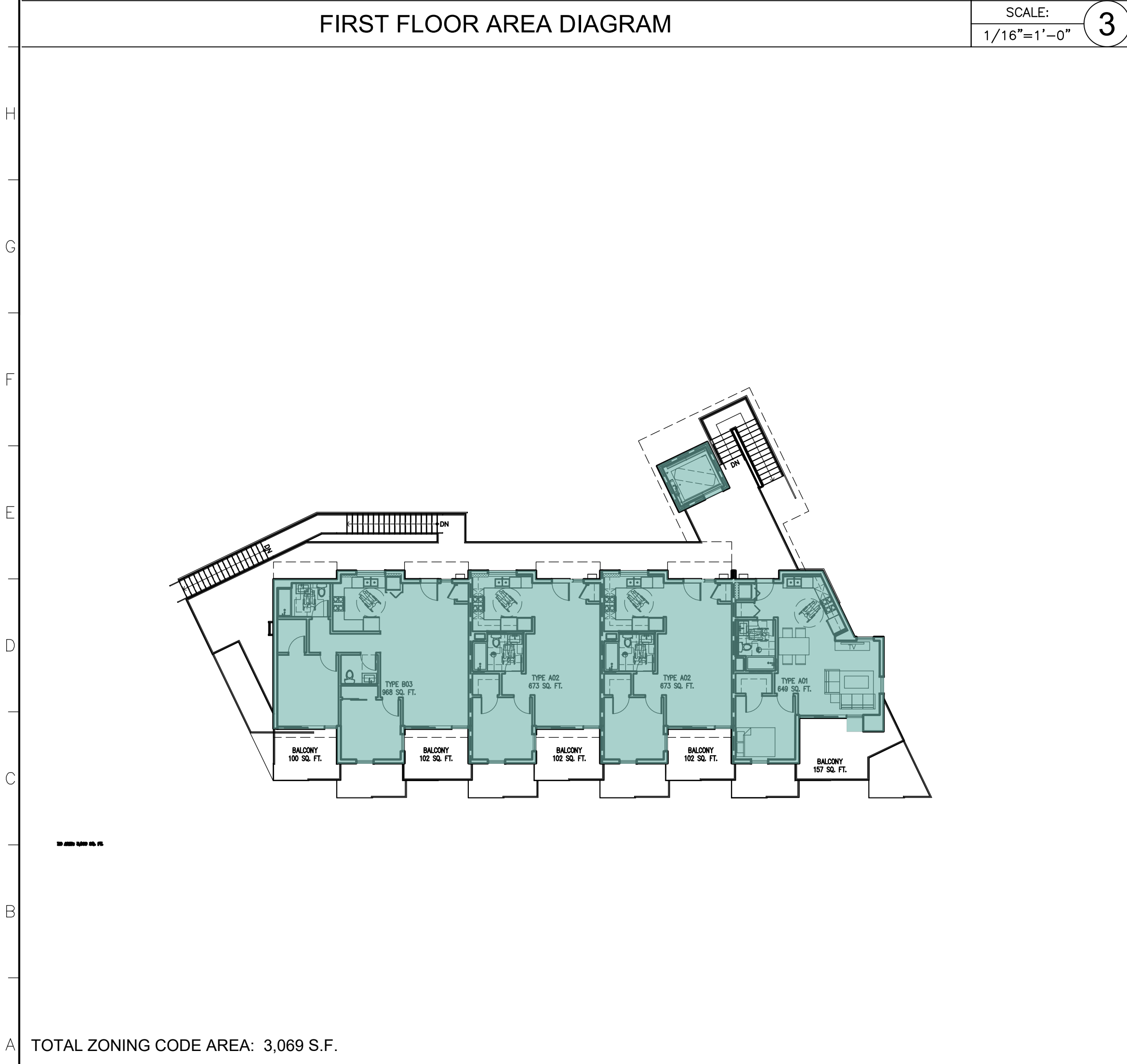
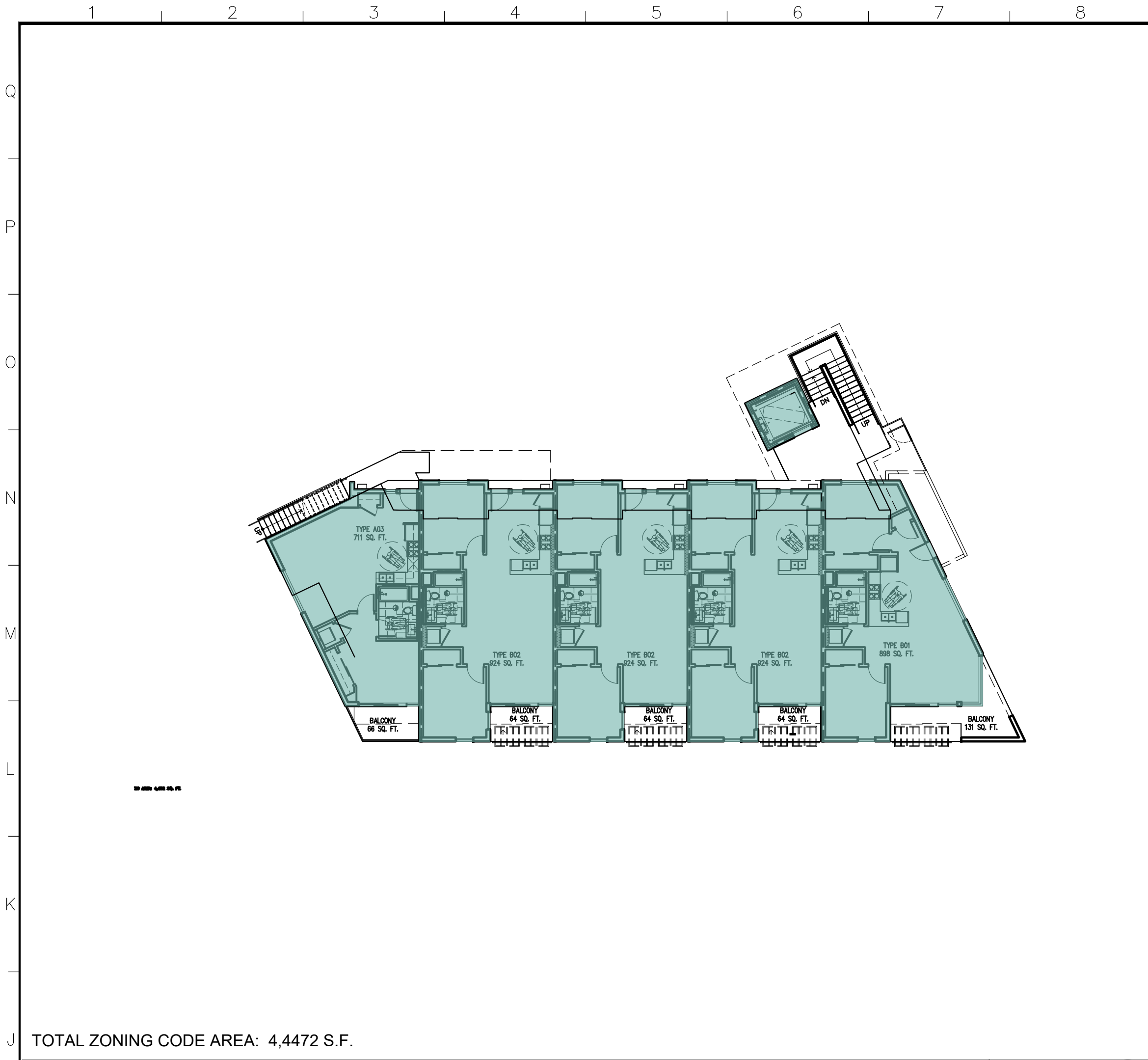
**A-506**

LOCATION AND ZONING MAP

SCALE:  
N.T.S.

1





LEGEND:



FLOOR AREAS:

AREA PER FLOOR:	ZONING CODE FLOOR AREA 1	BUILDING CODE 2 FLOOR AREA		ASSESSABLE FLOOR AREA
		S2 OCC.	R2 OCC.	
BASEMENT FLOOR	0	6,950	0	TBD
FIRST FLOOR	4,472	0	5,040	TBD
SECOND FLOOR	3,700	0	4,504	TBD
THIRD FLOOR	3,069	0	3,600	TBD
SUBTOTAL		6,950	13,144	
TOTAL	11,241	20,094		TBD

- NOTES:
- ZONING CODE FLOOR AREA  
INCLUDED: BUILDING AREA WITHIN EXTERIOR WALLS, COVERED USABLE SPACES  
EXCLUDED: STAIRWAYS, SHAFTS, MECHANICAL & MACHINERY AREAS, PARKING AREAS, BASEMENT STORAGE AREAS.
  - BUILDING CODE FLOOR AREA  
INCLUDED: BUILDING AREA WITHIN EXTERIOR WALLS, COVERED USABLE SPACES PROJECTED MORE THAN 5 FEET  
EXCLUDED: VENT SHAFTS & COURTS
  - ASSESSABLE FLOOR AREA  
INCLUDED: FLOOR AREA WITHIN PERIMETER OF BUILDING FROM OUTSIDE OF THE EXTERIOR WALL, INTERIOR HALLWAYS, STAIRCASES ALL FLOORS\*, ELEVATOR SHAFTS ALL FLOORS\*, BAY WINDOWS, RECREATION ROOMS ATTACHED OR DETACHED, BASEMENT/ATTICS, LAUNDRY ROOMS,  
EXCLUDED: PARKING AREAS, ELECTRICAL ROOMS, MECHANICAL ROOMS, FIREPLACES

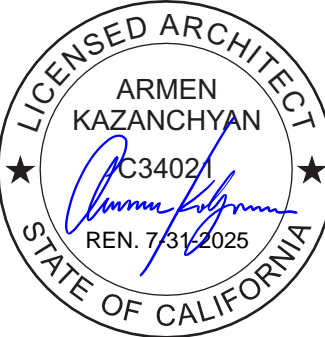
\*IN MULTI-FAMILY STRUCTURE, A STAIRCASE OR ELEVATOR THAT IS USED FOR THE ENTIRE STRUCTURE AND NOT JUST FOR AN INDIVIDUAL UNIT SHOULD INCLUDE ONLY THE SQUARE FOOTAGE FOR THE FIRST FLOOR.



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**ARCHITECT OF RECORD:**  
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SEAL:



PROJECT TITLE:  
**14 UNIT APARTMENT  
UNIT**  
**PROPERTY OWNER:**  
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1096 INVERNESS DR.  
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△		
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△		
REV	BY: 05—24—2023	DATE:

SHEET DESCRIPTION:  
FLOOR AREA DIAGRAMS -  
ZONING CODE

SHEET NUMBER:

G-511





FIRST FLOOR AREA DIAGRAM



THIRD FLOOR AREA DIAGRAM



BASEMENT FLOOR AREA DIAGRAM



SECOND FLOOR AREA DIAGRAM

LEGEND:

BUILDING CODE S2 OCC. FLOOR AREA SHOWN

BUILDING CODE R2 OCC. FLOOR AREA SHOWN

SEAL:

FLOOR AREAS:				
AREA PER FLOOR:	ZONING CODE FLOOR AREA 1	BUILDING CODE 2 FLOOR AREA		ASSESSABLE FLOOR AREA
		S2 OCC.	R2 OCC.	
BASEMENT FLOOR	0	6,950	0	TBD
FIRST FLOOR	4,472	0	5,040	TBD
SECOND FLOOR	3,700	0	4,504	TBD
THIRD FLOOR	3,069	0	3,600	TBD
SUBTOTAL		6,950	13,144	
TOTAL	11,241	20,094		TBD

NOTES:

1. ZONING CODE FLOOR AREA  
INCLUDED: BUILDING AREA WITHIN EXTERIOR WALLS, COVERED USABLE SPACES  
EXCLUDED: STAIRWAYS, SHAFTS, MECHANICAL & MACHINERY AREAS, PARKING AREAS, BASEMENT STORAGE AREAS.

2. BUILDING CODE FLOOR AREA  
INCLUDED: BUILDING AREA WITHIN EXTERIOR WALLS, COVERED USABLE SPACES PROJECTED MORE THAN 5 FEET  
EXCLUDED: VENT SHAFTS & COURTS

3. ASSESSABLE FLOOR AREA  
INCLUDED: FLOOR AREA WITHIN PERIMETER OF BUILDING FROM OUTSIDE OF THE EXTERIOR WALL, INTERIOR HALLWAYS, STAIRCASES ALL FLOORS\*, ELEVATOR SHAFTS ALL FLOORS\*, BAY WINDOWS, RECREATION ROOMS ATTACHED OR DETACHED, BASEMENT/ATTICS, LAUNDRY ROOMS, EXCLUDED: PARKING AREAS, ELECTRICAL ROOMS, MECHANICAL ROOMS, FIREPLACES

\*IN MULTI-FAMILY STRUCTURE, A STAIRCASE OR ELEVATOR THAT IS USED FOR THE ENTIRE STRUCTURE AND NOT JUST FOR AN INDIVIDUAL UNIT SHOULD INCLUDE ONLY THE SQUARE FOOTAGE FOR THE FIRST FLOOR.

ARMEN KAZANCHYAN ARCHITECTURE CORPORATION

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armen.k@kazrch.com

LICENSED ARCHITECT  
ARMEN KAZANCHYAN  
C34021  
REN. 7/31/2025  
STATE OF CALIFORNIA

PROJECT TITLE:  
14 UNIT APARTMENT UNIT  
PROPERTY OWNER:  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

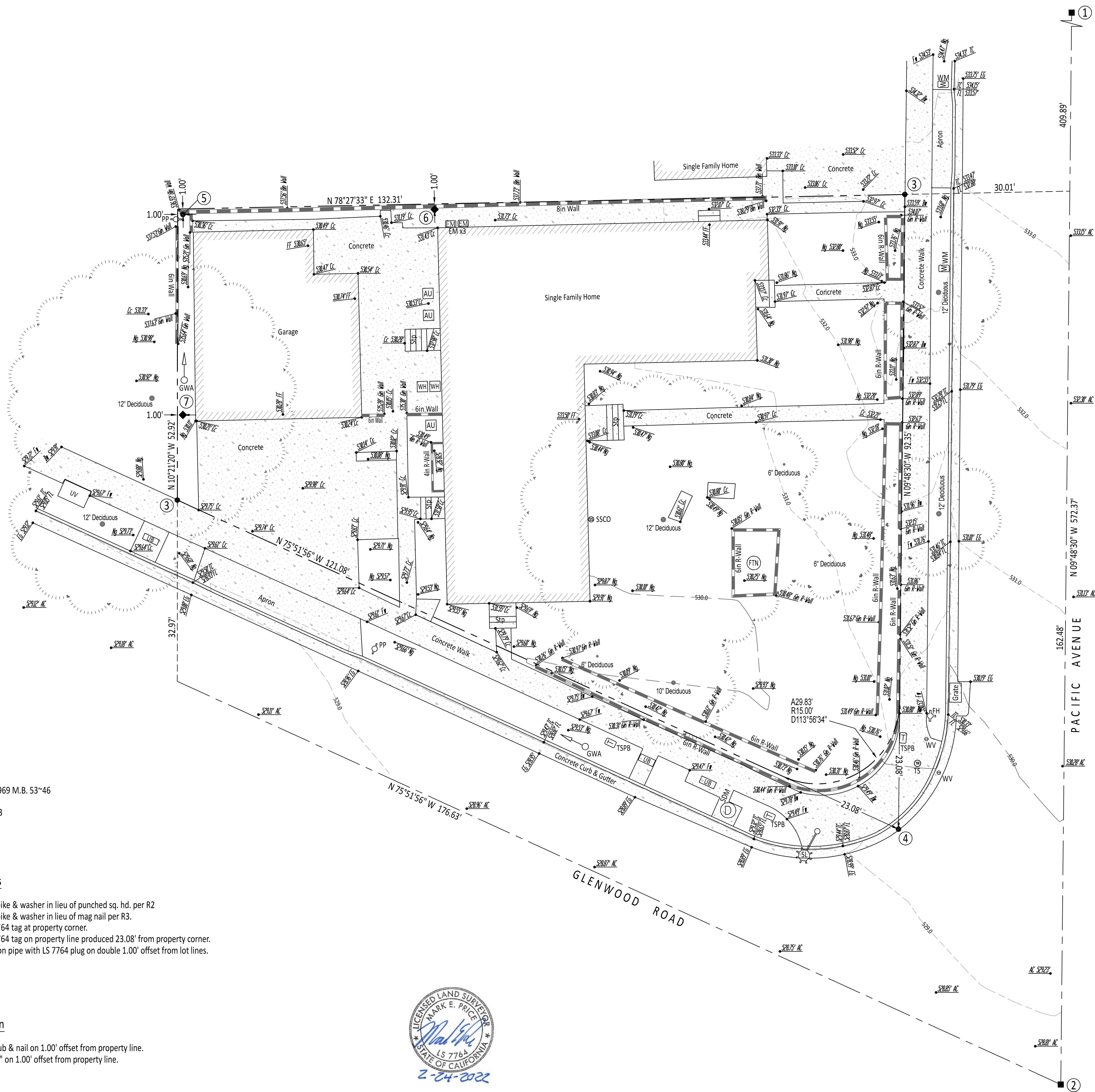
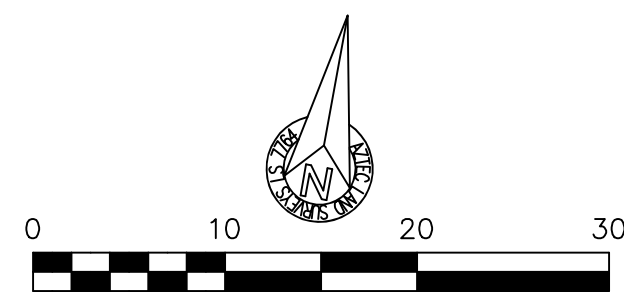
JOB NO.:	—
DRAWN BY:	J.N.
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DATE:	2—2—2024

NO.	ISSUED FOR:	DATE:
A		
B		
C		
△		
△		
△		
REV	BY: 05—24—2023	DATE:

SHEET DESCRIPTION:  
FLOOR AREA DIAGRAMS - BUILDING CODE

SHEET NUMBER:  
G-512





AC	Asphalt
AU	A/C Unit
BW	Back of Walk
CC	Concrete
EG	Edge of Gutter
EM	Electric Meter
FF	Finish Floor
FL	Flowline
FH	Fire Hydrant
FTN	Fountain
FW	Front of Walk
GW	Guy Wire Anchor
NG	Natural Ground
PP	Power Pole
R-Wall	Retaining Wall
SDM	Storm Drain Manhole
SL	Street Light
SSCO	Sanitary Sewer Cleanout
STP	Step(s)
TC	Top of Curb
TS	Traffic Signal
TSBP	Traffic Signal Pull Box
UB	Utility Box
UV	Utility Vault
WH	Water Heater
WM	Water Meter
WV	Water Valve

R1 Tract No. 4969 M.B. 53~46  
R2 TB192~107  
R3 TB1814~003

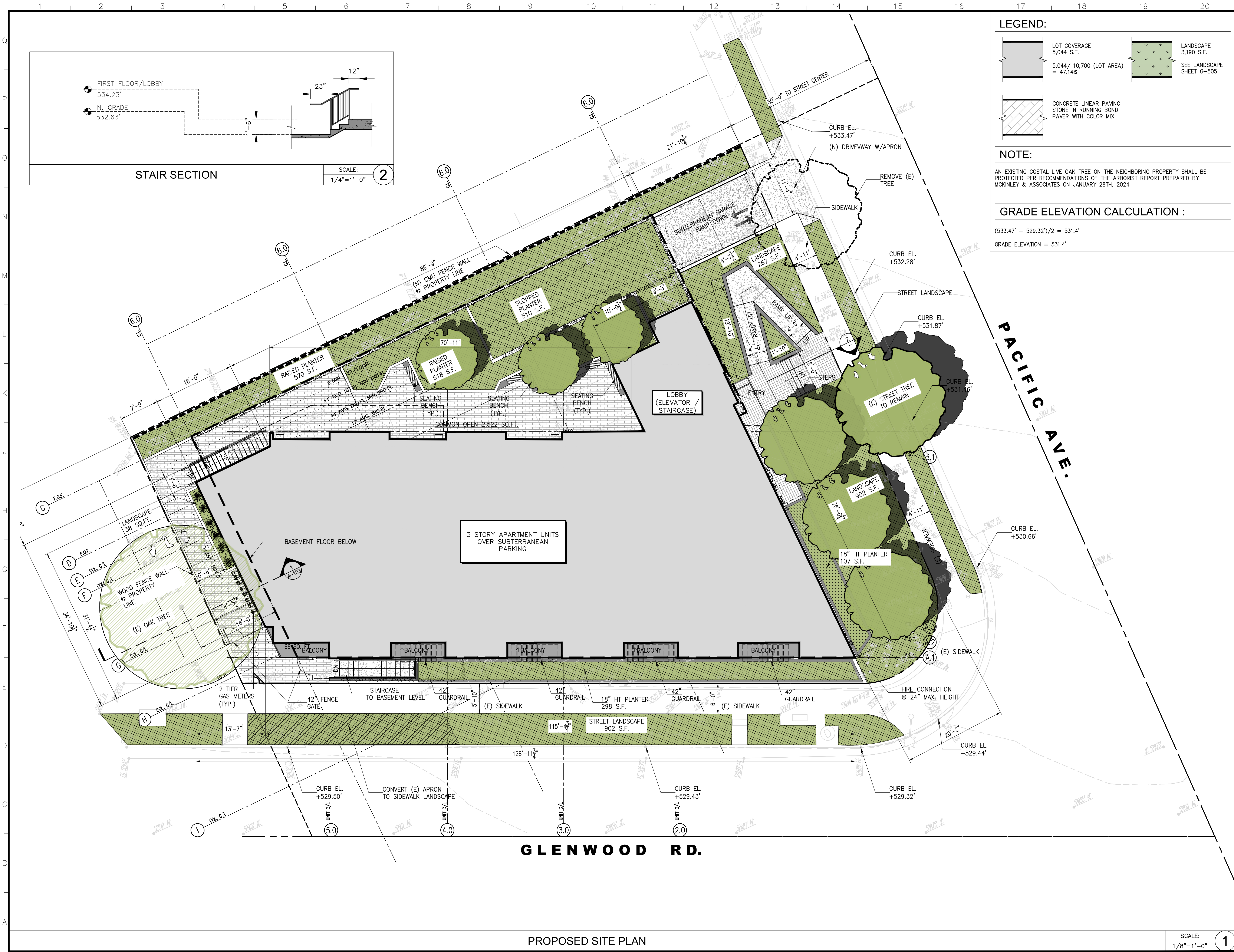
- ① Found spike & washer in lieu of punched sq. hd. per R2
- ② Found spike & washer in lieu of mag nail per R3.
- ③ Set LS 7764 tag at property corner.
- ④ Set LS 7764 tag on property line produced 23.08' from property corner.
- ⑤ Set 1" iron pipe with LS 7764 plug on double 1.00' offset from lot lines.

- ⑥ Set 1x2 hub & nail on 1.00' offset from property line.
- ⑦ Set cut "+" on 1.00' offset from property line.



Boundary & Topographic Survey	Aztec Land Surveys, Inc.	Project Number	Client:	Benchmarks	Revisions	Date
1301 N. Pacific Avenue Glendale, CA 91202  Lot 22 & Por. 21 Tract No. 4969 M.B. 53 Page 46  APN 5634-013-012	Aztec Land Surveys, Inc. License No. LS 17764 7812 Sierra Hwy, Unit E Canyon Country, CA 91387 Call Text 818-724-4011 map@aazteclandsurveys.com	02-0634	Henry Abrari 1713 Standard Avenue Glendale, CA 91201 (818) 491-0230 Mail@abrari.com	Benchmark 219955 Elevation 529.47 Feet  ROUND HEAD BENCH MARK CURB GLENWOOD 3.0 FT W/ W/ OF ECR N-W/4 CORNER MARKED BY	Basis of Bearings: Bearing = North 09°48'30" West  Centerline of Pacific Avenue per Tract No. 4969 M.B. 53 Page 46.	
		Date 02-21-2022				
		Drawn AV				
		Approved MP				
		Scale 1" = 10'				
		Sheet 1 of 1				





**LEGEND:**

LOT COVERAGE  
5,044 S.F.  
5,044/ 10,700 (LOT AREA)  
= 47.14%

LANDSCAPE  
3,190 S.F.  
SEE LANDSCAPE  
SHEET G-505

CONCRETE LINEAR PAVING  
STONE IN RUNNING BOND  
PAVER WITH COLOR MIX

**NOTE:**

AN EXISTING COSTAL LIVE OAK TREE ON THE NEIGHBORING PROPERTY SHALL BE PROTECTED PER RECOMMENDATIONS OF THE ARBORIST REPORT PREPARED BY MCKINLEY & ASSOCIATES ON JANUARY 28TH, 2024

**GRADE ELEVATION CALCULATION :**

$(533.47' + 529.32')/2 = 531.4'$

GRADE ELEVATION = 531.4'

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**ARCHITECT OF RECORD:**  
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SEAL:

PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**

**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

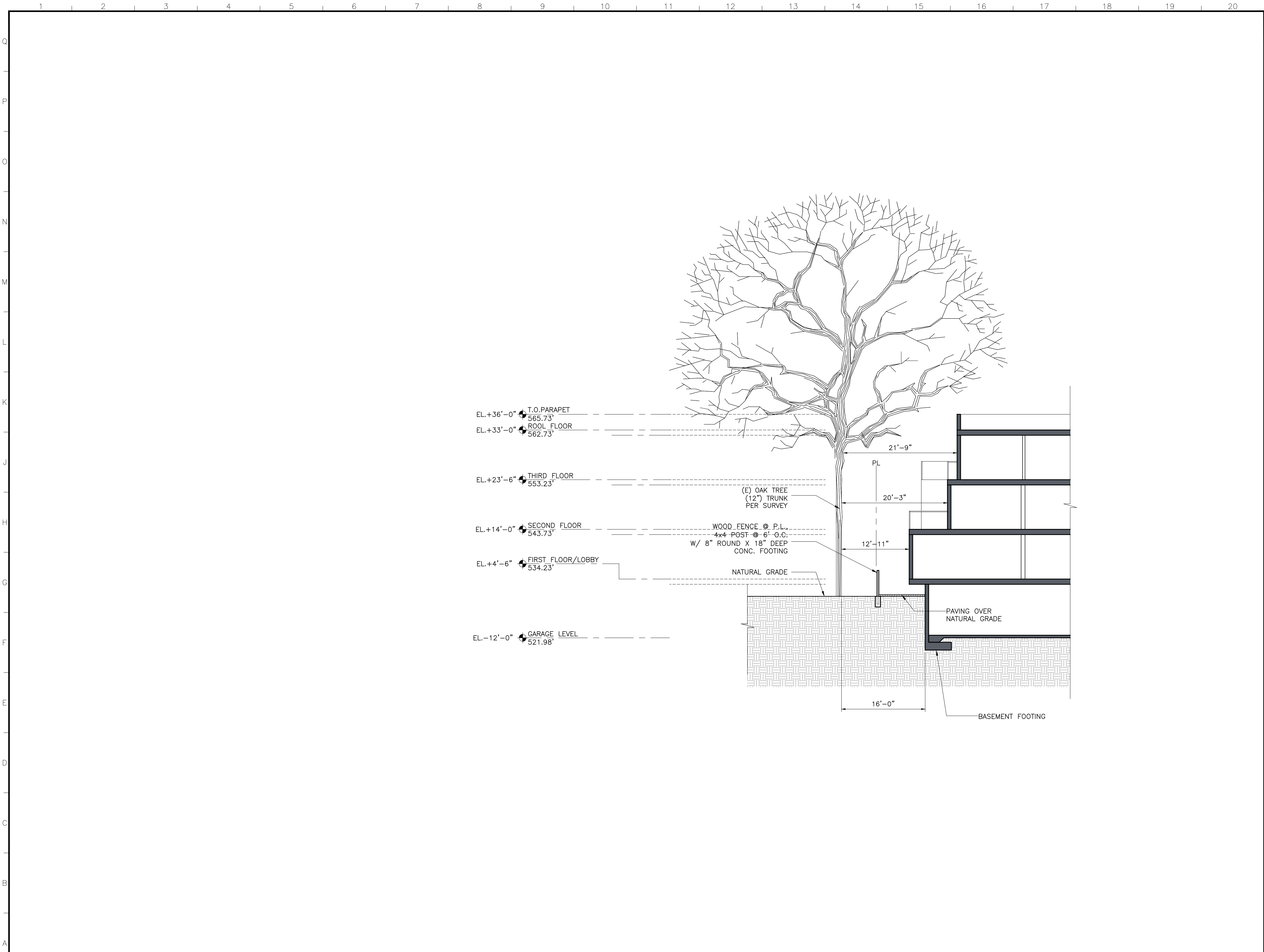
JOB NO.:	-
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
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REV	BY:	05.24.23
	DATE:	

SHEET DESCRIPTION:  
PROPOSED SITE PLAN

SHEET NUMBER:  
**A-102**





PARTIAL OAK TREE BRANCHES & STRUCTURE

SCALE:  
1/8"=1'-0"

1

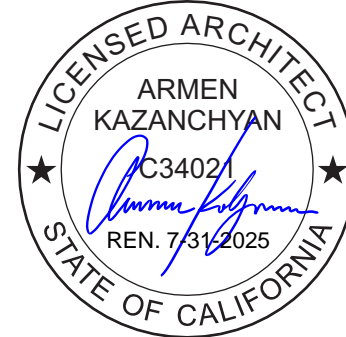


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SEAL:



PROJECT TITLE:  
**14 UNIT APARTMENT  
UNIT**  
**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

**PROJECT ADDRESS:**  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	—
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
A		
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△		
REV	BY: 01-19-2024	DATE:

SHEET DESCRIPTION:  
PROTECTED TREE SETBACKS

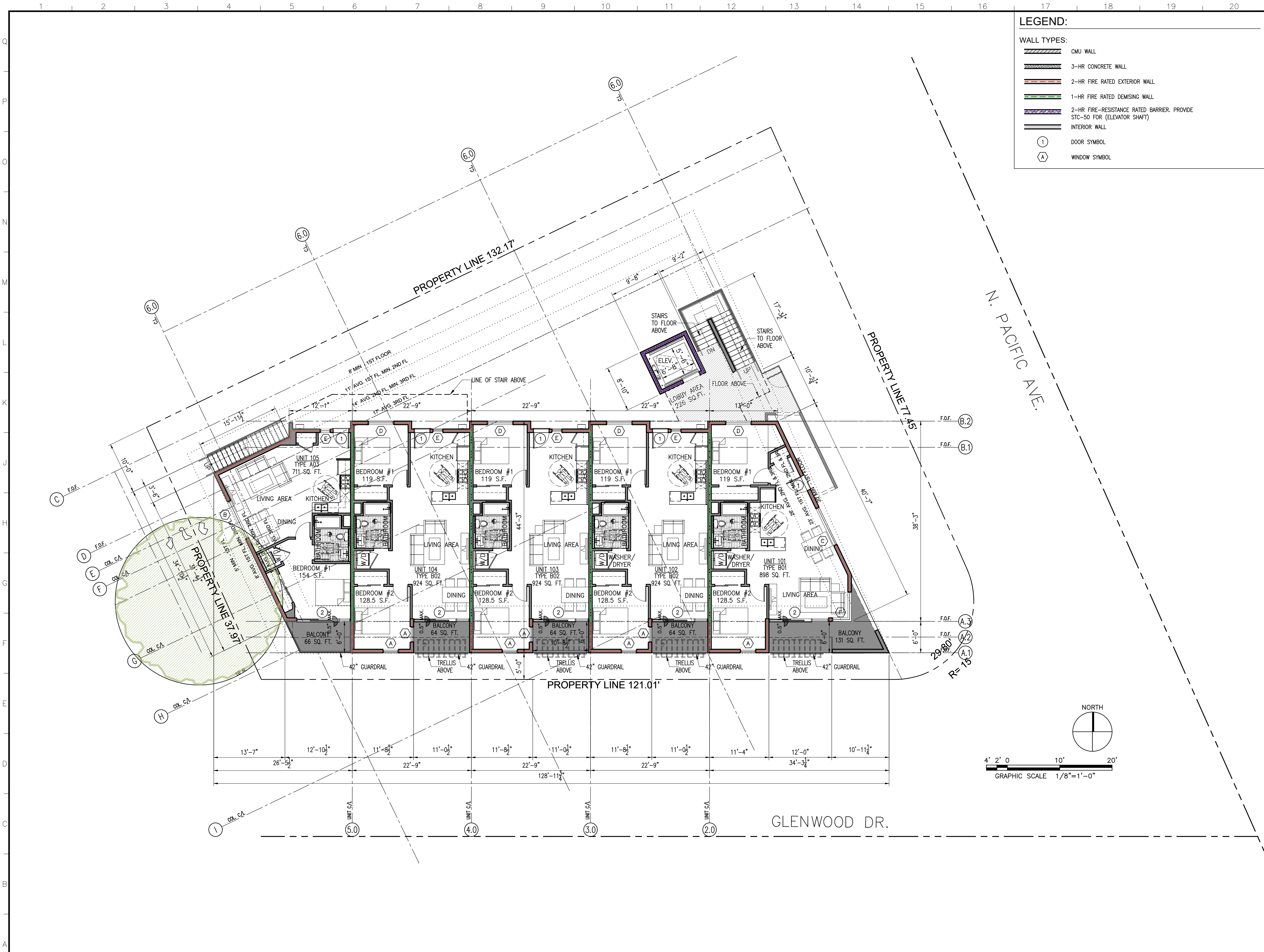
SHEET NUMBER:

A-103









LEGEND:

WALL TYPES:

- CMU WALL
- 3-HR CONCRETE WALL
- 2-HR FIRE RATED EXTERIOR WALL
- 1-HR FIRE RATED DEMISING WALL
- 2-HR FIRE-RESISTANCE RATED BARRIER. PROVIDE STC-50 FOR (ELEVATOR SHAFT)
- INTERIOR WALL
- DOOR SYMBOL
- WINDOW SYMBOL



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PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**  
PROPERTY OWNER:  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011  
CLIENT/OWNER:

PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, C 91202  
JOB NO.:  
DRAWN BY: J.N.  
CHECKED BY: A.K.  
DATE: 2-2-2024

NO.	ISSUED FOR:	DATE:
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REV	BY: 05.24.22	DATE:

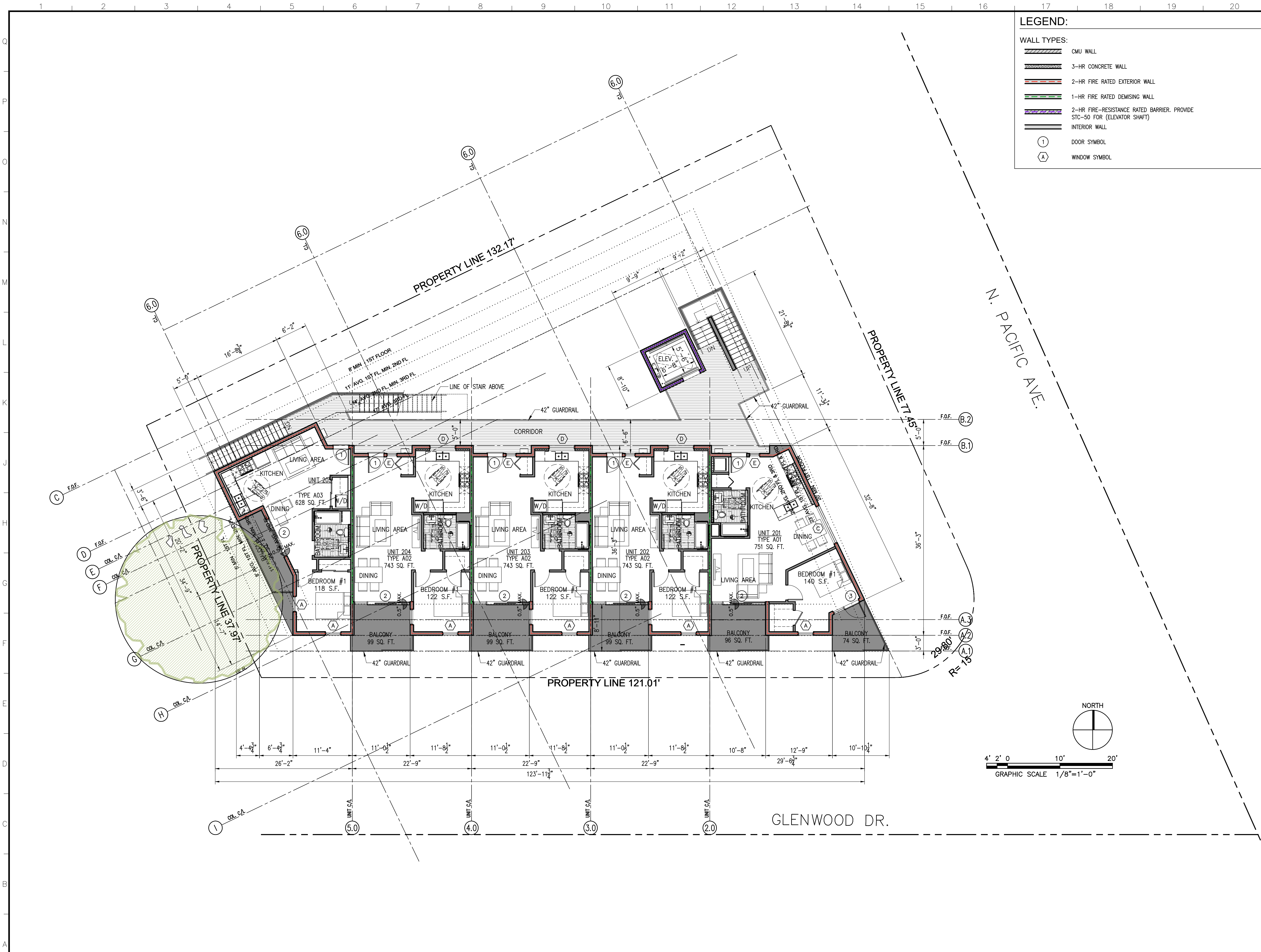
SHEET DESCRIPTION:  
PROPOSED FIRST FLOOR PLAN

SHEET NUMBER:  
**A-122**

SCALE:  
1/8"=1'-0"

1





**LEGEND:**

**WALL TYPES:**

- CMU WALL
- 3-HR CONCRETE WALL
- 2-HR FIRE RATED EXTERIOR WALL
- 1-HR FIRE RATED DEMISING WALL
- 2-HR FIRE-RESISTANCE RATED BARRIER. PROVIDE STC-50 FOR (ELEVATOR SHAFT)
- INTERIOR WALL

**DOOR SYMBOL**

**WINDOW SYMBOL**



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PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**

PROPERTY OWNER:  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	—
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
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REV	BY: 05.24.23	DATE:

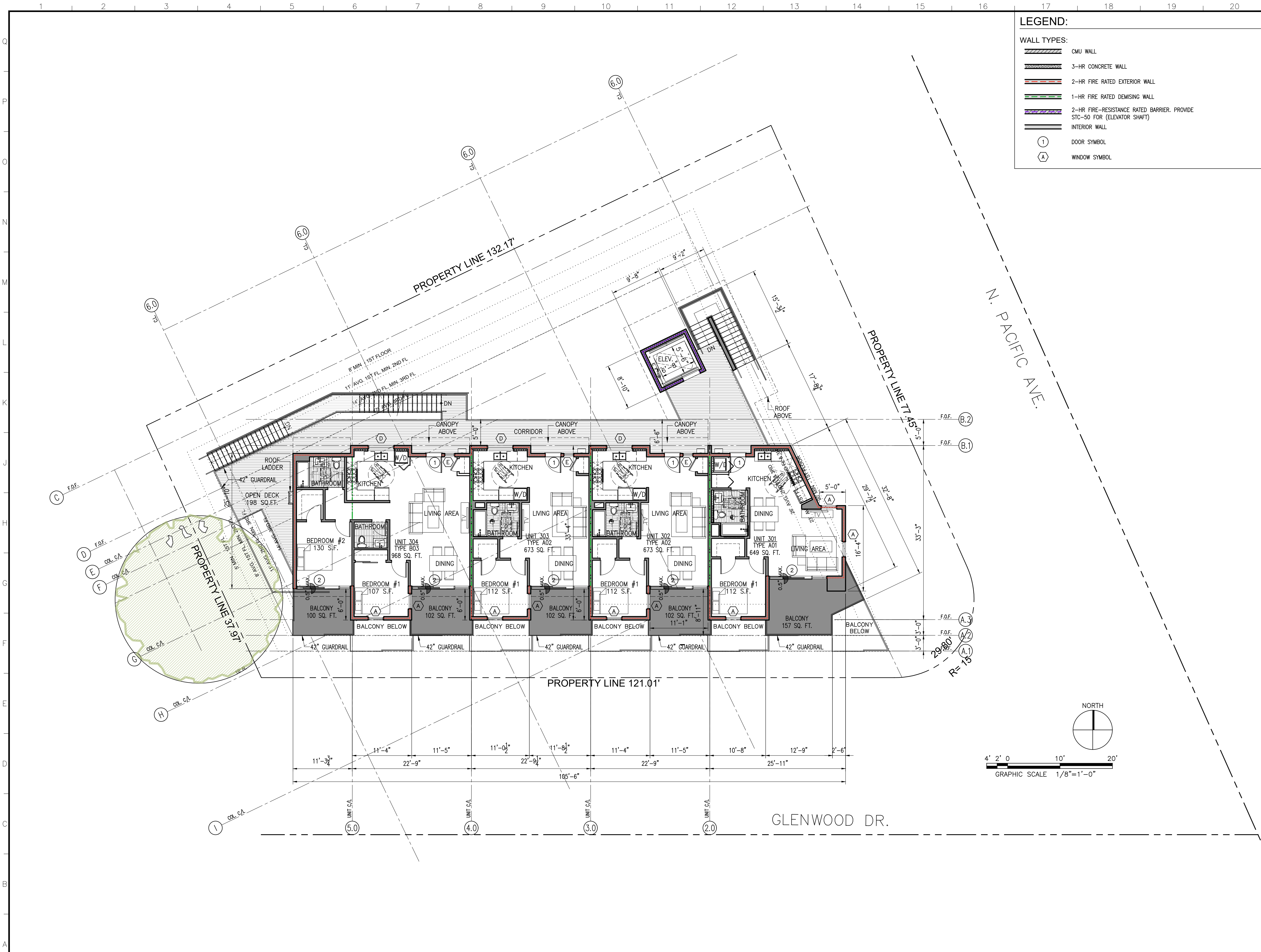
SHEET DESCRIPTION:  
PROPOSED SECOND FLOOR PLAN

SHEET NUMBER:  
**A-123**

SCALE:  
1/8"=1'-0"

1





**LEGEND:**

**WALL TYPES:**

- CMU WALL
- 3-HR CONCRETE WALL
- 2-HR FIRE RATED EXTERIOR WALL
- 1-HR FIRE RATED DEMISING WALL
- 2-HR FIRE-RESISTANCE RATED BARRIER. PROVIDE STC-50 FOR (ELEVATOR SHAFT)
- INTERIOR WALL

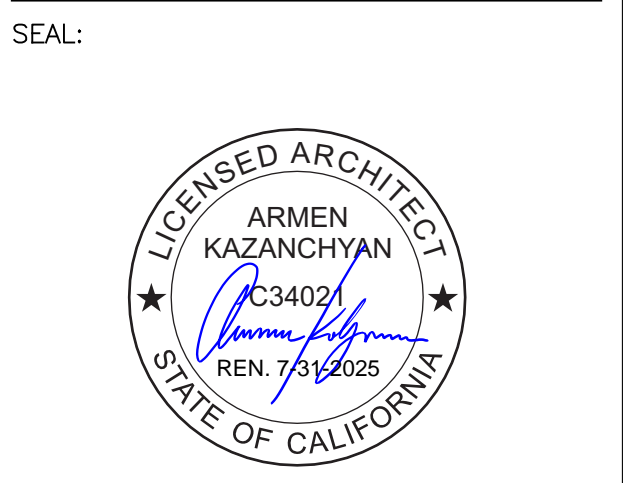
**DOOR SYMBOL**

**WINDOW SYMBOL**



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**PROJECT TITLE:**  
14 UNIT APARTMENT UNIT

**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

**CLIENT/OWNER:**

**PROJECT ADDRESS:**  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

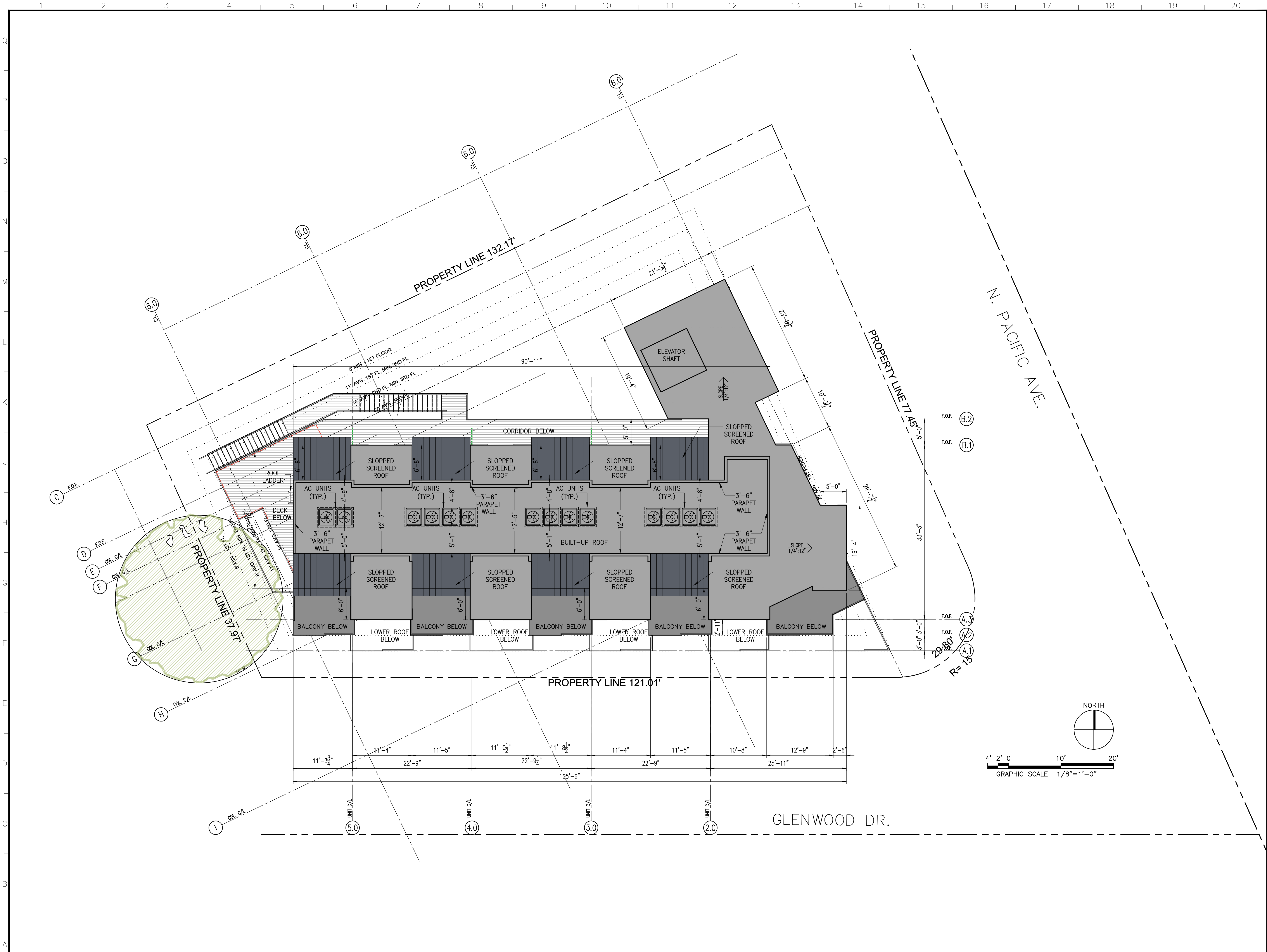
JOB NO.:	—
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
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REV	BY: 05.24.23	DATE:

**SHEET DESCRIPTION:**  
PROPOSED THIRD FLOOR PLAN

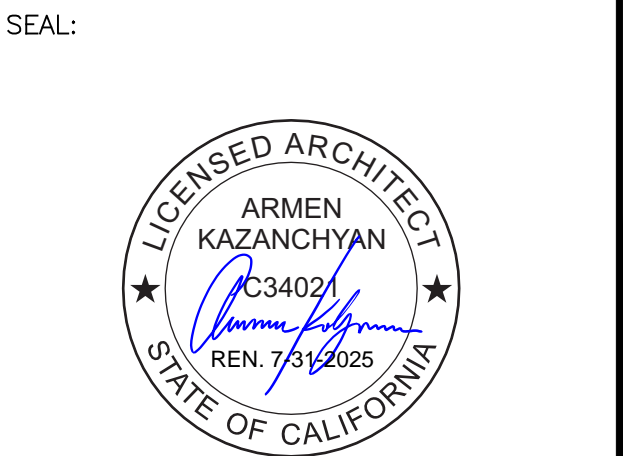
**SHEET NUMBER:**  
**A-124**





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GLENDALE, CA 91206  
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PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**  
PROPERTY OWNER:  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	—
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
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REV	BY: 05.24.23	DATE:

SHEET DESCRIPTION:  
PROPOSED THIRD FLOOR PLAN

SHEET NUMBER:  
**A-125**

SCALE:  
1/8"=1'-0"

1





EXTERIOR FINISH SCHEDULE:				
TAG	HATCH	MATERIAL	COLOR	MANF / SUPPLIER
F01		SPLIT FACE CMU	HARVEST	ANGELUS BLOCK
F02		PLANK SIDING	GOLDEN RUSH	JAMES HARDIE
F03		STUCCO	WHITE BY DUNN EDWARDS	LA-HABRA
F04		STUCCO	STONE CREEK BY DUNN EDWARDS	LA-HABRA
F05		7/8" CORRUGATED SHEET METAL #1	SLATE GRAY	WESTERN STATES METAL ROOFING
F06		PERFORATED FLAT SHEETS #2	SLATE GRAY	TBD
F07		ALUMINUM DOORS AND WINDOWS	DARK BRONZE	METAL WINDOW CORP.
G01		INSULATED GLASS	CLEAR	PPG
R01		METAL GUARDRAIL 42" HT. PAINTED	MONTECITO	TBD

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SEAL:

PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**

**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

**PROJECT ADDRESS:**  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	—
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
A		
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REV	BY: 05.24.23	DATE:

SHEET DESCRIPTION:  
PROPOSED ELEVATIONS

SHEET NUMBER:  
**A-201**





EAST ELEVATION

SCALE:  
1/8"=1'-0"

1



WEST ELEVATION

SCALE:  
1/8"=1'-0"

2

EXTERIOR FINISH SCHEDULE:

TAG	HATCH	MATERIAL	COLOR	MANF / SUPPLIER
F01		SPLIT FACE CMU	HARVEST	ANGELUS BLOCK
F02		PLANK SIDING	GOLDEN RUSH	JAMES HARDIE
F03		STUCCO	WHITE BY DUNN EDWARDS	LA-HABRA
F04		STUCCO	STONE CREEK BY DUNN EDWARDS	LA-HABRA
F05		7/8" CORRUGATED SHEET METAL #1	SLATE GRAY	WESTERN STATES METAL ROOFING
F06		PERFORATED FLAT SHEETS #2	SLATE GRAY	TBD
F07		ALUMINUM DOORS AND WINDOWS	DARK BRONZE	METAL WINDOW CORP.
G01		INSULATED GLASS	CLEAR	PPG
R01		METAL GUARDRAIL 42" HT. PAINTED	MONTECITO	TBD

PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**  
**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011  
**CLIENT/OWNER:**

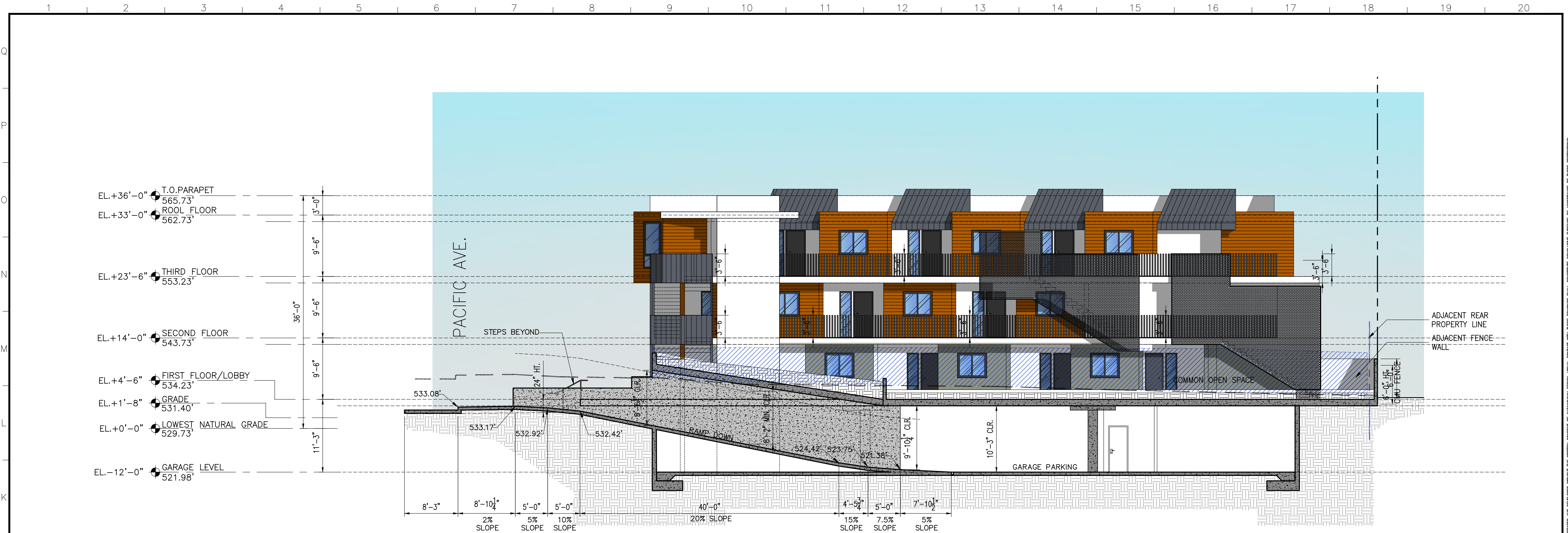
**PROJECT ADDRESS:**  
1301 N. PACIFIC AVE  
GLENDALE, CA 91202  
**JOB NO.:** --  
**DRAWN BY:** J.N.  
**CHECKED BY:** A.K.  
**DATE:** 2-2-2024

NO.	ISSUED FOR:	DATE:
A		
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C		
REV	BY: 05.24.23	DATE:

SHEET DESCRIPTION:  
**PROPOSED ELEVATIONS**

SHEET NUMBER:  
**A-202**

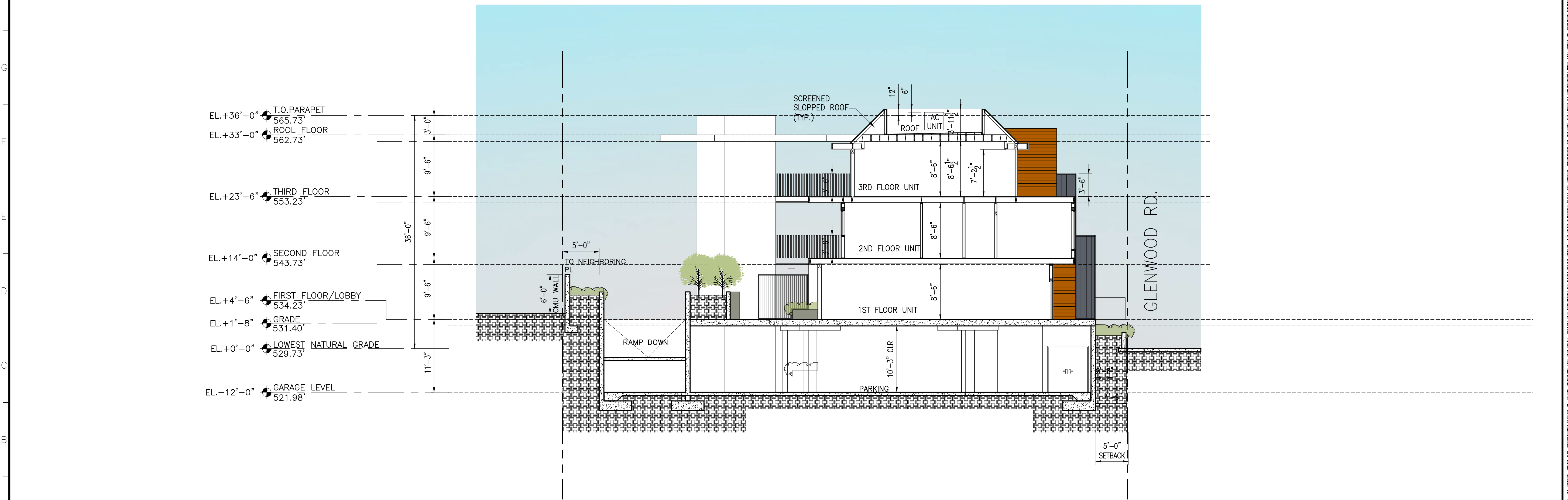




SECTION A

SCALE:  
1/8"=1'-0"

1



SECTION B

SCALE:  
1/8"=1'-0"

2

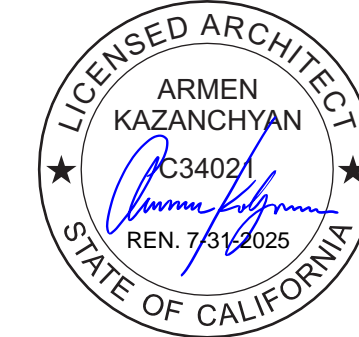


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**ARCHITECT OF RECORD:**  
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SEAL:



PROJECT TITLE:  
**14 UNIT APARTMENT  
UNIT**  
**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

**PROJECT ADDRESS:**  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	-
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

NO.	ISSUED FOR:	DATE:
A		
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REV	BY: 05.24.23	DATE:

SHEET DESCRIPTION:  
PROPOSED SECTIONS

SHEET NUMBER:

**A-301**



DOOR SCHEDULE:																		
LOCATION			DOOR								FRAME				HARDWARE	GLASS SPEC.		
TAG	ROOM NAME -	DOOR TYPE	OPERATION	DIMENSIONS			DOOR MATERIAL	DOOR FINISH	CORE	GLASS	FRAME MATERIAL	FRAME FINISH	FRAME TYPE	SCREEN	HARDWARE	U-FACTOR	SHGC	VT
				WIDTH	HEIGHT	THICKNESS												
①	UNIT DOOR	A	SWING	3'-0"	7'-0"	1-3/4"	WD	PNT.	SOLID	-	WD	PNT.	-	NO	-	-	-	-
②	BALCONY SLIDER	C	SLIDER	8'-0"	7'-2"	-	ALUM.	PNT.	-	DUAL TEMP.	STEEL	PNT.	-	NO	X	-	-	-
③	BALCONY DOOR	B	SWING	3'-0"	7'-2"	-	ALUM.	PNT.	-	DUAL TEMP.	STEEL	PNT.	-	NO	X	-	-	-
④	GARAGE SLIDE GATE	-	-	17'-6"	7'-0"	1-3/4"	METAL	PNT.	-	-	STEEL	-	-	NO	-	-	-	-

DOOR SCHEDULE ABBREVIATIONS:  
ALUM. - ALUMINUM  
ANOD. - ANODIZED  
CL. ANOD. - CLEAR ANODIZED  
D. GLSS. - DUAL GLASS  
GLSS. - GLASS  
H.M. - HOLLOW METAL  
LAM. - PLASTIC LAMINATE  
M-SLDR. - MULTI-SLIDER  
MTL. - METAL  
PNT. - PAINT  
T.D. GLSS. - TEMPERED DUAL GLASS  
SC - SOLID CORE  
S.S. - STAINLESS STEEL #4  
S.G. - SAFETY GLAZING MATERIAL  
T. - TEMPERED GLASS  
WD. - WOOD

REMARKS

20 MIN. FIRE RATED / CLOSER  
MIN. 32" CLEARANCE/ 10'-8"W. TRANSOM/ 2'-8" S.L.  
5'-6"W. TRANSOM WINDOW/ 2'-6"W. S.L. (SIDE LIGHT)

WINDOW SCHEDULE:

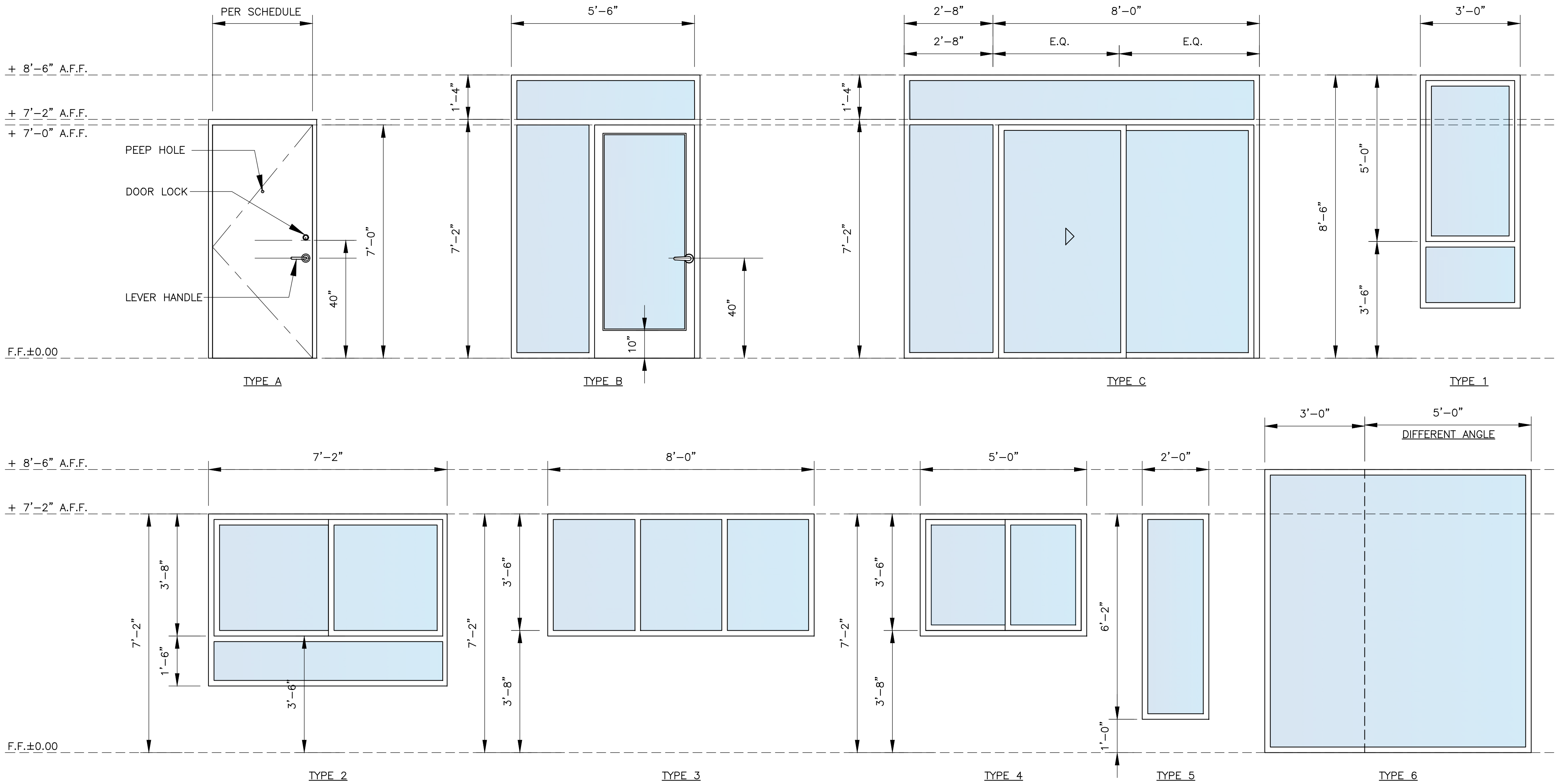
LOCATION		WINDOW									GLASS SPEC.			REMARKS (SEE REMARK NOTES BELOW)
	ROOM NUMBER - ROOM NAME	WINDOW TYPE	DIMENSIONS		OPERATION	SCREEN	WINDOW MATERIAL	WINDOW FINISH	GLASS	SILL HEIGHT, A.F.F.	U-FACTOR	SHGC	VT	
			WIDTH	HEIGHT										
A	UNIT WINDOWS	1	3'-0"	8'-6"	CASEMENT/ FIXED	YES	ALUM.	BLK. ANOD.	DUAL	42"	PER T24	PER T24	PER T24	EMERGENCY ESCAPE (SEE NOTE 4/A601)
B	UNIT WINDOW	2	7'-2"	5'-2"	SLIDER/ FIXED	YES	ALUM.	BLK. ANOD.	DUAL	42"	PER T24	PER T24	PER T24	EMERGENCY ESCAPE (SEE NOTE 4/A601)
C	UNIT WINDOW	3	8'-0"	3'-8"	FIXED	YES	ALUM.	BLK. ANOD.	DUAL	42"	PER T24	PER T24	PER T24	
D	UNIT WINDOWS	4	5'-0"	3'-8"	SLIDER	YES	ALUM.	BLK. ANOD.	DUAL	42"	PER T24	PER T24	PER T24	EMERGENCY ESCAPE (SEE NOTE 4/A601)
E	UNIT WINDOW ENTRANCES	5	2'-0"	6'-2"	FIXED	YES	ALUM.	BLK. ANOD.	DUAL	42"	PER T24	PER T24	PER T24	
F	UNIT WINDOW FIRST FLOOR	6	8'-0"	8'-6"	FIXED	YES	ALUM.	BLK. ANOD.	DUAL	42"	PER T24	PER T24	PER T24	

DOOR SCHEDULE NOTES:

- MIN CLEAR WIDTH OF 32" MAX WIDTH OF SWINGING DOOR LEAF SHALL BE 48". HEIGHT OF DOOR OPENINGS SHALL BE ≥ 80" (CBC 1010.1.1)
- PIVOTED OR SIDE-HINGED SWINGING TYPE (CBC 1010.1.2)
- DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR SPACE > 49 OCCUPANTS (CBC 1010.1.2.1)
- PROVIDE A FLOOR OR LANDING ON EACH SIDE OF A DOOR AT THE SAME ELEVATION. LANDINGS SHALL BE LEVEL EXCEPT EXTERIOR LANDINGS WHICH ARE PERMITTED TO HAVE A SLOPE ≤ 2%. WIDTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF THE STAIR OR DOOR, WHICHEVER IS GREATER. MIN. 44" LENGTH (CBC 1010.1.5-6)
- SPACES BETWEEN DOORS IN A SERIES SHALL BE 48" PLUS THE WIDTH A DOOR SWINGING INTO THE SPACES. DOORS SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM SPACE BETWEEN DOORS (CBC 1010.1.8)
- DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34"MIN. AND 48" MAX. ABOVE THE FINISHED FLOOR.
- INTERIOR STAIRWAY MENAS OE EGRESS DOORS SHALL BE OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (CBC 1010.1.9.11)
- DOOR SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD >49 IN A GROUP A,E,I-2 OR I-2.1 SHALL PROVIDE PANIC OR FIRE EXIT HARDWARE.
- FIRE DOOR SHALL COMPLY WITH CBC 716.5 SELF OF AUTOMATIC CLOSING.
- EVERY PRIMARY ENTRANCE TO COVERED MULTIFAMILY DWELLING UNIT SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME OR EQUIVALENT. THE ACTIVATING MECHANISM SHALL BE MOUNTED A MAXIMUM OF 48 INCHES ABOVE THE FLOOR AND CONNECTED TO PERMANENT WIRING.

WINDOW SCHEDULE NOTES:

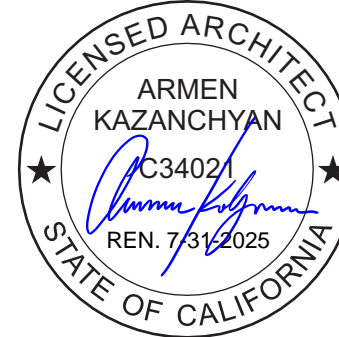
- INDICATES SAFETY GLAZING PER CBC SECTION 2406. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AS WELL AS THE INFORMATION SPECIFIED IN SECTION 2403.1 THE DESIGNATION SHALL BE ACID ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT ONCE APPLIED, CANNOT BE REMOVED WITHOUT BEING DESTROYED. SECTION 2406.3.
- ALL WINDOWS TO BE FIELD MEASURED PRIOR TO FABRICATION. CONTRACTOR TO PROVIDE THE ARCHITECT WITH SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
  - ALL LOCATIONS PER CBC SECTION 2406 SHALL BE PROVIDED WITH SAFETY GLAZING.
  - ALL EXTERIOR WINDOWS TO MEET STC 32.
  - EMERGENCY ESCAPE / EXIT WINDOW MUST MEET FLOWING REQUIREMENTS:
    - 20" MIN. CLEAR WIDTH
    - 24" MIN CLEAR HEIGHT
    - 5.7 S.F. MIN. OPENABLE AREAEMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE BOTTOM OF THE OPENING ≤ 44" (CBC 1030.3)
  - THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (CRC R308.4):
    - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLDING DOOR ASSEMBLIES.
    - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCHES ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
    - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
      - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
      - BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOOR.
      - TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR.
      - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
    - GLAZING IN RAILINGS.
    - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
    - GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
    - GLAZING WHERE THE BOTTOM EXPOSED EDGE IF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS OR RAMPS.
    - GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.
  - THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
  - ALL WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED INSULATED-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, SEE NOTE "H" UNDER "VHFS ZONE NOTES" ON SHEET G-003.
  - GARAGE DOORS TO BE TESTED IN ACCORDANCE TO WITH EITHER ASTM E 330 OR ANSI/DASMA 108, AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.
  - THE SIZES GIVEN ARE FOR ROUGH OPENINGS.
  - PROVIDE MATTE GLASS.
  - 2-PANEL MULTI SLIDE, 10'-0" OVERALL LENGTH, 6'-8" DAYLIGHT LENGTH, OPEN POCKET.



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SEAL:



PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**  
**PROPERTY OWNER:**  
HAMID ABRARI  
1096 INVERNESS DR.  
LA CANADA FLINTRIDGE, CA 91011

CLIENT/OWNER:

**PROJECT ADDRESS:**  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	-
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2-2-2024

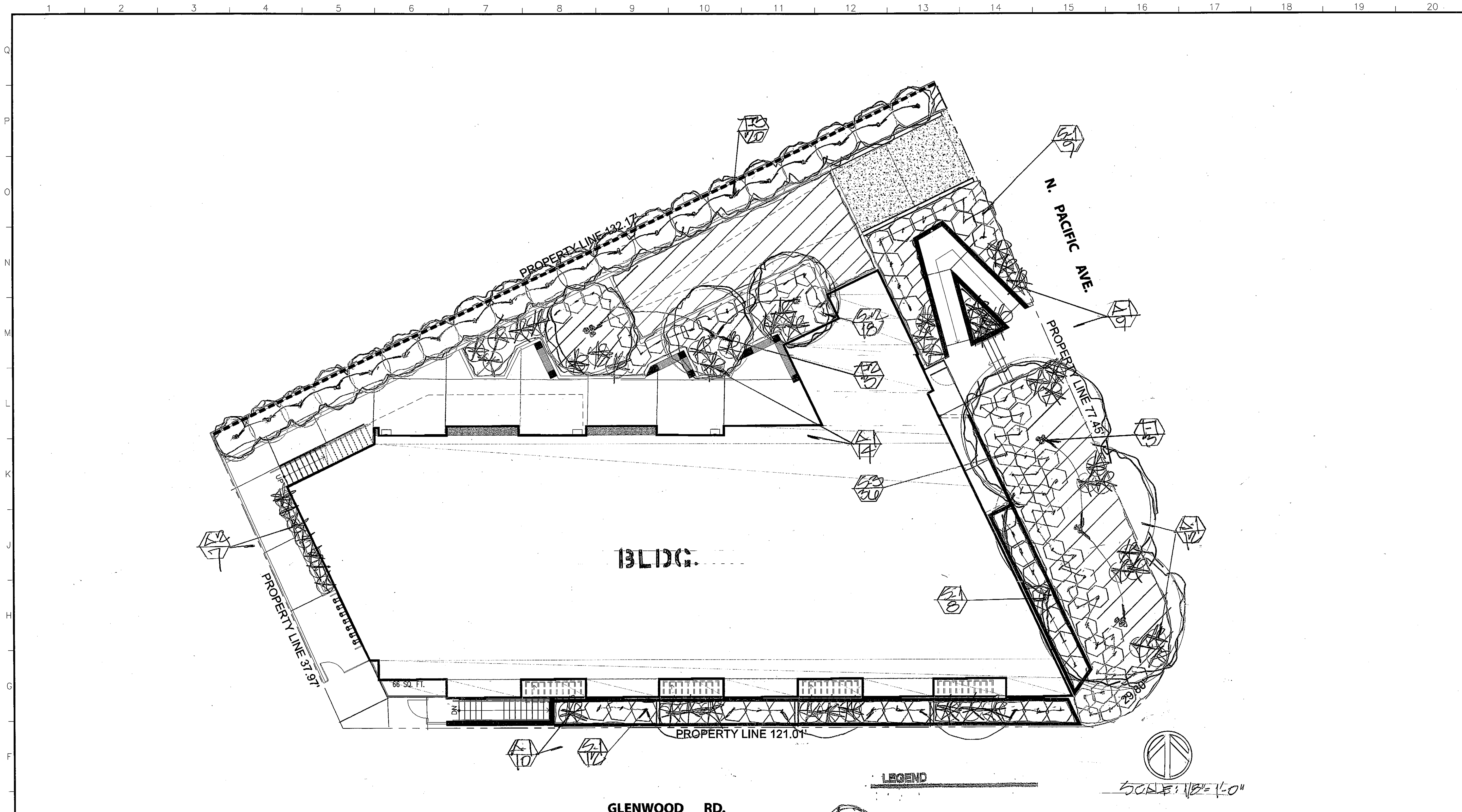
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SHEET DESCRIPTION:  
DOOR AND WINDOW SCHEDULES

SHEET NUMBER:

**A-601**





WATER USAGE/WOODS PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
T-1	OLEA EUROPA 'SWAN HILL'	FRUITLESS OLIVE	48" BX	3	-
T-2	CERCIS OCCIDENTAL	WESTERN REDBUD	24" BX	3	-
T-3	PODOCARPUS NAKI	YEW PINE	15GN	20	10' O.C.
S-1	ALOYNE HUEGELII	BLUE HIBISCUS	5GN	29	4' O.C.
S-2	LOOSE 'BLUE FLAME'	BLUE FLAME AGAVE	5GN	18	3' O.C.
S-3	LANTANA N. 'CONFETTI'	MULTI-COLOR LANTANA	5GN	30	3' O.C.
A-1	DIETES BICOLOR	FOURTH NIGHT LILY	5GN	45	RANDOM
A-2	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	5GN	7	" "
GC	SENECIO SERPENS	BLUE SENECIO	FLAS	15	12" O.C.
(ALL P.A.S.)					

• LW = LOW WATER USAGE/ P.F. 3  
• LANDSCAPE AREA = 3,144 SQ. FT.

**LEGEND**

PROPOSED TREE

PROPOSED SHRUB

PROPOSED ACCENT

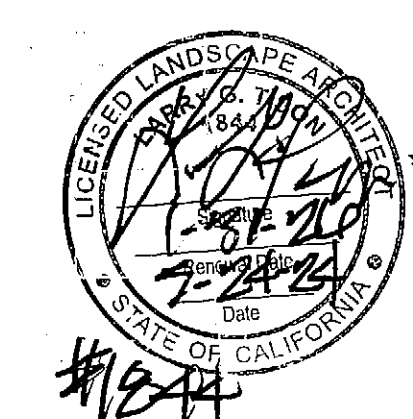
PROPOSED GROUND COVER

PLANT SYMBOL QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT FOR TURF AREAS, CREEPING OR ROOTING GROUND COVER, OR DIRECT SEEDING. APPLICATIONS WHERE MULCH IS CONTRADICTED FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

**MELLO COMPLIANCE**

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



PLANTING PLAN

**LARRY G. TISON & ASSOCIATES**  
LARRY G. TISON, A.S.L.A.  
LANDSCAPE ARCHITECTURE  
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205  
818-241-9169

SCALE: 1/8" = 1'-0"

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PROJECT TITLE:  
**14 UNIT APARTMENT UNIT**

PROPERTY OWNER:  
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CLIENT/OWNER:

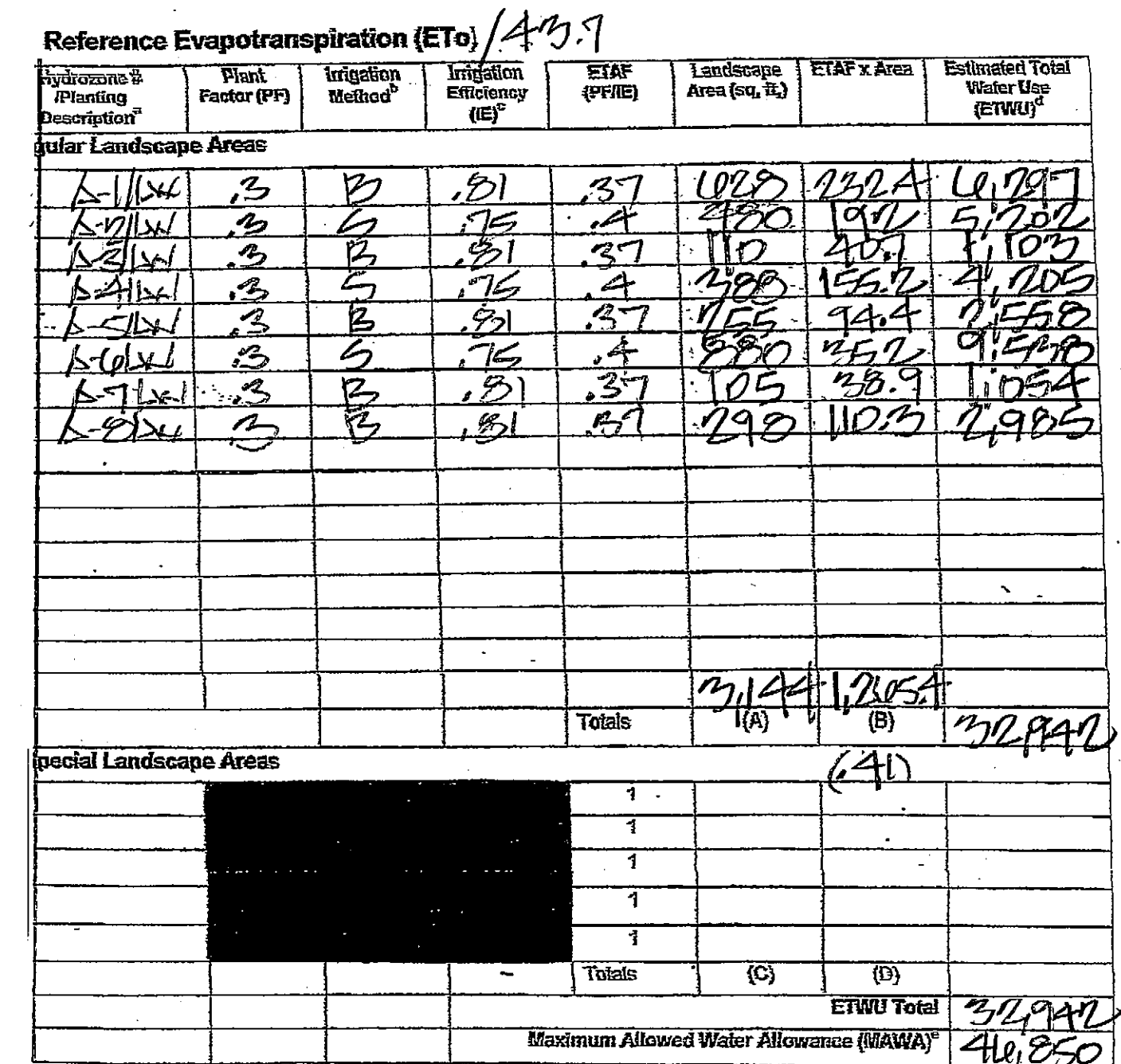
PROJECT ADDRESS:  
1301 N. PACIFIC AVE  
GLENDALE, CA 91202

JOB NO.:  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 5-14-24

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**L-1**





Hydrozone/Watering Description Eg	Vegetation Notes	Vegetation Difficulty	Estimate Annual Galloway Required
1) front lawn	overlaid spray	0.75 for spray-hedge	$E_{\text{GAL}} = \text{Estimate Annual Galloway Required} = \text{Est} \times 0.62 \times \text{ETAF} \times \text{Area}$
2) low water use plantings	or drip	0.81 for drip	where 0.62 is a conversion factor that converts area to gallons per square foot per year.
3) medium water use plantings			where 0.81 is a conversion factor that converts area to gallons per square foot per year.
<p><b>ETAF (Annual Galloway Allowance) = <math>ETAF = [0.62] \times [ETAF \times IA] + [0.81] \times [ETAF \times IA]</math></b>          where 0.62 is a conversion factor that converts area to gallons per acre per year to gallons per square foot per year, IA is the total area in square feet, SIA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.65 for non-residential areas.</p>			

$$(45, 1)(0, 62)(.55)(3, 144) + 0$$

$$NLWA = 46,850 \text{ GP}$$

$$ETU = 32,942 \text{ GP}$$

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.

MANUAL SHUT-OFF VALVES SHALL BE REQUIRED; AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY. TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTING REPAIR.






PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.











A DIAGRAM OF THE IRRIGATION PLAN; SHOWING HYDROZONES SHALL BE KEPT WITHIN THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

AT THE TIME OF THE FINAL INSPECTION; THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

SPRINKLER HEADS					
SYMBOL	DESCRIPTION	MODEL NO.	GPK	ZADINGS	PSI
	ZALIBIRD 10R4P/ATR	812-RVAB18-90	.40	16'	30
	" " " HALF	1812-RVAB18-180	.85	16'	30
	" " " /ATR	1812-10R4PZ	.39	10'	30
	" " " HALF	1812-10R4PZ	.79	10'	30
	" " BUBBLEZ	1812-1401	.25	-	30

- LEGEND
- |  |   |
|--|---|
|       | WEATHER BASED CONTROLLER<br>(RAINBIRD ESP-LINE 8 STATION) |
| RS    | RAIN SENSOR (RAINBIRD RSD-BEK)                            |
| BEA   | BACKFLOW PREVENTER (FEBCO 825-Y-1 1/2")                   |
| QC    | QUICK-COUPLER (RAINBIRD 44LC)                             |
|       | VALVE (RAINBIRD PEB SERIES)                               |
|  12.0 | VALVE NO. / $\frac{1}{2}$ IN<br>VALVE SIZE                |
|       | LATERAL LINE / SCHD 40 PVC                                |
|       | MAINLINE / SCHD 40 PVC                                    |
| SOV   | SHUT-OFF VALVE  |
|       | IRRIGATION METER  |

## REPLICATION PLAN

**LARRY G. TISON & ASSOCIATE**  
LARRY G. TISON, A.S.L.A.  
**LANDSCAPE ARCHITECTUR**  
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SCALE:  
1/8"=1'-0"

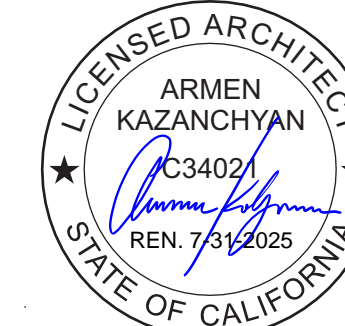


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PROJECT TITLE:  
**14 UNIT APARTMENT  
UNIT**  
**PROPERTY OWNER:**  
**HAMID ABRARI**  
**1096 INVERNESS DR.**  
**LA CANADA FLINTRIDGE, CA 91011**

**PROJECT ADDRESS:**  
1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	-
DRAWN BY:	LGT
CHECKED BY:	ZL
DATE:	5-24-22

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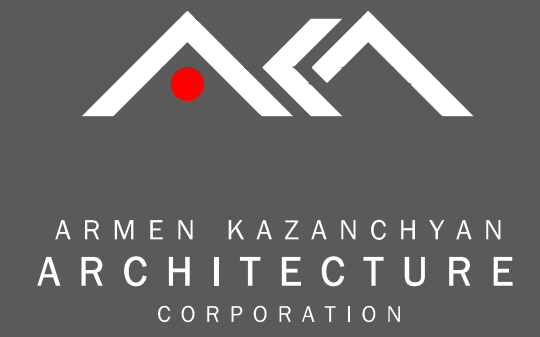
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CLIENT/OWNER:

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1301 N. PACIFIC AVE  
GLENDALE, C 91202

JOB NO.:	—
DRAWN BY:	J.N.
CHECKED BY:	A.K.
DATE:	2—2—2024

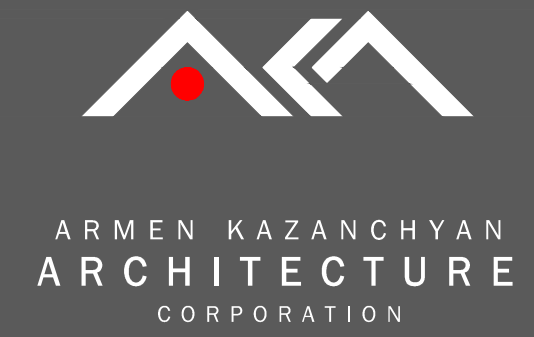
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SHEET DESCRIPTION:  
PACIFIC AVE

SHEET NUMBER:

**RNDR-1**





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**PROPERTY OWNER:**  
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REV	BY:	DATE:

SHEET DESCRIPTION:  
CORNER PACIFIC AVE AND  
GLENWOOD RD

SHEET NUMBER:

RNDR-2

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**PROPERTY OWNER:**  
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GLENDALE, C 91202

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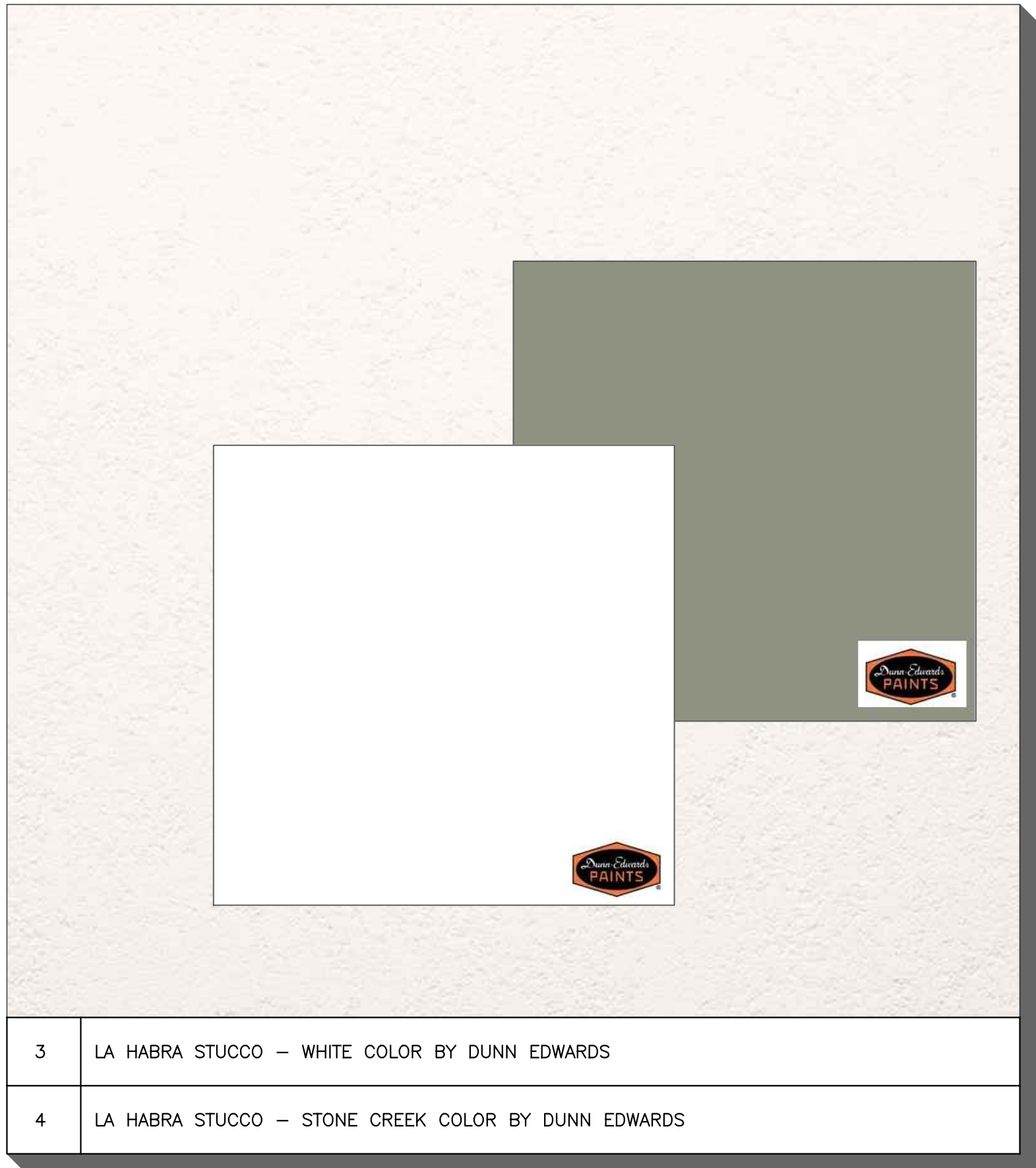
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GLENWOOD RD

SHEET NUMBER:

RNDR-3



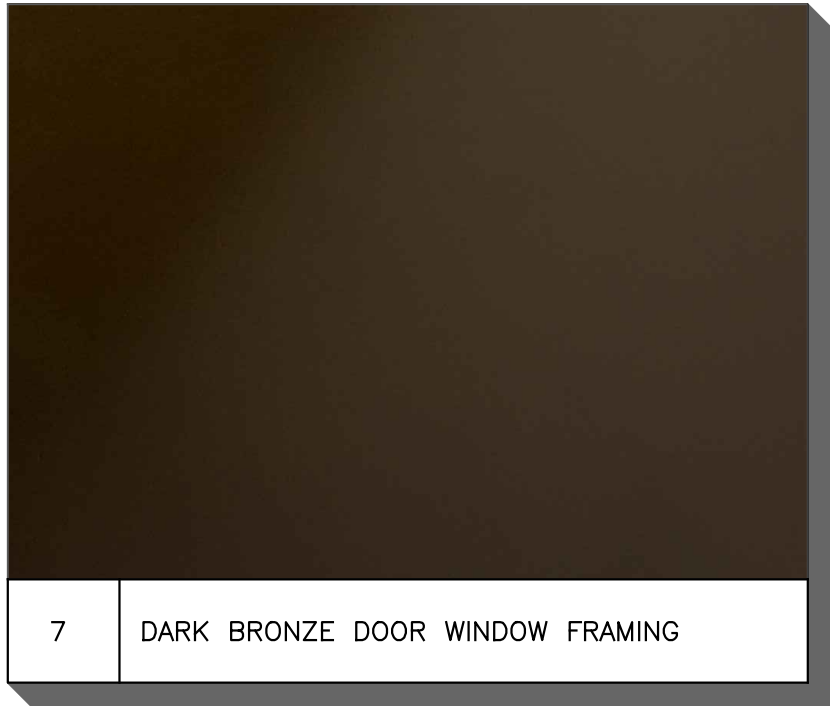
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3	LA HABRA STUCCO – WHITE COLOR BY DUNN EDWARDS
4	LA HABRA STUCCO – STONE CREEK COLOR BY DUNN EDWARDS



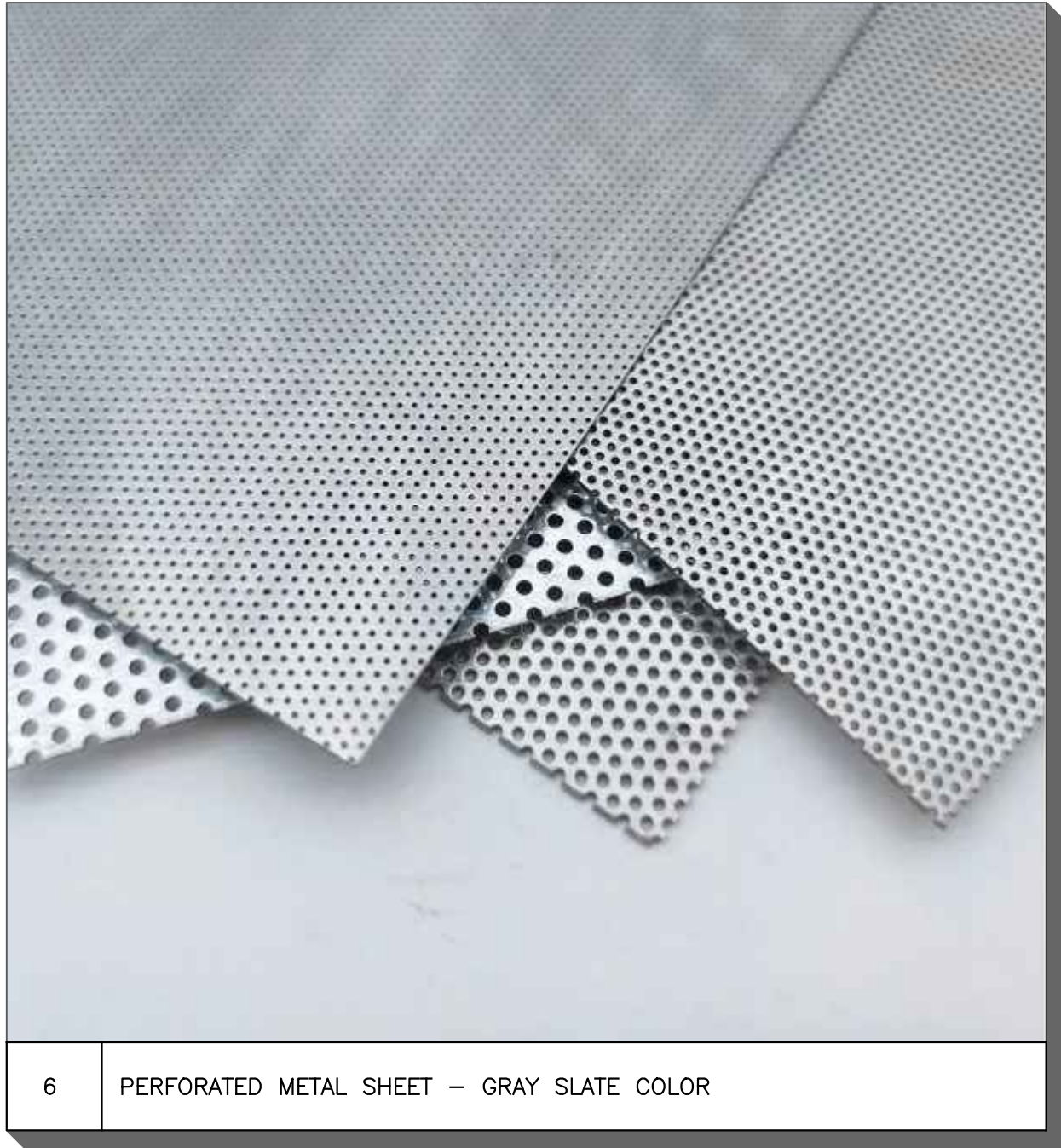
1	SPLIT FACE CMU –HARVEST BY ANGELUS BLOCK
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7	DARK BRONZE DOOR WINDOW FRAMING
---	---------------------------------



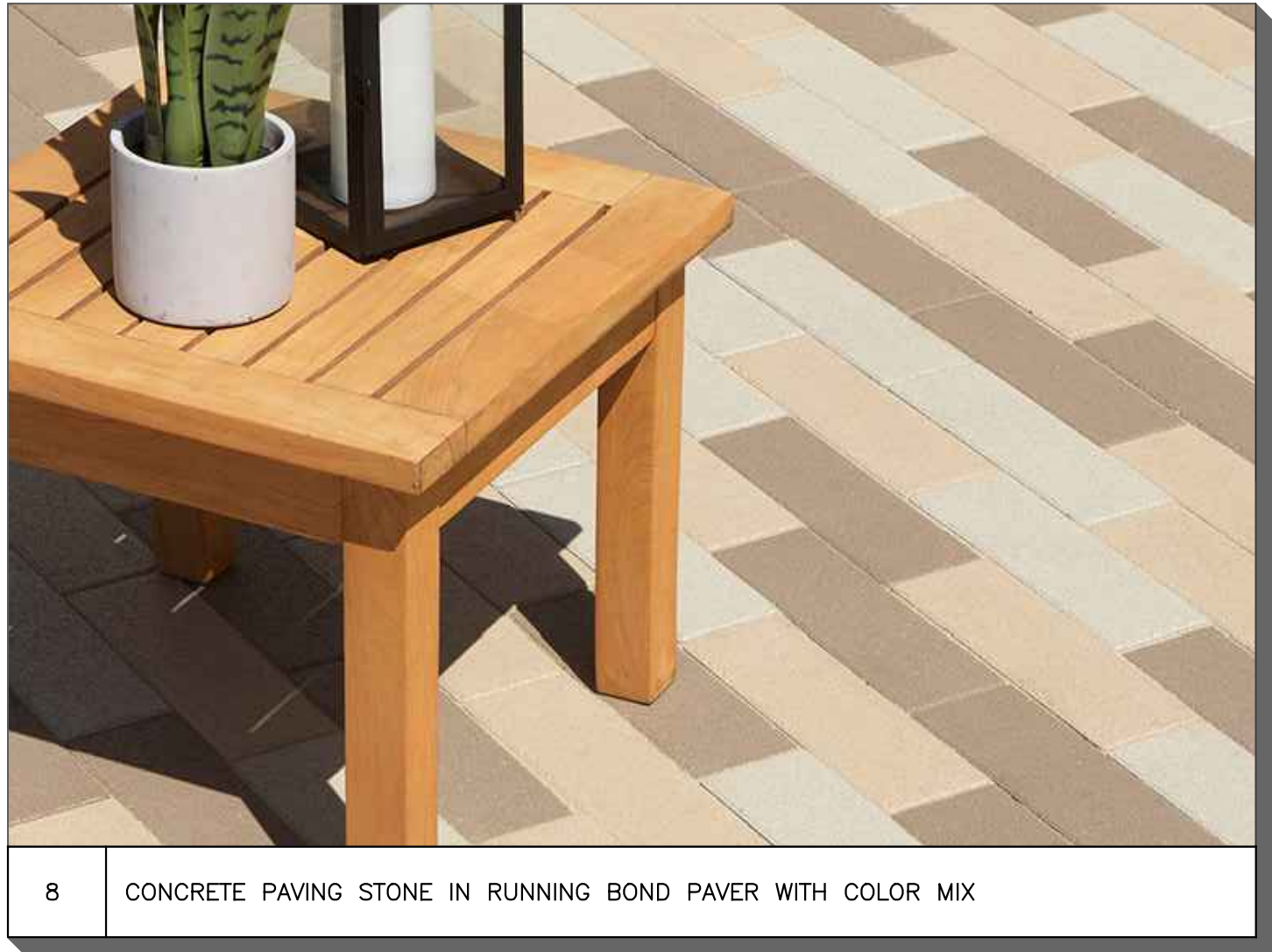
5	7/8" CORRUGATED SHEET METAL BY WESTERN STATES METAL ROOFING – GRAY SLATE COLOR
---	--



6	PERFORATED METAL SHEET – GRAY SLATE COLOR
---	---



2	PLANK SIDING – GOLDEN RUSH BY JAMES HARDIE
---	--



8	CONCRETE PAVING STONE IN RUNNING BOND PAVER WITH COLOR MIX
---	--

EXTERIOR FINISH SCHEDULE:

1		SPLIT FACE CMU	HARVEST	ANGELUS BLOCK
2		PLANK SIDING	GOLDEN RUSH	JAMES HARDIE
3		STUCCO	WHITE BY DUNN EDWARDS	LA–HABRA
4		STUCCO	STONE CREEK BY DUNN EDWARDS	LA–HABRA
5		7/8" CORRUGATED SHEET METAL #1	SLATE GRAY	WESTERN STATES METAL ROOFING
6		PERFORATED FLAT SHEETS #2	SLATE GRAY	TBD
7		DOOR AND WINDOW ALUMINUM FRAMING	DARK BRONZE	METAL WINDOW CORP
8		CONCRETE PAVING	MIX COLOR	TBD



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SHEET DESCRIPTION:  
COLOR BOARD

SHEET NUMBER:

CB-1