

ALLEY

50.01'

657.61'

(N) POOL EQP.

N41°13'01"E

(N) BLOCK WALL EXTENSION

P

(N) METAL GATE
12'-0" X 6'-6"

(E) 1717 SQ.F.
ONE STORY
2 UNITS DWELLING

ADJACENT GARAGE

(N) 449. SQ.FT.
POOL
UNDER
SEPARATE
PERMIT

S48°50'38"E

S48°50'38"E

(N) 500 SQ.FT.
2 CAR GARAGE

297 SQ.FT.
PROPOSED PATIO
(N) DECK-O-TEX WATERPROOF
DECKING CLASS 'A'
IA R.R. #2360 OR EQ.

KITCHEN AREA

SECOND FLOOR
OUTLINE

(N) REAR
COVERED
PORCH

GUEST BEDROOM/ BEDROOM #1

BATH #1

ENTRY

FAMILY/LIVING AREA

SECOND FLOOR
EXTERIOR OUTLINE

(N) FRONT
COVERED
PORCH

36" MIN. LANDING

(N) GATE

156.99'

156.99'

PLANTER

LAWN

(N) CONCRETE
DRIVEWAY

CONC.
STEPPING
STONES
WALKWAY

(N) FENCE DOORS
NEW BLOCK
WALL FENCE

(N) CHIMNEY

(N) HVAC (UNDER
SEPARATE PERMIT)

(N) CRAWL
SPACE ACCESS

EXISTING BLOCK WALL FENCE

EXISTING BLOCK WALL FENCE

ADJACENT STRUC

N41°12'50"E

50.01'

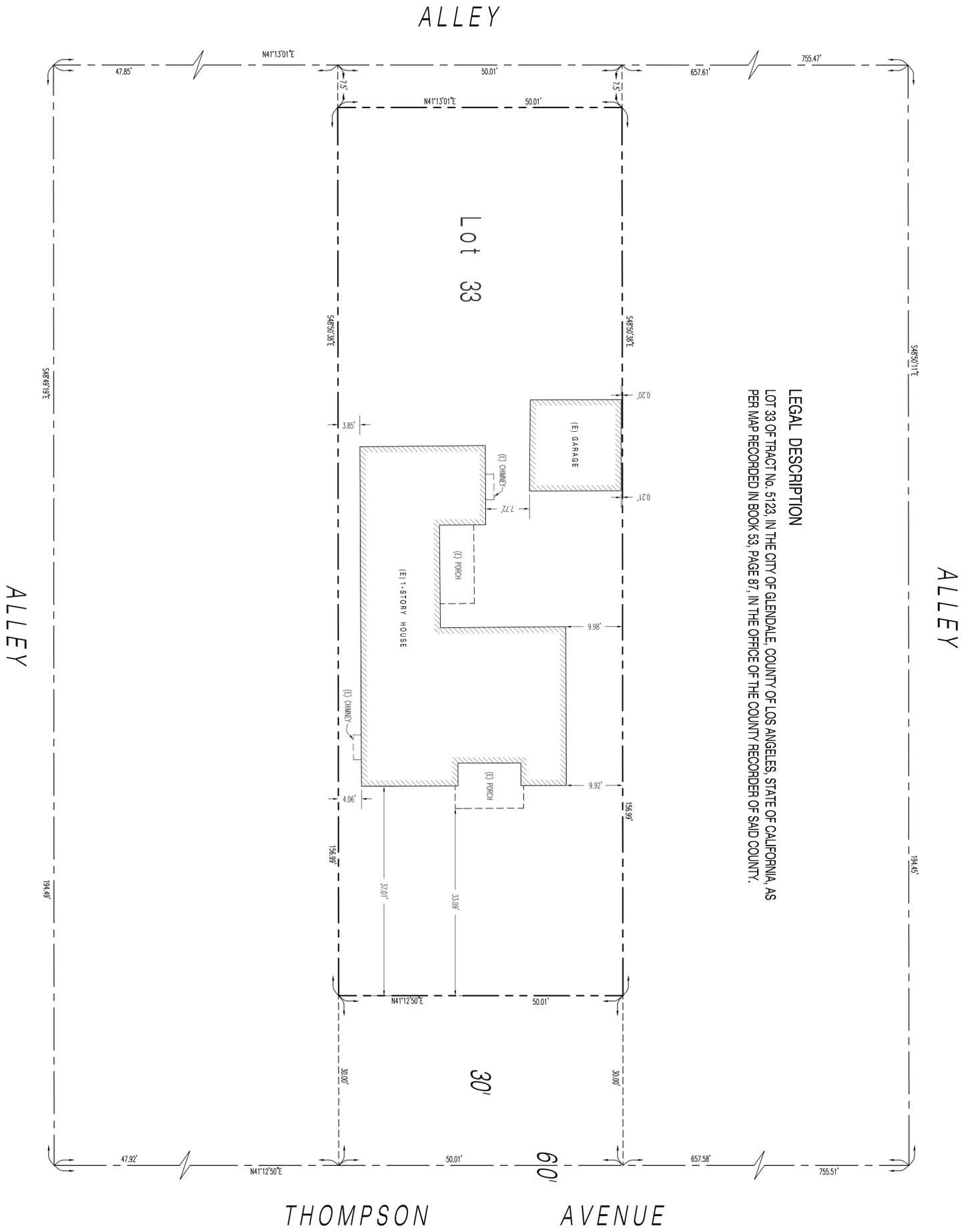
PROPOSED DRIVEWAY & APRON

(E) TREE

THOMSON AVENUE



SURVEY NOTE:
 ALL DIMENSIONS SHOWN HEREON WERE TAKEN FROM THE FACE OF STUCCO AND PERPENDICULAR TO THE PROPERTY LINE.



LEGAL DESCRIPTION
 LOT 33 OF TRACT No. 5123, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 53, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

11716 MAPLEDALE ST, NORWALK, CA 90650
 (562) 755-5829 TEL
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G D S INC.
 Land Surveying & Civil Engineering

GLOBAL **D**EVELOPMENT **S**ERVICES **i**NC.

SITE SURVEY MAP	
SITE ADDRESS:	1317 THOMPSON AVENUE GLENDALE, CA 91201 A.P.N. 5622-016-034
SCALE: 1"=10'	DATE OF SURVEY: JANUARY 23, 2018
CITY OF GLENDALE	

Proposed Modern Two-Story House Design

1317 Thompson Avenue, Glendale, Ca 91201

Designing a modern house within a traditional neighborhood requires a delicate balance between contemporary aesthetics and respect for traditional architectural values. Here's a description of a proposed modern house design that considers mass, scale, proportions, materials, and compatibility with its surroundings:

Proportions, Masses, and Volumes

1. Proportions:

- **Facade:** The house features a balanced facade with a modern aesthetic. Vertical and horizontal elements are carefully proportioned to create visual harmony. Windows are elongated vertically to echo the proportions of traditional houses but with a contemporary twist.
- **Windows and Doors:** Large, floor-to-ceiling windows on the main living floors offer ample natural light and unobstructed views. The doorways are wide and inviting, with clean lines that emphasize simplicity and elegance.

2. Masses:

- **Footprint:** The building maintains a moderate footprint, ensuring it does not dominate the site. The design includes a slightly recessed elevation walls and a cantilevered upper floor to create a visually lighter appearance and reduce the sense of mass.
- **Vertical Massing:** The two-story design is articulated with horizontal banding and vertical features that help break up the mass. The upper level is set back slightly from the lower level, reducing the overall visual bulk.

3. Volumes:

- **Main Volume:** The house has a broken rectangular base with a flat roof, creating a sleek, modern silhouette. The main volume is simple and clean, with extended overhangs for shade and visual interest.
- **Additional Volumes:** To add dynamic visual interest, the design incorporates a cantilevered section or a projecting element that adds depth and dimension. These volumes provide a modern touch while avoiding an overwhelming presence.

Materials

1. Exterior Finishes:

- **Facade:** The primary material is a combination of stucco and composite wood vertical siding. Stucco offers a smooth, contemporary finish, while wood adds texture and a nod to traditional materials. These materials are chosen for their durability and visual appeal.

2. Roofing:

- **Material:** A flat roof is covered with a modern, durable Class A roof material such as fiberglass asphalt composition shingles and metal roofs. This choice reflects a contemporary design while offering practicality and longevity.

3. Windows and Doors:

- **Windows:** High-performance, energy-efficient glass is used to maximize natural light and offer views while maintaining thermal efficiency. Frames are slim and modern, with finishes in matte black or a complementary color.
- **Doors:** Sleek, minimalistic doors in wood provide a striking entrance while aligning with the overall design language.

Compatibility with the Neighborhood

1. Architectural Integration:

- The design incorporates elements that echo the local architectural vernacular, such as using textures and colors found in neighboring homes. The proportions and scale are aligned with the existing context, ensuring the new structure complements rather than overwhelms.

2. Visual Harmony:

- The house's contemporary aesthetic is tempered with traditional references in materials and proportions. For instance, the use of wood texture and stucco pays homage to common materials in the neighborhood, while the modern lines and large glass surfaces introduce a fresh, yet harmonious, element.

3. Community Sensitivity:

- The overall massing and scale of the house respect the scale of neighboring buildings, avoiding extremes in height or volume that could disrupt the visual flow of the area. The design promotes a balance between modernity and respect for historical context.

Landscape Design for South California, Glendale City

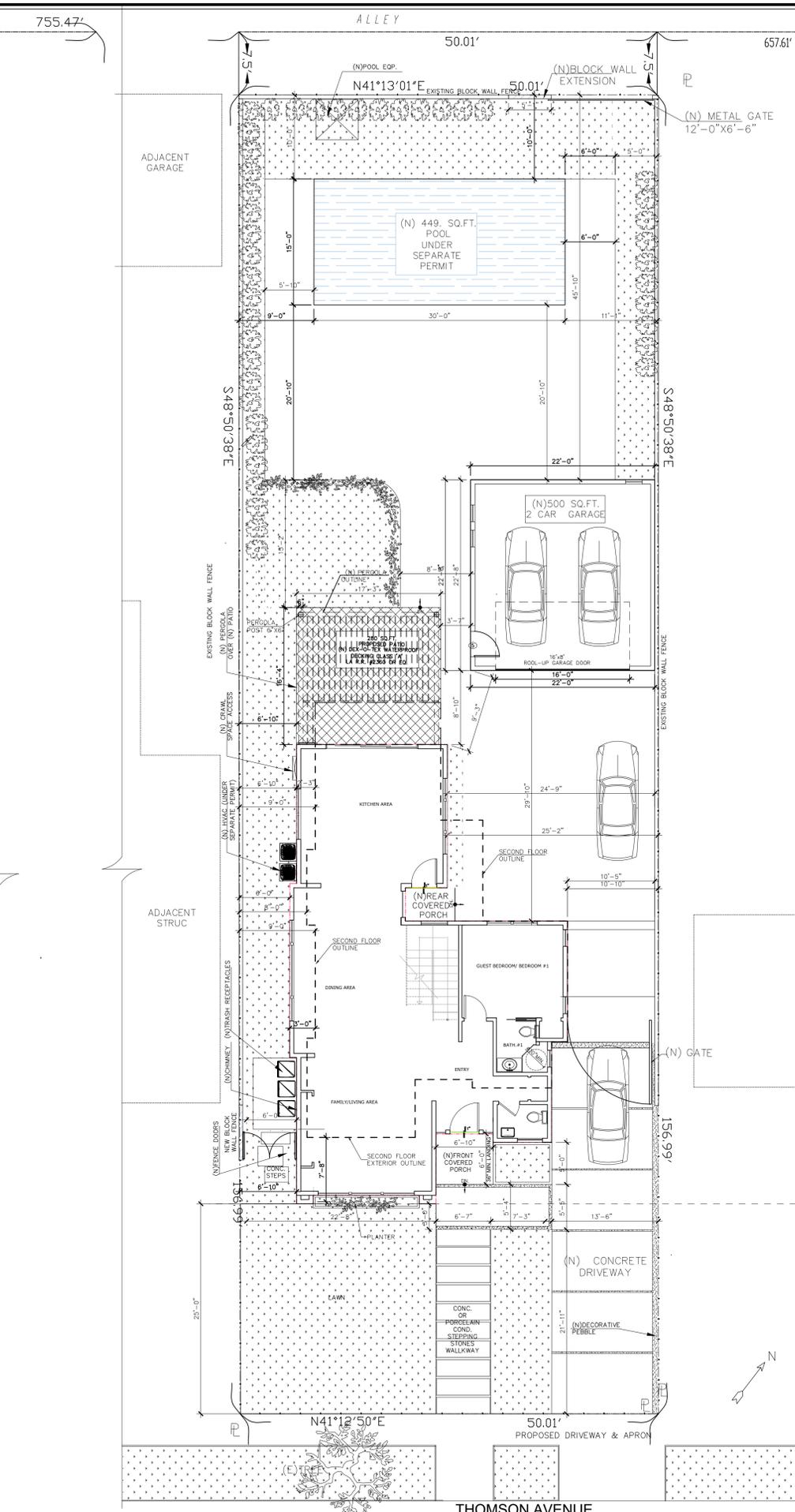
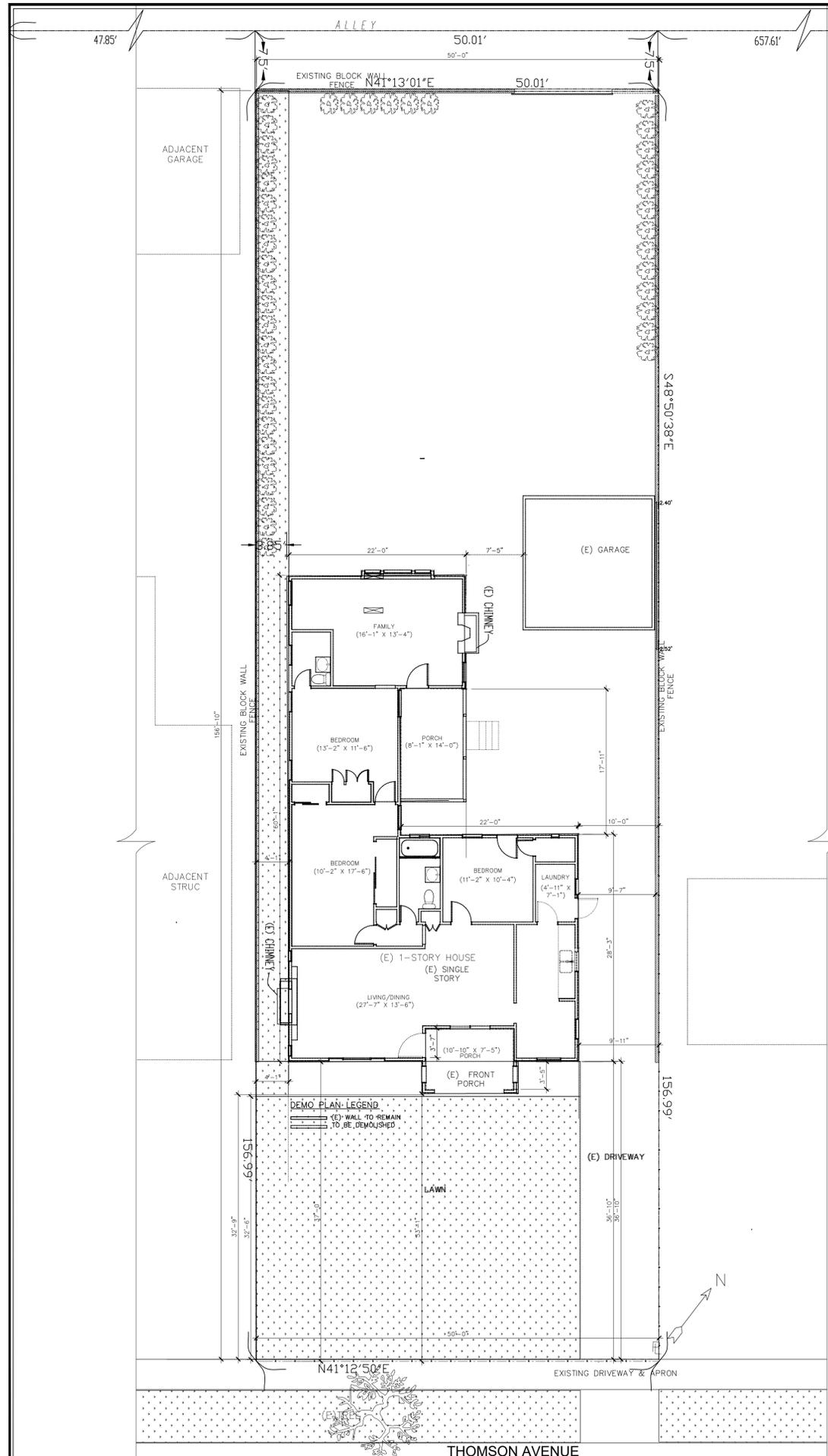
1. Plant Selection:

- **Drought-Tolerant Plants:** The landscape features a variety of drought-tolerant and native plants suitable for Glendale's climate. Examples include succulents, agaves, lavender, and California poppies. These plants are chosen for their low water requirements and resilience to the local climate.
- **Shade Trees:** Low-water trees such as Eastern Redbud Tree, Peppermint, Orange and Olive trees provide shade and add to the aesthetic appeal without excessive maintenance.

2. Hardscaping:

- **Materials:** The hardscape elements use materials like decomposed granite, flagstone, and concrete pavers. These materials are chosen for their durability and compatibility with the modern design of the house.
- **Design:** Pathways and patios are designed with clean lines and modern aesthetics, integrating seamlessly with the house's contemporary design. Seating areas and outdoor dining spaces are included to enhance functionality and enjoyment.
- **Lighting:** Low-energy, LED landscape lighting is used to highlight key features and enhance the home's evening appeal while minimizing energy consumption.

In summary, the proposed modern two-story house is designed to blend contemporary aesthetics with respect for the traditional context of the neighborhood. The choice of materials, proportions, and volumes is carefully considered to ensure compatibility and visual harmony. The landscape design complements the house with drought-tolerant plants, modern hardscaping, and sustainable features, tailored to the climate and setting of Glendale, California.



1317 THOMPSON AVENUE,
GLENDALE, CA 91201

ASSESSOR'S ID: 5622-016-034
ZONE: R-1 LOW DENSITY RESIDENTIAL
FAR DISTRICTS: -J
CONSTRUCTION TYPE: VB

MINIMUM SETBACKS: STREET FRONT PL = 25 FEET
STREET SIDE PL = 5 FEET
INTERIOR PL = 5 FEET
*GLENDALE MUNICIPAL CODE 30.11.070 Table 30.11-B

USE: SINGLE FAMILY RESIDENCE
DETACHED GARAGE

OCCUPANCY TYPE: R3/U
CONSTRUCTION TYPE: VB
FIRE ZONE: NON-VHFHSZ
FIRE SPRINKLERS: REQUIRED BY JURISDICTION

NOTE: THERE ARE NO OAK, BAY AND/OR SYCAMORE TREES ON THE PROPERTY OR WITHIN 20 FEET OF THE LOT. (CRC SEC. R106.1.1)

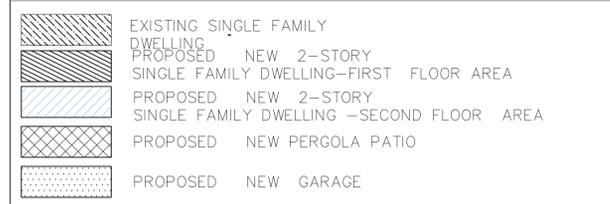
PROJECT SUMMARY:

LOT SIZE	7,849 S.F.
(E) LIVING AREA	1,616 SQ.FT
(N) LIVING AREA	2,355 SQ. FT. 30 %
(N) GARAGE	500 SQ.FT
TOTAL LOT COVERAGE	1573.7 SQ.FT. 1573.7/7,849 = 20 %
*LANDSCAPE AREA	2,835.57 SQ.FT. 36 %

SCOPE OF WORK

DEMOLISH EXISTING HOUSE AND DETACHED GARAGE.
BUILD NEW HOUSE (SQ.F.) AND DETACHED 2 CAR GARAGE.

PROPOSED NEW 2-STORY
SINGLE FAMILY DWELLING-FIRST FLOOR AREA
SINGLE FAMILY DWELLING-SECOND FLOOR AREA



WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF IZILINES DESIGN AND BUILD LLC. NO PART OF THESE DRAWINGS OR OTHERS OR USED IN CONNECTION WITH ANY OTHER WORK DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

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DESIGN AND BUILD LLC
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TEL: 213-342-7067

PROJECT TITLE: NEW ADU PROPOSAL
OWNER: GARNIK SARGSYAN
JOB ADDRESS:
1317 THOMPSON AVENUE,
GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE: 10-8-2024
SHEET TITLE:
EXISTING AND PROPOSED SITE PLAN

SHEET NUMBER
A-1

EXISTING AND PROPOSED SITE PLAN

SCALE:
1/8"=1'-0"

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JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET TITLE:
FLOOR PLAN

SHEET NUMBER
A-2
SHEETS 2 OF 12

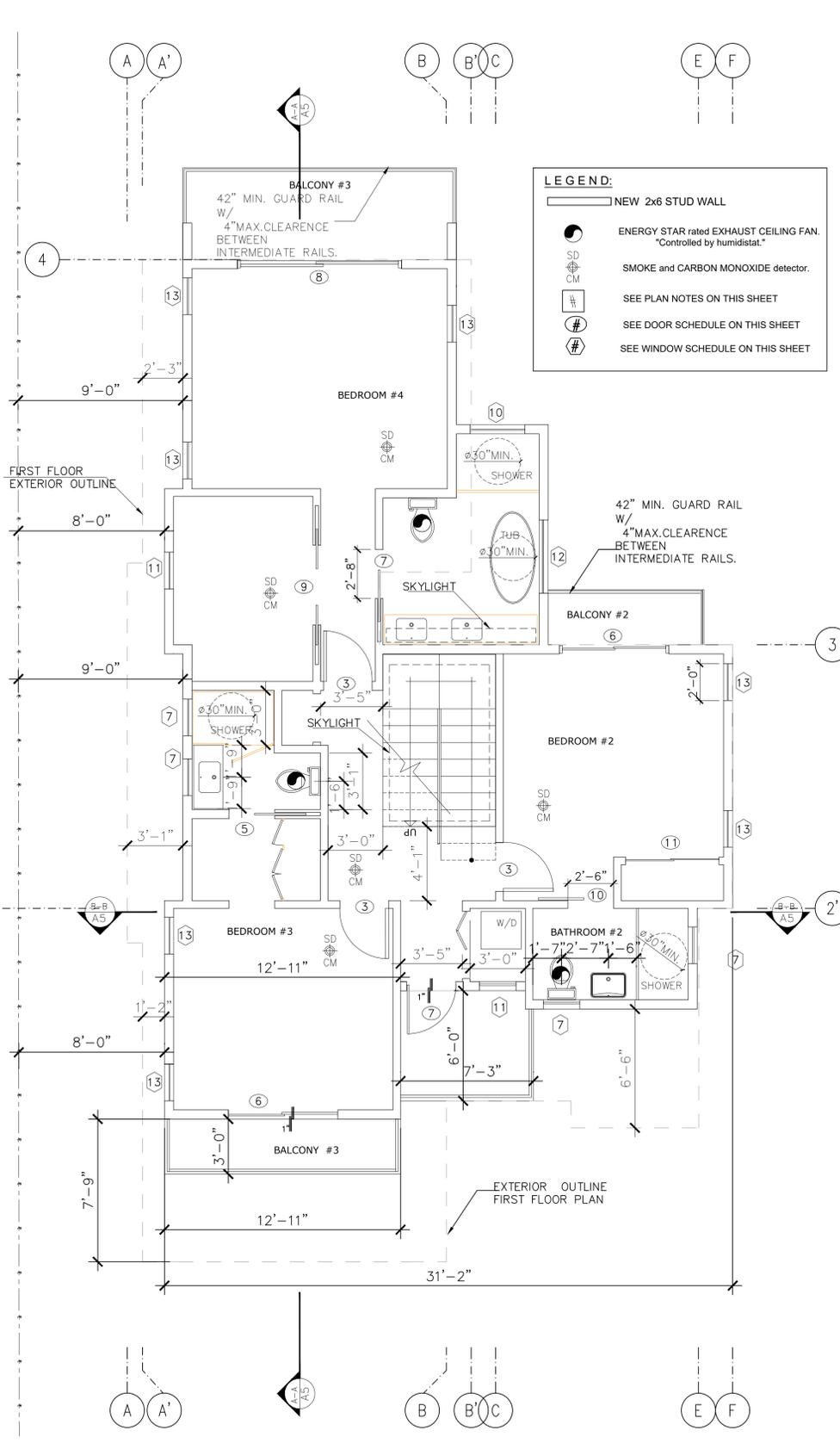
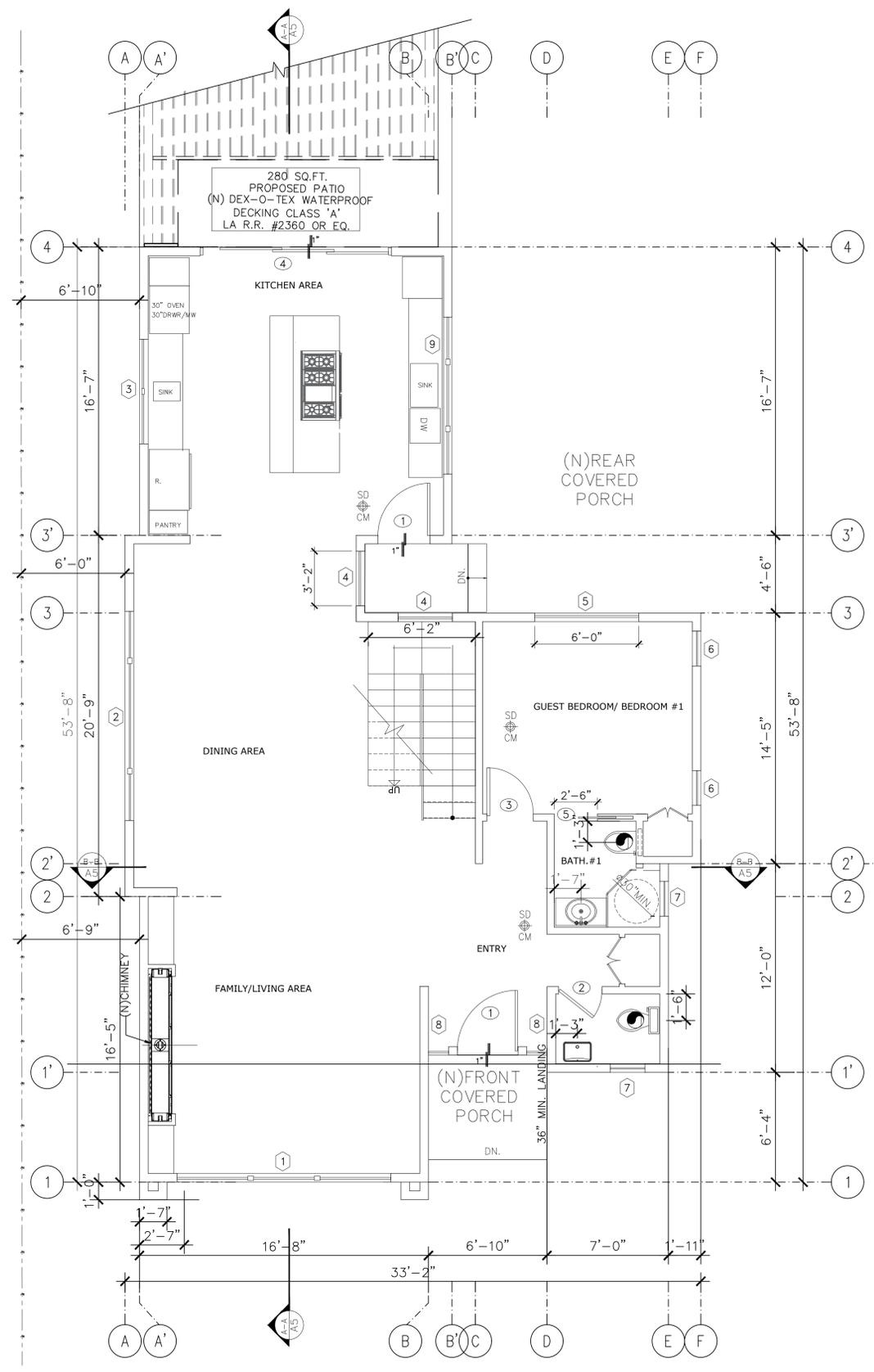
NOTES

- PROVIDE ULTRA FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. A 12"x12" MINIMUM PLUMBING ACCESS FOR TUBES. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2
- FIXTURE FLOW RATES

FIXTURE TYPE	MAX. ALLOWABLE FLOW RATE
SHOWERHEADS	2 GPM @ 80 PSI
LAVATORY FAUCETS, RESIDENTIAL	1.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI/3
GRAVITY TANK TYPE WATER CLOSETS	1.28 GALLONS/FLUSH
FLUSHMETER TANK WATER CLOSETS	1.28 GALLONS/FLUSH
FLUSHMETER VALVE WATER CLOSETS	1.28 GALLONS/FLUSH
- GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED (CRC R308.4):
 - IN OPERABLE PANELS OF DOORS.
 - WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" ABOVE A WALK-IN SURFACE.
 - IN AN INDIVIDUAL PANE LARGER THAN 9 SF, WHEN THE BOTTOM EDGE IS WITHIN 18" OF THE DOOR, WHEN THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR, AND WHEN WITHIN 36" OF A WALKING SURFACE AS MEASURED HORIZONTALLY AND IN A STRAIGHT LINE.
 - IN RAILINGS.
 - WITHIN 60" OF TUB OR SHOWER FLOOR.
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" OF A WALKING SURFACE WHEN LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE.
 - WITHIN 60" OF STAIRS AND STAIR LANDINGS.
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MINIMUM GLAZING AREA OF 3-SF ONE-HALF OF WHICH IS OPENABLE. THE GLAZED AREAS ARE NOT REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION OF 50-CFM INTERMITTENT OR 25-CFM CONTINUOUS VENTILATION ARE PROVIDED. (R303.3) BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUB WITH A SHOWER HEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2) SHOWER DOORS SHALL SWING OUT. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1,024 SQ. INCH OF FLOOR AREA, AND ENCOMPASS 30-INCH DIAMETER CIRCLE. (CPC 408.6)
- ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
- PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOW:
 - R-15 IN ALL NEW STUD WALLS
 - R-30 IN ROOF / ATTIC W/ RADIANT
 - R-19 IN RAISED FLOOR / CRAWL SPACES
- INSTALL GFCI OUTLETS IN NEW BATHROOMS.
- SMOKE ALARMS: PROVIDE INTERCONNECTED HARD-WIRED "SMOKE ALARM" WITH BATTERY BACKUP IN THE FOLLOWING: (R314)
 - IN EACH SLEEPING ROOM
 - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
 - PROVIDE A NOTE: "SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP"
 SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE ALARMS THAT NO LONGER FUNCTION SHALL BE REPLACED. SMOKE ALARMS INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT, OR IF THE DATE OF MANUFACTURE CANNOT BE DETERMINED. (R314.3.3) CONVENTIONAL IONIZATION SMOKE ALARMS: ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH A 10 YEAR BATTERY AND HAVE SILENCE FEATURE.
- CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACKUP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1). DETECTORS SHALL MEET U.L. 2034 AND /OR NFPA 720 STANDARDS.
- FAN 50 AIR CHANGE/HR DEDICATED TO WHOLE HOUSE.
- BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO THE OUTSIDE OF THE BUILDING. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 24" x 30" MINIMUM ATTIC ACCESS AT 30" MINIMUM CLEAR HEADROOM. (CRC R807.1; CMC 904.11.1)
- CLOTHES DRYER: A MINIMUM 4" IN DIAMETER MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.1). A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6' AND CANNOT BE CONCEALED (CMC 504.3.1.1). DRYER EXHAUST CANNOT EXCEED 14' WITH A MAX. OF TWO 90° ELBOWS (CMC 504.3.1.2). THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW IN EXCESS OF TWO.
- WATER HEATER MUST BE SEISMIC STRAPPED (CPC 508.2). NEW OR REPLACEMENT WATER HEATERS SHALL BE STRAPPED TO WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE MINIMUM OF 4" ABOVE THE CONTROLS. A 1/2" VALVE PIPE TO THE EXTERIOR MIN. 50 SQ. INCH VENT IN THE TOP AND BOTTOM OF THE WATER HEATER COMPARTMENT. GAS WATER HEATER INSTALLED IN GARAGE SHALL BE ELEVATED MIN. 18" ABOVE THE GARAGE FLOOR.
- INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES. ALL HOT WATER PIPING 3/4" OR LARGER, FROM THE WATER HEATER TO THE KITCHEN FIXTURES SHALL HAVE R-6 INSULATION.
- ENTRY/EXIT DOOR MUST OPEN OVER LANDING NOT MORE THAN 1 INCH BELOW THRESHOLD.
- DOORS: NONCOMBUSTIBLE EXTERIOR DOORS 1-1/3" SOLID CORE WOOD, OR HAVE FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL BE IN ACCORDANCE WITH SECTION 7.1-3802.4(a). EXCEPTION: GARAGE DOORS AND VEHICLE ACCESS DOORS PROVIDED THE INTERIOR OF THE GARAGE IS SHEATHED WITH 5/8" TYPE 'X' GYPSUM WALLBOARD.
- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
BEDROOM BGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.75 SF WHEN ABOVE THE GRADE FLOOR AND 5 SF ON THE GRADE FLOOR. A MINIMUM NET HEIGHT: 24" AND MINIMUM NET WIDTH: 20". AND THE SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND COATINGS, CARPET SYSTEMS, CARPET CUSHIONS, CARPET ADHESIVES, RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE (VOC) EMISSION LIMITS PER CHAPTER 4 OF LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.
- THE TOP OF HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF THE TREADS WITH 4" MAX. CLEARANCE BETWEEN INTERMEDIATE RAILINGS. HANDGRIP PORTION OF HANDRAIL WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LIST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4".

LEGEND:

- NEW 2x6 STUD WALL
- ☉ ENERGY STAR rated EXHAUST CEILING FAN. "Controlled by humidistat."
- ☼ SMOKE and CARBON MONOXIDE detector.
- # SEE PLAN NOTES ON THIS SHEET
- # SEE DOOR SCHEDULE ON THIS SHEET
- # SEE WINDOW SCHEDULE ON THIS SHEET



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TEL.: 213-342-7067

PROJECT TITLE: NEW PROPOSAL
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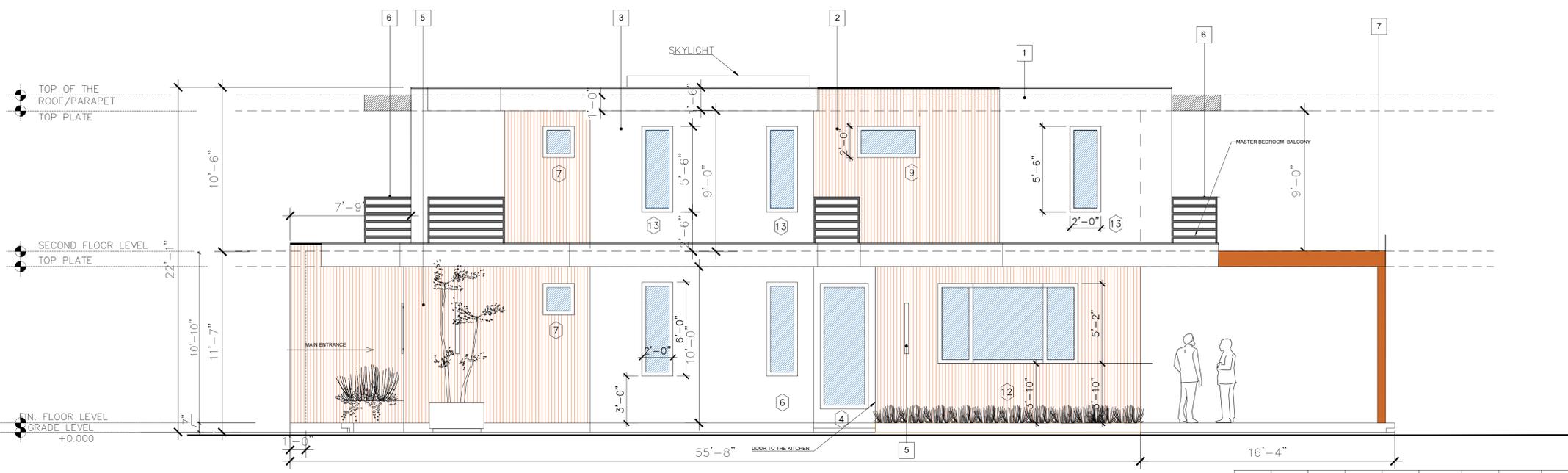
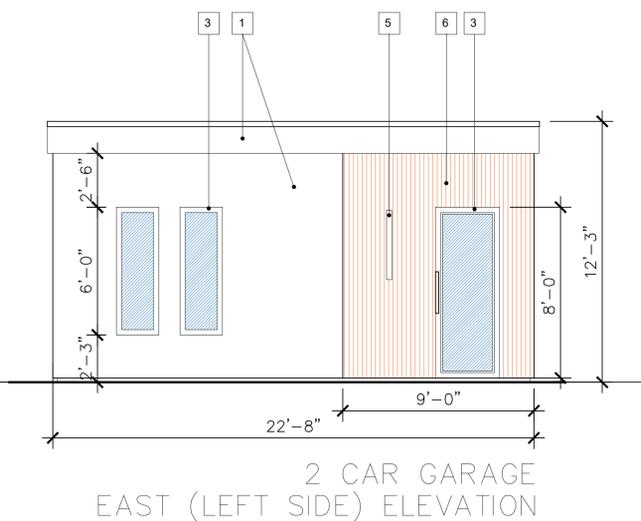
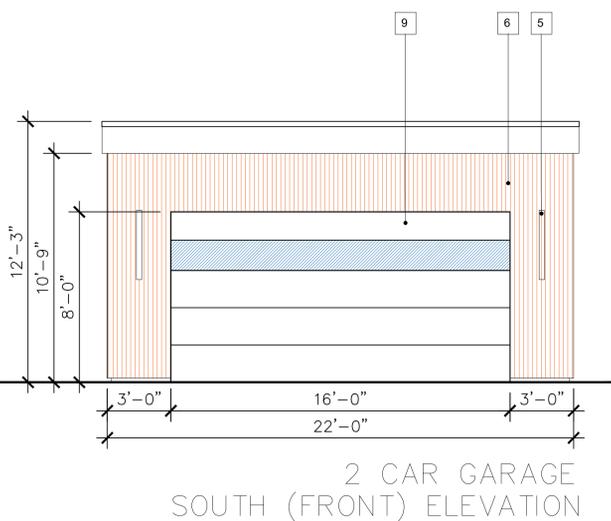
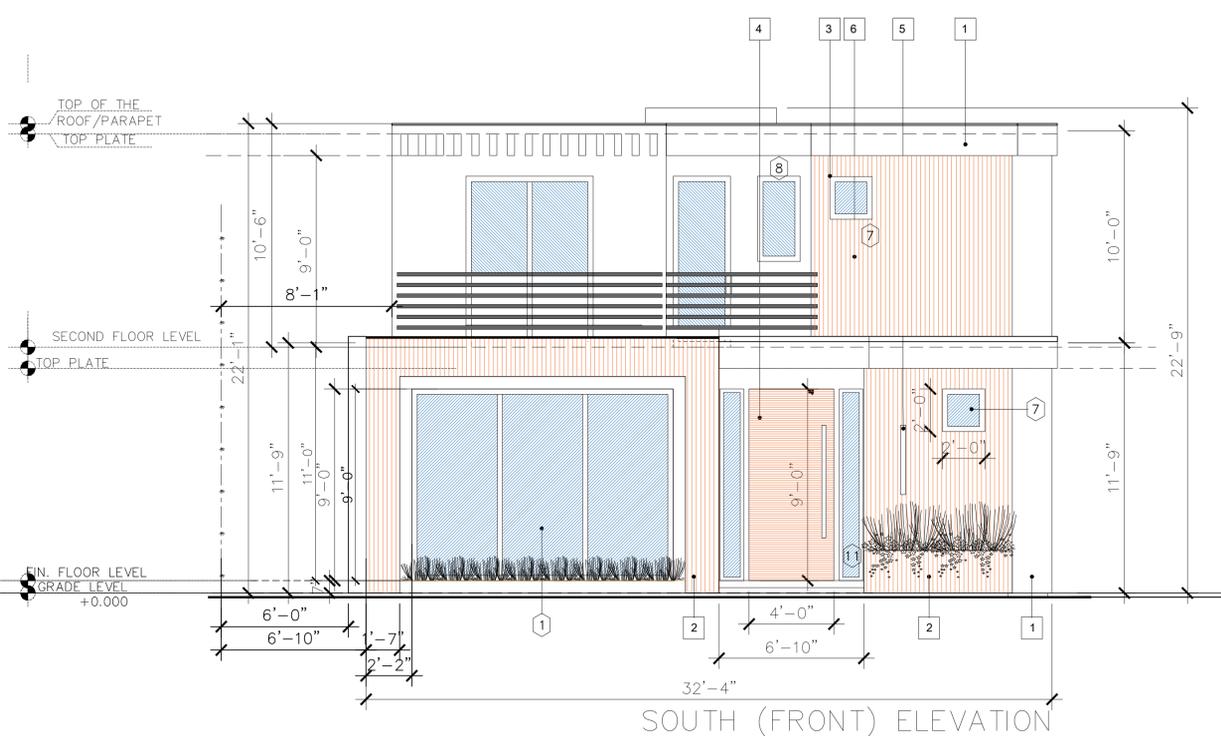
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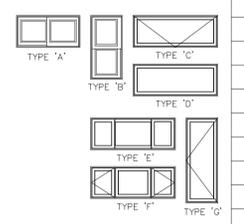
08-08-23
SHEET TITLE:
ELEVATIONS

SHEET NUMBER

A-4



- 1 7/8" ELEVATION SMOOTH STUCCO
- 2 IPE OR COMPOSITE WOOD SIDING
- 3 RECESSED FIBERGLASS DOOR & WINDOWS
- 4 WOOD EXTERIOR DOOR
- 5 LIGHT FIXTURE
- 6 42" MIN. GUARD RAIL WITH 4" MAX. CLEARANCE BETWEEN INTERMEDIATE RAILS. COLOR WHITE
- 7 PERGOLA STRUCTURE
- 8 MANMADE STONE TILE FINISHING
- 9 METAL AND GLASS GARAGE DOOR



WINDOW NO. & Ø	TYPE	QUANTITY	NEW WIDE X HEIGHT	NEW COLOR & MATERIAL	NEW TYPE OF OPERATION	NEW FRAME TYPE	BUILD NEW SILL & FRAME	NEW EDGE DETAIL	VISIBLE FROM STREET ?	EXTERNAL GRID ?	BEDROOM ?	ENERGY EFFICIENT ?	TEMPERED GLASS ?	FIRE HAZARD ZONE ?	WINDOW WITHIN 18" OF FLOOR OR 24" OF DOOR ?
1	F	1	138"x108"	VINYL	FIXED/CASEMENT	NAIL-IN	YES	W.SIDING	YES	NO	NO	YES	YES	NO	YES
2	F	1	144"x84"	VINYL	FIXED/CASEMENT	NAIL-IN	YES	STUCCO	NO	NO	NO	YES	YES	NO	YES
3	C	1	72"x62"	VINYL	SLIDING	NAIL-IN	YES	STUCCO	NO	NO	NO	YES	YES	NO	YES
4	D	2	32"x96"	VINYL	FIXED	NAIL-IN	YES	STUCCO	NO	NO	NO	YES	YES	NO	NO
5	A	1	72"x72"	VINYL	SLIDER	NAIL-IN	YES	STUCCO	NO	NO	YES	YES	YES	NO	YES
6	G	2	24"x72"	VINYL	CASEMENT	NAIL-IN	YES	STUCCO	YES	NO	YES	YES	YES	NO	YES
7	C	6	24"x24"	VINYL	AWNING	NAIL-IN	YES	SIDING	YES&NO	NO	NO	YES	YES	NO	YES
8	D	2	14"x108"	VINYL	FIXED	NAIL-IN	YES	STUCCO	YES	NO	NO	YES	YES	NO	NO
8	A	1	108"x62"	VINYL	SLIDING	NAIL-IN	YES	SIDING	NO	NO	NO	YES	YES	NO	YES
10	C	1	36"x24"	VINYL	AWNING	NAIL-IN	YES	SIDING	NO	NO	NO	YES	YES	NO	YES
11	C	2	24"x48"	VINYL	AWNING	NAIL-IN	YES	STUCCO	YES&NO	NO	NO	YES	YES	NO	YES
12	C	1	48"x24"	VINYL	AWNING	NAIL-IN	YES	SIDING	NO	NO	NO	YES	YES	NO	YES
13	G	7	24"x66"	VINYL	CASEMENT	NAIL-IN	YES	STUCCO	YES&NO	NO	YES	YES	YES	NO	YES

SOUTH AND WEST ELEVATIONS

SCALE: 1/4"=1'-0" **4**

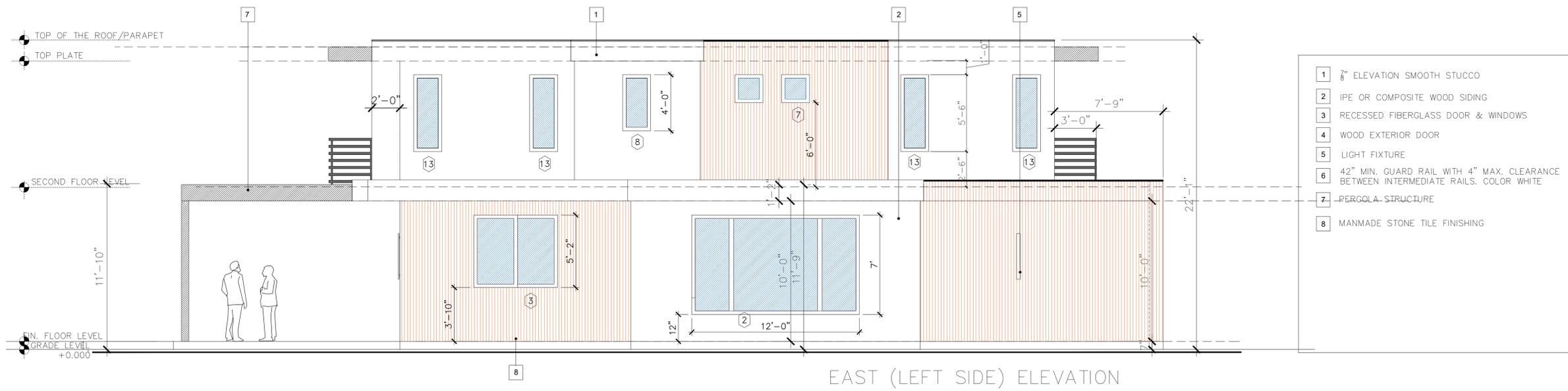
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IZILINES
DESIGN AND BUILD LLC
BY IZABELA BOYAJYAN
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TEL.: 213-342-7067

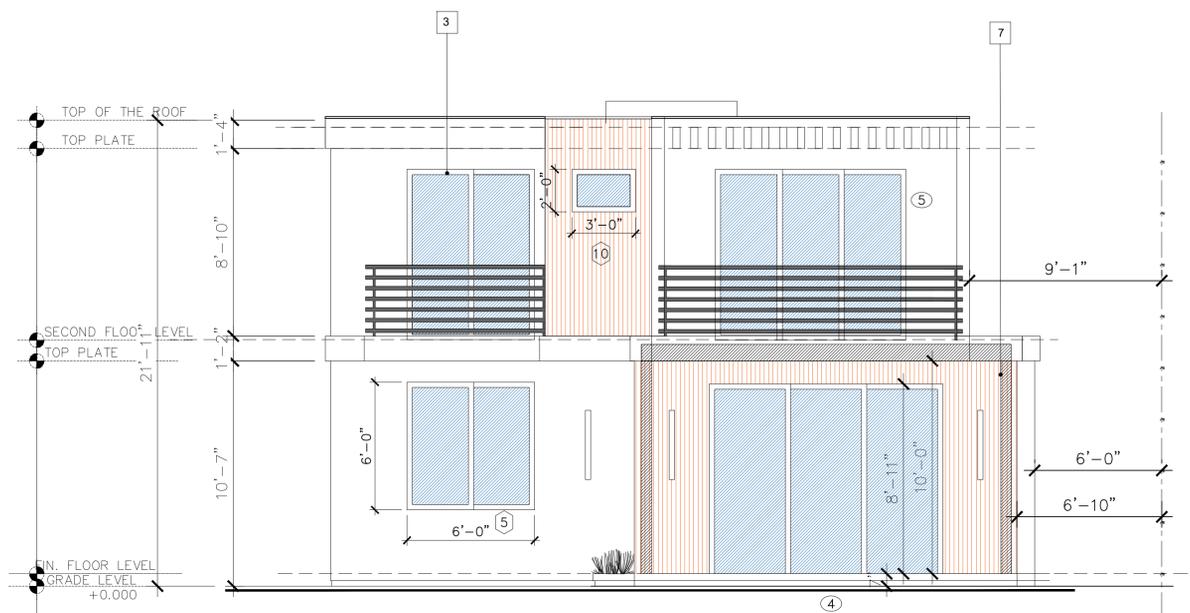
PROJECT TITLE: NEW PROPOSAL
OWNER: GARNIK SARGSYAN
JOB ADDRESS:
1317 THOMPSON AVENUE,
GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET TITLE:
ELEVATIONS

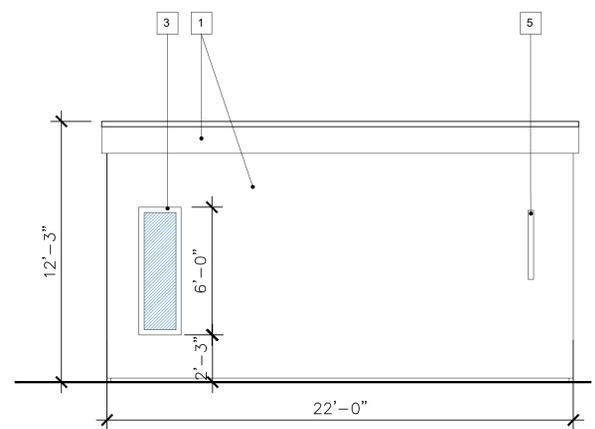
SHEET NUMBER
A-4.1
SHEETS 4 OF 12



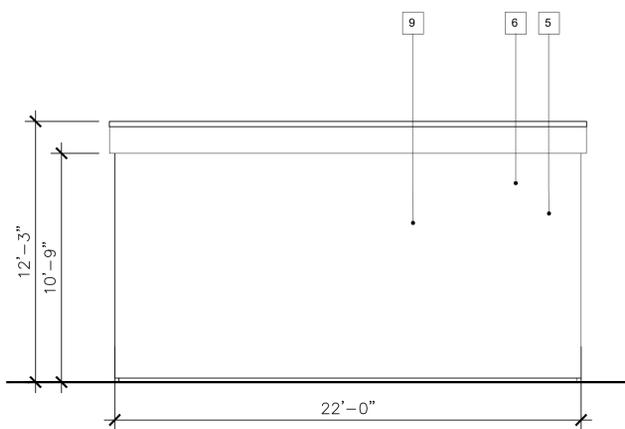
EAST (LEFT SIDE) ELEVATION



NORTH (REAR) ELEVATION



2 CAR GARAGE
NORTH (REAR) ELEVATION



2 CAR GARAGE
WEST ELEVATION

WRITTEN DIMENSIONS ON THESE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY, ARE AND SHALL REMAIN THE PROPERTY OF IZILINES DESIGN & BUILD. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR USED IN CONNECTION WITH ANY OTHER WORK DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

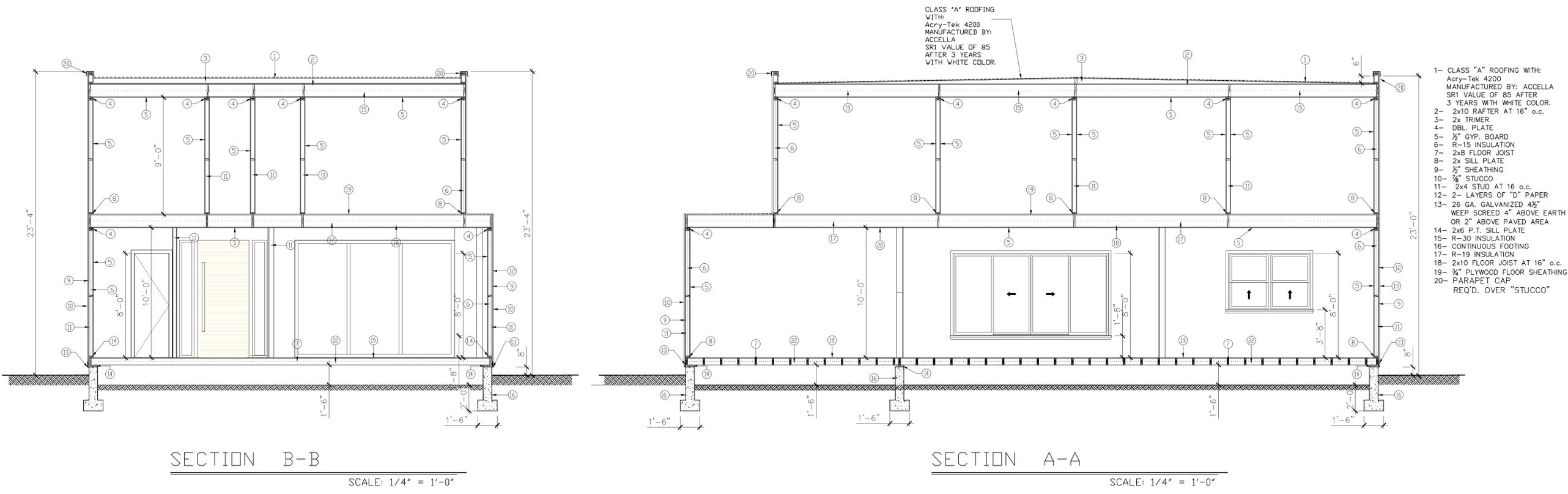
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TEL.: 213-342-1067

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1317 THOMPSON AVENUE,
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JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET TITLE:
ELEVATIONS

SHEET NUMBER

A-5



RESIDENTIAL SECURITY AND SAFETY NOTES

ALL OPENINGS MARKED * ARE SECURITY OPENINGS AND THE FOLOWING NOTES SHALL APPLY:

- EACH UNIT IN A RESIDENTIAL DEVELOPMENT SHALL BE KEYED DIFFERENTLY THAN ANY OTHER UNITS UNDER THE SAME GENERAL PLAN. A CERTIFICATE FROM THE LOCK SUPPLIER DECLARING THAT ALL LOCKS SUPPLIED TO THE PROJECT ARE KEYED SEPARATELY SHALL BE ACCEPTABLE AS COMPLYING WITH THE ABOVE REQUIREMENTS.
- DOOR JAMBS SHALL HAVE A SOLID BACKING WITH NO VOIDS EXIST BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME OPENING FOR A VERTICAL DISTANCE OF SIX (6) INCHES (152 MM) EACH SIDE OF THE STRIKE.
- IN WOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT THE DOOR LOCK HEIGHT FOR THREE (3) STUD PLACES EACH SIDE OF THE DOOR OPENINGS. JAMBS SHALL HAVE SOLID BACKING AGAINST SOLE PLATES.
- IRON OR STEEL SCREENS SHALL BE 1/8" THICK WITH 2" MESH SECURELY FASTENED.
- IRON BARS SHALL BE 1/2" DIAMETER BARS OR 1" x1/4" FLAT STEEL SPACED AT 5" MAX. SECURELY FASTENED.
- CYLINDER GUARDS SHALL BE ATTACHED WITH 1/2" CONNECTING SCREWS, AND SHALL BE INSTALLED WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR, OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
- DOORS STOPS FOR IN-SWINGING DOORS SHALL BE INTERGRATED WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE.
- THE STRIKE PLATE FOR DEADBOLTS ON ALL WOOD FRAME DOORS SHALL BE CONSTRUCTED OF AT LEAST SIXTEEN (16) U.S. GAUGE STEEL, BRONZE, OR BRASS AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS.
- HINGES FOR OUT-SWINGING DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO RECLUDE REMOVAL OF THE DOOR FROM THE EXTERIOR BY REMOVING THE HINGE PINS.
- LOUVERED WINDOWS SHALL NOT BE USED WHEN ANY PORTION OF THE WINDOW IS LESS THAN 12' VERTICALLY OR 6' HORIZONTALLY FROM AN ACCESSIBLE SURFACE OR ANY ADJOINING ROOF, BALCONY, LANDING, STAIR TREAD, PLATFORM, OR SIMILAR STRUCTURE.

11. GARAGE DOOR TYPES: ROLLING OVERHEAD, SOLID OVERHEAD SWING OR SLIDING ACCORDION GARAGE-TYPE DOORS SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - 11.1. WOOD DOORS SHALL HAVE PANELS A MINIMUM OF FIVE-SIXTEENTHS (5/16) INCH IN THICKNESS WITH THE LOCKING HARDWARE BEING ATTACHED TO THE SUPPORT FRAMING.
 - 11.2. ALUMINUM DOORS SHALL BE A MINIMUM THICKNESS OF 0.0215 INCHES AND RIVETED TOGETHER MINIMUM OF 18" ON CENTER ALONG THE OUTSIDE SEAMS. THERE SHALL BE A FULL WIDTH HORIZONTAL BEAM ATTACHED TO THE MAIN DOOR STRUCTURE WHICH SHALL MEET THE PILOT, OR PEDESTRIAN ACCESS, DOOR WITHIN 3" OF THE STRIKE AREA OF THE PILOT OR PEDESTRIAN ACCESS DOOR.
 - 11.3. FIBERGLASS DOORS SHALL HAVE PANELS A MINIMUM DENSITY OF 6 OUNCES PER SQUARE FOOT FROM THE BOTTOM OF THE DOOR TO A HEIGHT OF 7'. PANELS ABOVE SEVEN FEET AND PANELS IN RESIDENTIAL STRUCTURES SHALL HAVE A DENSITY NOT LESS THAN 5 OUNCES PER SQUARE FOOT.
 - 11.4. DOORS UTILIZING A CYLINDER LOCK SHALL HAVE NOT LESS THAN 5 PIN TUMBLER OPERATION WITH THE LOCKING BAR OR BOLT EXTENDING INTO THE RECEIVING GUIDE A MINIMUM OF ONE INCH.
 - 11.5. DOORS EXCEEDING 16 FEET IN WIDTH SHALL HAVE TWO LOCK RECEIVING POINTS OR, IF THE DOOR DOES NOT EXCEED 19 FEET, A SINGLE BOLT MAY BE USED IF PLACED IN THE CENTER OF THE DOOR WITH THE LOCKING POINT LOCATED EITHER AT THE FLOOR OR DOOR FRAME HEADER; OR, TORSION SPRING COUNTER BALANCE TYPE HARDWARE MAY BE USED.
 - 11.6. DOORS WITH THE SLIDE BOLT ASSEMBLIES SHALL HAVE FRAMES A MINIMUM OF 0.120 INCHES IN THICKNESS, WITH A MINIMUM BOLT DIAMETER OF 1/2" AND PROTRUDE AT LEAST ONE AND 1/2" INTO THE RECEIVING GUIDE. A BOLT DIAMETER OF 3/8" MAY BE USED IN A RESIDENTIAL BUILDING. THE SLIDE BOLT SHAL BE ATTACHED TO THE DOOR WITH NON-REMOVABLE BOLTS FROM THE OUTSIDE. RIVETS SHALL NOT BE USED TO ATTACH SLIDE BOLT ASSEMBLIES

12. SWINGING EXTERIOR DOORS: ALL EXTERIOR DOORS OF ANY RESIDENTIAL BUILDING AND ATTACHED GARAGES (EXCEPT FOR VEHICULAR ACCESS DOORS), INCLUDING THE DOOR LEADING FROM THE GARAGE AREA INTO THE DWELLING UNIT SHALL BE EQUIPPED AS FOLLOWS:
 - 12.1. ALL WOOD DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF 1-3/4", OR WITH PANELS NOT LESS THAN 9/16" THICK.
 - 12.2. A SINGLE OR DOUBLE DOORS SHALL BE EQUIPPED WITH A SINGLE CYLINDER DEADBOLT LOCK WITH A MINIMUM PROJECTION OF 1" AND BE CONSTRUCTED SO AS TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST 3/4" INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CYLINDER SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST 1/4" IN DIAMETER. ALL INSTALLATION SHALL BE DONE SO THAT THE PERFORMANCE OF LOCKING DEVICE WILL MEET THE INTENDED ANTI-BURGLARY REQUIREMENTS. A DUAL LOCKING MECHANISM CONSTRUCTED SO THAT BOTH DEADBOLT AND LATCH CAN BE RETRACKED BY A SINGLE ACTION OF THE INSIDE DOOR KNOB, OR LEVER, MAY BE SUBSTITUTED PROVIDED IT MEETS ALL OTHER SPECIFICATIONS FOR LOCKING DEVICES.
 - 12.3. THE INACTIVE LEAF OF DOUBLE DOORS SHALL BE EQUIPPED WITH METAL FLUSH BOLTS HAVING A MINIMUM EMBEDMENT OF 5/8" INTO THE HEAD AND THRESHOLD OR THE DOOR FRAME.
 - 12.4. GLAZING: GLAZING IN EXTERIOR DOORS OR WITHIN 40" OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS OR RATED BURGLARY RESISTANT GLAZING.
 - 12.5. WIDE ANGLE VIEWER: EXCEPT WHERE CLEAR VISION PANELS ARE INSTALLED, ALL FRONT EXTERIORS DOORS SHALL BE EQUIPPED WITH A WIDE ANGLE (180°) DOOR VIEWER.
 - 12.6. HOLLOW STEEL DOORS SHALL BE A MINIMUM 16 GAUGE THICK WITH EXTRA REINFORCING AROUND THE LOCK TO PREVENT COLLAPCING.
 - 12.7. ALUMINUM DOORS SHALL BE CONSTRUCTED PER VOL. VII, SECTION 15.3 OF SECURITY ORDINANCE NO. 5581, AND SHALL BE EQUIPPED WITH A DOUBLE CYLINDER DEADBOLT WITH 1" MIN. BOLT PROJECTION OR HOOK SHAPED OR EXPANDING DOG BOLT TO PREVENT SPREADING. THE DEAD BOLT LOCK SHALL HAVE A MINIMUM OF 5 PIN TUMBLERS AND A CYLINDER GUARD.

13. ADDRESS AND IDENTIFYING DATA: ADDRESS NUMBERS AND OTHER OTHER IDENTIFYING DATA SHALL BE DISPLAYED AS FOLLOWS:
 - 13.1. ALL RESIDENTIAL DWELLINGS SHALL DISPLAY AN ADDRESS NUMBER IN A PROMINENT LOCATION ON THE STREET SIDE OF THE RESIDENCE IN SUCH POSITION THAT THE NUMBER IS EASILY VISIBLE TO APPROACHING EMERGENCY VEHICLES. THE NUMBERS SHALL BE NO LESS THAN 4" IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND TO WHICH THEY ARE ATTACHED. IN ADDITION, ANY RESIDENCE WITH REAR VEHICULAR ACCESSTHROUGH ANY DRIVEWAY, ALLEWAY OR PARKING LOT SHALL ALSO DISPLAY THE SAME NUMPERS ON THE REAR OF THE BUILDING.

14. LIGHTING: MULTIPLE FAMILY DWELLING LIGHTING SHALL BE AS FOLLOWS:
 - 14.1 AISLES, PASSAGEWAYS, AND RECESSES: AISLES, PASSAGEWAYS AND RECESSES RELATED TO AND WITHIN THE BUILDING COMPLEX SHALL BE ILLUMNATED WITH AN INTENSITY OF AT LEAST 0.25 FOOTCANDLE AT THE GROUND LEVEL DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM RESISTANT COVERS.
 - 14.2 PARKING STRUCTURES, PARKING LOTS AND CARPOTS: PARKING STRUCTURE, PARKING LOTS AND CARPOTS SHALL BE PROVIDED WITH A MINIMUM OF 2 FOOTCANDLES OF LIGHT ON THE PARKING SURFACE DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM RESISTANT COVERS.

15. NOTE: THESE NOTES ARE INTENDED AS A GUIDE ONLY. CONTRACTOR AND SUPPLIER SHALL REFER TO THE GLENDALE BUILDING AND SAFETY CODE, VOLUME VII FOR MORE COMPLETE AND SPECIFIC DETAILS.

RESIDENTIAL MANDATORY MEASURES
NEW, ADDITION AND ALTERATION

The 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen) requires all of the following provisions. These provisions apply to all newly constructed residential buildings including one- and two-family dwellings, townhomes, and multi-family units in low-rise and high-rise residential buildings such as apartments, condominiums, motels and hotels. These provisions also apply to the additions and alterations of existing residential buildings that increase the buildings conditioned area, volume, or size.

Please incorporate these requirements into the plans and sign the compliance statement at the end of this document. Provisions that are underlined and italicized shall be shown on the construction documents. The information listed here is an outline of the Mandatory Measures. For complete requirements and possible exceptions, please refer to the 2019 CALGreen Code. Code Sections in bold are City of Glendale additional mandatory CALGreen amendments.

Table with 3 columns: ITEM #, CODE SECTION, REQUIREMENTS. Includes sections for Chapter 1 - ADMINISTRATION, Chapter 3 - GREEN BUILDING, and Chapter 4 - RESIDENTIAL MANDATORY MEASURES.

Table with 3 columns: ITEM #, CODE SECTION, REQUIREMENTS. Includes items 3, 4, 5, 6, and 7 detailing requirements for grading, electric vehicle charging, and parking spaces.

Table with 3 columns: ITEM #, CODE SECTION, REQUIREMENTS. Includes item 7 detailing requirements for EV charging for new hotels and motels, and a table for EV charging requirements.

Table with 3 columns: ITEM #, CODE SECTION, REQUIREMENTS. Includes items 8 and 9 detailing requirements for water permeable surfaces and energy efficiency.

Table with 3 columns: ITEM #, CODE SECTION, REQUIREMENTS. Includes items 11, 12, 13, 14, and 15 detailing requirements for outdoor water use, material conservation, construction waste reduction, and building maintenance.

Table with 3 columns: ITEM #, CODE SECTION, REQUIREMENTS. Includes items 17, 18, 19, and 20 detailing requirements for pollutant control, finish material, interior moisture control, and indoor air quality.

Table with 3 columns: ITEM #, CODE SECTION, REQUIREMENTS. Includes items 21, 22, 23, 24, and 25 detailing requirements for environmental comfort, natural light and ventilation, and installer qualifications.

Table with 3 columns: ITEM #, CODE SECTION, REQUIREMENTS. Includes item 26 detailing requirements for documentation and compliance statement.



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IZILINES DESIGN AND BUILD LLC
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izabela_boyajyan@ahsco.com
TEL: 213-342-7067

PROJECT TITLE: NEW ADU PROPOSAL

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET TITLE:
CAL GREEN NOTES

SHEET NUMBER
A-6



(N) OLIVE TREE



(N) SUCCULENT



(N) BLUE SAGE



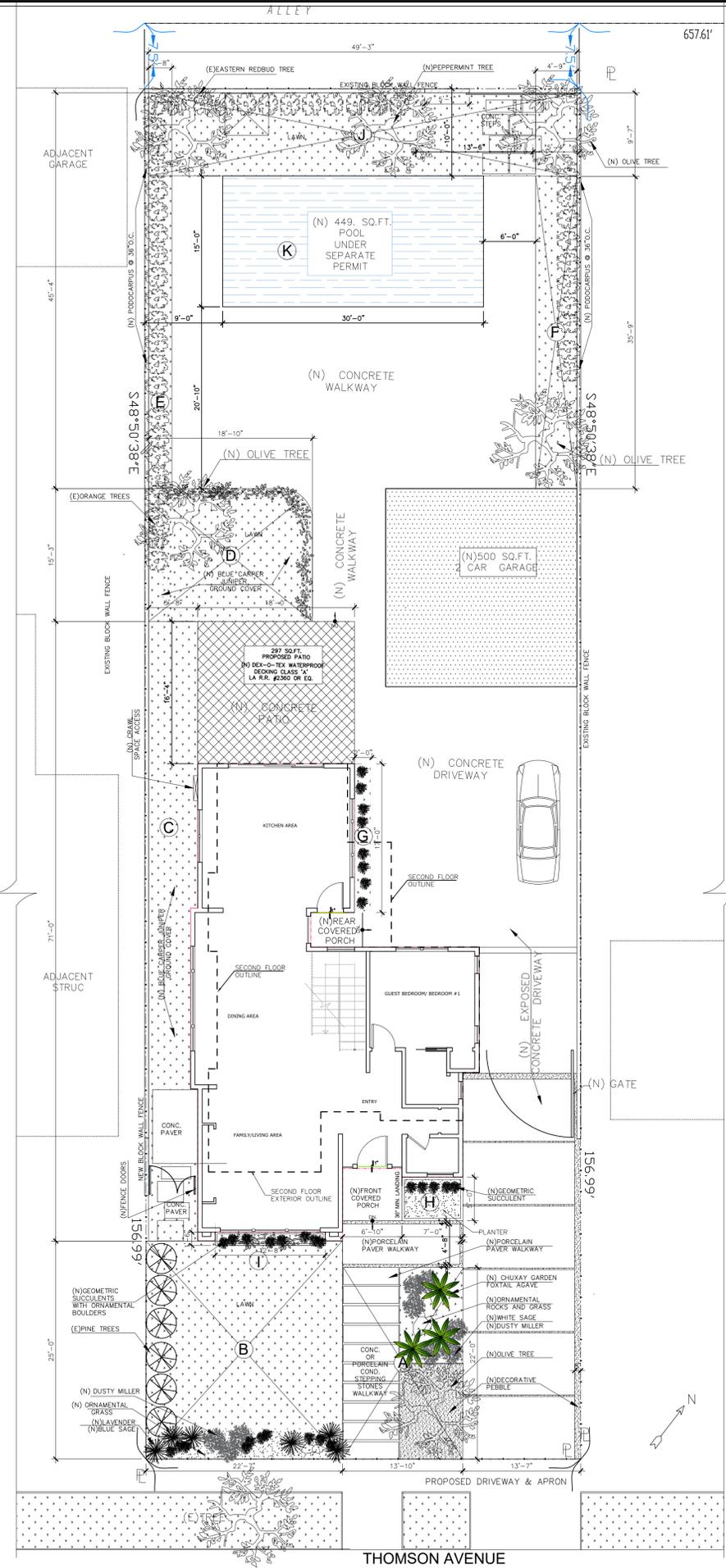
(N) CHUXAY GARDEN FOXTAIL AGAVE



(N) GEOMETRIC SUCCULENTS WITH ORNAMENTAL BOULDERS



(N) DUSTY MILLER



1317 THOMPSON AVENUE,
GLENDALE, CA 91201

LANDSCAPE AREA CALCULATION

ZONE	AREA CALCULATION
A	13'-10" x 21'-11" = 304.67 sq.f.
B	22'-7" x 25'-0" = 561.05 sq.f.
C	71'-0" x 5'-8" = 395.20 sq.f.
D	15'-3" x 18'-10" = 286.30 sq.f.
E	45'-4" x 2'-8" = 95.07 sq.f.
F	35'-9" x 4'-9" = 169.57 sq.f.
G	2' x 17' = 33.62 sq.f.
H	7' x 5' = 35 sq.f.
I	1'-6" x 12'-8" = 35.09 sq.f.
J	49'-3" x 9'-7" = 471 sq.f.
K	15' x 30' = 449 sq.f.
TOTAL	= 2,386.57 sq.f.
	2,835.57 / 7,849 = 36%



EXISTING AND PROPOSED SITE PLAN

SCALE:
1/8" = 1'-0"



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PROJECT TITLE: NEW ADJ. PROPOSAL
OWNER: GARNIK SARGSYAN
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GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
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DATE:
SHEET TITLE:
CONCEPTUAL LANDSCAPE PLAN

SHEET NUMBER
A-7
SHEETS 2 OF 12



(N) OLIVE TREE



(N) SUCCULENT



(N) BLUE SAGE



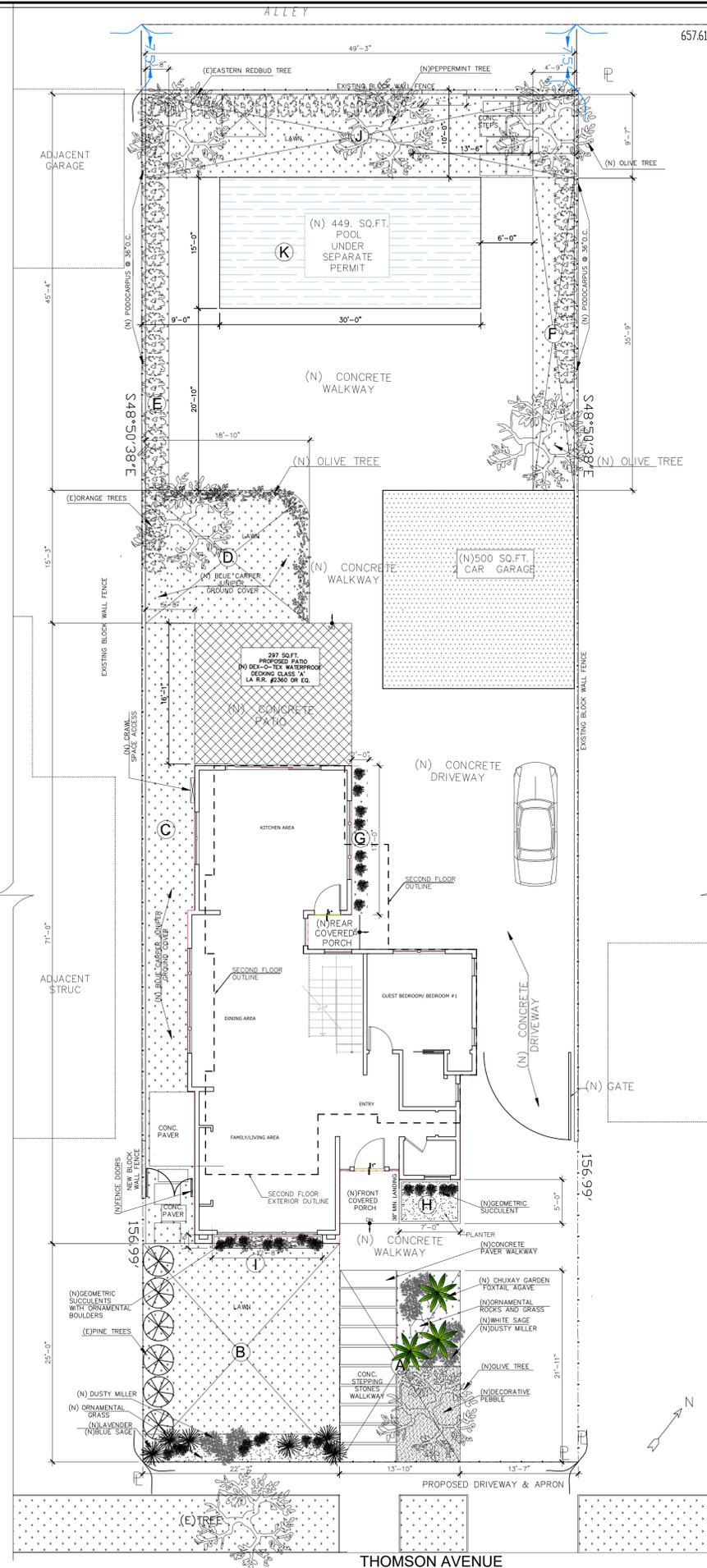
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- EXISTING SINGLE FAMILY DWELLING
- PROPOSED NEW 2-STORY SINGLE FAMILY DWELLING - FIRST FLOOR AREA
- PROPOSED NEW 2-STORY SINGLE FAMILY DWELLING - SECOND FLOOR AREA
- PROPOSED NEW PATIO
- PROPOSED NEW GARAGE

GRAPHIC SCALE

SCALE:
1/8" = 1'-0"



WRITTEN DIMENSIONS ON THESE PLANS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER, AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

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PROJECT TITLE: NEW ADU PROPOSAL
OWNER: GARNIK SARGSYAN
JOB ADDRESS:
1317 THOMPSON AVENUE,
GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET TITLE:
CONCEPTUAL LANDSCAPE PLAN

SHEET NUMBER
A-7
SHEETS 2 OF 12

EXISTING AND PROPOSED SITE PLAN



1317 THIMPSON AVE.

EXTERIOR FINISHING AND MATERIALS OF THE PROPOSED SINGLE FAMILY HOUSE

281-570-6450
<http://www.newtechwood.com>

NewTechWood
 Area-Board calculator for
 Belgian Board/
 European Style Siding

ULTRASHIELDS WALL GLAZING

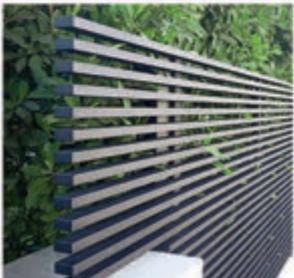
Width Siding Boards 3 and 3 1/2 thickness 24 panel 12 1/2 height	Area (sqft)	Green Feet	36-In Boards	Green sq ft/lin.
100	170	30	30	2
200	340	30	30	4
300	510	30	30	6
400	680	45	45	8
500	850	55	55	10
600	1020	65	65	12
700	1190	75	75	14
800	1360	85	85	16
900	1530	95	95	18
1000	1700	100	100	20
1100	1880	120	120	22
1200	2050	130	130	24
1300	2220	140	140	26
1400	2390	150	150	28
1500	2560	160	160	30
1600	2730	170	170	32
1700	2900	180	180	34
1800	3070	190	190	36
1900	3240	205	205	38
2000	3410	215	215	40
2100	3580	225	225	42
2200	3750	235	235	44
2300	3920	245	245	46
2400	4100	255	255	48
2500	4270	265	265	50



COMPOSITE SIDING SYSTEM



SVELTE OUTDOOR LINEAR WALL LAMP IP65



LINEAR METALRAILING, FENCE, AND GATES



STEPSTONE FOR PORCH



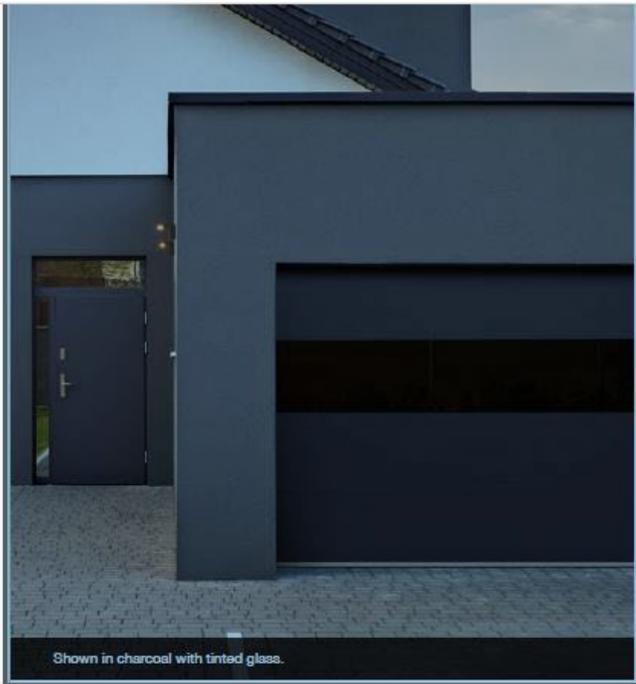
FLOOR TILES FOR PORCH



SMOOTH STUCCO

Garage door

Colour: matte Black



2717

STERLING w/INFINITY GLASS

24 GAUGE SMOOTH STEEL | POLYURETHANE INSULATION | R-VALUE R-15.07

Glass limited to 1 section per door



Tinted†

Insulation Type



Polyurethane Insulation
R-value

R-15.07

Standard Colors*



Custom Colors*



Pergola on the patio

Colour: Deep Black



PRODUCT FEATURES:

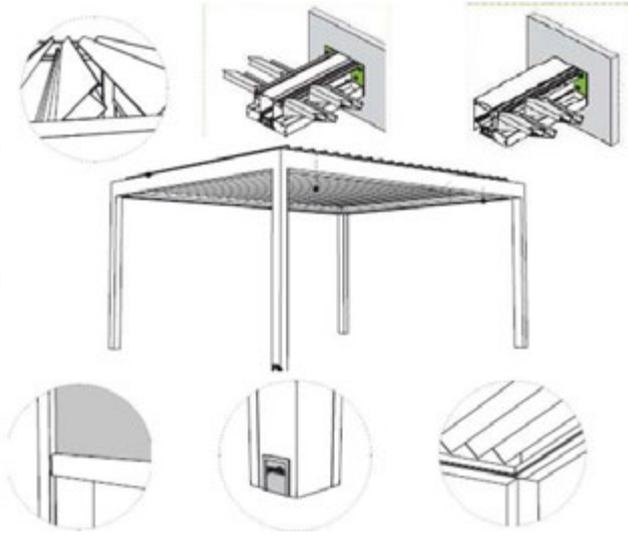
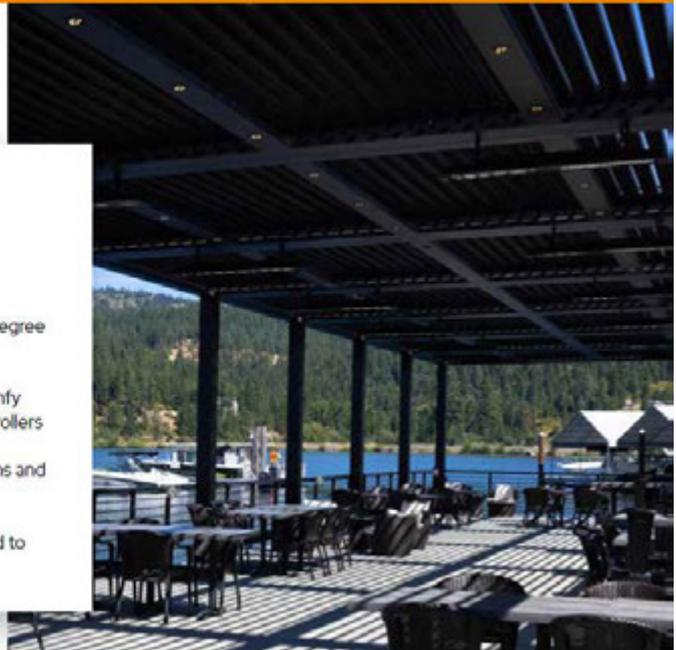
- **Motorized Louvered roof pergola.**
- **Ideal for free standing or wall mounted applications.**
- **Internal gutter and downspouts for water drainage.**
- **Designed to withstand some snow loads. Please inquire with Sunair office.**
- **Sloped louvers for drainage into gutter**
- **Multiple modules can be mounted side by side with common posts to create larger width.**
- **All aluminum frame powder coated.**
- **Motorized all sizes.**



PIVOT 6 XL

2' x 10' Frame

- / 7 1/2 Inch Gutter
- / 6- or 8-Inch Posts
- / 6 Standard Colors
- / Thousands of Custom Colors & Woodgrain Options
- / Integrated 360 Degree Gutter System
- / OS System - Somfy Motors and Controllers
- / Numerous Options and Accessories
- / Custom Designed to Suit Your Space



PIVOT 6



Frame Color



Frame color:
Dark bronze or black

Louver Color



Louver color: light beige

Architectural Features



Exposed Aggregate Concrete For Driveway

Colours: brown, black, white mixtures





1317 THIMPSON AVE.

PHOTOREALISTIC 3D RENDERINGS OF THE PROPOSED SINGLE FAMILY HOUSE

FRONT AND SIDE VIEWS





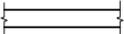
1317 THIMPSON AVE.

PHOTOREALISTIC 3D RENDERINGS OF THE PROPOSED SINGLE FAMILY HOUSE ON THE SITE

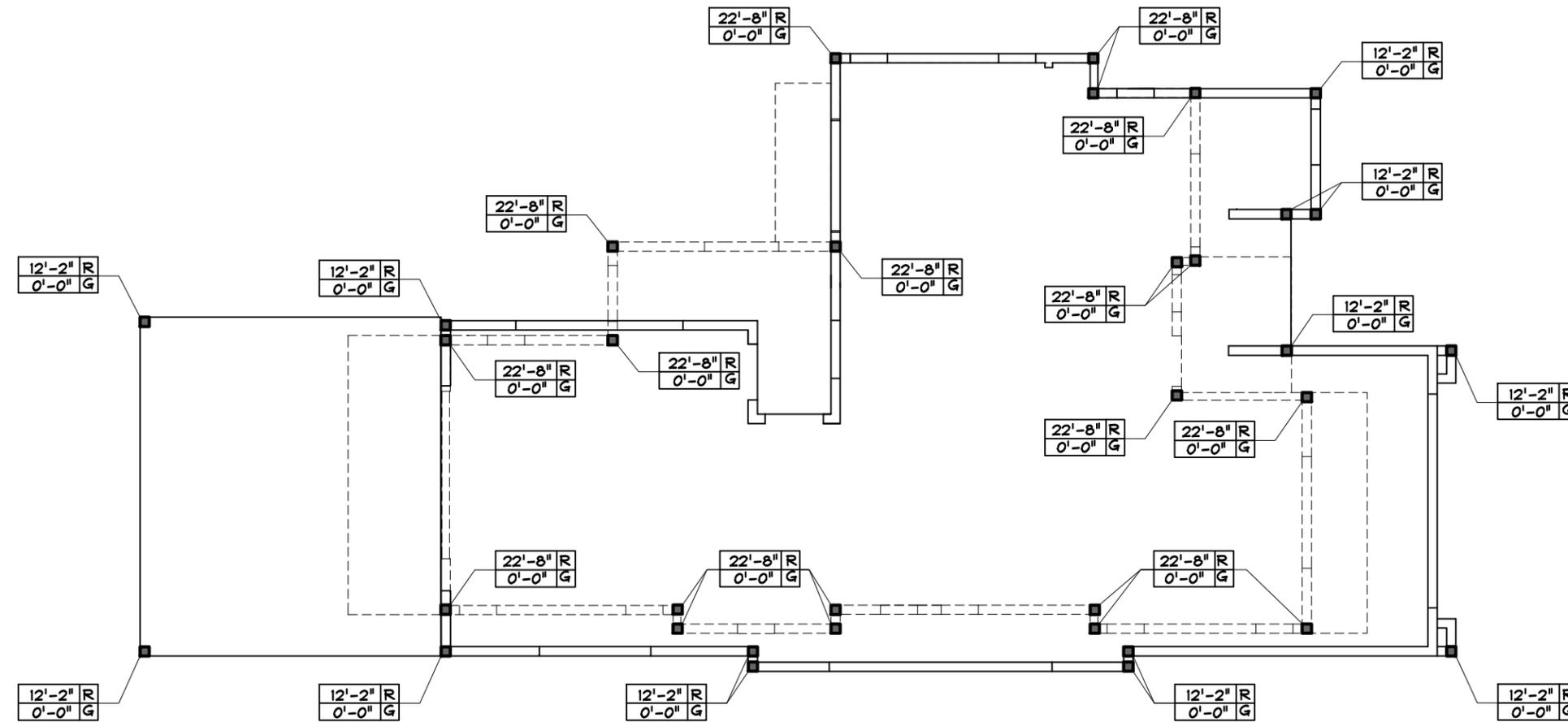
EXISTING AND PROPOSED STREET VIEWS



LEGEND:

-  - INDICATES STUDWALL FRAMING AT 1ST FLOOR LVL
-  - INDICATES STUDWALL FRAMING AT 2ND FLOOR LVL
-  - INDICATES TEMPORARY 4x4 POLE
- | |
|----------|
| 22'-8" R |
| 0'-0" G |

 - INDICATES ELEVATION FROM NATURAL GRADE
- | |
|---------|
| R=ROOF |
| G=GRADE |



1st & 2nd FLOOR PLAN OVERLAY WITH TEMPORARY POLES

1317 THOMPSON AVE
GLENDALE, CA 91201

PROJECT ID: KCE-2023.325S

SHEET: S-1

DRAWN BY:

B.B.

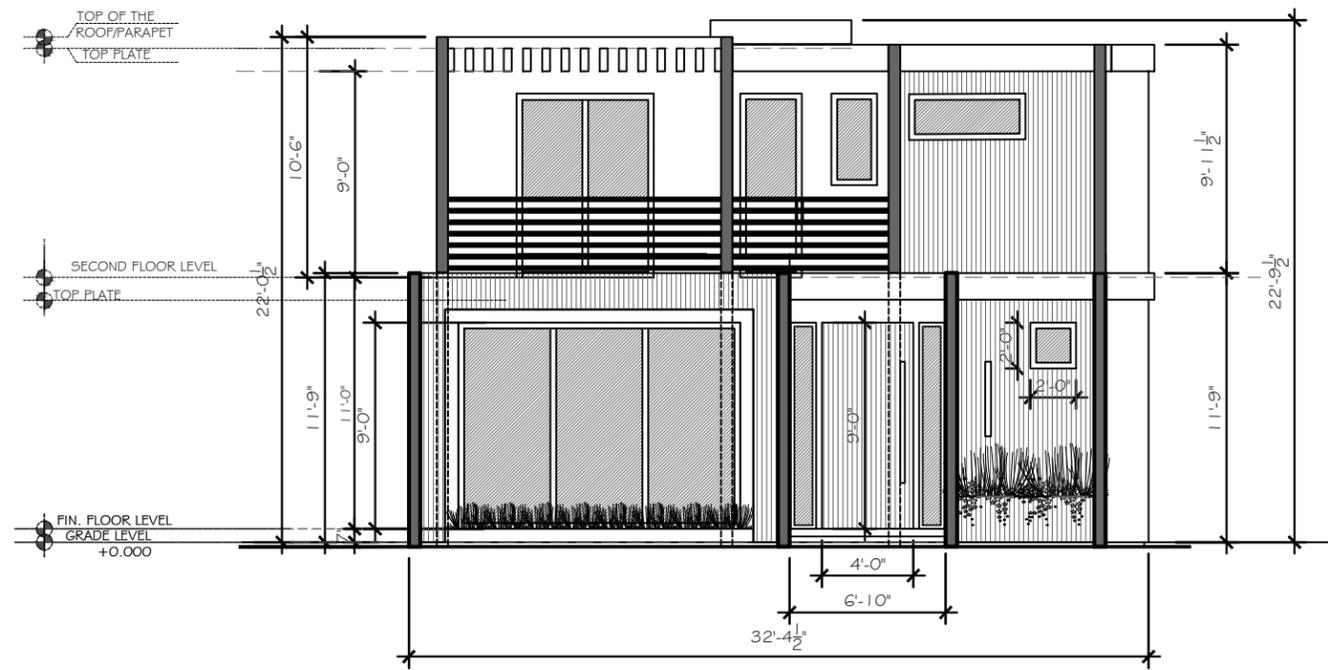
DATE:

8/14/2023

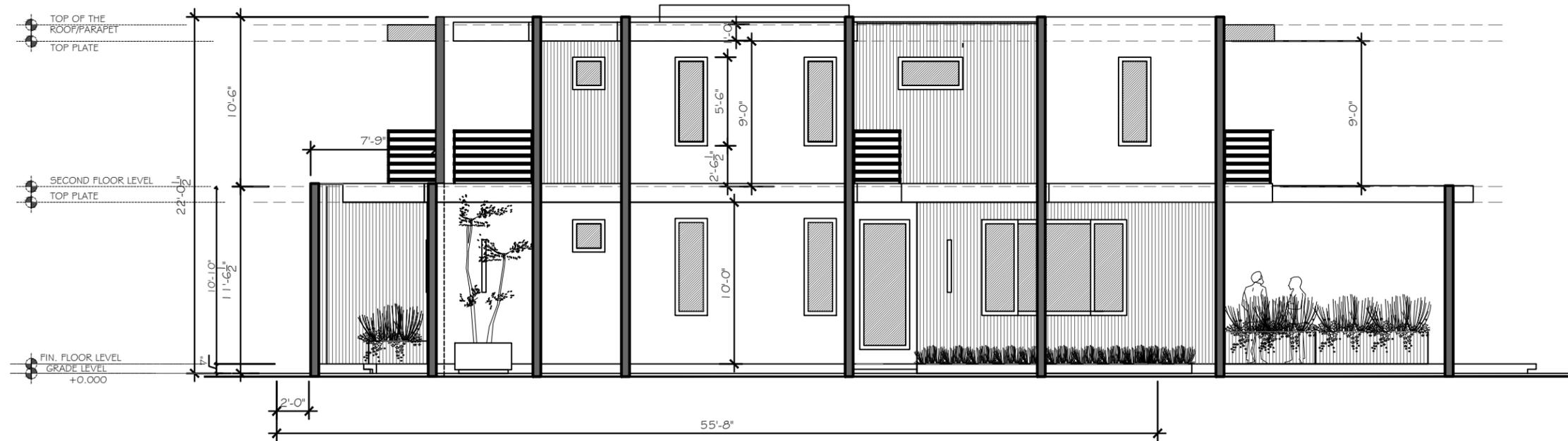
KCE | M | A | T | R | I | X
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SOUTH (FRONT) ELEVATION



DRIVEWAY SIDE (WEST) ELEVATION

PROPOSED ELEVATIONS WITH TEMPORARY POLES

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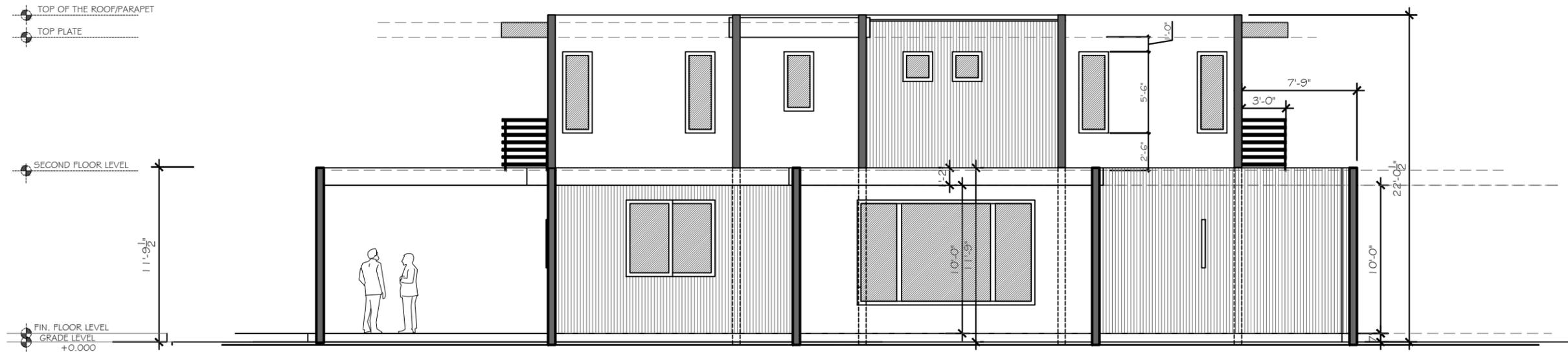
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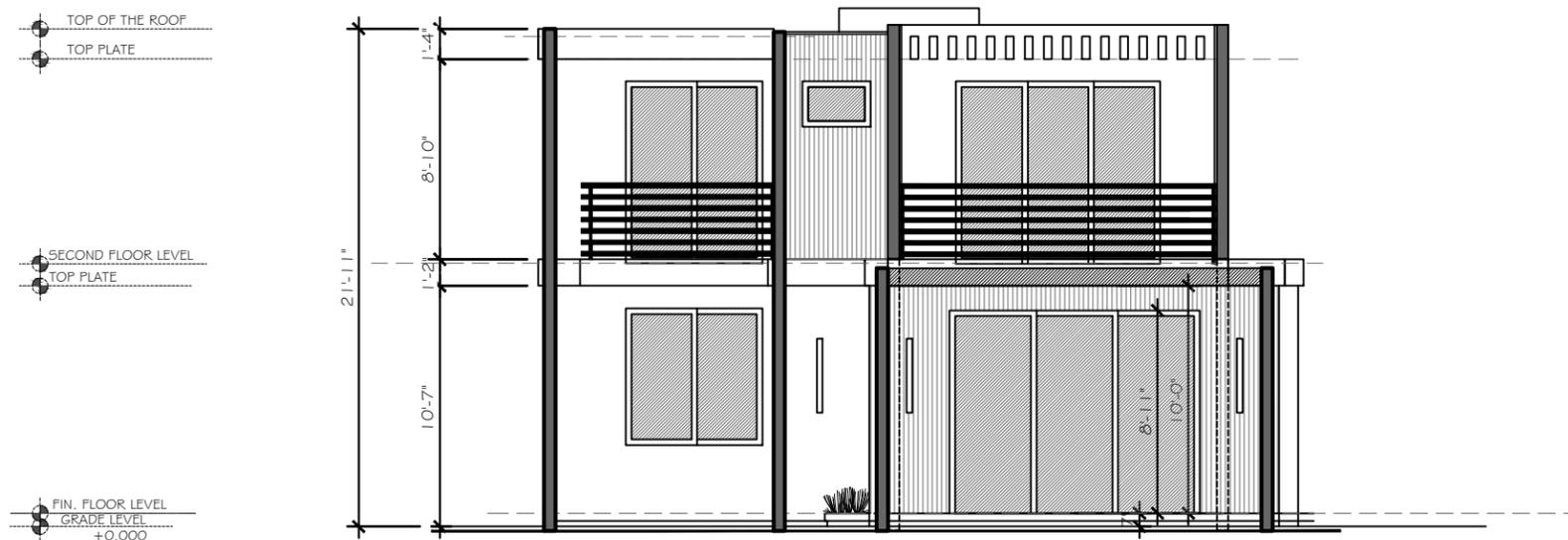
B.B.

DATE:

8/14/2023



EAST (LEFT SIDE) ELEVATION



REAR (NORTH) ELEVATION

PROPOSED ELEVATIONS WITH TEMPORARY POLES

1317 THOMPSON AVE
GLENDALE, CA 91201

PROJECT ID: KCE-2023.325S

SHEET: S-3

DRAWN BY: B.B. DATE: 8/14/2023

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